

## Agenda

### City of Kalamazoo - Planning Commission

October 1, 2020

**Electronic Meeting: Streamed on the City of Kalamazoo YouTube Channel and Facebook 7:00 p.m.**

- A. Call to Order:
- B. Roll Call:
- C. Adoption of Formal Agenda:
- D. Approval of Meeting Minutes from September 3, 2020:
- E. Communications and Announcements:
- F. New Business:
  - 1. P.C. #2020.15: Kalamazoo First Baptist Church, 315 W. Michigan Ave. The Historic Preservation Commission has approved the request of Kalamazoo First Baptist Church to have the church designated as a single resource local historic district. The next step is to review and gathering comments from the Planning Commission. **[Request for comments only on proposed local historic district]**
- G. Public Hearings:
  - 1. P.C. #2020.14: Text Amendment to Chapter 50 Zoning Code and a rezoning of Downtown CCBD parcels and adjacent blocks to Downtown zoned CC, CN1, CO, M1, M2, RM36, and RM15 to Downtown D1, D2, or D3, RM36, Live Work 1, or Live Work 2.
- H. Other Business:
- I. Citizens' Comments:
- J. City Commission Liaison Comments:
- K. City Planner's Report:
- L. Miscellaneous Comments by Planning Commissioners:
- M. Adjournment:

City of Kalamazoo  
PLANNING COMMISSION  
Meeting Minutes  
September 3, 2020  
*DRAFT*

Electronic meeting  
under the authority of Executive Order 2020-154 & 165  
issued by Governor Gretchen Whitmer

Members Present: Gregory Milliken, Chair; Sharda Chambers; Derek Wissner; Coreen Ellis; Brian Pittelko; Sakhi Vyas; Emily Greenman Wright, Vice Chair; \*Alfonso Espinosa

Members Excused: James Pitts

City Staff: Pete Eldridge, Assistant City Planner; Clyde Robinson, City Attorney; Beth Cheeseman, Executive Administrative Assistant; Joseph Ulery, Deputy Chief Information Officer; Neal Conway, Communications Coordinator; Jack Urban, City Commission Liaison

**A. CALL TO ORDER**

Commissioner Milliken called the meeting to order at 7:03 p.m.

**B. ROLL CALL**

Planner Eldridge proceeded with roll call and determined that the aforementioned members were present.

**C. ADOPTION OF FORMAL AGENDA**

**Commissioner Ellis, supported by Commissioner Wissner, moved approval of the September 3, 2020 Planning Commission agenda as presented. With a voice vote, the motion carried unanimously.**

**D. APPROVAL OF MINUTES**

**Commissioner Vyas, supported by Commissioner Chambers, moved approval of the July 29, 2020 Planning Commission minutes as presented. With a voice vote, the motion carried unanimously.**

**E. COMMUNICATIONS AND ANNOUNCEMENTS**

Planner Eldridge pointed out that letters of support were circulated earlier in the day for both hearings.

**F. NEW BUSINESS**

None.

## **G. PUBLIC HEARINGS**

Commissioner Milliken reviewed the process for the public to comment on the public hearings.

1. P.C. #2020.12: Joy Abimbowo is requesting a special use permit to change the family day care to a group day care at 3069 Mt. Olivet Road. [**Recommendation: approve special use permit for the group day care**]

Planner Eldridge presented the staff report. The applicant wants to expand her family daycare of six children to a group daycare of 7-12 children. The house is in zone RS-5. It has 907 square feet available for the daycare with a fenced backyard and play area. The front yard has a double lane driveway which is sufficient for pickup and drop offs. The applicant, Ms. Abimbowo has been licensed since 2019. The children in her care are 6 months to 12 years of age. She is open M-F, 6am to midnight. Planner Eldridge shared maps and pictures of the property and surrounding areas. He noted that there is a sign in her yard advertising the daycare. He will work with Ms. Abimbowo regarding this because daycares are not allowed to have free-standing signs in the front yard. Home daycares with six children are an approved and appropriate use in the RS-5 district. A special use permit is required for a group daycare (7-12 children). Ms. Abimbowo's request aligns with the Strategic Vision goal of Complete Neighborhoods. Planner Eldridge explained that the required public noticing was completed. He said the applicant talked to her neighbors and was able to provide letters of support from two of them. Planner Eldridge explained that the proposed special use is appropriate and compatible with surrounding land uses. The existing daycare meets all of the additional requirements for a group daycare listed in chapter 4.2K2. An occupancy inspection is required by the Building Official to make sure that Life Safety Code is met. He said that children are allowed to play outside with appropriate supervision in the fenced play area. The existing road capacity is sufficient for this use and Mt. Olivet has curbside parking. Planner Eldridge shared the staff rationale for approval. He said the proposed daycare is an allowed use in RS-5; it complies with zoning ordinance requirements; it has a double lane driveway for pick-up and drop offs of children; and the group daycare aligns with the Strategic Vision Goal of Complete Neighborhoods. He also mentioned the letters of support received. Planner Eldridge recommended the Planning Commissioners approve the daycare with the condition that it will not be operated until it has the required license from the State of Michigan.

