

Tentative Agenda
Kalamazoo City Planning Commission
September 4, 2008
Regular Meeting

City Commission Chambers, 2nd floor, City Hall, 241 W. South Street

7:00 p.m.

- A. Call to Order
- B. Roll Call
- C. Adoption of Formal Agenda
- D. Approval of Minutes
- E. Communications and Announcements
- F. Public Hearings:
 - 1. P.C. #2008.10: Consideration of a request from Rebekah Leininger for a special use permit to allow a group day care use in the house at 1015 Homecrest Avenue to serve up to twelve (12) children. **[Staff recommendation: motion to recommend approval of the special use permit with one condition.]**
 - 2. P.C. #2008.11: Consideration of a request from the Roman Catholic Diocese of Kalamazoo for a special use permit to allow a transitional residence and drop-in center use for the ARK program at 751 Pleasant Avenue, including two building additions and two, new, 3-unit residential buildings. **[Staff recommendation: motion to recommend approval of the special use permit with conditions.]**
- G. Citizens' Comments Regarding Non-Agenda Items
- H. Old Business
(Citizens' comments are welcome before each item is voted upon by the Planning Commission)
- I. New Business
(Citizens' comments are welcome before each item is voted upon by the Planning Commission)
 - 1. Recommendation from the Nominating Sub-Committee.
- J. Citizens' Comments
- K. City Planner's Report
- L. Miscellaneous Comments by Planning Commissioners
- M. Adjournment

PLANNING COMMISSION

Minutes

July 8, 2008

DRAFT

The City of Kalamazoo Planning Commission meeting was called to order by Commissioner Kuseske at 7:00 p.m. in the Lawrence Education Center, Rm. #122, Borgess Hospital, 1521 Gull Rd., Kalamazoo, MI 49024. There were approximately six additional people in attendance.

MEMBERS PRESENT

Terry Kuseske, Chair; Sonja Dean, Vice Chair; Frank Cody, Casey Fawley; Merilee Mishall; Linda Wienir

MEMBERS ABSENT

James Kneen, Bertha Stewart, Reed Youngs

CITY STAFF

Keith Hernandez, Deputy Director/City Planner; Robert Bauckham, Assistant City Planner; John Kneas; Assistant City Attorney; Amy Thomas, Recording Secretary

GUESTS

Mattie Jordan-Woods, Northside Association for Community Development

ROLL CALL

Planner Hernandez completed roll call and determined that the aforementioned members were present.

AGENDA (July 8, 2008)

Commissioner Kuseske referred to the second item under public hearings and advised that P.C. #2007.08 should be #2008.08.

Commissioner Wienir, supported by Commissioner Dean, moved approval of the July 8, 2008 Planning Commission agenda. With a voice vote, the motion carried unanimously.

MINUTES (June 5, 2008)

There were no changes to the minutes.

Commissioner Mishall, supported by Commissioner Dean, moved approval of the June 5, 2008 Planning Commission minutes as amended. With a voice vote, the motion carried unanimously.

COMMUNICATIONS AND ANNOUNCEMENTS

Planner Hernandez advised that updates regarding the Portage Creek Reuse Plan will be posted at www.portagecreekreuse.com.

PUBLIC HEARINGS

P.C. #2008.06: Consideration of a request from International BioResources, LLC to rezone 705, 713 and 719 N. Park Street from Zone CC (Commercial, Community District) and Zone RM-36 (Residential, Multi-Dwelling District) to Zone CO (Commercial, Office District).

Planner Bauckham gave the staff report, which is included in these minutes by reference hereto. The parcel at 713 N. Park Street is currently split-zoned. The rezoning would allow the applicant to expand the former blood donation center building at 705 N. Park Street. The building would extend onto 713 N. Park Street and a new parking lot would be created at 719 N. Park Street. The CO zone would create a buffer between the CC zoning to the south, east and west and the residential zoning to the north of the parcels.

If the rezoning is approved, the vacant commercial building at 713 N. Park would be demolished. The applicants are proposing to construct an approximately 5,000 square-foot addition onto the north side of the former blood donation center building. A different blood donation center would occupy the space.

The applicants originally requested the parcels be rezoned to CC (Commercial, Community District). However, concern was expressed by some of the residents of the neighborhood that this zoning designation would allow too intense uses in the future. Accordingly, it was decided that the CO zone would be more appropriate. The blood donation center would be a permitted use in the CO zone. If the rezoning is approved, the applicant will need to submit a formal site plan to city staff for review. City staff is recommending that the Planning Commission recommend to the City Commission approval of P.C. #2008.06.

Commissioner Mishall inquired if the house to the north is occupied, and Planner Bauckham responded in the affirmative.

Commissioner Dean inquired if the neighborhood association had expressed any opinions about the revised rezoning. Planner Bauckham advised that the neighborhood association has expressed no objection to the revised rezoning.

Kevin Ayers, International BioResources, LLC, Lafayette, Louisiana, was present to answer questions. He stated that International BioResources (IBR) is a rapidly growing company. There is an increased global demand for plasma products, which are used in the treatment of hemophilia and immune disorders and a variety of other things. The applicant would like to locate in an area with a low viral marker rate. It is anticipated

that the company will employ 10 to 12 people during the first few months, including doctors, nurses, medical technicians, lab technicians and phlebotomists. This is one of the most highly regulated industries in the world. International BioResources likes to make sure that all of the processes are working correctly and that all regulatory issues are in hand before they increase the number of donors they take and the number of employees at the facility. After approximately 8 months to one year, there would be approximately 25 full-time employees. It is estimated that the facility would handle between 100 and 150 donors per week. This would put between \$25,000 and \$30,000 back into the community.

Commissioner Cody inquired as to the meaning of “low viral markers.” Mr. Ayers advised that it refers to hepatitis and HIV, etc. Individuals with high viral markers are not able to donate.

Commissioner Dean inquired if the applicant is working with the neighborhood association regarding job recruitment. Mr. Ayers advised that they are not working with the neighborhood association at this time, but they will look into that possibility in the future.

Public Hearing

No one spoke at the public hearing.

Commissioner Cody, supported by Commissioner Dean moved to close the public hearing on P.C. #2008.06. With a voice vote, the motion carried unanimously.

Commissioner Mishall inquired as to why the former blood donation center moved from that location. Planner Bauckham stated that the Biomat moved to a larger facility in the downtown area. Commissioner Mishall inquired as to why the proposed donation center would be successful in that location versus the one that moved out. Mr. Ayers advised that he didn't have any information regarding Biomat. He stated that the new facility will be expanded and completely renovated. IBR is dedicated to providing a comfortable environment for its donors.

Commissioner Mishall inquired as to how the applicant disposes of their medical waste. Mr. Ayers advised that Stericycle picks up the medical waste one to three times per week, and then it will be incinerated. The medical waste will be kept in a freezer prior to the time it is picked up. This is a highly regulated industry and the applicant has had no issues with waste disposal.

Commissioner Cody, supported by Commissioner Wienir, moved to recommend that the City Commission approve P.C. #2008.06, consideration of a request from International BioResources, LLC to rezone 705, 713 and 719 N. Park Street from Zone CC (Commercial, Community District) and Zone RM-36 (Residential, Multi-

Dwelling District) to Zone CO (Commercial, Office District). With a roll call vote, the motion carried unanimously.

Commissioner Mishall inquired if adequate screening would be provided for the adjacent homes. Planner Bauckham advised that the zoning ordinance clearly states the screening requirements, and that will be addressed during the site plan review process.

Commissioner Kuseske added that the site plan review process will allow for adjustments after the official site plan is submitted.

Commissioner Dean inquired as to what uses the CO zoning designation would allow in the future. Planner Bauckham stated that offices, government buildings and medical uses would be allowed in the CO zone. Party stores or bars would not be allowed in that zoning district.

2. P.C. #2008.08: Consideration of a request from the Kalamazoo Gospel Mission to vacate E. Harkins Court between N. Burdick Street and N. Edwards Street.

Planner Bauckham gave the staff report, which is incorporated in these minutes by reference hereto. The subject property is a narrow, paved public street measuring approximately 390 feet long and 30 feet wide. The applicant owns all of the property that abuts the court, with the exception of a strip of land to the northwest owned by the Norfolk Southern Railroad. That strip of land measures 132 feet long by 9 feet wide and the Gospel Mission is negotiating with the railroad to acquire the land.

Last month, the Gospel Mission received site plan approval from the city to rebuild its facility at 524 N. Burdick St., which was extensively damaged by fire. The building will contain the used goods store for the Mission, plus storage for donated items. The store will abut the railroad property, and a new parking lot will be created on the south side of the property. The Mission would like to have the court vacated so it can be included in the parking lot and for future development of its property abutting the court. Normally, the applicant would be required to pay the fair market value of the vacated property. However, if the vacation request is approved, the City of Kalamazoo is considering exchanging the vacated property for other property owned by the applicant, which could be incorporated into a recreational trail that is being planned for downtown Kalamazoo. If the exchange is successfully completed, the applicant would not be required to pay the fair market value for the property. If the value of the street property exceeds the value of the property to be exchanged, the applicant will pay the difference to the city.

City staff is recommending that the Planning Commission recommend approval of the street vacation to the City Commission with two conditions: 1. An easement shall be provided to the city for the underground utilities in the road segment to be vacated. 2.

Continued adequate access shall be provided to emergency service agencies to the existing and future buildings on the court.

Commissioner Mishall inquired if the value of the land to be exchanged is equal. Planner Bauckham advised that the value of the land has not yet been determined. It is possible that the Mission could pay the difference in property values or they may be required to pay full market value if an agreement cannot be reached.

Dennis Jokela, Board of Directors, Kalamazoo Gospel Mission, advised that acquiring the subject parcel would be beneficial to the new facility. The warehouse burned down last summer. The railroad has owned a portion of the subject property since 1865, and the Gospel Mission is trying to negotiate with them now to transfer ownership of that land.

John Zull, member of the Gospel Mission Board, requested an explanation of the easement for emergency vehicles. He indicated that he thought the city had automatic access. Planner Bauckham advised that the Fire Marshall needs to have access so that emergency vehicles can reach buildings fronting on those streets. Mr. Zull inquired where the access would be, and Planner Bauckham pointed out the access point on the map.

The applicant mentioned that one of the adjacent buildings on Ransom would be used for temporary power and water. As soon as the new facility is completed the old building will be demolished. Accordingly, access to that building should be a moot point. Commissioner Cody inquired if the existing buildings could be accessed from Ransom Street. Planner Bauckham responded in the affirmative. He stated that the fire trucks also need to access those properties from the south. Access could be limited in the future depending on the size of the buildings that are constructed there. Also, there are utilities in the street and the city would not allow buildings to be constructed over them. The access also pertains to buildings that might be constructed on the property in the future.

Commissioner Kuseske commented that it is important to look at the present situation and make sure that everything is addressed as well as it can be to accommodate possible future changes.

Planner Bauckham advised the applicants that city staff was not directing them as to where they could put their building, just the need for access to those buildings.

Public Hearing

No one spoke at the public hearing.

Commissioner Dean, supported by Commissioner Mishall, moved to close the public hearing on P.C. #2008.08. With a voice vote, the motion carried unanimously.

Commissioner Mishall, supported by Commissioner Cody, moved to recommend that the City Commission approve P.C. #2008.08, consideration of a request from the Kalamazoo Gospel Mission to vacate E. Harkins Court between N. Burdick Street and N. Edwards Street, with the conditions outlines by city staff. With a roll call vote, the motion carried unanimously.

CITIZENS' COMMENTS REGARDING NON-AGENDA ITEMS

Dennis Jokela commented that he had served on the Portage Planning Commission, and that it was a pleasure to observe the City of Kalamazoo Planning Commission.

OLD BUSINESS

None

NEW BUSINESS

None

CITIZENS' COMMENTS

None

CITY PLANNER'S REPORT

Planner Hernandez advised that a public meeting will be held on June 24th regarding the Portage Creek Corridor Reuse Plan. There were over 50 people in attendance at the last public meeting. This is a high turn out for a planning meeting. Contamination at the former Allied Paper Mill Site was high on the list of concerns voiced by the public. The objective is to develop a vision plan for this project. The next meeting will be held in mid-August.

City staff is participating in the Downtown Comprehensive Plan process. There has been much input from various stakeholders. The public wants a more user friendly, greener downtown and better connectively with Western Michigan University and Kalamazoo College campuses.

Commissioner Kuseske advised that he participated in a focus group looking for a greener downtown with higher density. The trailway is a major focus now for people living in the area, and economic support of this project is important.

Planner Hernandez stated that people want more parking downtown. Discussions are ongoing and the process is going well so far.

Planner Hernandez advised that he is involved with the planning process for the Edison, Eastside and Vine Neighborhoods. He encouraged the Planning Commissioners to attend the neighborhood planning meetings. Commissioner Dean stated that she would provide information about these meetings to city staff.

Planner Hernandez stated that he, Planner Bauckham and Sharon Ferraro, the Historic Preservation Coordinator, met with the DDRC (Downtown Design Review Committee) to discuss updating the DDRC guidelines. Discussion is ongoing regarding dimensional issues for signs. The general consensus is that the sign sizes allowed by the guidelines are currently too small. Next steps are being formulated as part of the process of updating the guidelines.

The CIP (Capital Improvement Plan) is currently under review. Commissioner Kuseske stated that he plans to attend the next CIP meeting. The meetings will be held on the first and third Mondays of the month in the Community Room on the second floor of City Hall, 9:30 a.m. It was difficult to evaluate the CIP a couple of years ago, but now the process has been streamlined. He thanked staff at the City Manager's office for their efforts to make the process clearer. He also thanked the City Planners for their input.

Planner Bauckham referred to the issue at the Mangia Mangia restaurant in downtown Kalamazoo regarding the projecting sign. There are no specific standards in the zoning ordinance to address these issues. There is a possibility that standards which are applicable to the downtown and other areas will be added to the zoning ordinance, and the DDRC guidelines will refer to those standards.

Possible agenda items for the August Planning Commission meeting are as follows:

The Market Place Plat in the Edison Neighborhood is in a commercial zone. City staff is looking at having the parcels rezoned to a single-family/residential zone so construction of the houses can proceed.

Planner Bauckham referred to the parcel off Sage St. behind the Jaqua Real Estate building. Discussion has begun with regard to the possibility of having a senior citizen complex on that parcel, but it would need to be rezoned first. This is a possible contract zoning situation. If it is rezoned and the project doesn't proceed, the parcel would revert to the prior zoning designation.

MISCELLANEOUS COMMENTS BY PLANNING COMMISSIONERS

Commissioner Mishall commented that there were very few members of the public present for the July Planning Commission meeting. She inquired as to what could be done to generate more interest with the public in attending Planning Commission meetings. Planner Hernandez advised that meeting notices are published in the Kalamazoo Gazette and announcements are made at the City Commission meetings.

Commissioner Fawley commented that people are not generally interested in attending meetings if none of the agenda items affect them.

Commissioner Kuseske distributed copies of an article regarding urban redevelopment and the role universities play in that redevelopment. The article indicates that residents want to have a connection between the university and the community.

Commissioner Kuseske inquired as to the progress on the Portage Streetscape issue. Planner Hernandez stated that an employee at the State of Michigan is championing the issue, and the city might receive grant funds. However, there has been no recent progress to report. Also, MDOT and either MEDC or MSHDA was to have provided grant funds but that source is also at a standstill.

Commissioner Kuseske requested an update regarding the King Highway plan. Planner Hernandez advised that city approvals are in place. It's in the city's CIP and the City Commission approved the allotment of the city's funding portion to the project. The project is still awaiting approval from the other entities.

ADJOURNMENT

Commissioner Mishall, supported by Commissioner Wienir, moved to adjourn the July 8, 2008 Planning Commission meeting. With a voice vote, the motion carried unanimously.

The meeting adjourned at 7:55 p.m.

Respectfully submitted,

Keith Hernandez, AICP
Deputy Director\City Planner
Community Planning and Development



Planning Commission Staff Report

City of Kalamazoo

Project Address: 1015 Homecrest Avenue
Case #: P.C. 2008.10
Request: Special use permit to allow a group day care use in the existing house
Meeting Date: September 4, 2008
Applicant: Rebekah Leininger
Owner: Jennifer Nyhof
Public Hearing: Yes
Date Legal Ad Published: August 20, 2008

Project Summary:

The applicant is requesting a special use permit to allow a group day care use in her existing house for up to twelve (12) children.

Recommendation:

The Planning Division recommends that the Planning Commission approve the special use permit request, with one condition.

Community Planning & Development Department
445 W. Michigan Avenue
Kalamazoo, MI 49007
(269) 337-8044
(269) 337-8513 [fax]
www.kalamazoocity.org

Staff Contact Information:

Keith Hernandez, AICP, City Planner/Deputy Director
Robert Bauckham, AICP, Assistant City Planner

ANALYSIS

Property Size:

0.2 acres

Description of Current Use of Property:

The property contains a residential dwelling, a separate garage and an outdoor play area.

Current Zoning District:

Zone RS-5 (Residential, Single-Dwelling District)

Future Land Use Map Designation:

Low Density Residential

Surrounding Zoning and Land Uses:

West;	Zone RS-5 – Single-family home
North;	Zone RS-5 – Single-family home
East;	Zone RS-5 – Single-family home
South;	Zone RS-5 - Single-family home

Project Description:

The applicant for this request is Rebekah Leininger, who is currently renting the subject house. She has been operating a family day care business out of the house for the last five years, which is limited to serving six (6) or fewer children. She would like to expand the operation to a group day care use, which would serve up to twelve (12) children at a time. The owners of the house have provided their approval for this use. A special use permit is required to allow a group day care use in the RS-5 zone.

The primary reason for expanding the child care operation is that the applicant is experiencing an increased demand for the service, which they are not able to meet. There is currently a one-year waiting list for children to enter the program. Ms. Leininger has applied for the group day care license through the State of Michigan, and the special use permit needs to be granted before the license will be issued.

The hours of operation of the group day care, curriculum format, and age range of the children being served will not change from the current family day care operation. It will operate from 7:30 a.m. to 5:30 p.m., Monday through Friday. A total of two adults will operate the day care and supervise the children. The curriculum is based on a pre-school format and includes reading exercises,

music, arts and crafts, and playtime. The age range of the children will be from infant to seven years old. An approximately 1,900-square-foot outdoor play area exists in the backyard of the property that includes a swing set, play/climbing structure, and a sand box. The size of the play area meets the requirements for such a facility as specified in the zoning ordinance. A minimum of one-hundred square feet of area is required for each child. The house contains approximately 2,064 square feet of area and includes play areas for the children.

An aerial photograph of the subject property and surrounding area is attached for review.

Review Criteria:

The Planning Commission's role is to approve or disapprove special use permit requests based on the following criteria from Chapter 8 of the Zoning Ordinance. Staff's opinion of the level of conformance of the project with the criteria is provided in the bolded text.

1. That the proposed special use is appropriate for its proposed location and compatible with the character of surrounding land uses and the uses permitted in the zone district(s) of surrounding lands. **(The site is bordered on all sides by other single-family homes. A family day care use has operated in the house for the last five years. Group day care uses are common to residential neighborhoods. No activities will occur outside of the house after dark. It is anticipated that the children will be picked up at least by the early evening hours. The operation will be licensed and monitored by the State of Michigan, and it will be staffed at all times. Staff believes the proposed use of the subject property will be compatible with the existing adjacent uses.)**
2. That the proposed special use complies with Sec. 4.2: Use Standards of the zoning ordinance. **(Group day care uses are allowed by special use permit in this zone with approval from the Planning Commission.)**
3. That the location and design of the proposed special use minimizes adverse effects, including visual impact of the proposed use on adjacent lands by: 1) avoiding significant adverse impact on surrounding lands regarding service delivery, parking and loading, odors, noise, glare, and vibration, and does not create a nuisance; 2) retaining, to the greatest extent possible, the natural features of the landscape where they provide a barrier or buffer between the proposed special use and adjoining lands; 3) locating buildings, structures, and entryways to minimize impact; and, 4) providing appropriate screening, fencing, landscaping, and setbacks. **(The house and property are residential in nature and appearance. No day care activities will occur outside of the house after dark. The maximum number of children in the group day care will be limited to twelve and they will be supervised at all times. The use will be licensed and the children will participate in a**

variety of activities. It is unlikely to be a nuisance for the neighborhood. Staff believes the project complies with this criterion.)

4. That the proposed special use minimizes environmental impacts, and conforms to all relevant environmental protection standards of this ordinance, or any other state or federal laws. **(The group day care use is not anticipated to have any negative environmental impacts on the property or on adjacent properties.)**
5. That there is adequate road capacity available to serve the proposed special use. **(The existing road capacity will be sufficient to handle the traffic from the proposed use. The increase in traffic will not be significant.)**
6. That the proposed special use is designed to ensure safe ingress and egress onto the site and safe road conditions around the site. **(The existing driveway area and entrance onto the street from the site will not be changed for this project.)**
7. That there are adequate potable water, wastewater, solid waste, park, police, and fire/EMS facilities to serve the proposed special use. **(The site is adequately served by all of these facilities.)**
8. That the proposed special use is located and designed so that adequate access onto the site is provided for fire, police, and EMS services. **(Adequate access will continue to be provided on the site for these services.)**
9. That the proposed special use complies with the appropriate standards in Chapter 6: General Development Standards. **(Staff believes the proposed project complies with the standards in Chapter 6 pertaining to off-street parking, lighting, design, and operational performance.)**
10. That the proposed special use complies with all standards imposed on it by all other applicable provisions of the ordinance for use, layout, and general development characteristics. **(Staff believes the project meets the applicable provisions of the zoning ordinance.)**

Site plan review:

This project does not require formal site plan review and approval.

Findings:

Staff has made the following findings regarding this request:

1. Group day care uses are allowed as special uses in Zone RS-5 with approval from the Planning Commission.

2. Group day care uses are not uncommon to residential neighborhoods and do not typically constitute a nuisance to adjacent uses.
3. The proposed facility will be licensed and monitored by the State of Michigan, no outside activities will occur after dark, it will be staffed at all times, and a variety of activities will be provided to the children.

RECOMMENDED ACTION

The Planning Division recommends that the Planning Commission approve the special use permit request for the group day care use in the existing house for seven (7) to twelve (12) children with the following condition:

1. The group day care use shall not be operated until the required license is obtained from the State of Michigan, and a copy of the license shall be provided to the city Planning Division when it becomes available.

Attachments:

1. Existing Zoning Map
2. Existing and Future Land Use Maps
3. Aerial Map

**1015 HOMECREST AVENUE-- SPECIAL USE PERMIT FOR A
GROUP DAY CARE HOME**

SPECIAL USE PERMIT P.C.#2008.10



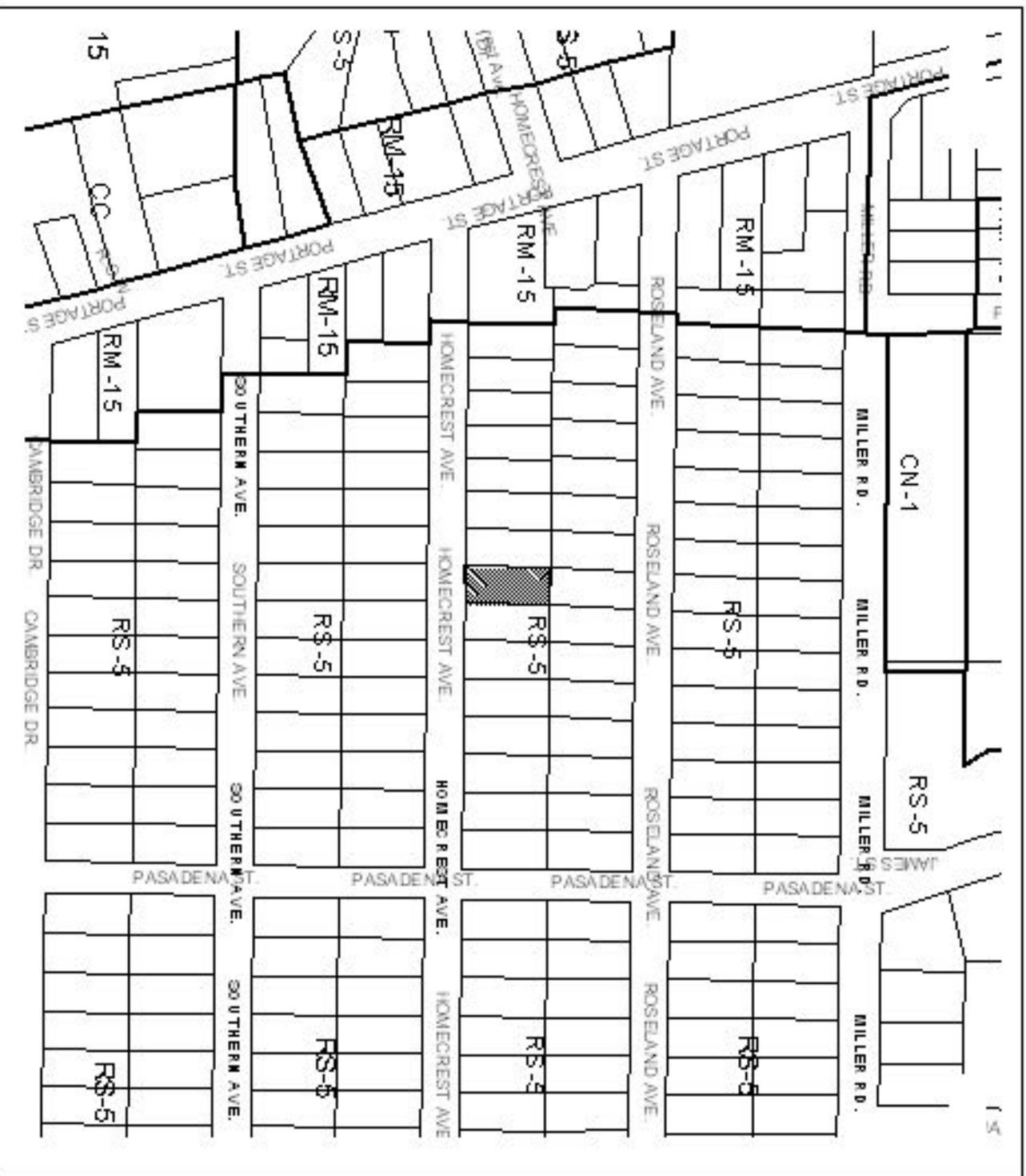
AREA REQUESTED FOR SPECIAL USE PERMIT



0 100 200 Feet

1015 HOMECREST AVENUE-- SPECIAL USE PERMIT FOR A GROUP DAY CARE HOME

P.C.# 2008.10



AREA REQUESTED FOR SUP

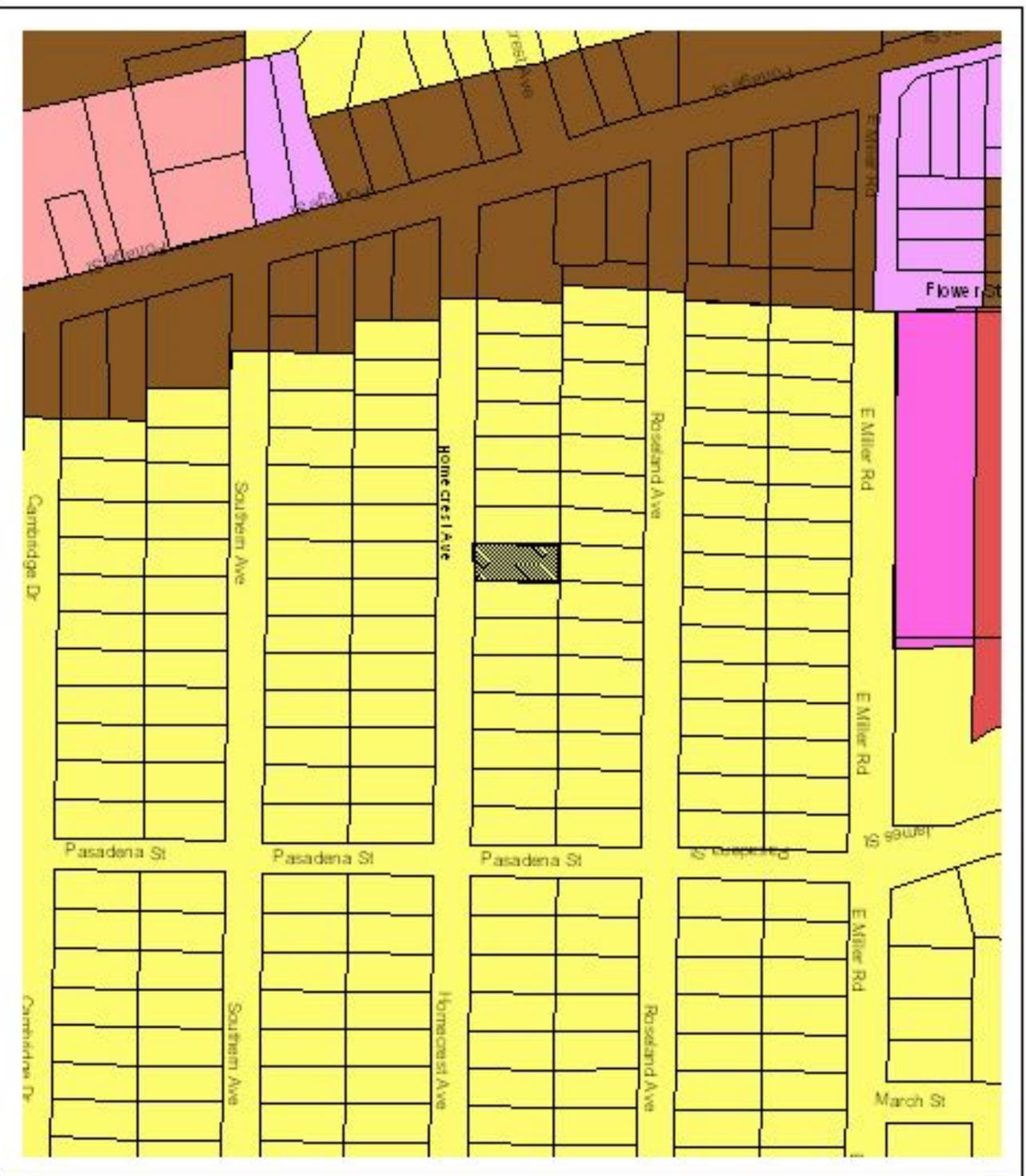
ZONING

- M2- MANUFACTURING, GENERAL
- M1- MANUFACTURING, LIMITED
- CC-BD- COMMERCIAL, CENTRAL BUSINESS
- CC-BT- COMMERCIAL, BUSINESS, TECHNOLOGY AND RESEARCH
- CC- COMMERCIAL, COMMUNITY
- CM-O- COMMERCIAL, NEIGHBORHOOD OFFICE
- CM-1- COMMERCIAL, LOCAL NEIGHBORHOOD
- CO- COMMERCIAL, OFFICE
- RM-35- RESIDENTIAL MULTIFAMILY
- RM-15- RESIDENTIAL MULTIFAMILY
- RM-15C- RESIDENTIAL MULTIFAMILY - CAMPUS AREA
- R0-19- RESIDENTIAL, DUPLEX
- R0-7- RESIDENTIAL, SINGLE-DWELLING
- RS-5- RESIDENTIAL, SINGLE-DWELLING



1015 HOMECREST AVENUE-- SPECIAL USE PERMIT FOR A GROUP DAY CARE HOME

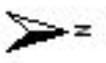
SPECIAL USE PERMIT P.C.#2008.10



AREA REQUESTED FOR SPECIAL USE PERMIT

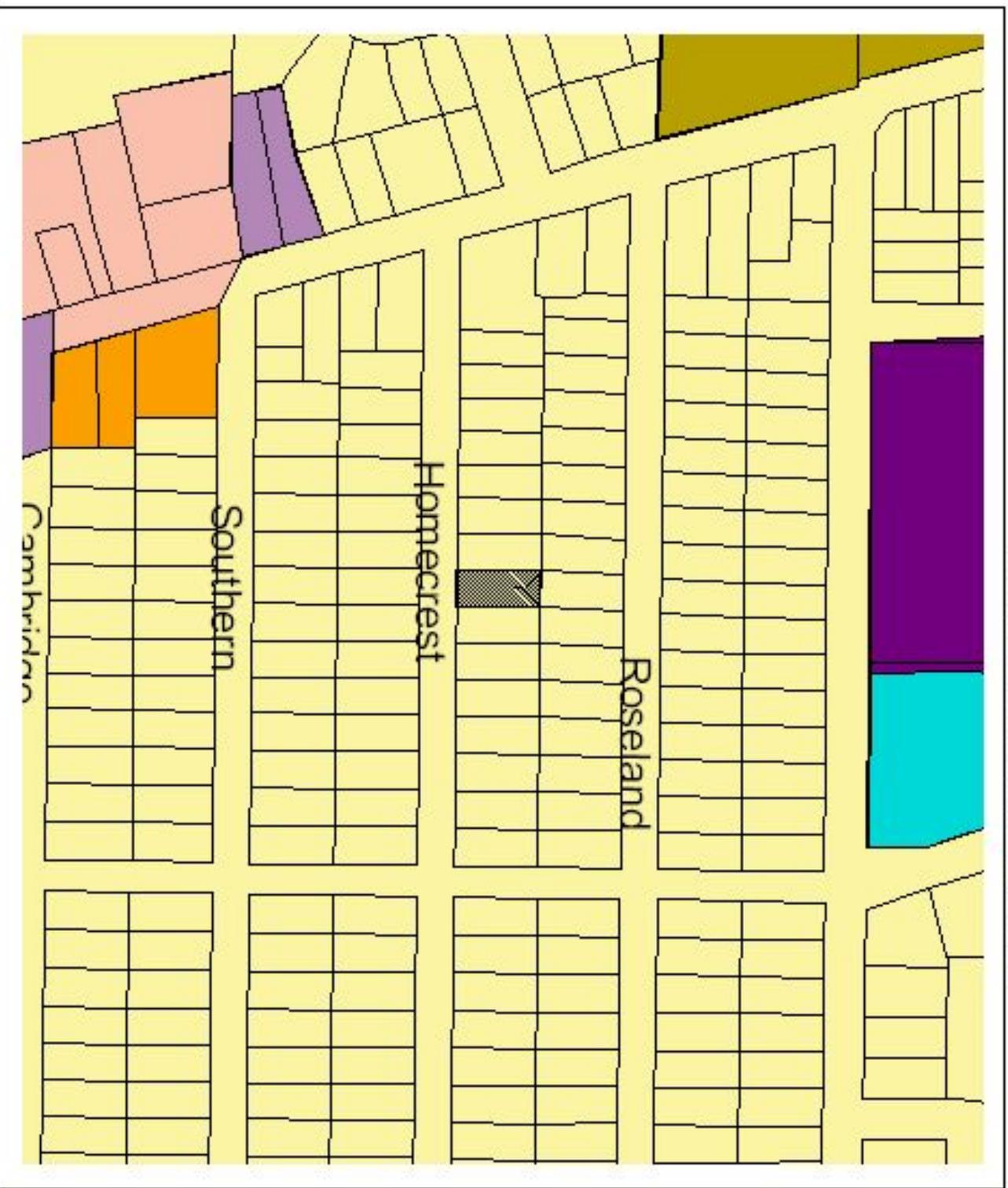
EXISTING ZONING

-  RS-5
-  RS-7
-  RM-36
-  RM-15C
-  RM-15
-  RD-19
-  M-2
-  M-1
-  CO
-  CN-1
-  CCBD
-  CC
-  CBTR
-  Existing PUD Areas



1015 HOMECREST AVENUE-- SPECIAL USE PERMIT FOR A GROUP DAY CARE HOME

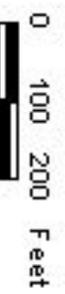
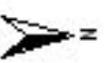
SPECIAL USE PERMIT P.C.#2008.10



AREA REQUESTED FOR SPECIAL USE PERMIT

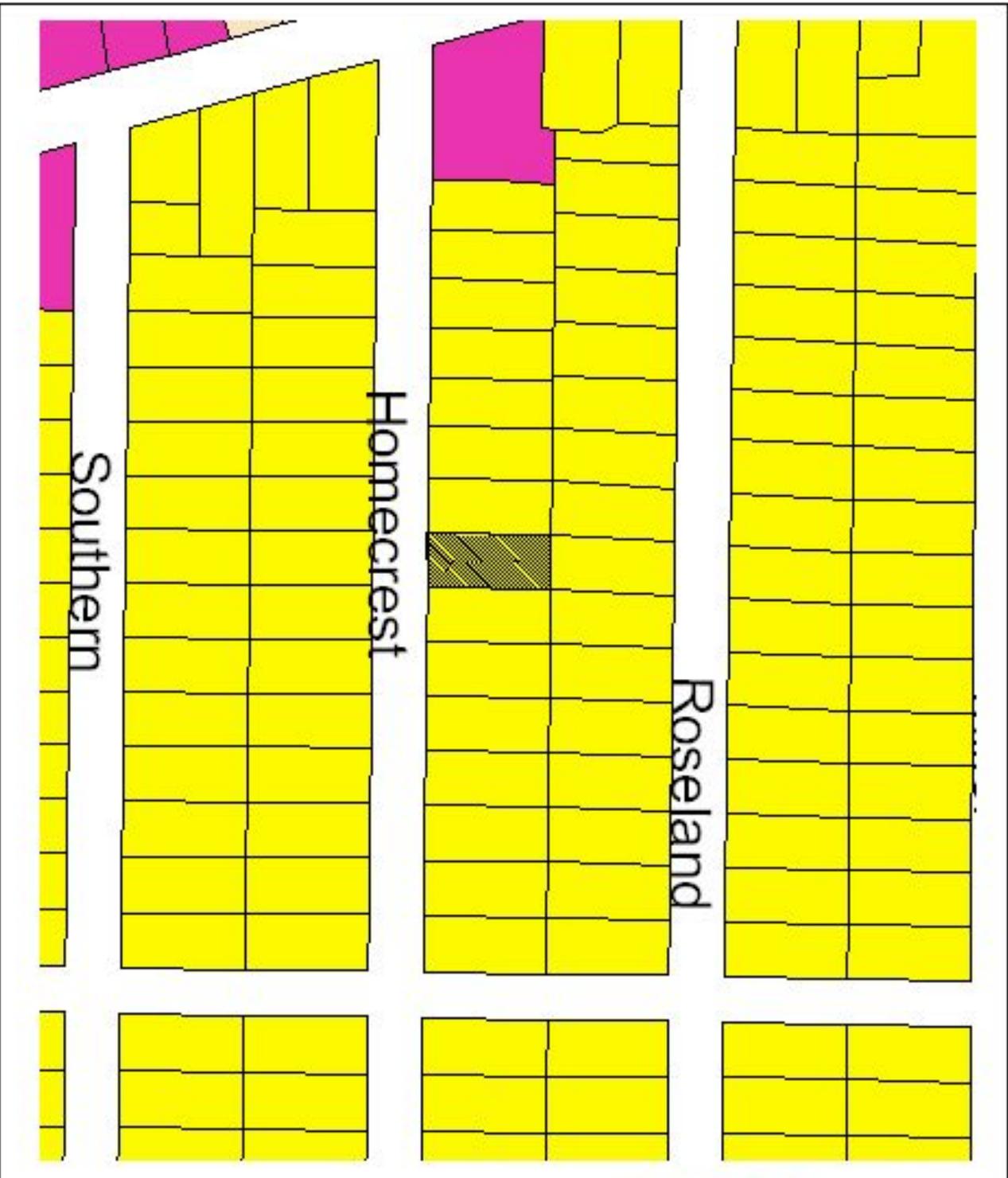
FUTURE LAND USE MAP

- Center lines only
- Future land use map
- Light Industrial
- Industrial
- Institutional
- General Commercial
- Neighborhood Commercial
- Commercial Recreation
- Office
- Office/Residential
- Low Density Residential
- Medium Density Residential
- High Density Residential
- Mobile Home Park
- Open Space
- Parks
- Mixed Use
- Special Consideration
- Low Density Residential with Open Space Preservation



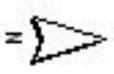
1015 HOMECREST AVENUE-- SPECIAL USE PERMIT FOR A GROUP DAY CARE HOME

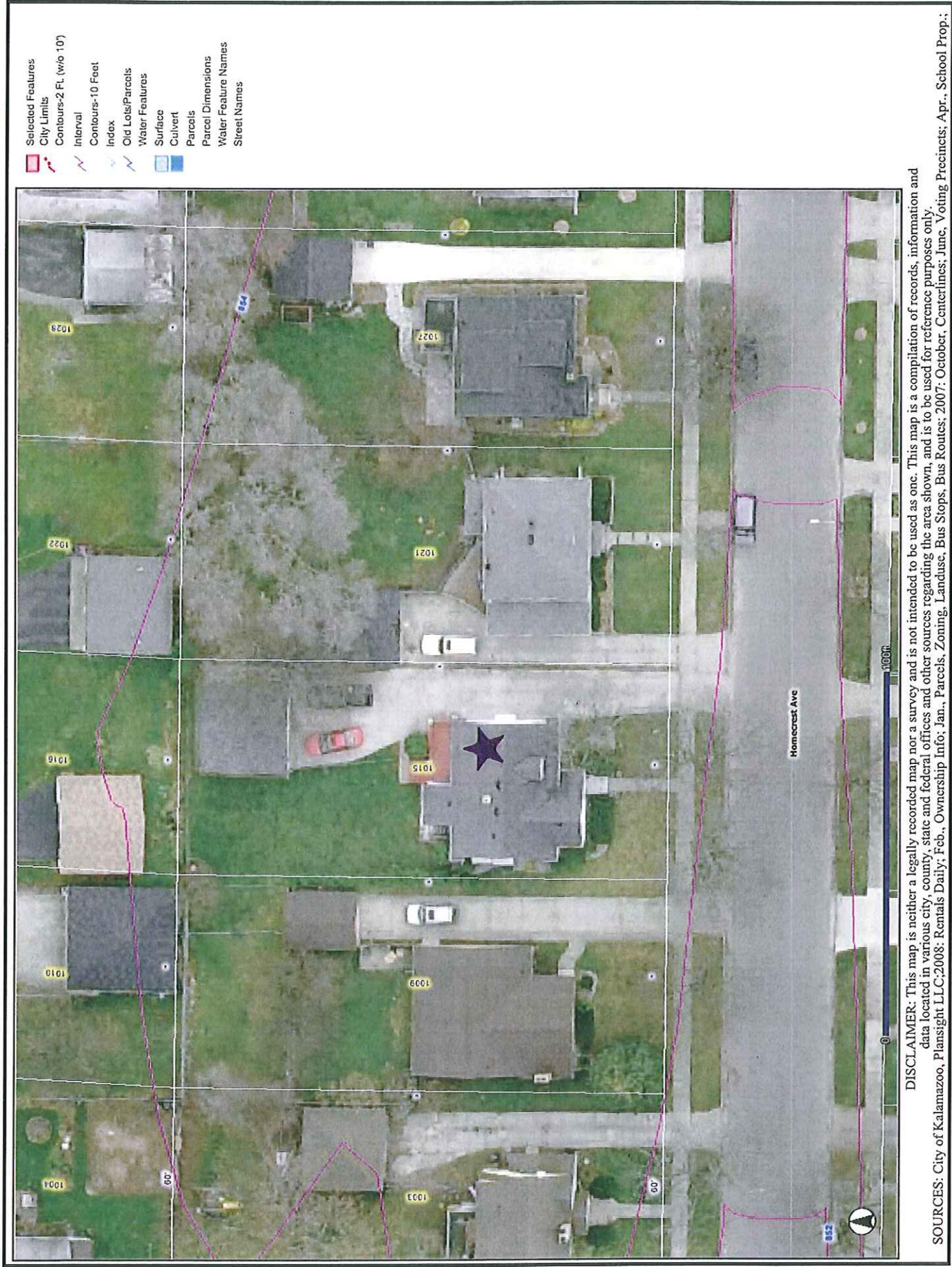
SPECIAL USE PERMIT P.C.#2008.10



- Land Use**
- COMMERCIAL
 - VACANT
 - PUBLIC/INSTITUTIONAL
 - INDUSTRIAL
 - SINGLE FAMILY RESIDENTIAL
 - MULTI-FAMILY RESIDENTIAL OR RENTAL

AREA REQUESTED FOR SPECIAL USE PERMIT





DISCLAIMER: This map is neither a legally recorded map nor a survey and is not intended to be used as one. This map is a compilation of records, information and data located in various city, county, state and federal offices and other sources regarding the area shown, and is to be used for reference purposes only.