Applicant, Joy Abimbowo, shared that she has done daycare for about 10 years. She worked with the elderly for four years before starting the home daycare. Ms. Abimbowo has run the home daycare for one year. She reported that there is an increased demand - people continue ask if she can provide daycare services. She feels that she has the space for more children.

Commissioner Milliken asked about staffing needs and 2<sup>nd</sup> shift work. Ms. Abimbowo said her cousin will be assisting her. She said she currently has the six children alone with her cousin assisting occasionally. Right now, she has one baby who comes from 4:30-11:30 pm on Tuesdays and Thursdays. Ms. Abimbowo said that once her assistant is available, she can take more children on the 2<sup>nd</sup> shift. She added that most of the children come at 6 am and leave at 5:30pm.

**Commissioner Milliken opened up the public comment portion of the hearing.**

No public comments at this time.

**Commissioner Milliken closed the public comment portion of the public hearing.**

Commissioner Milliken asked staff to clarify about the inspection by the Building Official. He wondered if that should be a condition of approval. Planner Eldridge said it did not need to be a condition. It is one of the required forms Ms. Abimbowo needs to submit for her group daycare license. Ms. Abimbowo shared the inspections and trainings required for her license. Planner Eldridge said that after she submits her application, someone from State comes and does a site inspection. He was comfortable with only condition being the license from the State.

**Commissioner Greenman Wright, supported by Commissioner Vyas, made the motion to approve special use permit for the group day care use for 7-12 children with condition of the group daycare not being operated until the required license is obtained by state of Michigan.**

Commissioner Greenman Wright stated that it was obvious the applicant had done a lot of work in preparing her home and that she runs a successful business if there is more demand. She stated appreciation of the service Ms. Abimbowo is performing in the City. Commissioner Greenman Wright shared that she would be voting yes with no hesitation.

Commissioner Milliken added that the request is compliant with the zoning ordinance and the Master Plan. He pointed out that the use is in high demand. Commissioner Milliken stated that he puts a lot of stock in the staff report and state of Michigan licensing process.

**Roll call vote was taken, and the motion passed.**

2. P.C. #2020.13: The Boys & Girls Club of Greater Kalamazoo is requesting a special use permit to allow a community service center in an M-1 District at 825 and 847 Portage Street / 720 and 726 E. Vine Street. **[Recommendation: approve special use permit for the community service center]**

Planner Eldridge presented the staff report. He pointed out that the request includes four parcels. He shared that the Boys & Girls Club is well established in the Kalamazoo area with three locations - W. Paterson Street, Lake Street and Gertrude Street (Kalamazoo township). Planner Eldridge said the Boys & Girls Club intends to continue a presence in the Northside, Edison and Eastside neighborhoods. This property is approximately 1.5 acres. Three of the parcels are vacant with one building remaining on the south parcel. The proposed new building is approximately 30,000 sq. ft. for administrative offices, programming space and a gymnasium. Planner Eldridge shared maps and pictures of the property and surrounding area. The current zoning of this property is M-1. This particular area is identified in the Master Plan to be changed to a more mixed-use type zone such as LW-1 or LW-2. At that time a community service center would not require a special use permit. Currently, in the M-1 zone, it does require a special use permit. This request meets two Strategic Vision goals – Shared Prosperity and Youth Development. Planner Eldridge stated that the required public notices were sent. The applicant talked to property owners and nearby businesses and received two letters of support. Planner Eldridge explained that the request meets special use permit criteria. The location is compatible with the mix of uses already existing in the area. Portage Street allows for cross-City access which includes a bus route. The location will be convenient to attract and serve youth from multiple neighborhoods. The facility will comply with the additional zoning criteria mentioned –

noise ordinance standards. No outdoor recreational opportunities are proposed. Planner Eldridge stated that the new construction will go through site plan review approval process. He added that access for parking and drop offs is from Jackson Street. The existing road capacity is adequate to handle traffic needs for this particular use. Planner Eldridge shared the Staff Rationale for recommendation. Community Service Centers are an allowed use in M-1; this area is being evaluated for rezoning which would allow a community service center by right; the facility and location would attract and serve youth from multiple neighborhoods; the request meets the Shared Prosperity and Complete Neighborhood goals of the Strategic Vision. Planner Eldridge recommended that Planning Commissioners approve this request.