SOURCES: City of Kalamazoo, Plansight LLC; 2008: Rentals Daily; Feb., Ownership Info; Jan., Parcels, Zoning, Landuse, Bus Stops, Bus Routes; 2007: October, Centerlines; June, Voting Precincts; Apr., School Prop.;



Planning Commission Staff Report

City of Kalamazoo

Project Address: 751 Pleasant Avenue

Case #: P.C. 2008.11

Request: Special use permit to allow transitional residence and drop-in center uses

Meeting Date: September 4, 2008

Applicant: Diekema Hamann Architecture on behalf of the Roman Catholic Diocese of Kalamazoo

Owner: The Roman Catholic Diocese of Kalamazoo

Public Hearing: Yes

Date Legal Ad Published: August 20, 2008

Project Summary:

The applicant is requesting a special use permit to allow the ARK transitional residence program and a drop-in center to be operated at 751 Pleasant Avenue, and to allow two additions to the existing building and two new, 3-unit residential buildings on the site.

Recommendation:

The Planning Division recommends that the Planning Commission approve the special use permit request with conditions.

Community Planning & Development Department

445 W. Michigan Avenue
Kalamazoo, MI 49007
(269) 337-8044
(269) 337-8513 [fax]
www.kalamazoo.org

Staff Contact Information:

Keith Hernandez, AICP, City Planner/Deputy Director
Robert Bauckham, AICP, Assistant City Planner

ANALYSIS

Property Size:

5.56 acres

Description of Current Use of Property:

The property contains a building that was originally built as a school. Various office and medical rehabilitation uses have occupied the building more recently.

Current Zoning District:

Zone RM-15 (Residential, Multi-Dwelling District)

Future Land Use Map Designation:

Low Density Residential

Surrounding Zoning and Land Uses:

West;	Zone RS-5 – single-family houses
North;	Zone RM-15 – single-family houses and an apartment complex
East;	Zone RM-15 – single-family houses
South;	Zone PUD- apartment complex

Project Description:

A similar special use permit request was approved by the Planning Commission for the same property on October 5, 2006. The planned additions to the building and changes to the property under that project were not completed, and the proposed uses of the building did not occur. The special use permit was also approved for the construction of one new duplex on the site. It was to be located south of the existing building, but it was not constructed. The current request includes the same building additions and uses, and two new, 3-unit residential buildings proposed for the east area of the site instead of the duplex. Due to the scope of the changes to the original approved plan, staff determined that another special use permit would need to be granted for the project.

The applicant for the request is Diekema Hamann Architecture on behalf of the Roman Catholic Diocese of Kalamazoo. The Diocese is also the owner of the property. The existing building on the site was constructed in 1967 and contains two levels. It was originally operated as a public school. The building has had several different uses during the last seventeen years. In 1991, the Center for Developmentally Disabled Adults was given special use permit approval by the Planning Commission to use the building for a rehabilitation center for disabled adults. The center operated in the building for approximately four years.

The Bio-Behavioral Rehabilitation agency received special use permit approval in 1995 to build an addition onto the facility and to use the building for offices and a rehabilitation center. The same agency also received another special use permit approval in 2002 to add an overnight respite care service in the lower level of the building. The Bio-Behavioral rehabilitation center operated in the building for approximately ten years.

In 2005, the Catholic Schools of Kalamazoo received a special use permit approval from the Planning Commission to operate a child day-care facility in the upper level of the building. Then in 2006, approval was obtained for the transitional residence use and drop-in center. Since that time, the upper level of the building has been used for offices for the Roman Catholic Diocese of Kalamazoo. The building is currently vacant.

The Diocese is now requesting another special use permit approval to allow the entire building to be used for the ARK transitional residence program and a drop-in center, including two building additions and two, three-unit, separate residential buildings. The ARK program is designed to assist children who have run away from home or who have certain challenges at home requiring that they live elsewhere for a period of time. The program is currently operated out of a building located at the southeast portion of the Hackett Catholic Central High School property; about two blocks southwest of the subject property. The school has expressed interest in using the building for its own programs, so the Diocese would like to move the program into the subject building.

The ARK program will have beds to accommodate up to 13 children at any one time, and the license will be transferred to the proposed location. The average number of children that will participate in the program per day is estimated to be 5 to 9. There will be two adult supervisors/caregivers in the building around the clock throughout each week, and eighteen other part time staff members to assist the children and to provide program support during the day. The participants will live in the facility, normally attend their regular school, and receive various counseling and other services from the facility staff. The average stay for each child will be ten days. The age range of the children will be 10 to 21 years. The older children will stay in the two new residential buildings that will be built on the site. Both boys and girls will attend the program and will reside in separate units.

Two, part time therapists will be available to the children to assist with their needs. A variety of community organizations and support groups will come into the facility to provide assistance to the children, including skill development. Youth For Christ is an example of such a group that will provide fun and educational activities for the children. The same types of programs and services will be offered to the children in the building on Pleasant Avenue as are provided in the current facility, and a similar number of children will be served. The goal

of the program is to either have the children return to their homes after their stay, or to provide alternative living arrangements for them if needed.

The planned drop-in program in the building will be for children in the community to use during the day who are not part of the residential component of the ARK program. Such children will typically be receiving mental health or other similar services in the community, and they will be able to participate in various activities after school in the upper level of the main building on the subject property. Approximately 100 children will be served annually in the drop-in program.

A copy of the site plan for the facility is attached to this report. A 3,700-square-foot addition is planned for the southeast portion of the main building and a 500-square-foot addition is planned for the southwest corner. The larger addition will be used for programs and residential facilities for the children, and the smaller addition will be for storage. The two, three-unit residential buildings will contain approximately 1,500 square feet each and will be used to house the older children in the program.

The design and architecture of the building additions and the 3-unit buildings will complement that of the existing building. The existing, eastern-most parking lot on the site will be reduced in size, but adequate parking will remain on site. The walkways and patios on the north and south sides of the main building will be redeveloped and enhanced. Seven pine trees will be planted on the east side of the property for screening purposes for the homes to the east, and a 6-foot tall privacy fence will also be installed on the east property line. Additional landscaping will be planted around the main building and on the north side of the site. There will be a total of 15 residential units on the site in the main building and separate 3-unit buildings.

The applicant has spoken with the adjacent neighbors about the project. Two separate meetings were held with the neighbors during the last year to discuss the proposed project. A total of 175 area households were invited to the meeting. No concerns were reportedly received from the neighbors about the building expansion, the new buildings, or the proposed programs. One letter has since been received from a neighbor with concerns about the planned use. A copy of the letter has been included.

Review Criteria:

The Planning Commission's role is to approve or disapprove special use permit requests based on the following criteria from Chapter 8 of the Zoning Ordinance. Staff's opinion of the level of conformance of the project with the criteria is provided in the bolded text.

1. That the proposed special use is appropriate for its proposed location and compatible with the character of surrounding land uses and the uses

-
- permitted in the zone district(s) of surrounding lands. **(The site has been used for a variety of activities in the past including a public school, medical rehabilitation center, respite care, day care, and offices. These uses have operated without notable complaint from the surrounding neighborhood. The proposed uses are similar to the past uses. The existing ARK program has operated in a facility located about two blocks southwest of the proposed site without notable complaint. Staff believes the proposed uses are compatible with this criterion.)**
2. That the proposed special use complies with Sec. 4.2: Use Standards of the zoning ordinance. **(Transitional residences and drop-in centers are allowed by special use permit in this zone with approval from the Planning Commission.)**
 3. That the location and design of the proposed special use minimizes adverse effects, including visual impact of the proposed use on adjacent lands by: 1) avoiding significant adverse impact on surrounding lands regarding service delivery, parking and loading, odors, noise, glare, and vibration, and does not create a nuisance; 2) retaining, to the greatest extent possible, the natural features of the landscape where they provide a barrier or buffer between the proposed special use and adjoining lands; 3) locating buildings, structures, and entryways to minimize impact; and, 4) providing appropriate screening, fencing, landscaping, and setbacks. **(Seven pine trees will be planted at the east property area for screening purposes for the houses to the east, along with a 6-foot-tall privacy fence. The eastern-most parking lot will be reduced in size, which will reduce traffic noise and nuisances at this portion of the site. Substantial additional landscaping will be planted in other areas of the site. The building additions and new buildings will complement the existing building architecture. Access to the site will not be changed. The Planning Division staff would like to see the locations of the new buildings changed with one to the east of the main building and one to the west of it. This will help to avoid massing of buildings in any one area of the site, which is bordered by single-family homes.)**
 4. That the proposed special use minimizes environmental impacts, and conforms to all relevant environmental protection standards of this ordinance, or any other state or federal laws. **(The existing grades of the site will not be altered for this project. Stormwater runoff for the site will not be significantly increased. The proposed uses are not anticipated to have a negative environmental impact on the area.)**
 5. That there is adequate road capacity available to serve the proposed special use. **(The increase in the normal traffic volume in the area from the proposed uses is anticipated to be negligible.)**

6. That the proposed special use is designed to ensure safe ingress and egress onto the site and safe road conditions around the site. **(The driveway areas and entrances onto the streets from the site will not be changed for this project.)**
7. That there are adequate potable water, wastewater, solid waste, park, police, and fire/EMS facilities to serve the proposed special use. **(The site is adequately served by all of these facilities.)**
8. That the proposed special use is located and designed so that adequate access onto the site is provided for fire, police, and EMS services. **(Adequate access will continue to be provided on the site for these services.)**
9. That the proposed special use complies with the appropriate standards in Chapter 6: General Development Standards. **(Staff believes the proposed project will comply with the standards in Chapter 6 pertaining to off-street parking, screening, lighting, design, and operational performance.)**
10. That the proposed special use complies with all standards imposed on it by all other applicable provisions of the ordinance for use, layout, and general development characteristics. **(This criterion has been satisfied.)**

Site plan review:

The city Site Plan Review Committee met to review the site plan for the proposed project on August 28, 2008. A list of required changes to the plan was issued during the meeting. The Committee recommends approval with the following changes to the site plan:

1. The location of the two new residential buildings for the site should be changed so that one is east of the main building and one is located west of it. This will avoid massing of buildings in any one area of the site, which is bordered on two sides by single-family homes.
2. A new fire hydrant is required to service the planned residential buildings.
3. All outside lighting for the planned residential buildings shall conform with the city's zoning ordinance.

Findings:

Staff has made the following findings regarding this request:

1. Transitional residences and drop-in centers are allowed as special uses in Zone RM-15.
2. The building was originally constructed and used as a school, but it has been approved and operated for a variety of other uses including medical

rehabilitation facilities, respite services, a day-care program, and offices. The proposed uses are similar to these uses.

3. The existing ARK program is housed in a building located about two blocks southwest of the proposed site, and it has functioned in this area of the community with no notable complaints from adjacent property owners/occupants.
4. It is not anticipated that the adjacent property uses will be negatively impacted by this project.
5. The Planning Division staff and Site Plan Review Committee are recommending that the new residential buildings proposed for the site be re-located with one to the east of the main building and one to the west of it.

RECOMMENDED ACTION

The Planning Division recommends that the Planning Commission approve the special use permit request for use of the existing building at 751 Pleasant Avenue for the ARK transitional residence program and a drop-in center, as well as the construction of two additions onto the existing building and two, 3-unit residential buildings, with the changes required by the Site Plan Review Committee.

Attachments:

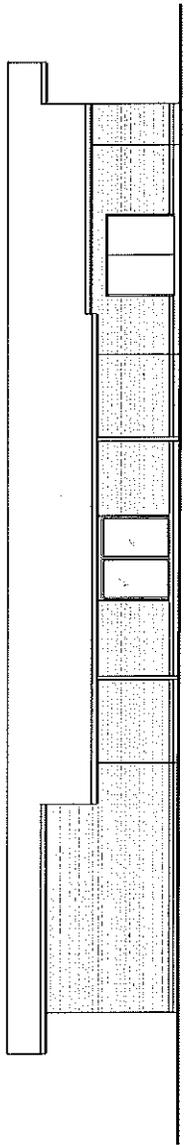
- | | |
|--------------------------------------|---------------|
| 1. Existing Zoning Map | 3. Aerial Map |
| 2. Existing and Future Land Use Maps | 4. Site plan |



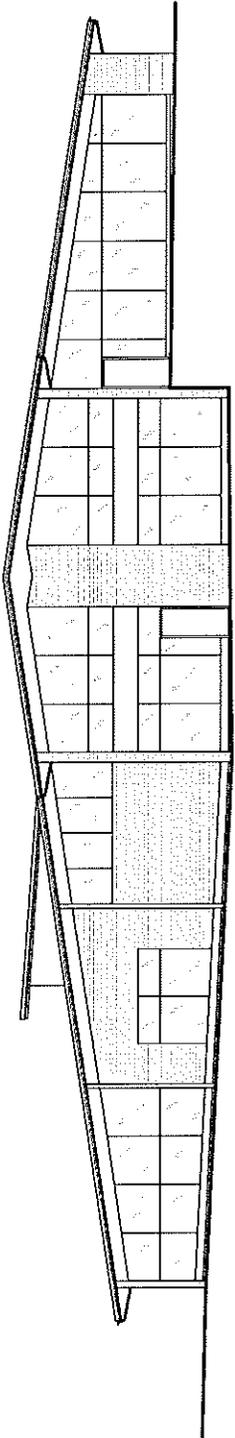
DIENER + HAMANN
Architecture
617 South Park Street
Columbus, Indiana 47302
15 Walker Street
Crestview, Florida 33417
Tel: 317.271.1188
Fax: 317.271.1188

Address and Renovation for:
THE ARK
Roman Catholic Diocese of Indianapolis
751 Pleasant Avenue
Indianapolis, IN

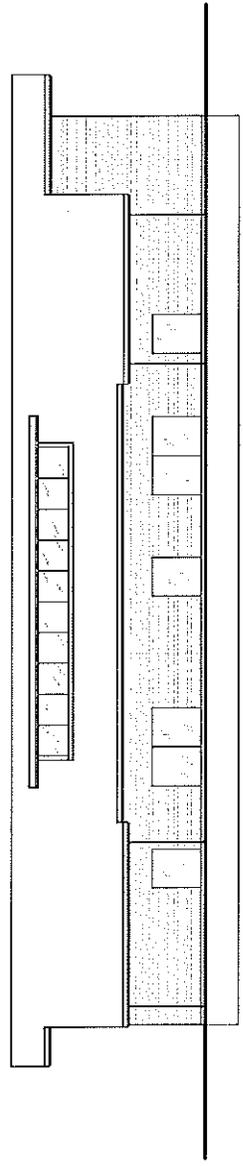
DATE: _____
SHEET: _____
PROJECT NUMBER: **AA0012**
PROJECT TITLE: **PROPOSED EXTERIOR ELEVATIONS**
SHEET NUMBER: **A3.1**
DATE: _____
SCALE: _____
DRAWN BY: _____
CHECKED BY: _____
APPROVED BY: _____
© 2012 DIENER + HAMANN ARCHITECTURE



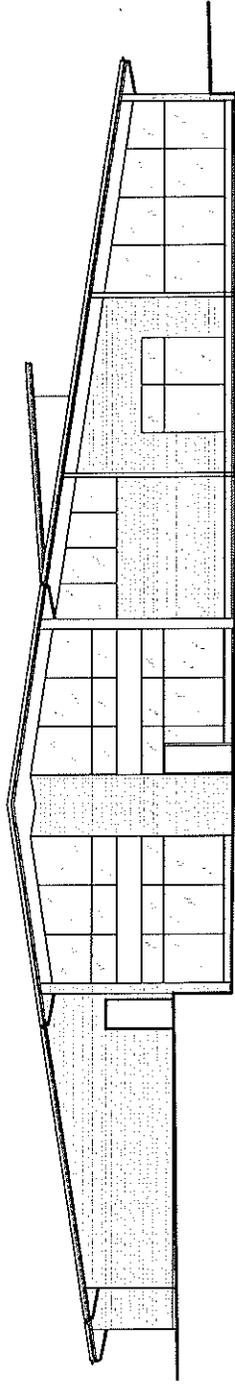
NORTH ELEVATION
SCALE: 3/8" = 1'-0"



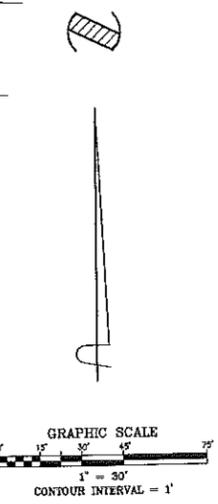
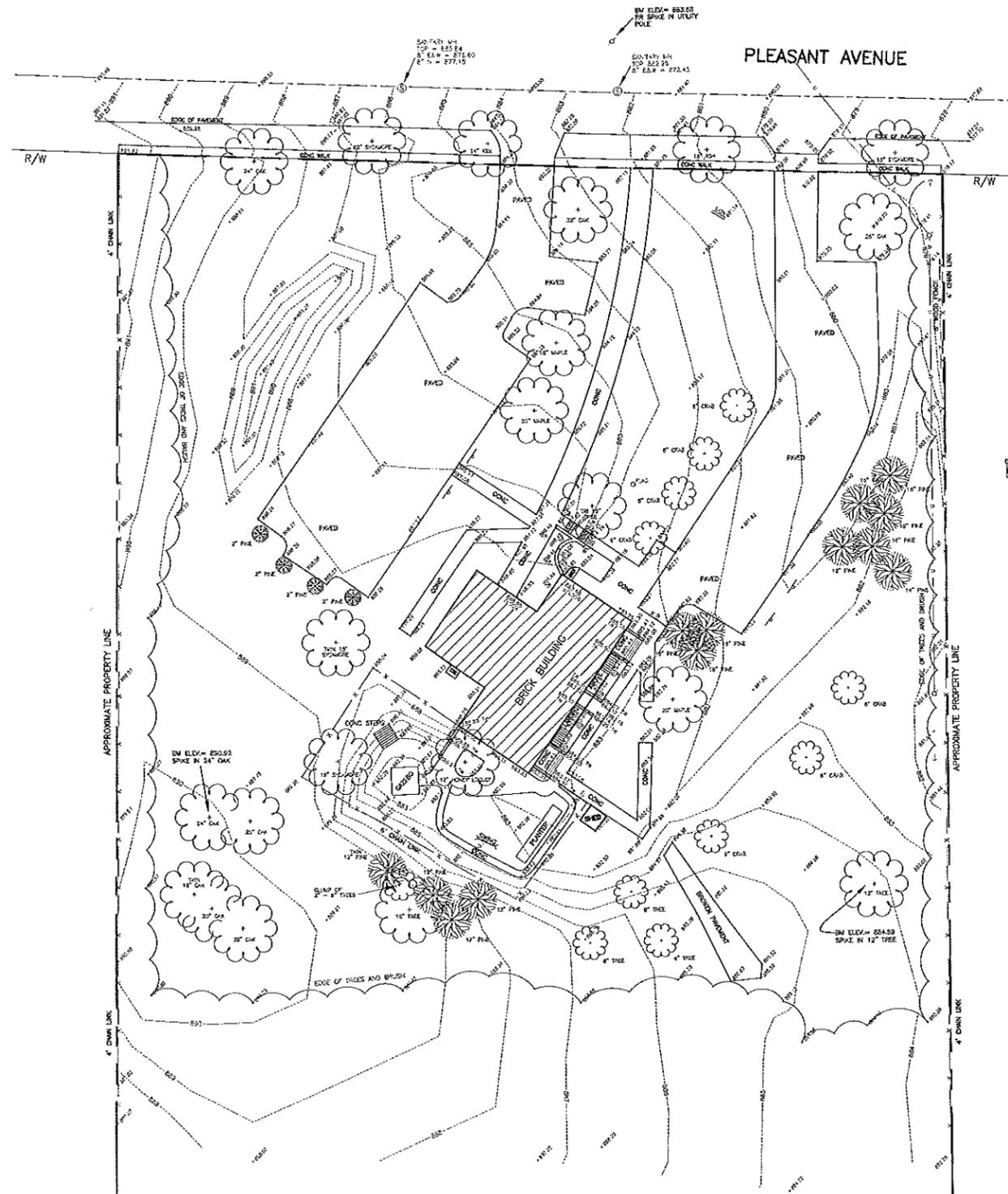
EAST ELEVATION
SCALE: 3/8" = 1'-0"



SOUTH ELEVATION
SCALE: 3/8" = 1'-0"



WEST ELEVATION
SCALE: 3/8" = 1'-0"



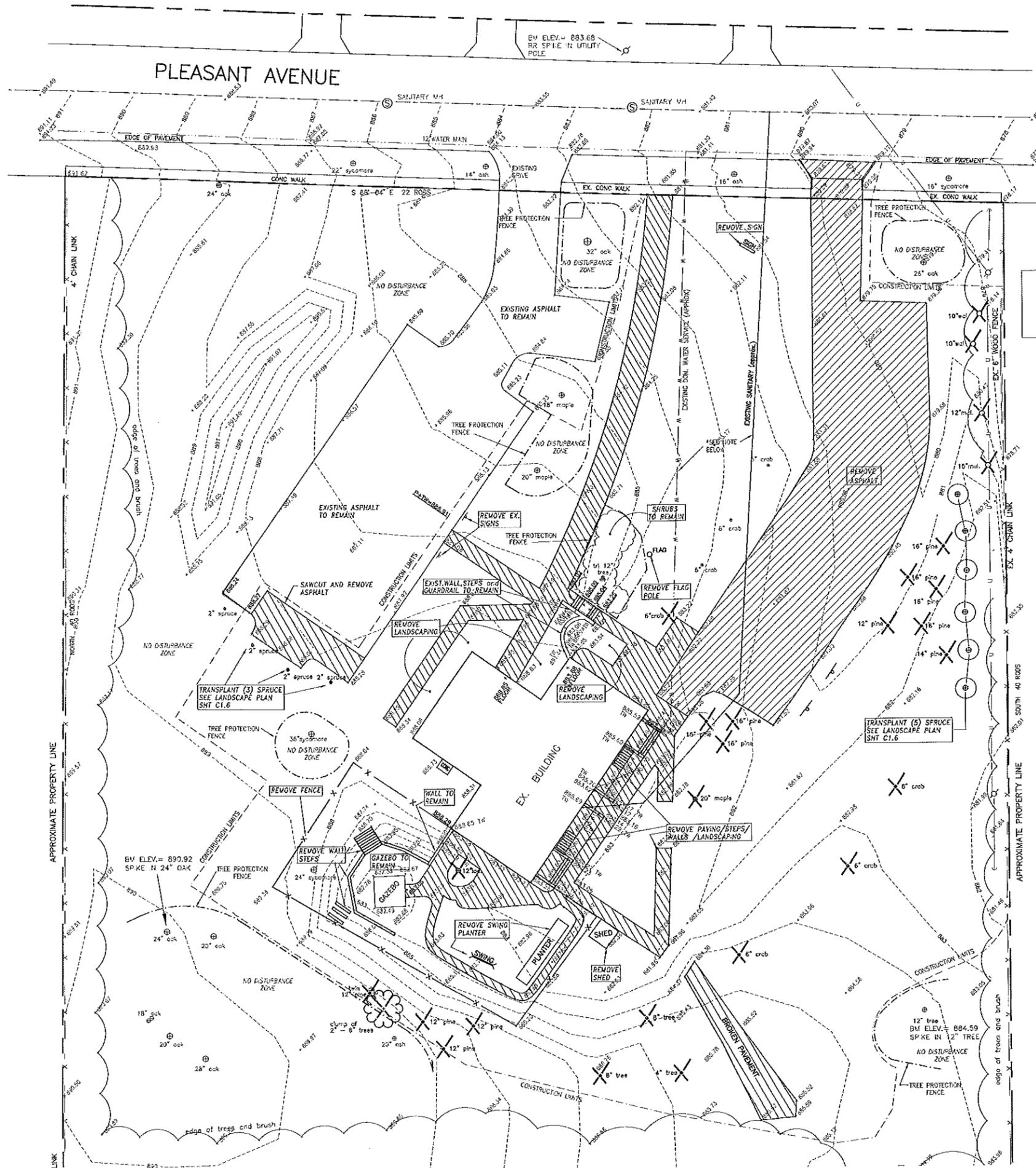
- LEGEND**
- ⊙ SANITARY MANHOLE
 - ⊕ UTILITY POLE
 - ⊖ GUY ANCHOR
 - SIGN
 - ☼ TREE
 - ⊗ EVERGREEN
 - SPOT ELEVATION
 - TOP OF WALL
 - EXISTING CONTOUR
 - - - FENCE
 - OVERHEAD UTILITY LINE

NOTE:
 The elevations shown hereon are based on USGS datum as promulgated within the City of Kalamazoo.
 The utilities shown hereon are limited to observable utility appurtenances. Additional utilities may exist onsite which are not shown.

DATE	REVISION	TOPOGRAPHIC WORKSHEET	
		ROMAN CATHOLIC DIOCESE OF KALAMAZOO PROPERTY AT #751 PLEASANT AVENUE, KALAMAZOO, MICHIGAN	
		Ingersoll, Watson & McMachen, Inc. CONSULTING CIVIL ENGINEERS AND LAND SURVEYORS <small>1153 East Milham Road • Portage Michigan 49002 • Area 269-344-6165 • Fax 269-344-0555</small>	
		DATE	7/25/2006
		JOB No.	34495
		ISSUE No.	CI.0



PLEASANT AVENUE



4' HIGH PROTECTIVE FENCING - CHAIN LINK OR PLASTIC FABRIC MESH ON "T" POSTS. CONTRACTOR IS TO INSTALL PRIOR TO ANY CONSTRUCTION AND MAINTAIN IN GOOD REPAIR UNTIL EXCAVATION AND PLACEMENT OF CONCRETE WALKS AND ASPHALT PAVING

* NOTE - LOCATION OF EXISTING WATER AND SANITARY LEADS WERE DERIVED FROM CITY RECORDS AND ARE NOT VERIFIED IN THE FIELD. VERIFY LOCATION BEFORE STARTING CONSTRUCTION AND NOTIFY THE ARCHITECT OF ANY DISCREPANCY

- LEGEND**
- ⊕ SANITARY MANHOLE
 - ⊕ UTILITY POLE
 - ⊕ GUY ANCHOR
 - ⊕ SIGN
 - ⊕ TREE
 - ⊕ EVERGREEN
 - +885.25 SPOT ELEVATION
 - 1" TOP OF WALL
 - EXISTING CONTOUR
 - - - FENCE
 - - - OVERHEAD UTILITY LINE
 - ⊕ 20' maple TREE TO REMAIN
 - ⊕ 6" crab TREE TO BE REMOVED
 - ▨ PAVED SURFACES TO BE REMOVED



ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS TAKEN FROM FIELD SURVEY, CITY RECORDS AND VISUAL OBSERVATIONS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS. OTHER UTILITIES MAY ALSO EXIST THAN WHAT IS SHOWN ON PLAN.

NOT FOR CONSTRUCTION

DEMOLITION PLAN

LARRY L. HARRIS
3503 GREENLEAF BOULEVARD
KALAMAZOO, MICHIGAN 49008
PHONE: (269) 375-8859
FAX: (269) 375-0410
REGISTERED LANDSCAPE ARCHITECTS/SITE PLANNERS



THE ARK
Roman Catholic Diocese of Kalamazoo
751 PLEASANT AVENUE KALAMAZOO MICHIGAN

DATE: 8-11-05
Site Plan Review PROJECT: 03-959-2

SCALE: 1" = 20'

REVISED

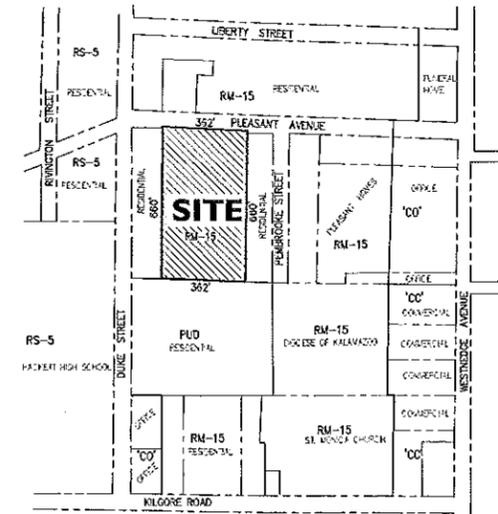
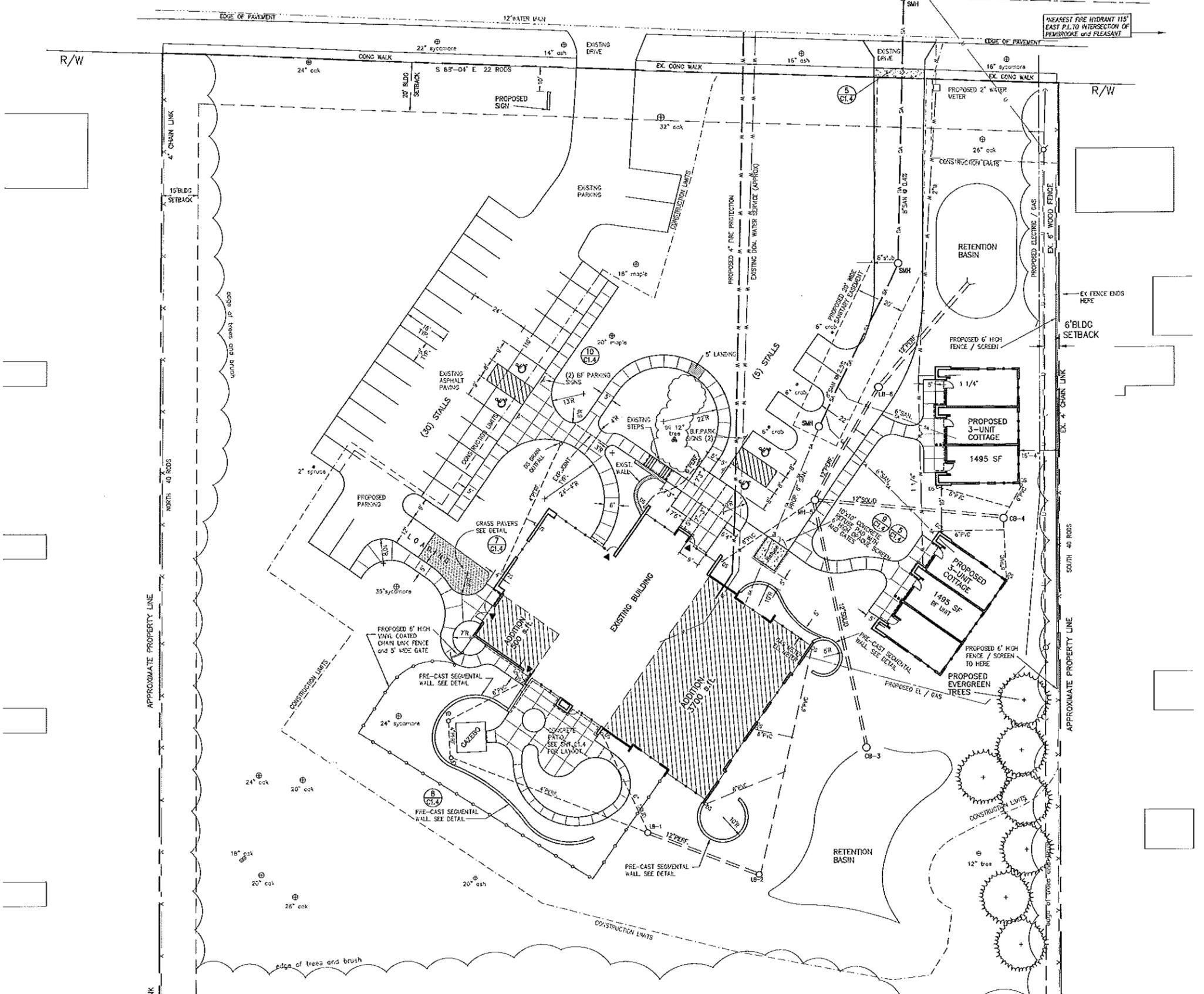
SHEET CI.1



PLEASANT AVENUE

TCP = 865.84
 8" E&W = 876.60
 8" N = 877.15
 SANITARY MH

TOP 882.25
 8" E&W = 872.45
 SANITARY MH



LOCATION / LAND USE MAP
 NOT TO SCALE

SITE STATISTICS

	SQUARE FEET	ACRES	% OF TOTAL
TOTAL AREA	239,680	5.50	100.00
TOTAL BUILDING AREA	11,713	0.27	5.00
EXISTING	4,523		
PROPOSED ADDITION	4,200		
PROPOSED COTTAGES	2,990		
TOTAL PAVEMENT AREA	20,629	0.47	8.61
OPEN SPACE	209,328	4.76	86.39

PARKING

REQUIRED PARKING
 MAIN BUILDING RESIDENCES
 TRANSITIONAL = 1 (9 SLEEPING ROOMS WITH COMMON KITCHEN/BATH)

COTTAGES
 TRANSITIONAL RESIDENCES = 6
 TOTAL RESIDENCES = 15 / 3 = 5 STALLS
 OFFICE : 4403 gross sq.ft. / 330 = 14 STALLS
 STAFF : 18 EMPLOYEES / 3 = 6 STALLS
 TOTAL REQUIRED PARKING = 25 STALLS
 PROPOSED PARKING = 35 STALLS

- MAIN BUILDING HEIGHT : 22' TO ROOF PEAK
 CONSTRUCTION TYPE : V-B WITH SPRINKLING SYSTEM
- COTTAGE BUILDING HEIGHT : 17' TO ROOF PEAK
 CONSTRUCTION TYPE : V-B (NO SPRINKLING SYSTEM)
- OCCUPANCY CLASSIFICATION : TRANSITIONAL RESIDENCE
- ZONING CLASSIFICATION : RM-15
- FRONT BUILDING SETBACK - 20'
- SIDE BUILDING SETBACK (WEST) - 20' (EAST) - 6'
- REAR BUILDING SETBACK - 20'

-NO ADDITIONAL SITE LIGHTING PROPOSED
 -AVERAGE DAILY TRIP COUNT : 60 TRIPS PER DAY

OWNER
 JAMES A. MURRAY - BISHOP OF ROMAN CATHOLIC DIOCESE
 215 N. WESTBROOK
 KALAMAZOO, MICHIGAN 49007

PROPERTY DESCRIPTION
 A PARCEL OF LAND LOCATED IN SECTION 35-2-11, CITY OF KALAMAZOO, COUNTY OF KALAMAZOO MICHIGAN, COMMENCING AT THE SOUTHWEST CORNER OF LOT 17 OF RECORDED PLAT 'PLEASANT HOME PARK', THENCE NORTH 83°-04' WEST 18' TO THE POINT OF BEGINNING; THENCE NORTH 83°-04' WEST 22' TO THE POINT OF BEGINNING; THENCE NORTH 83°-04' WEST 22' TO THE POINT OF BEGINNING; THENCE SOUTH 83°-04' EAST 22' TO THE POINT OF BEGINNING; THENCE SOUTH 40' TO THE POINT OF BEGINNING.

LEGEND

- ⊙ SANITARY MANHOLE
- ⊕ UTILITY POLE
- ⊙ GUY ANCHOR
- SIGN
- ⊙ TREE
- ⊙ EVERGREEN
- +883.25 SPOT ELEVATION
- 1" TOP OF WALL
- 882 --- EXISTING CONTOUR
- FENCE
- OVERHEAD UTILITY LINE

NOT FOR CONSTRUCTION

LARRY HARRIS
 3503 GREENLEAF BOULEVARD
 KALAMAZOO, MICHIGAN 49008
 PHONE: (269) 375-8850
 FAX: (269) 375-0410



REGISTERED LANDSCAPE ARCHITECTS/SITE PLANNERS

THE ARK
 Roman Catholic Diocese of Kalamazoo
 751 PLEASANT AVENUE KALAMAZOO MICHIGAN

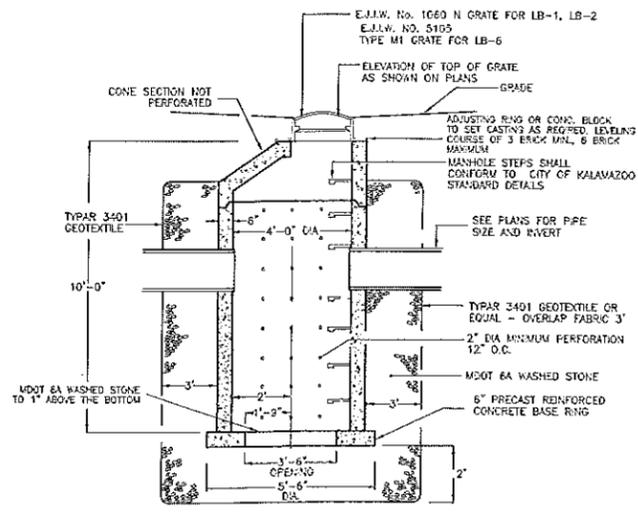
SCALE
 1" = 20'

DATE
 8-11-16
 Site Plan Review
 PROJECT
 03-959-2

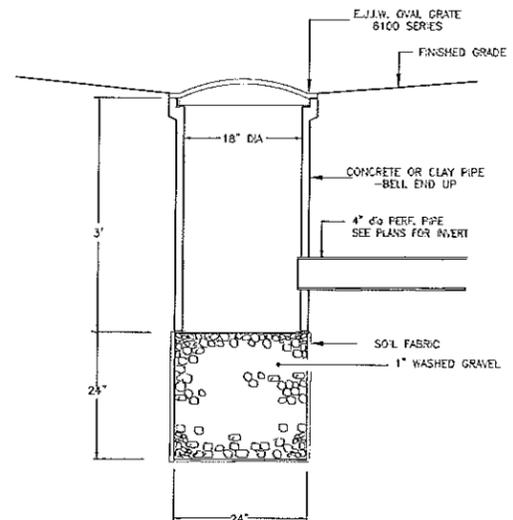
REVISED

SHEET
CI.2

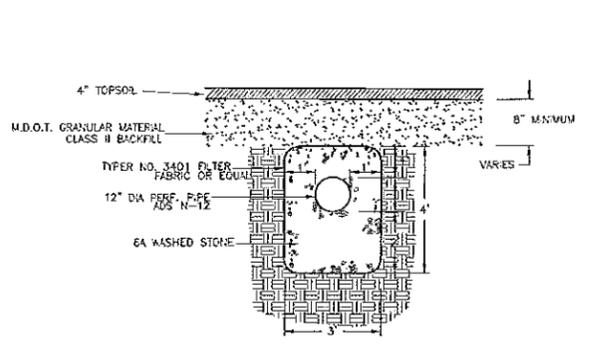
SITE PLAN



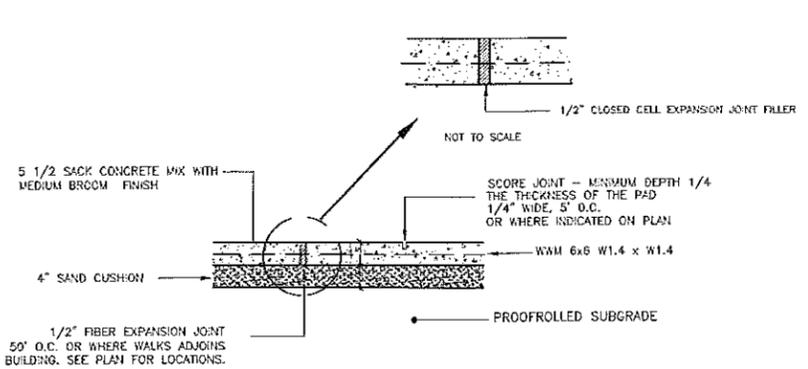
1 48" DIA. LEACHING BASIN
NOT TO SCALE



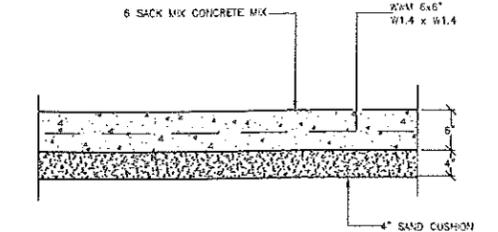
2 YARD DRAIN DETAIL
NOT TO SCALE



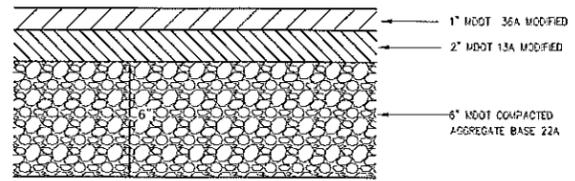
3 PERFORATED STORM SEWER TRENCH
NOT TO SCALE



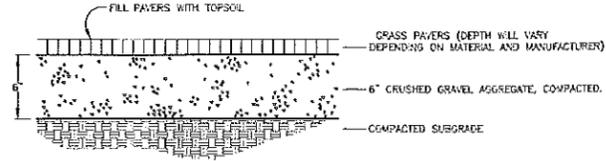
4 CONCRETE WALK DETAIL
NOT TO SCALE



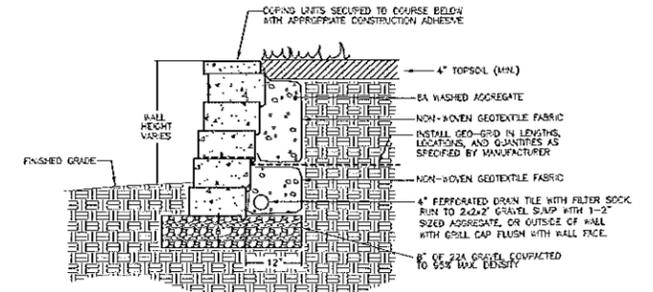
5 6" CONCRETE PAVING
SCALE: 1" = 1'-0"



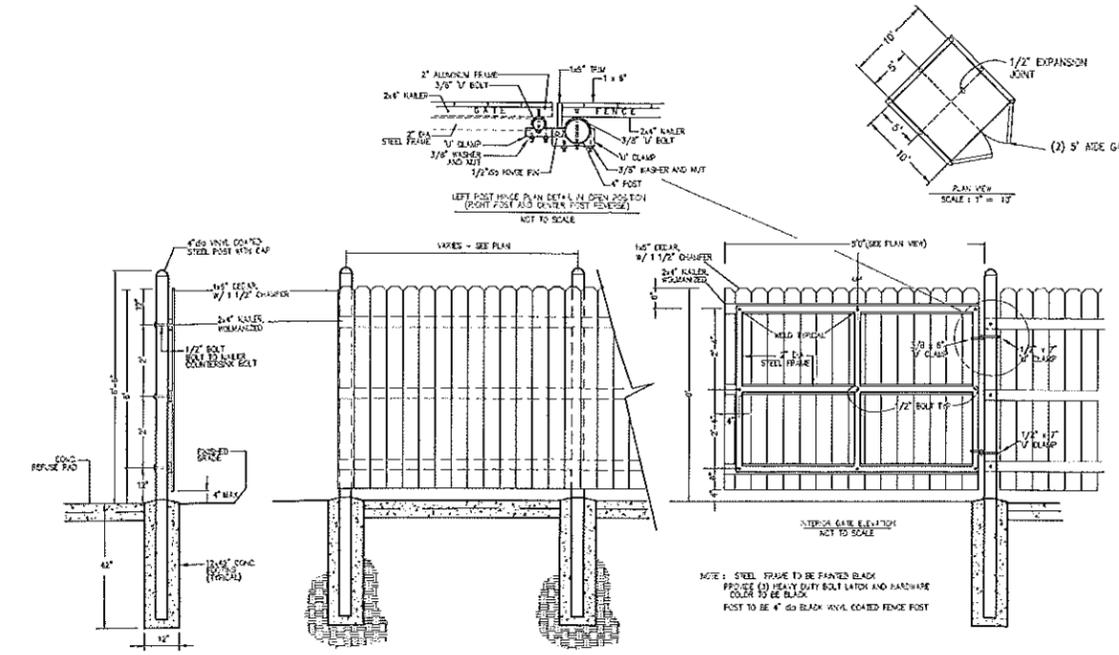
6 BITUMINOUS ASPHALT PAVING
NOT TO SCALE



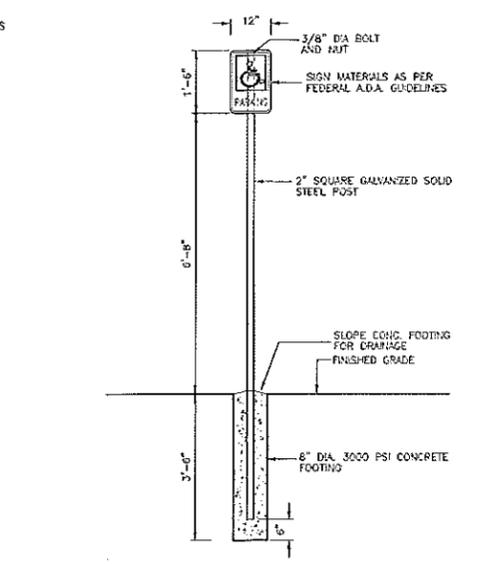
7 GRASS PAVER DETAIL
NOT TO SCALE



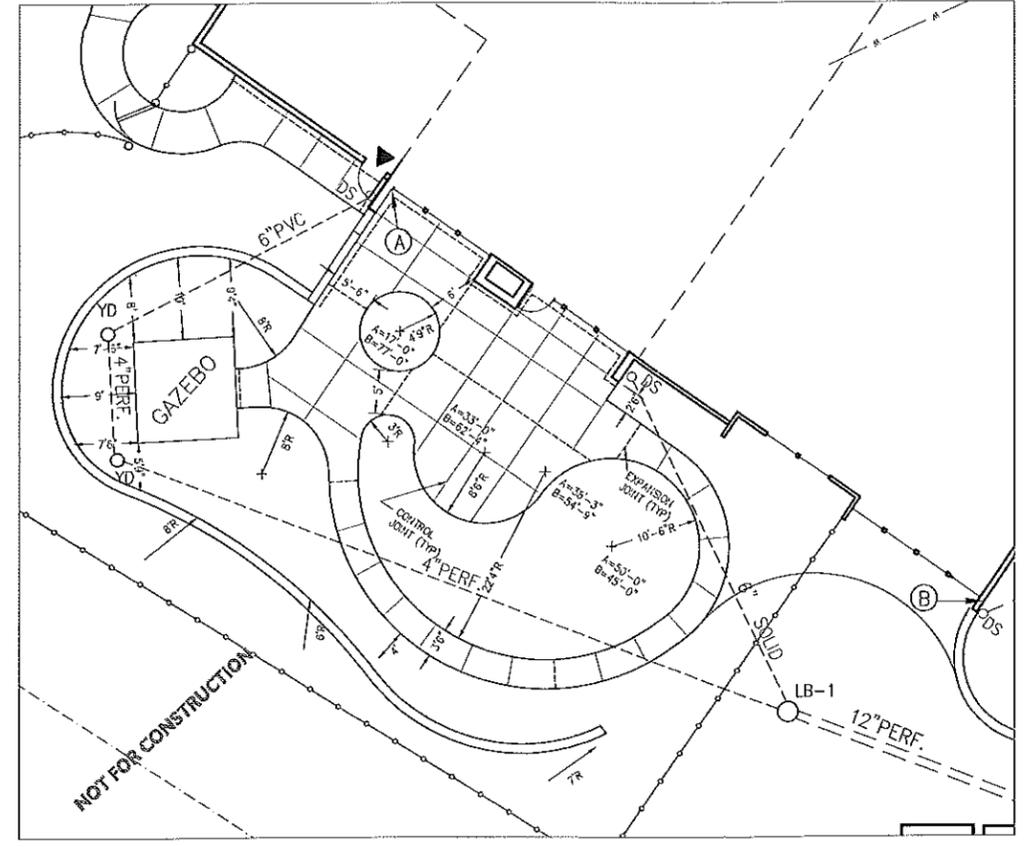
8 PRE-CAST SEGMENTAL CONCRETE RETAINING WALL
NOT TO SCALE
SEE SPECIFICATIONS FOR TYPE



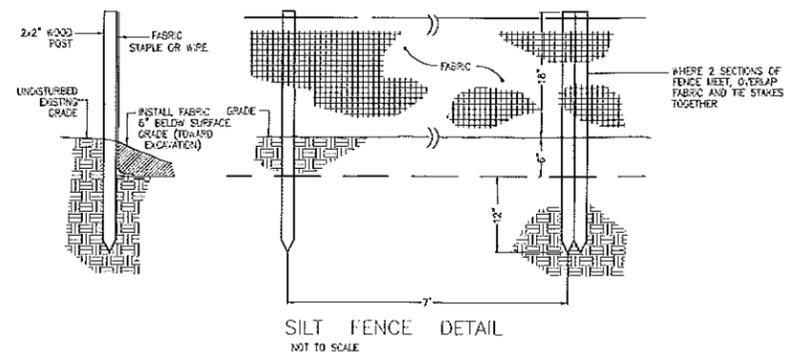
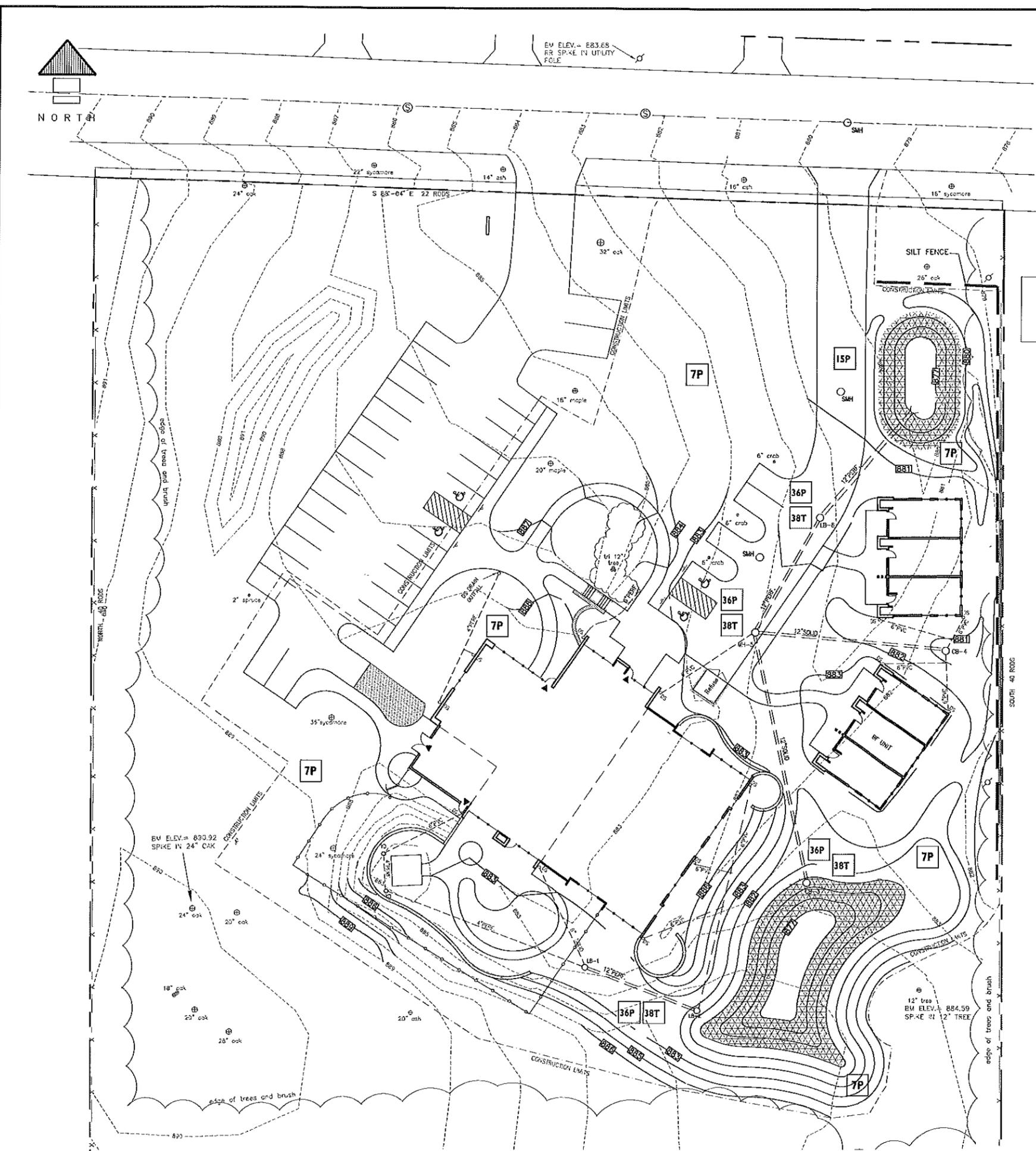
9 WOOD FENCE - REFUSE SCREEN WITH GATES
NOT TO SCALE



10 BARRIER FREE PARKING SIGN DETAIL
SCALE: 1/2" = 1'-0"
NOTE: ONE BARRIER FREE PARKING SIGN SHALL BE INSTALLED AT EACH BARRIER FREE STALL LOCATION.



PATIO LAYOUT
SCALE: 1" = 10'



EROSION CONTROL MEASURES

7		MOW SEEDING EFFECTIVE ON LARGE AREAS MUCH TRAFFIC AVOID TO PROVIDE IMMEDIATE PROTECTION SHOULD PROVIDE PREPARED TOPSOIL BED.
15		PAVING PROTECTS AREAS THAT CANNOT OTHERWISE BE PROTECTED, BUT INCREASES RUNOFF VOLUME AND VELOCITY PREVIOUS SURFACE WILL HELP SLOW VELOCITY.
36		CATCH BASIN, DRAIN INLET COLLECTS HIGH VELOCITY CONCENTRATED RUNOFF MAY USE FILTER CLOTH OVER INLET.
38		STRAW BALE FILTER EXPENSIVE AND EASY TO CONSTRUCT CAN BE LOCATED AS NECESSARY TO COLLECT SEDIMENT MAY BE USED IN CONNECTION WITH SILT FENCE FOR ADDED STABILITY.

SOIL EROSION CONTROL NOTES

- KEYS SHOWN ARE TAKEN FROM THE MICHIGAN UNIFIED KEYING SYSTEM FOR SOIL EROSION AND SEDIMENTATION CONTROL. SEE THE MICHIGAN SOIL EROSION AND SEDIMENTATION GUIDEBOOK, 1975.
THE LETTER FOLLOWING THE KEY NUMBER INDICATES A TEMPORARY (T) OR PERMANENT (P) CONTROL MEASURE.
 - ALL CONTRACTORS RESPONSIBLE FOR EARTH EXCAVATIONS OR CHANGES SHALL FOLLOW THE GUIDELINES OF THE STATE OF MICHIGAN AND CITY OF KALAMAZOO SOIL EROSION AND SEDIMENTATION CONTROL ORDINANCE.
 - CONTRACTOR IS TO CLEAN ADJACENT STREET OF DUST AND DEBRIS AS REQUIRED OR AS DIRECTED BY THE CITY OF KALAMAZOO ENGINEERING DEPT.
 - FILLS IN ALL PAVED AREAS AND THOSE EXCEEDING 24" DEPTH IN LAWN AREAS SHALL BE COMPACTED TO 95% MAXIMUM CAPACITY.
 - ALL DISTURBED SOIL SHALL BE FINE GRADED AND SEEDING WITH A MIXTURE OF 20% PERENNIAL RYE, 30% CREEPING RED FESCUE, AND 50% KENTUCKY BLUEGRASS. SOW AT THE RATE OF 6 LBS. PER 1,000 REFER TO LANDSCAPE PLAN.
 - GRATES OF ALL PROPOSED STORM STRUCTURES AND GRATES OF EXISTING STRUCTURES WHERE NOTED ON PLAN TO BE COVERED WITH FILTER FABRIC UNTIL PROJECT COMPLETION IN ORDER TO PROTECT THEM FROM SOIL SLITATION.
 - TOPSOIL STOCK PILES SHALL BE PROTECTED WITH A SILT FENCE OR STRAW BALS COMPLETELY SURROUNDING THE PILES.
- B. SOIL STABILIZATION REQUIREMENTS.**
FINAL SOIL STABILIZATION MEASURES SHALL BE IMPLEMENTED WITHIN 14 DAYS IN AREAS WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. EXCEPTION: WHERE CONSTRUCTION ACTIVITIES ARE TO RESUME WITHIN 21 DAYS, STABILIZATION NEED NOT BE IMPLEMENTED.

- 15P** PROPOSED CONTROL MEASURE -- SEE MICHIGAN SOIL EROSION AND SEDIMENTATION GUIDEBOOK, PG 2 -- THE UNIFIED KEYING SYSTEM.
- SOIL EROSION FILTER FENCE SEE DETAIL.
- SEED AND MULCH WITH SNAKE SEED MIX BY SPREN. INSTALL PER MANUFACTURERS SPECIFICATIONS. INSTALL EROSION BLANKET S75 H4G.

- LEGEND**
- SANITARY MANHOLE
 - UTILITY POLE
 - GUY ANCHOR
 - SIGN
 - TREE
 - EVERGREEN
 - +883.25 SPOT ELEVATION
 - TOP OF WALL
 - EXISTING CONTOUR
 - FENCE
 - OVERHEAD UTILITY LINE

NOT FOR CONSTRUCTION

EROSION CONTROL PLAN

LARRY L. HARRIS
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KALAMAZOO, MICHIGAN 49008
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REGISTERED LANDSCAPE ARCHITECTS/SITE PLANNERS

THE ARK
Roman Catholic Diocese of Kalamazoo
751 PLEASANT AVENUE KALAMAZOO MICHIGAN

SCALE
1" = 20'

DATE
8-11-08
Site Plan Review
PROJECT
03-959-2

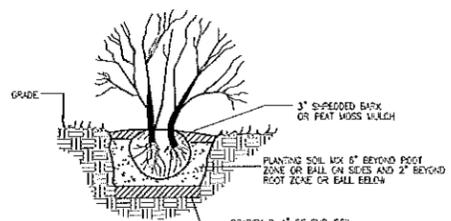
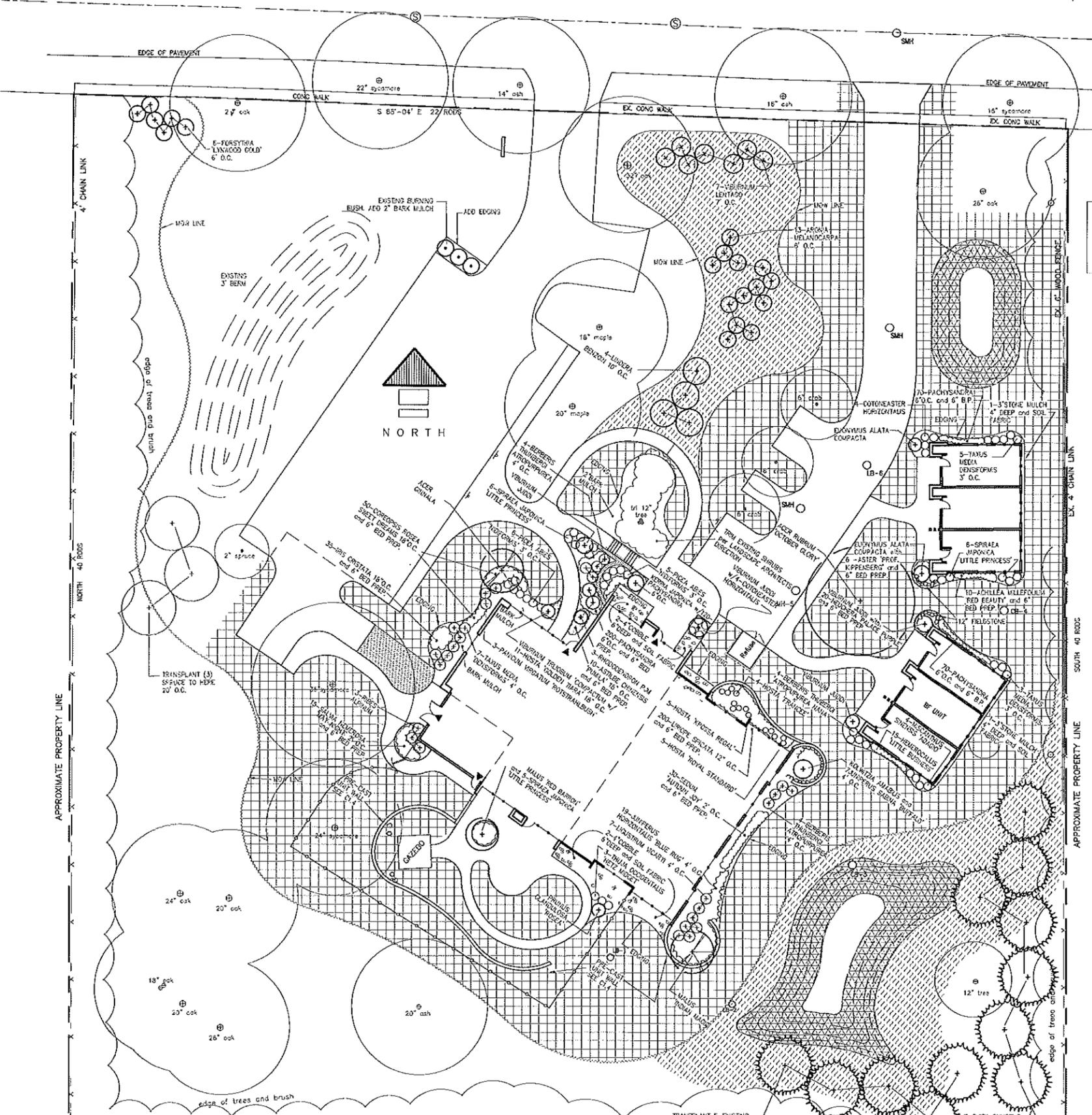
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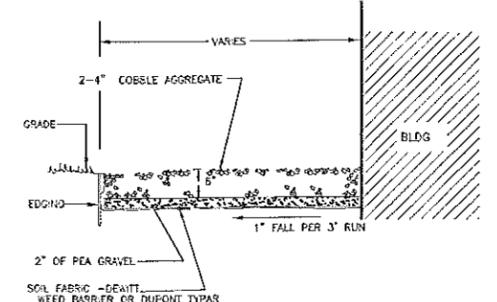
PLEASANT AVENUE

PLANT MATERIAL LIST

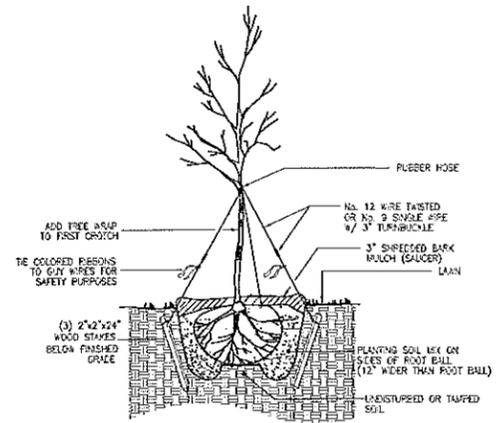
No.	SIZE	SCIENTIFIC NAME	COMMON NAME	REMARKS
1	1.5' col.	ACER GINNALA	AMUR MAPLE	
10	No.1 pot	ACHILLEA MILLEFOLIUM 'RED BEAUTY'	RED BEAUTY YARROW	
1	2' col.	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	Straight Trunk
13	24"-30"	ARONIA MELANOCARPA	BLACK CHERRYBERRY	Full / Bushy
6	No.1 pot	ASTER DUMOSUS 'PROF. KIPPENBERG'	KIPPENBERG ASTER	
10	No.1 pot	ASTILBE CHINENSIS 'PUMILA'	DAWF CHINESE ASTILBE	
8	15"-18"	BERBERIS THUNBERGI 'ATROPURPUREA'	RED BARBERRY	
4	12"	BERBERIS THUNBERGI 'ATRO. NANA'	PINKY RED BARBERRY	
50	No.1 pot	COREOPSIS ROSEA 'SWEET DREAMS'	PINK FLOWERED COREOPSIS	
8	12"-15"	COTONEASTER HORIZONTALIS	ROCK COTONEASTER	
2	18"-24"	EDUNYSSUS ALATA 'COMPACTA'	COMPACT BURNING BUSH	Full / Bushy
6	30"-36"	FORSYTHIA 'LYNWOOD GOLD'	LYNWOOD GOLD FORSYTHIA	Full / Bushy
20	No.1 pot	HEUCHERA 'PALACE PURPLE'	PALACE PURPLE CORAL BELLS	
15	No.1 pot	HEMEROCALLIS 'LITTLE BUSINESS'	DAVILLY	
11	No.1 pot	HOSTA 'GOLDEN TIARA'	HOSTA LILLY	
5	No.1 pot	HOSTA 'ROSSA REGAL'	HOSTA LILLY	
4	No.1 pot	HOSTA 'FRANCEE'	HOSTA LILLY	
5	No.1 pot	HOSTA 'ROYAL STANDARD'	HOSTA LILLY	
35	P.P.	IRIS CRISTATA	CRESTED IRIS	
19	15"	JUNIPERUS HORIZONTALIS 'BLUE RUG'	BLUE RUG JUNIPER	
7	15"	JUNIPERUS SABINA 'BUFFALO'	BUFFALO JUNIPER	
1	18"-24"	KERRIA JAPONICA	JAPANESE KERRIA	Full / Bushy
1	18"-24"	KOLNITZA AMABILIS	BEAUTYBUSH	Full / Bushy
7	15"-18"	LAGOSTRUM VICARIA	GOLDEN PRIVET	Matching Heights
200	No.1 pot	LILY TURKICA	LILY TURKICA	
4	30"-36"	LINDERA BENZON	SPICE BUSH	
1	2' col.	MALUS 'INDIAN MAGIC'	INDIAN MAGIC CRABAPPLE	Full Crown
1	2' col.	MALUS 'RED BARRON'	RED BARRON CRABAPPLE	Full Crown
4	No. 2 pot	MISCANTHUS SENENSIS ADAG-0	ADAG-0 JAPANESE SILVER GRASS	
460	R.C.	PACHYSANDRA TERMINALIS	PACHYSANDRA	
3	No. 2 pot	PANICUM VIRGATUM 'ROSTRAHBUSH'	SWITCH GRASS	
11	12"-15"	PICEA ABIES 'NIDIFORMIS'	BRIS'S NEST SPRUCE	
7	6"-8" HT.	PICEA PUNGENS 'GLAUCA'	COLORADO BLUE SPRUCE	Full to Grade
1	18"-24"	FRUNUS GLANDULOSA 'ROSEA'	PINK FLOWERED ALMOND	
3	15"-18"	RIBES ALPIMUM	ALPINE CURRANT	
3	18"-24"	RHOCHODENDRON 'PINK'	PINK RHODODENDRON	Full / Bushy
15	No.1 pot	SALVIA NEMEROSA 'MAY NIGHT'	MAY NIGHT SALVA	
30	No.1 pot	SEDUM 'AUTUMN JOY'	SEDUM	
17	15"	SPIRAEA JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS SPIREA	
7	15"	TAXUS MEDIA 'EVERLOW'	EVERLOW YEW	Matching Heights
8	15"-18"	TAXUS MEDIA 'DENSIFORMIS'	DENSE YEW	Matching Heights
3	12"-15"	THUJA OCCIDENTALIS 'HETZ WIDGET'	HETZ WIDGET ARBORVITAE	
3	23"-30"	VIBURNUM JUDDI	JUDDS VIBURNUM	Full / Bushy
7	30"-36"	VIBURNUM LENTAGO	NASHBERRY	Full / Bushy
1	24"	VIBURNUM TRILOBUM 'COMPACTUM'	COMPACT AMERICAN CRANBERRY BUSH	Full / Bushy



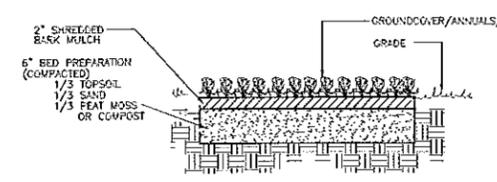
TYPICAL SHRUB PLANTING
NOT TO SCALE



GRAVEL MULCH DETAIL
NOT TO SCALE



TYPICAL TREE PLANTING
NOT TO SCALE



TYPICAL GROUNDCOVER/PERENNIAL/ANNUAL BED
NOT TO SCALE

NOTES

- ALL EDGING TO BE 1/8"x4" ALUMINUM PERMALOC OR EQUAL EDGING
- ALL PLANT BEDS NOT DESIGNATED WITH COBBLE MULCH SHALL HAVE 3" FINE SHREDDED BARK MULCH
- SEED AND MULCH WITH A MIX OF:
 - 20% PERENNIAL RYEGRASS
 - 30% CREEPING RED FESCUE
 - 50% KENTUCKY BLUEGRASS
 - AT 615 / 1000 SQ. FT.
- SEED AND MULCH WITH SABLE SEED MIX BY JENSEY. INSTALL PER MANUFACTURERS SPECIFICATIONS. INSTALL EROSION BLANKET S75 1140
- SEED AND MULCH WITH LOW PROFILE PRAIRIE MIX BY JENSEY. INSTALL PER MANUFACTURERS SPECIFICATIONS
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATION OF UTILITIES. CALL MISS DIG BEFORE STARTING CONSTRUCTION.

LEGEND

- ⊙ SANITARY MANHOLE
- ⊕ UTILITY POLE
- ⊙ GUY ANCHOR
- SIGN
- ⊙ TREE
- ⊙ EVERGREEN
- +68.25 SPOT ELEVATION
- TOP OF WALL
- EXISTING CONTOUR
- - - FENCE
- OVERHEAD UTILITY LINE

NOT FOR CONSTRUCTION

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3902 GREENLEAF BOULEVARD
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REGISTERED LANDSCAPE ARCHITECTS/SITE PLANNERS

THE ARK
Roman Catholic Diocese of Kalamazoo
751 PLEASANT AVENUE KALAMAZOO MICHIGAN

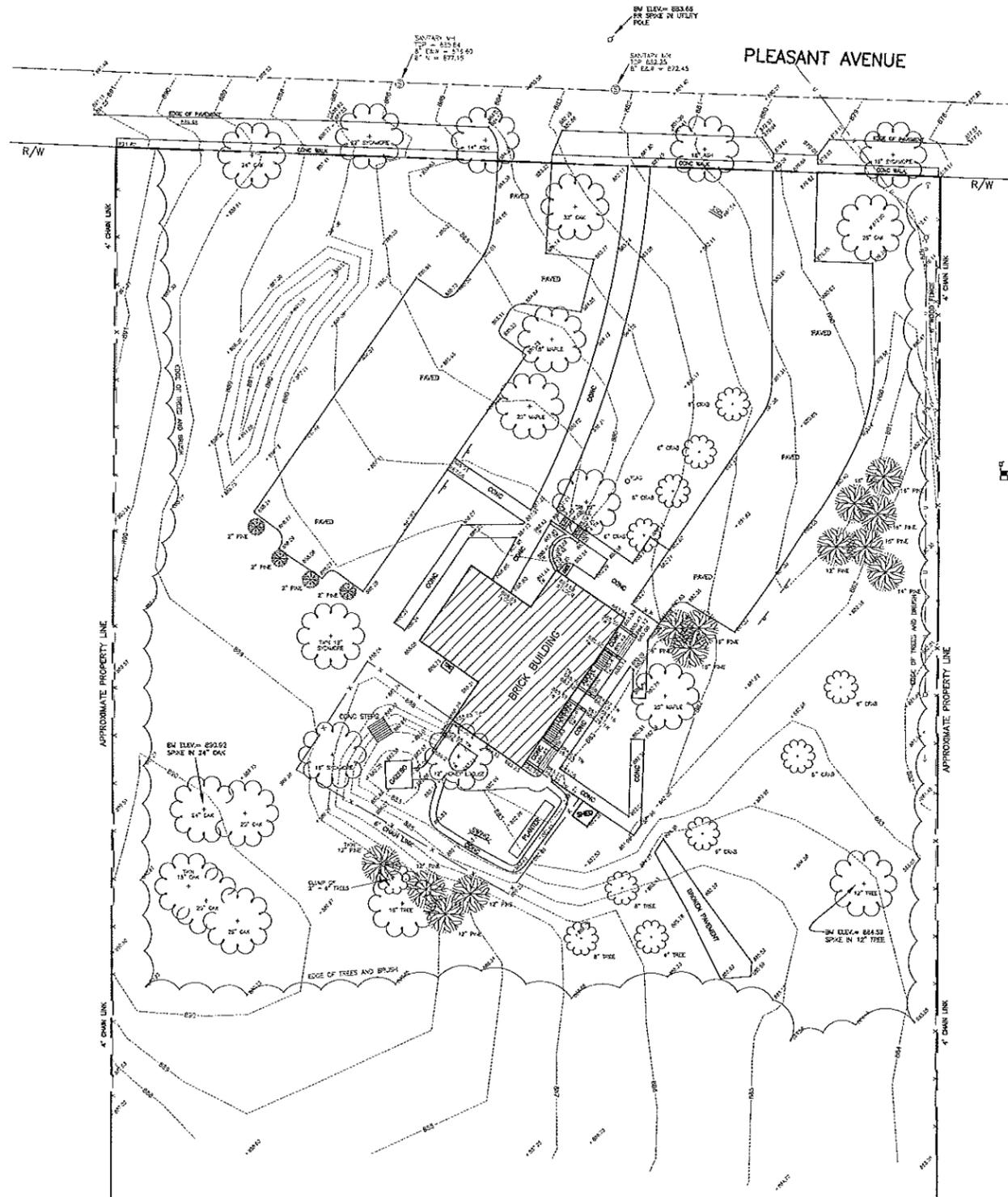
SCALE
1" = 20'

DATE
8-11-08
Site Plan Review
PROJECT
03-859-2

REVISED

SHEET
CI.6

LANDSCAPE PLAN

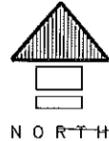


LEGEND

- ⊙ SANITARY MANHOLE
- ⊕ UTILITY POLE
- ← GUY ANCHOR
- SIGN
- ☼ TREE
- ⊗ EVERGREEN
- SPOT ELEVATION
- TOP OF WALL
- EXISTING CONTOUR
- FENCE
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NOTE:
 The elevations shown hereon are based on USGS datum as promulgated within the City of Kalamazoo.
 The utilities shown hereon are limited to observable utility appurtenances. Additional utilities may exist onsite which are not shown.

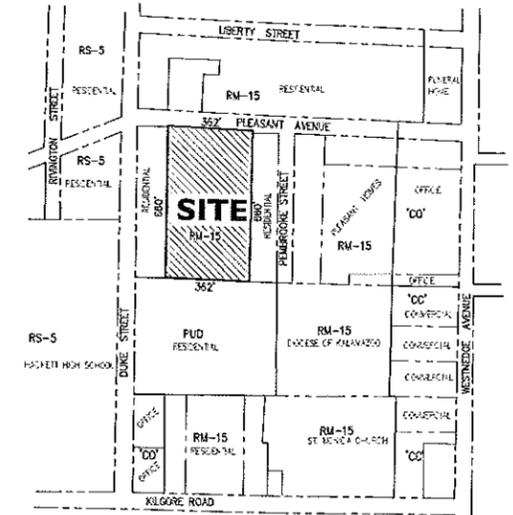
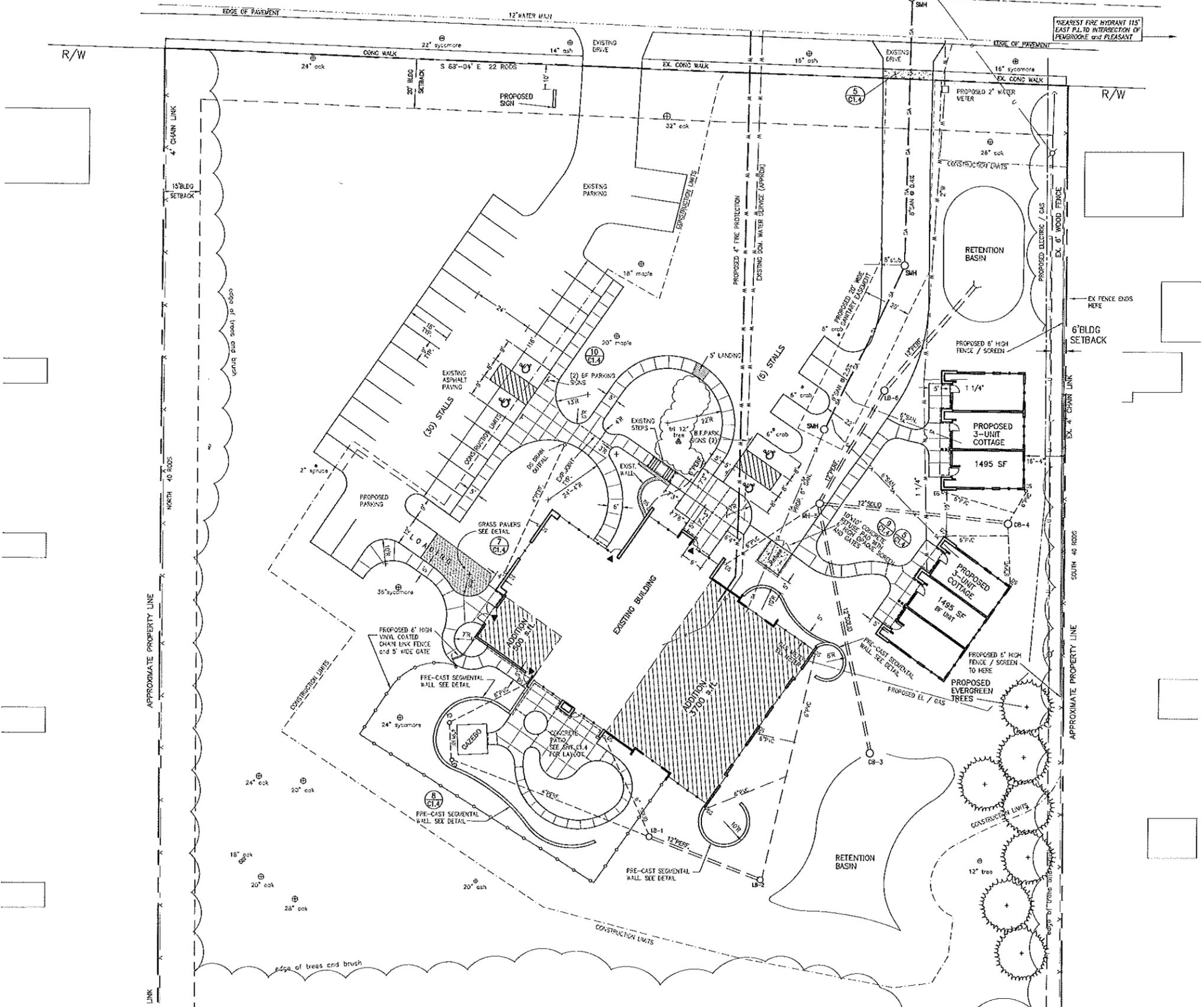
DATE	REVISION	TOPOGRAPHIC WORKSHEET	
		ROMAN CATHOLIC DIOCESE OF KALAMAZOO PROPERTY AT #751 PLEASANT AVENUE, KALAMAZOO, MICHIGAN	
		<i>Ingersoll, Watson & McMachen, Inc.</i> CONSULTING CIVIL ENGINEERS AND LAND SURVEYORS 1133 East Millham Road • Portage Michigan 49002 • Area 269-344-6105 • Fax 269-344-0555	
		DATE	7/25/2006
		JOB NO.	34495
		SHEET NO.	C1.0



PLEASANT AVENUE

TCP = 885.84
8" E&W = 876.60
8" 1/4" = 877.15
SANITARY M-H

TOP 882.25
8" E&W = 872.45
SANITARY MH



LOCATION / LAND USE MAP
NOT TO SCALE

SITE STATISTICS

	SQUARE FEET	ACRES	% OF TOTAL
TOTAL AREA	239,580	5.50	100.00
TOTAL BUILDING AREA	11,713	0.27	5.00
EXISTING	4,523		
PROPOSED ADDITION	4,200		
PROPOSED COTTAGES	2,990		
TOTAL PAVEMENT AREA	20,629	0.47	8.61
OPEN SPACE	209,328	4.76	86.39

PARKING

REQUIRED PARKING
MAIN BUILDING RESIDENCES
TRANSITIONAL = 1 (8 SLEEPING ROOMS WITH COMMON KITCHEN/BATH)

COTTAGES
TRANSITIONAL RESIDENCES = 6
TOTAL RESIDENCES = 15 / 3 = 5 STALLS
OFFICE: 4403 GROSS SQ. FT. / 330 = 14 STALLS
STAFF: 18 EMPLOYEES / 3 = 6 STALLS
TOTAL REQUIRED PARKING = 25 STALLS
PROPOSED PARKING = 35 STALLS

- MAIN BUILDING HEIGHT: 22' TO ROOF PEAK
CONSTRUCTION TYPE: V-B WITH SPRINKLING SYSTEM
- COTTAGE BUILDING HEIGHT: 17' TO ROOF PEAK
CONSTRUCTION TYPE: V-B (NO SPRINKLING SYSTEM)
- OCCUPANCY CLASSIFICATION: TRANSITIONAL RESIDENCE
- ZONING CLASSIFICATION: RM-15
- FRONT BUILDING SETBACK - 20'
- SIDE BUILDING SETBACK (WEST) - 20' (EAST) - 6'
- REAR BUILDING SETBACK - 20'
- NO ADDITIONAL SITE LIGHTING PROPOSED
- AVERAGE DAILY TRIP COUNT: 60 TRIPS PER DAY

OWNER
JAMES A. MURRAY - BISHOP OF ROMAN CATHOLIC DIOCESE
215 N. WESTNEDGE
KALAMAZOO MICHIGAN 49007

PROPERTY DESCRIPTION
A PARCEL OF LAND LOCATED IN SECTION 33-2-11, CITY OF KALAMAZOO, COUNTY OF KALAMAZOO MICHIGAN, COMMENCING AT THE SOUTHWEST CORNER OF LOT 17 OF RECORDED PLAT 'PLEASANT HOME PARK', THENCE NORTH 68°-04' WEST 18 ROGS FROM THE POINT OF BEGINNING; THENCE NORTH 68°-04' WEST 22 ROGS; THENCE NORTH PARALLEL TO THE WEST LINE OF SAID PLAT 40 ROGS; THENCE SOUTH 68°-04' EAST 22 ROGS; THENCE SOUTH 40 ROGS TO THE POINT OF BEGINNING.

LEGEND

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- ⊕ UTILITY POLE
- ⊕ GUY ANCHOR
- ⊕ SIGN
- ⊕ TREE
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- +883.25 SPOT ELEVATION
- TW TOP OF WALL
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NOT FOR CONSTRUCTION

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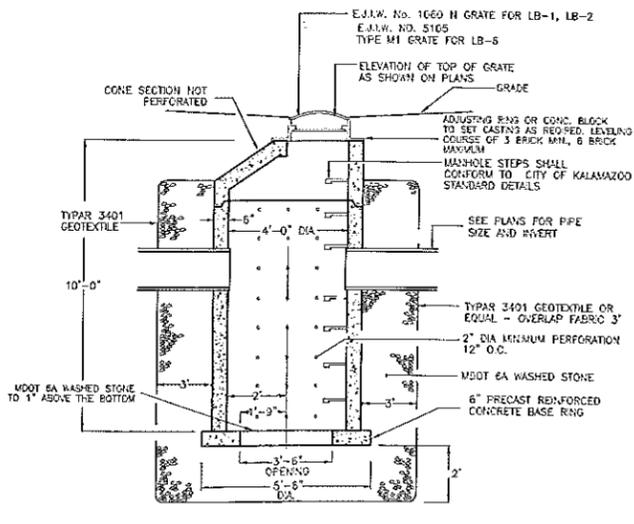
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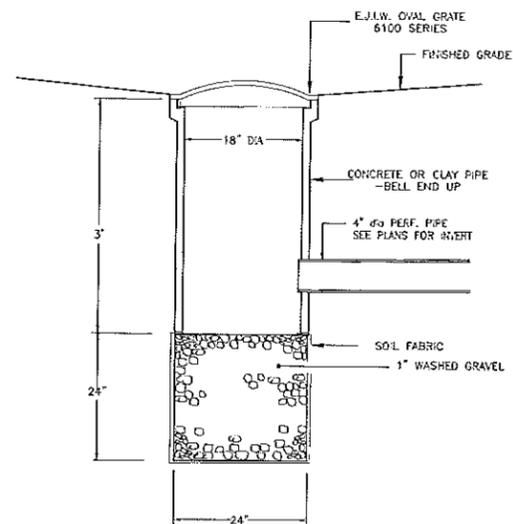
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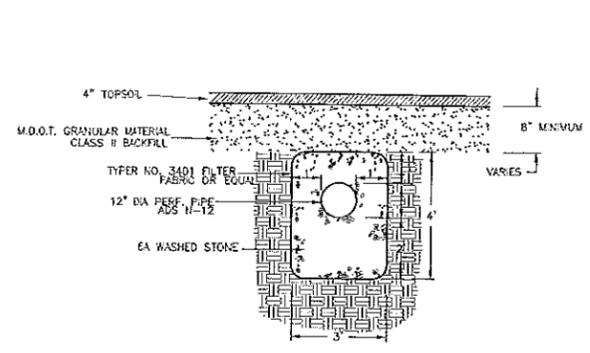
SITE PLAN



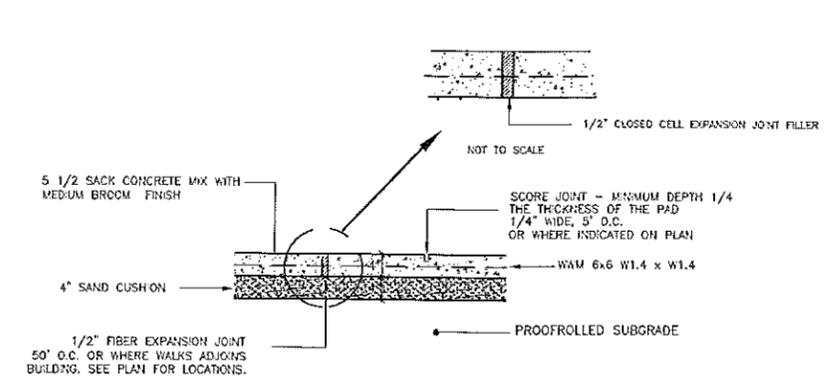
1 48" DIA. LEACHING BASIN
NOT TO SCALE



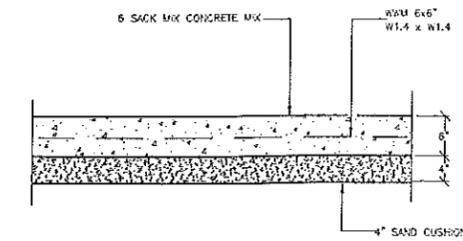
2 YARD DRAIN DETAIL
NOT TO SCALE



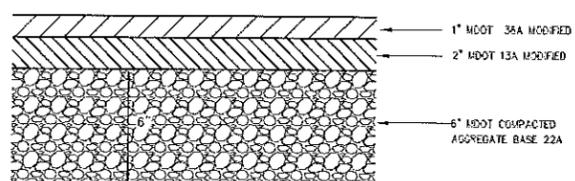
3 PERFORATED STORM SEWER TRENCH
NOT TO SCALE



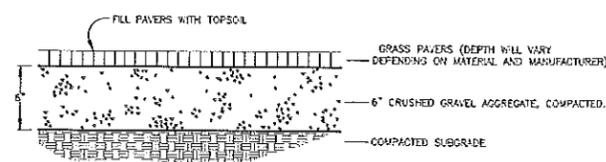
4 CONCRETE WALK DETAIL
NOT TO SCALE



5 6" CONCRETE PAVING
SCALE: 1" = 1'-0"

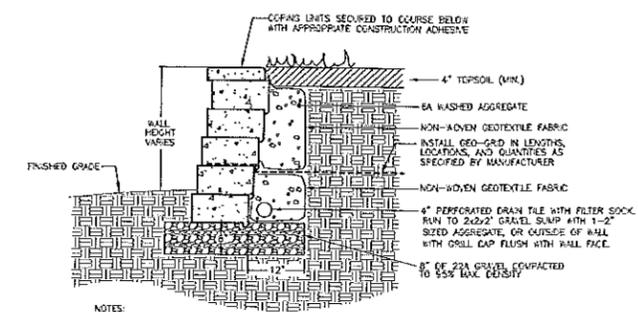


6 BITUMINOUS ASPHALT PAVING
NOT TO SCALE



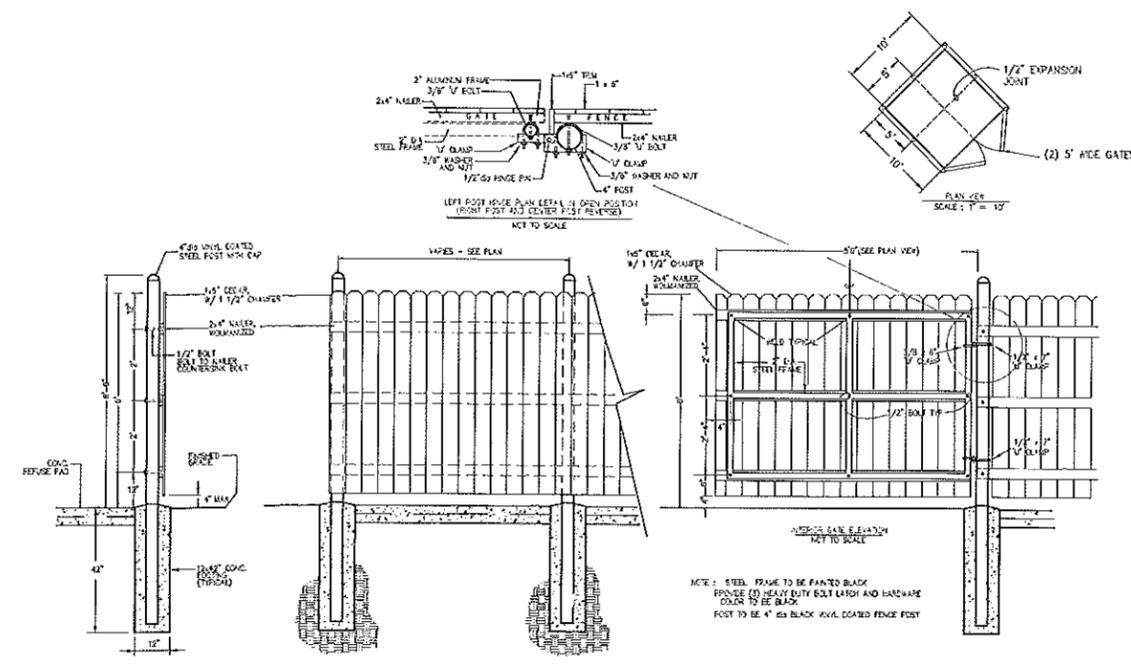
GRASS PAVERS - GEOBLOCK 5150 SYSTEM OR APPROVED EQUAL. INSTALL PER MANUFACTURER'S SPECIFICATIONS FOR HEAVY VEHICULAR TRAFFIC.

7 GRASS PAVER DETAIL
NOT TO SCALE

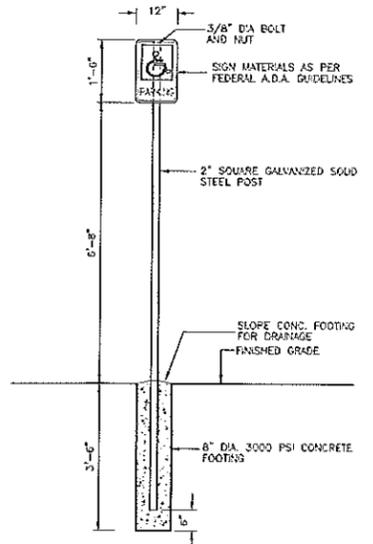


- NOTES:
1. SECURE TOP TWO COURSES AND COPING UNIT TO COURSES BELOW WITH APPROPRIATE CONSTRUCTION ADHESIVE.
 2. INSTALL PER MANUFACTURER'S SPECIFICATIONS. WALLS SHALL BE DESIGNED BY THE BLOCK MANUFACTURER IN ACCORDANCE WITH ANY APPLICABLE SITE CONDITIONS INCLUDING EXISTING SOIL INVESTIGATIONS BASED ON BORINGS AND RECOMMENDATIONS FROM THE SOIL ENGINEER.
 3. SWEEP ENGINEERED SHOP DRAWINGS TO LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 4. COLOR CHOSEN BY OWNER.
 5. RETAINING WALLS HIGHER THAN 30" MAY REQUIRE A BARRIER RAIL. REFER TO LOCAL CODES.

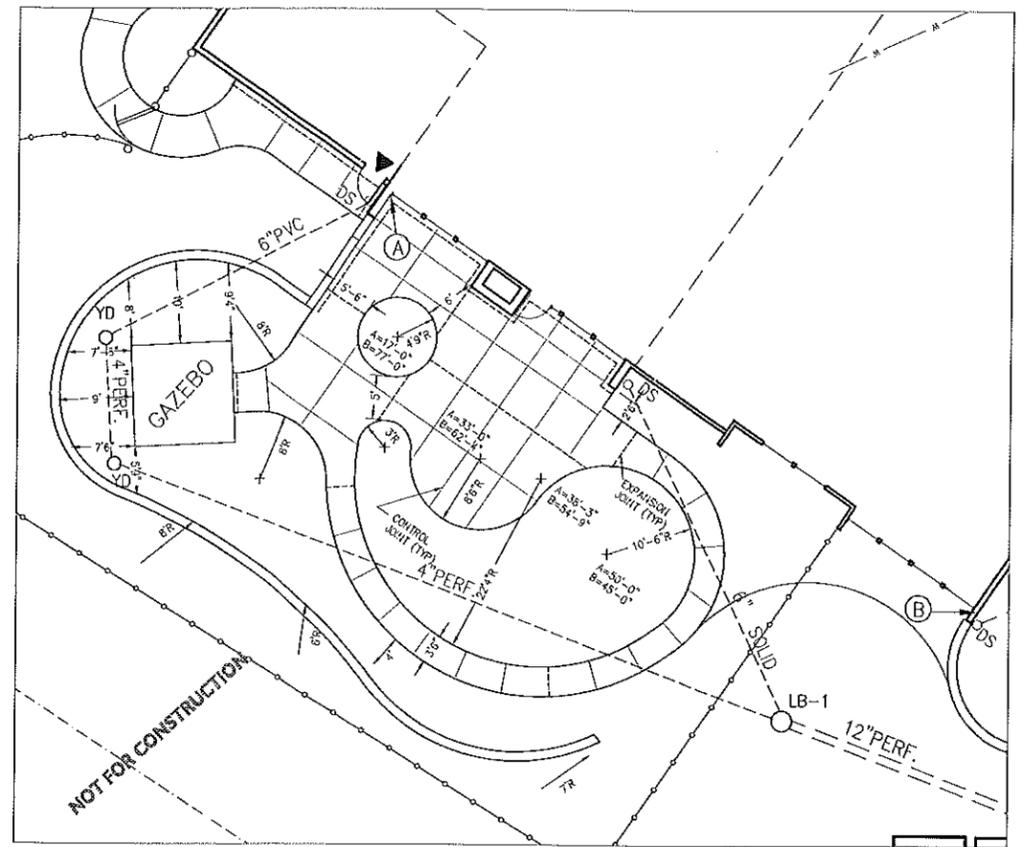
8 PRE-CAST SEGMENTAL CONCRETE RETAINING WALL
SEE SPECIFICATIONS FOR TYPE
NOT TO SCALE



9 WOOD FENCE - REFUSE SCREEN WITH GATES
NOT TO SCALE



10 BARRIER FREE PARKING SIGN DETAIL
SCALE: 1/2" = 1'-0"
NOTE: ONE BARRIER FREE PARKING SIGN SHALL BE INSTALLED AT EACH BARRIER FREE STALL LOCATION.



PATIO LAYOUT
SCALE: 1" = 10'

PLEASANT AVENUE

PLANT MATERIAL LIST

No.	SIZE	SCIENTIFIC NAME	COMMON NAME	REMARKS
1	1.5" cal.	ACER GINNALA	AMUR MAPLE	
10	No.1 pot	ACHILLEA MILLEFOLIUM 'RED BEAUTY'	RED BEAUTY YARROW	
1	2" cal.	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	Straight Trunk
13	24"-30"	ARONIA MELANOCARPA	BLACK CHOKEBERRY	Full / Bushy
6	No.1 pot	ASTER DELTOIDUS 'PROF. KIPPENBERG'	KIPPENBERG ASTER	
10	No.1 pot	ASTILBE CHINENSIS 'PUMILA'	DWARF CHINESE ASTILBE	
8	15"-18"	BERBERIS THUNBERGI 'ATROPURPUREA'	RED BARBERRY	
4	12"	BERBERIS THUNBERGI 'ATRO. NANA'	PYGMY RED BARBERRY	
50	No. 1 pot	COREOPSIS ROSEA 'SWEET DREAMS'	PINK FLOWERED COREOPSIS	
8	12"-15"	COTONEASTER HORIZONTALIS	ROCK COTONEASTER	
2	18"-24"	COYNYMUS ALATA 'COMPACTA'	COMPACT BURNING BUSH	Full / Bushy
6	30"-36"	FORSYTHIA 'LYNWOOD GOLD'	LYNWOOD GOLD FORSYTHIA	Full / Bushy
20	No.1 pot	HEUCHERA 'PALACE PURPLE'	PALACE PURPLE CORAL BELLS	
15	No.1 pot	HEUCHERALLIS 'LITTLE BUSINESS'	DAYLILY	
11	No.1 pot	HOSTA 'GOLDEN TURK'	HOSTA LILLY	
5	No.1 pot	HOSTA 'KROSSA REGAL'	HOSTA LILLY	
4	No.1 pot	HOSTA 'FRANCEE'	HOSTA LILLY	
5	No.1 pot	HOSTA 'ROYAL STANDARD'	HOSTA LILLY	
35	P.P.	IRIS CRISTATA	CRESTED IRIS	
19	15"	JUNIPERUS HORIZONTALIS 'BLUE RUG'	BLUE RUG JUNIPER	
7	15"	JUNIPERUS SABINA 'BUFFALO'	BUFFALO JUNIPER	
1	18"-24"	KERRA JAPONICA	JAPANESE KERRIA	Full / Bushy
1	18"-24"	KOONINZIA AMABILIS	BEAUTYBUSH	Full / Bushy
7	15"-18"	LIGUSTRUM VICARYI	GOLDEN PRIVET	Matching Heights
200	No.1 pot	LIRIOPE SPICATA	LILLY TURF	
4	30"-36"	LINDERA BENZOIN	SPICE BUSH	
1	2" cal.	MALUS 'INDIAN MAGIC'	INDIAN MAGIC CRABAPPLE	Full Crown
1	2" cal.	MALUS 'RED BARRON'	RED BARRON CRABAPPLE	Full Crown
4	No. 2 pot	MISCANTHUS SINENSIS ADAGO	ADAGO JAPANESE SILVER GRASS	
460	R.C.	PACHYSANDRA TERMINALIS	PACHYSANDRA	
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11	12"-15"	PICEA ABIES 'NIDIFORMIS'	BIRD'S NEST SPRUCE	
7	6'-8' HT.	PICEA PLUNGENS 'GLAUCA'	COLORADO BLUE SPRUCE	Full to Grade
1	18"-24"	PRUNUS GLANDULOSA 'ROSEA'	PINK FLOWERING ALMOND	
3	15"-18"	RIBES ALPNUM	ALPINE CURRANT	
3	18"-24"	RHODODENDRON 'PJM'	PJM RHODODENDRON	Full / Bushy
15	No.1 pot	SALVIA NEVEROSA 'MAY NIGHT'	MAY NIGHT SALVIA	
30	No.1 pot	SEDUM 'AUTUMN JOY'	SEDUM	
17	15"	SPRAEA JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS SPIREA	
7	15"	TAXUS MEDIA 'EVERLOW'	EVERLOW YEW	Matching Heights
8	15"-18"	TAXUS MEDIA 'DENSIFORMIS'	DENSE YEW	Matching Heights
3	12"-15"	THUJA OCCIDENTALIS 'HETZ MIDGET'	HETZ MIDGET ARBORVITAE	
3	23"-30"	VBURNUM JUDDI	JUDD'S VBURNUM	Full / Bushy
7	30"-36"	VBURNUM LENTAGO	MANNYBERRY	Full / Bushy
1	24"	VBURNUM TRILOBUM 'COMPACTUM'	COMPACT AMERICAN CRANBERRY BUSH	Full / Bushy

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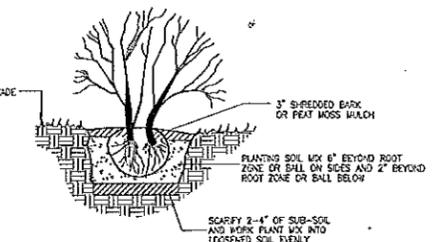
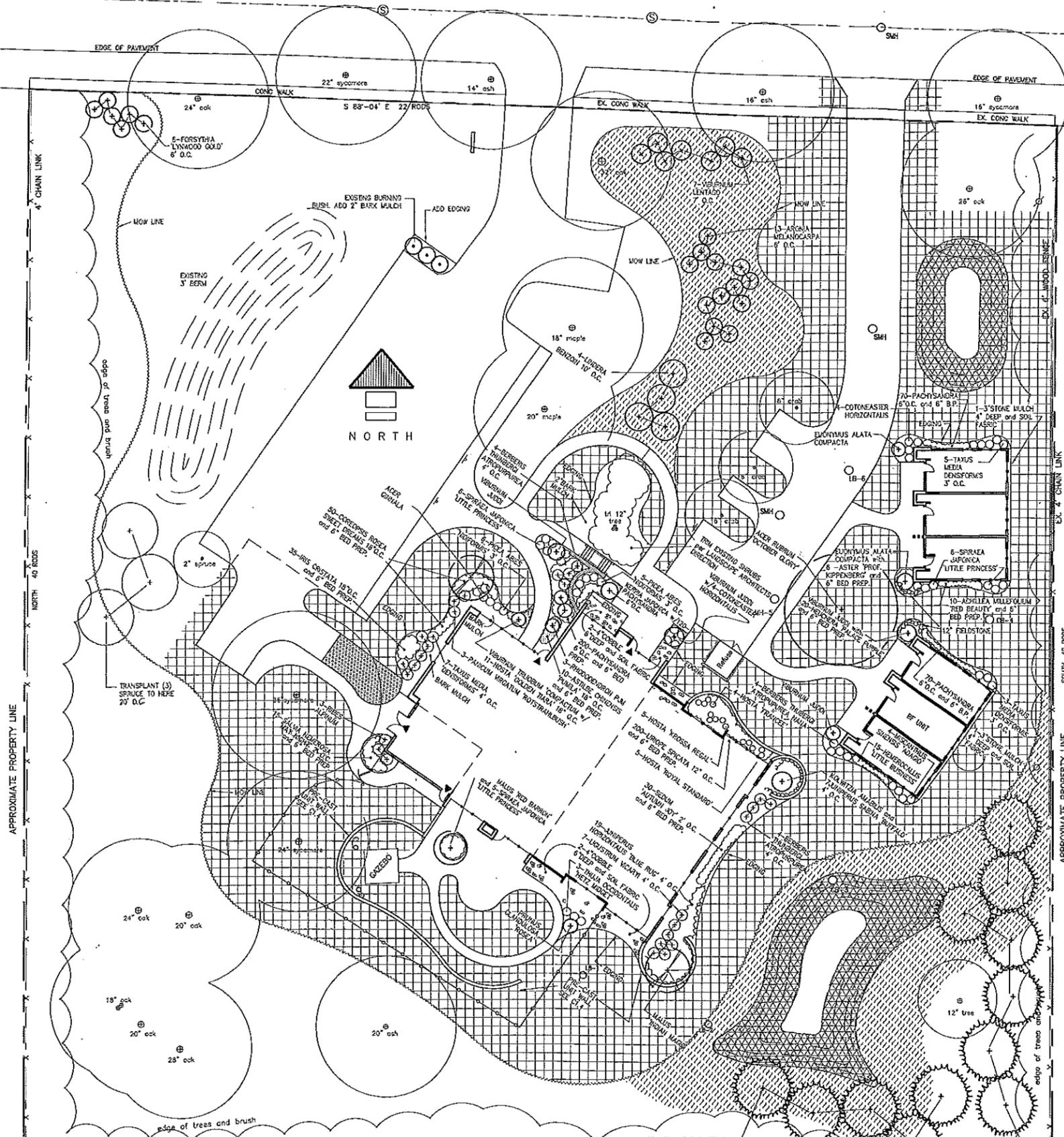
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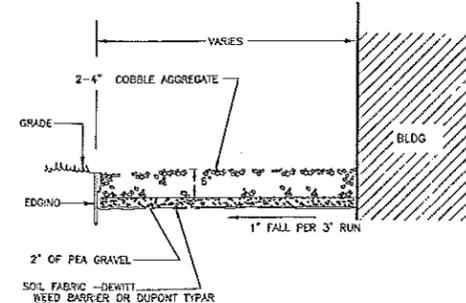
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Site Plan (revised)
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REVISED

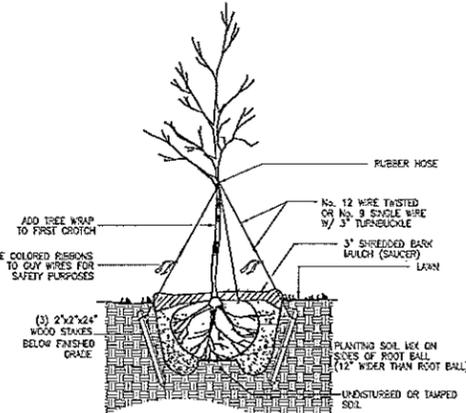
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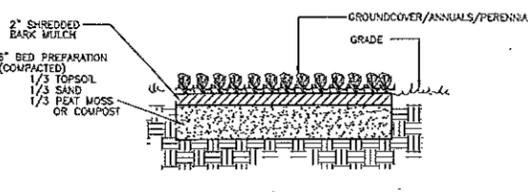
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GRAVEL MULCH DETAIL
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TYPICAL TREE PLANTING
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TYPICAL GROUNDCOVER/PERENNIAL/ANNUAL BED
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- NOTES
- ALL EDGING TO BE 1/8"X1" ALUMINUM FERMALOC OR EQUAL EDGING
 - ALL PLANT BEDS NOT DESIGNATED WITH COBBLE MULCH SHALL HAVE 3" FINE SHREDDED BARK MULCH
- | | |
|--|---|
| | SEED AND MULCH WITH A MIX OF:
20% PERENNIAL RYEGRASS
30% CREPINA RED FESCUE
50% KENTUCKY BLUEGRASS
AT 65 / 1000 SQ. FT. |
| | SEED AND MULCH WITH SHALE SEED MIX BY JENEX - INSTALL PER MANUFACTURERS SPECIFICATIONS
INSTALL EROSION BLANKET 575 HAD |
| | SEED AND MULCH WITH LOW PROFILE PEARLE MIX BY JENEX - INSTALL PER MANUFACTURERS SPECIFICATIONS |
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATION OF UTILITIES. CALL MISS DDO BEFORE STARTING CONSTRUCTION.

- LEGEND
- ⊙ SANITARY MANHOLE
 - ⊙ UTILITY POLE
 - ⊙ GUY ANCHOR
 - ⊙ SIGN
 - ⊙ TREE
 - ⊙ EVERGREEN
 - +683.25 SPOT ELEVATION
 - TW TOP OF WALL
 - 682 --- EXISTING CONTOUR
 - - - - - FENCE
 - - - - - OVERHEAD UTILITY LINE

NOT FOR CONSTRUCTION

LANDSCAPE PLAN

751 PLEASANT AVENUE-- SPECIAL USE PERMIT FOR A TRANSITIONAL RESIDENCE AND DROP-IN CENTER

SPECIAL USE PERMIT P.C.#2008.11



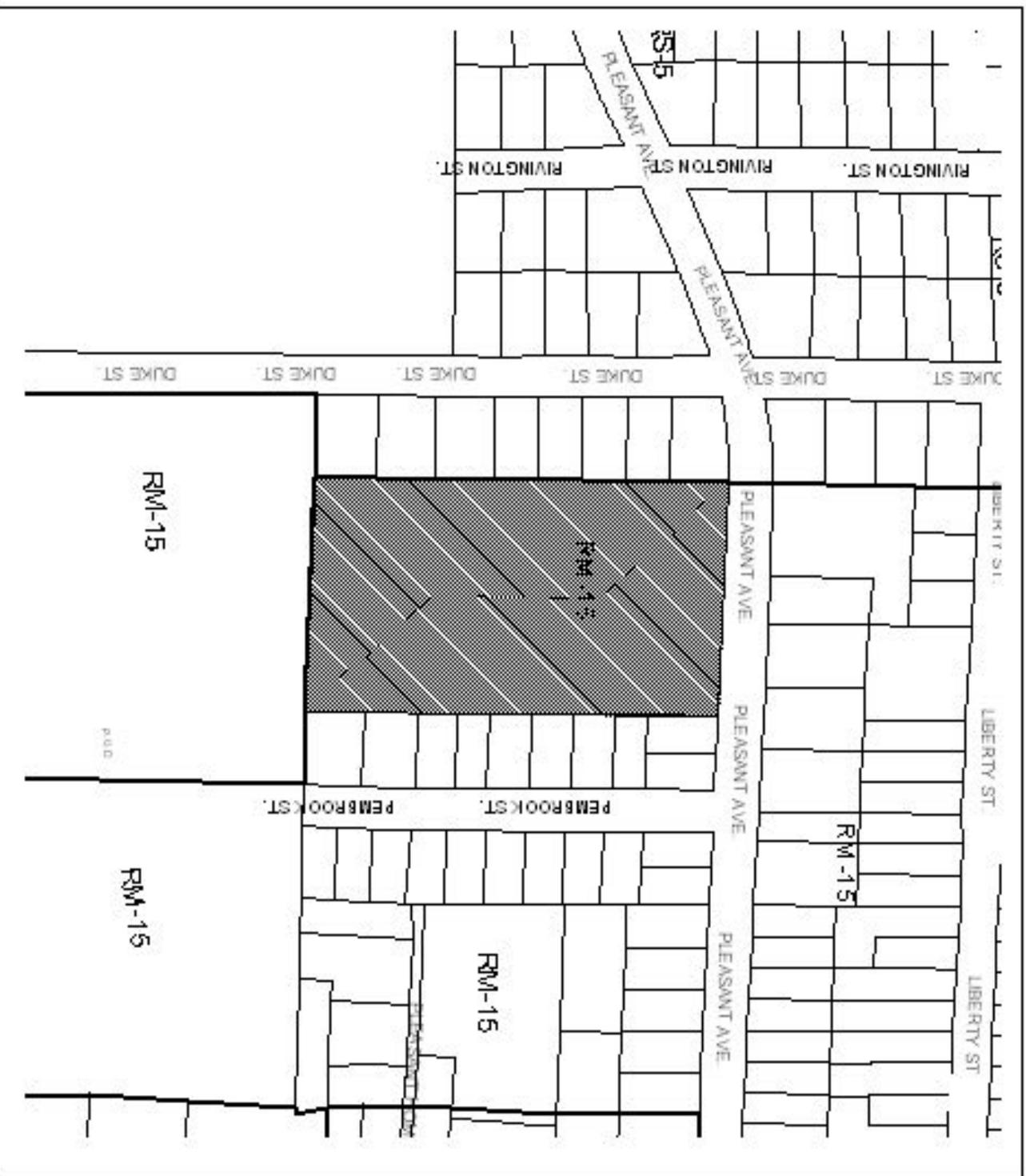
 AREA REQUESTED FOR SPECIAL USE PERMIT



0 100 200 Feet

751 PLEASANT AVENUE-- SPECIAL USE PERMIT FOR A TRANSITIONAL RESIDENCE AND DROP-IN CENTER

P.C.# 2008.11



ZONING

- M2- MANUFACTURING, GENERAL
- M1- MANUFACTURING, LIMITED
- CC-BD- COMMERCIAL, CENTRAL BUSINESS
- CC-BT- COMMERCIAL, BUSINESS, TECHNOLOGY AND RESEARCH
- CC- COMMERCIAL, COMMUNITY
- CM-O- COMMERCIAL, NEIGHBORHOOD OFFICE
- CM-L- COMMERCIAL, LOCAL NEIGHBORHOOD
- CO- COMMERCIAL, OFFICE
- RM-35- RESIDENTIAL MULTIFAMILY DWELLING
- RM-15- RESIDENTIAL MULTIFAMILY DWELLING
- RM-150- RESIDENTIAL MULTIFAMILY DWELLING - CAMPUS AREA
- RD-19- RESIDENTIAL, DUPLEX
- RS-7- RESIDENTIAL, SINGLE-FAMILY DWELLING
- RS-5- RESIDENTIAL, SINGLE-FAMILY DWELLING

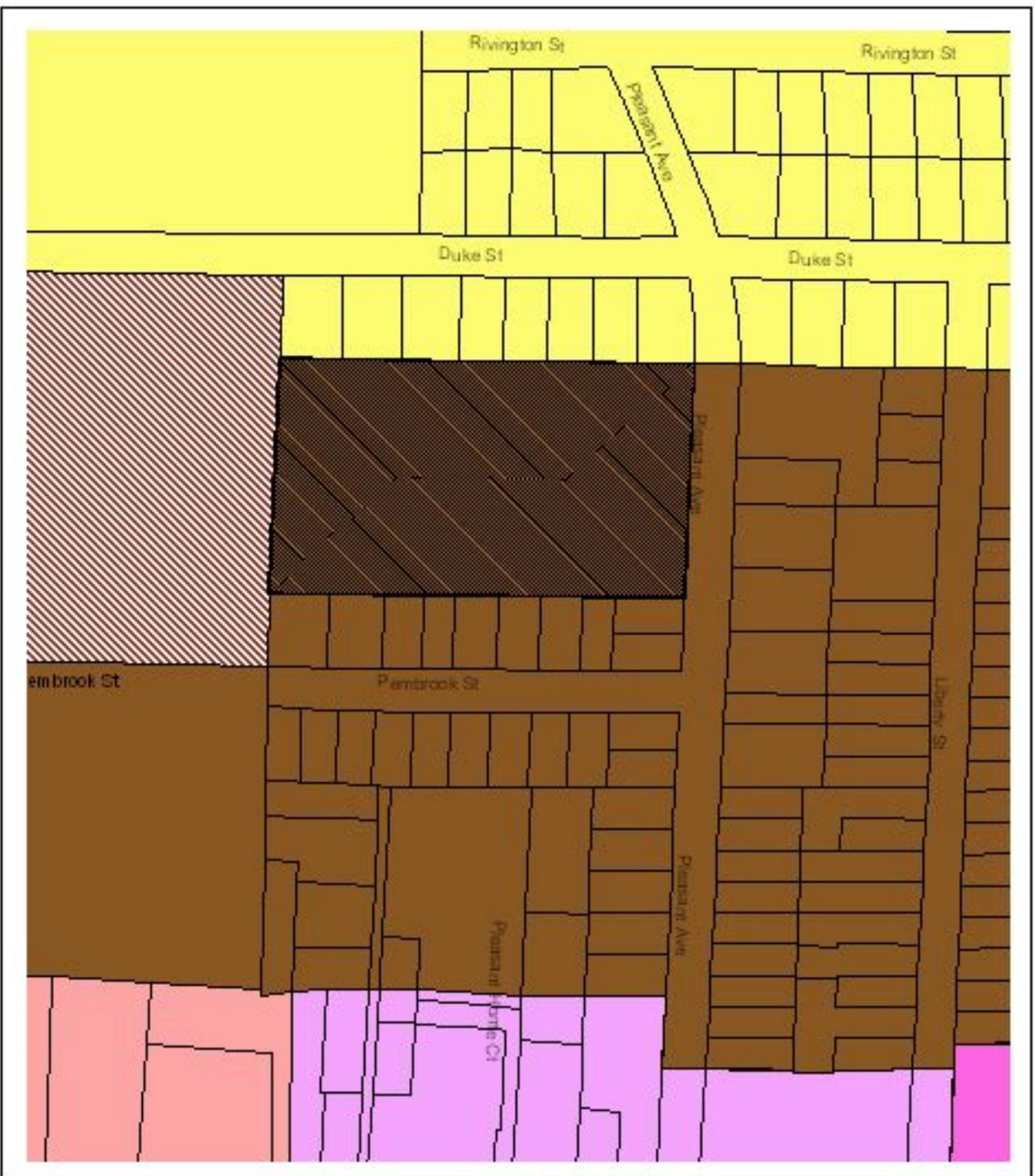


AREA REQUESTED FOR SUP



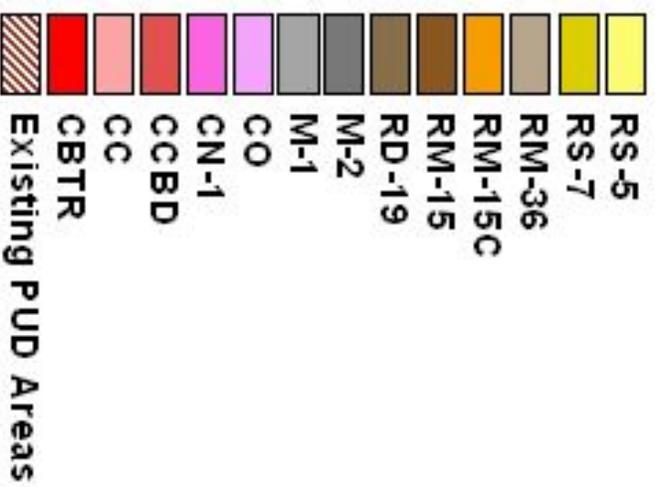
751 PLEASANT AVENUE-- SPECIAL USE PERMIT FOR A TRANSITIONAL RESIDENCE AND DROP-IN CENTER

SPECIAL USE PERMIT P.C.#2008.11



AREA REQUESTED FOR SPECIAL USE PERMIT

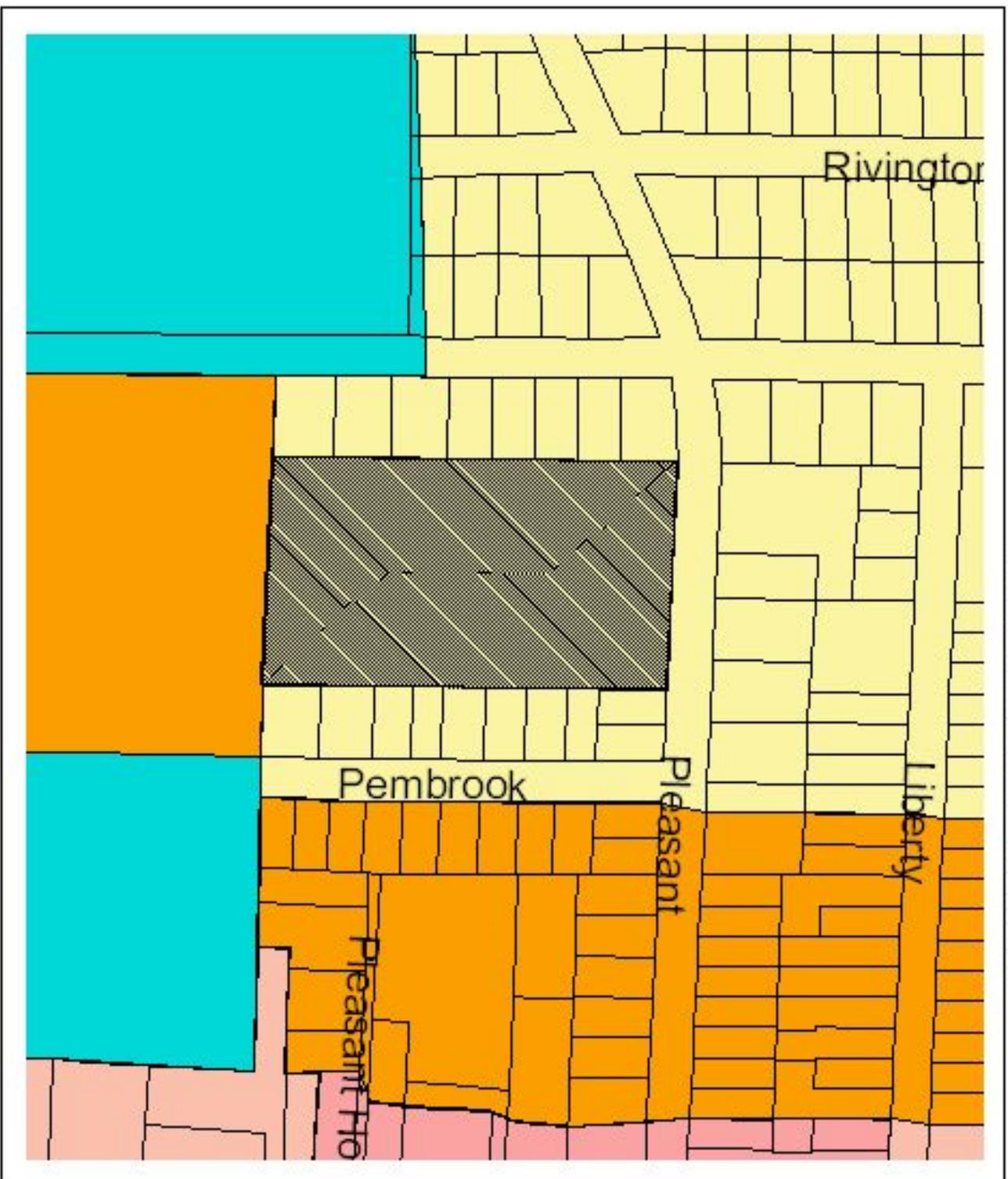
EXISTING ZONING



0 100 200 Feet

751 PLEASANT AVENUE-- SPECIAL USE PERMIT FOR A TRANSITIONAL RESIDENCE AND DROP-IN CENTER

SPECIAL USE PERMIT P.C.#2008.11



FUTURE LAND USE MAP

- Center line strip
- Parcel
- Future land use strip
- Light Industrial
- Industrial
- Institutional
- General Commercial
- Neighborhood Commercial
- Commercial Recreation
- Office
- Office/Residential
- Low Density Residential
- Medium Density Residential
- High Density Residential
- Mobile Home Park
- Open Space
- Parks
- Mixed Use
- Spec Consideration
- Low Density Residential with Open Space Preservation



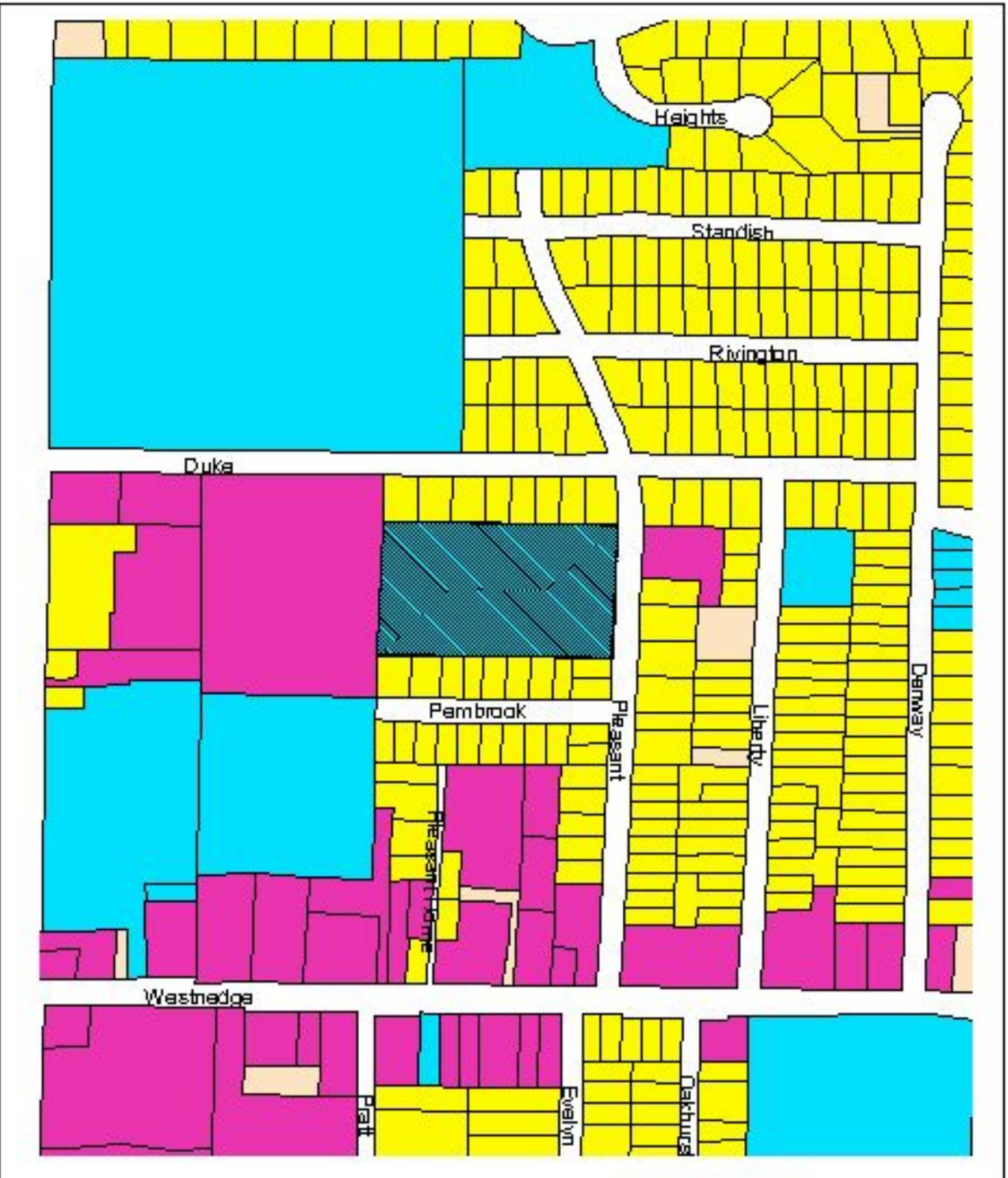
AREA REQUESTED FOR SPECIAL USE PERMIT



0 100 200 Feet

751 PLEASANT AVENUE-- SPECIAL USE PERMIT FOR A TRANSITIONAL RESIDENCE AND DROP-IN CENTER

SPECIAL USE PERMIT P.C.#2008.11



- Land Use**
- COMMERCIAL
 - VACANT
 - PUBLIC/INSTITUTIONAL
 - INDUSTRIAL
 - SINGLE FAMILY RESIDENTIAL
 - MULTI-FAMILY RESIDENTIAL OR RENTAL



AREA REQUESTED FOR SPECIAL USE PERMIT

8-20-08

To whom it may concern,

I am writing in response to the application submitted to your office on behalf of the Roman Catholic Diocese of Kalamazoo. The ARK program is needed in our community although I do not believe placing it in the center of a family neighborhood is the ideal place.

There are many young children and growing families everywhere on our block and sticking a "Transitional residence" in the middle of our environment could have detrimental effects on our block and community.

The ARK is currently situated in a perfect spot on the corner of Duke and Kilgore. If they need to expand they have plenty of room to do it there. We all know the trouble teens and children in the ARK program suffer from many problems, my main concern are those with problems with drugs, theft, and sexual abuse. I do not want my family exposed to that and I'm sure my neighbors do not as well.

Thank you for your time,

Jeffrey Luchies 736 Pleasant Ave.

CITY OF KALAMAZOO
SITE PLAN REVIEW PROJECT LIST

Year 2008	Project Address	Project Description	Applicant	Date Received	Comments Due Date	1st Review Date	Final Approval Date	Comments
2008.33	4401 Siesta	Co-location on existing cell tower	A T & T	8/26/2008	9/8/2008	9/9/2008	--	Under review.
2008.32	3013 Oakland Drive	New antennas on existing cell tower	A T & T	8/26/2008	9/8/2008	9/9/2008	--	Under review.
2008.31	3421 S. Burdick Street	New antennas on existing cell tower	A T & T	8/26/2008	9/8/2008	9/9/2008	--	Under review.
2008.3	1811 Lake Street	New antennas on existing cell tower	A T & T	8/26/2008	9/8/2008	9/9/2008	--	Under review.
2008.29	4037 S. Westnedge	New storage building	Exteriors of Kalamazoo	8/21/2008	9/3/2008	9/4/2008	--	Under review.
2008.28	710 Collins Street	Antenna co-location on a building	T-Mobile Central, LLC	8/14/2008	8/27/2008	8/28/2008	--	Under review.
2008.27	751 Pleasant Avenue	Building addition and two new buildings	The ARK	8/14/2008	8/27/2008	8/28/2008	--	Under review.
2008.26	4023 Portage Street	New bank building	Consumers Credit Union	8/7/2008	8/20/2008	8/21/2008	--	Under review.
2008.25	1516 Rockledge	Add antennas to cell tower	A T & T	7/16/2008	7/30/2008	7/31/2008	8/1/2008	Final approval provided
2008.24	2815 Millcork	Add antennas to cell tower	A T & T	7/16/2008	7/30/2008	7/31/2008	8/1/2008	Final approval provided
2008.23	4201 W. Michigan	Building addition	Planned Parenthood	7/3/2008	7/21/2008	7/22/2008	--	Under review.
2008.22	3103 W. Michigan	4-unit apartment building	Greg Watts	6/23/2008	7/7/2008	7/8/2008	8/7/2008	Final approval provided
2008.21	1421 N. Pitcher St.	Building addition	Graphic Packaging, Inc.	6/19/2008	7/7/2008	7/8/2008	--	Under review.
2008.2	3303 Gembrit Circle	Re-use building for shingle recycling	Crutchall Resource Recycling, LLC	6/10/2008	6/25/2008	6/26/2008	--	Under review.
2008.19	3037 Oakland Drive	Building addition for drive through	Water Street Coffee Joint	5/23/2008	6/9/2008	6/10/2008	--	Under review.
2008.18	1701 Banbury	Re-use half of the building for a computer repair store	Joel Wright - Afftech	5/16/2008	6/2/2008	6/3/2008	6/3/2008	Final approval provided
2008.17	1715 E. Main Street	Re-use building for a mosque	Philip Adkins	5/2/2008	5/19/2008	5/20/2008	--	Under review.
2008.16	4216 Sprinkle Road	New outdoor seating area	Nob Hill Bar & Grill	4/24/2008	5/7/2008	5/8/2008	5/13/2008	Final approval provided
2008.15	524 N. Burdick Street	New retail building	Kalamazoo Gospel Mission	4/24/2008	5/7/2008	5/8/2008	5/27/2008	Final approval provided
2008.14	4141 Manchester Road	New storage silos, extend driveway	Fabri-Kal	4/22/2008	5/5/2008	5/6/2008	5/9/2008	Final approval provided

CITY OF KALAMAZOO
SITE PLAN REVIEW PROJECT LIST

Year 2008	Project Address	Project Description	Applicant	Date Received	Comments Due Date	1st Review Date	Final Approval Date	Comments
2008.13	212 S. Park Street	Building addition and new garage	First United Methodist Church	4/18/2008	5/5/2008	5/6/2008	6/23/2008	Final approval provided
2008.12	714 S. Westnedge Ave.	New chiller facility - Cheney Auditorium	Kalamazoo Public Schools	4/18/2008	Staff review only	--	4/29/2008	Final approval provided
2008.11	251 Mills Street	New restroom/storage building at Mayors' Riverfront Park	City of Kalamazoo Recreation Department	4/10/2008	4/23/2008	4/24/2008	5/23/2008	Final approval provided
2008.1	3329 Virginia Avenue	New family day care use in existing house	Sandra Walker	4/4/2008	Staff review only	--	4/10/2008	Final approval provided
2008.09	4798 Campus Drive	New office building	Fleis & VandenBrink Woods Lake	4/3/2008	4/21/2008	4/22/2008	7/7/2008	Final approval provided
2008.08	3215 Oakland Drive	School building addition	Elementary School	4/1/2008	Staff review only	--	4/17/2008	Final approval provided
2008.07	2316 Winchell Avenue	School building addition	Winchell Elementary School	4/1/2008	Staff review only	--	4/17/2008	Final approval provided
2008.06	3333 Gull Road	New nursing home	Borgess Health Alliance	3/27/2008	4/9/2008	4/10/2008	5/21/2008	Final approval provided
2008.05	511, 512, 526 & 602 W. Willard Avenue	New parking lot for Retro 411 Bar	Union Bag & Barrel, Inc.	3/6/2008	3/19/2008	3/20/2008	3/27/2008	Final approval provided
2008.04	1327 Fraternity Village	New apartment project	GMJ Holding, LLC	3/6/2008	3/19/2008	3/20/2008	3/31/2008	Final approval provided
2008.03	3641 E. Cork Street	Re-use building for a union lodge	IBEW Local 131	3/4/2008	3/17/2008	3/18/2008	3/20/2008	Final approval provided
2008.02	330 N. Drake Road	Commercial development	330 N. Drake, LLC	1/21/2008	2/6/2008	2/7/2008	2/14/2008	Final approval provided
2008.01	532 & 534 Florence	Northside Children's Water Playground	NACD	1/10/2008	1/23/2008	1/24/2008	2/11/2008	Final approval provided