Applicant, Matt Lynn, Chief Executive Officer, shared a little more about the Boys & Girls Club. He said that in 2018, they found out Edison Elementary School was slated to be torn down and rebuilt per the Kalamazoo public millage. Because they lease their current space, they began to look at their options. They were committed to staying connected to the Edison neighborhood which has been their home base for over 20 years. Mr. Lynn feels this property is ideal. There are many crosstown connections to other neighborhoods and schools and parents will easily be able to drop off and pick up youth on a daily basis. Mr. Lynn said the facility will give them the opportunity to expand their reach and capacity to serve more youth throughout the Kalamazoo area. He shared that they have completed the purchase of the property, a survey, a Phase I ESA, Phase II ESA, and BEA on the property.

\*Commissioner Espinosa joined the meeting while the Mr. Lynn was talking.

Commissioner Milliken asked where staff would park. Mr. Andrew Gyorkos replied that they're working on putting the building on the northern part of the property. He said the parking would be on the southernmost portion - where the contamination is located. He said they are talking to Loaves and Fishes about sharing parking in the already existing lot.

Commissioner Ellis asked if Edison's new school building would include the Boys & Girls Club or if they would be separate. Mr. Lynn replied that they will be separate. He believes they will still have a dynamic partnership with them. The youth will just walk across Jackson to get to Boys & Girls Club. He thought there may be some joint program opportunities – using green space /playground at the school.

**Commissioner Milliken opened up the public comment portion of the hearing.**

Mr. Richard Stewart stated that his property is directly across the street from the former Grapevine complex. He said that he and the South town Neighborhood are happy to welcome the Boys & Girls Club to develop the parcels. They will be great neighbors. Mr. Stewart expressed concern that the City reduced Portage Street from two lanes in each direction to one lane in each direction with a turn lane in the center - from Stockbridge to Lovell. He said this change has caused a massive increase in auto accidents that they've documented and submitted photos on Facebook repeatedly. Mr. Stewart said it has also caused major traffic delays, congestion and air pollution from the starting and stopping traffic. He again expressed support of the Boys & Girls Club but asked that the City open Portage Street back up to two lanes in each direction. They believe the new development will bring more traffic to the area, and for safety, they want to have the road be four lanes. He shared that this area of Portage has school buses, railroad tracks and the City bus. He believed it is only safe and prudent to reopen Portage Street. Mr. Stewart also added that the City has

ignored the South town Neighborhood plan. He said they are a diverse neighborhood, and this is their business district.

**Commissioner Milliken closed the public comment portion of the hearing.**

Commissioner Chambers said that she works off Portage Road. Her concern was also traffic and safety. She said there are a lot of accidents that happen, and she hoped the City will look into traffic over there. Commissioner Chambers said there is going to be a new apartment complex and potentially a new restaurant in that area. It can be dangerous because that intersection gets really busy.

Planner Eldridge said he will relay Mr. Stewart's comments to the City Planner and Traffic Engineer.

Mr. Gyorkos said that because they are already a block away, he did not feel they would be bringing in additional traffic. He said the proposed location will give them more room with parking.

**Commissioner Greenman Wright, supported by Commissioner Pittelko, made the motion to approve the special use permit to allow a community service center in the M-1 district.**

Commissioner Greenman Wright believes that the Boys & Girls Club does incredible work. She was excited to see their presence and their accessibility to other neighborhoods expanding. Commissioner Greenman Wright thought the location was ideal and she couldn't think of a better anchor to have on that corner. She said it checks many boxes for the Master Plan.

Commissioner Milliken agreed that it complies with the zoning ordinance and with the Master Plan and serves as a catalyst for development along the Portage Road corridor.

**Roll call vote was taken, and the motion passed unanimously.**

**H. OTHER BUSINESS**

None.

**I. CITIZENS' COMMENTS (Regarding non-agenda items)**

None.

#### **J. CITY COMMISSION LIAISON COMMENTS**

Mr. Jack Urban, City Commission Liaison, expressed pleasure with what looks like a win-win situation with the Boys & Girls Club.

#### **K. CITY PLANNER'S REPORT**

Planner Eldridge said they are working on amendments to the NFP ordinance. He said those should be ready for the November Planning Commission meeting. Public feedback is being sought for the Downtown zone districts (D1, D2, D3) and the uses for those districts. Nothing was lined up for the October Planning Commission meeting at that time. Planner Eldridge shared that the Site plan review list was in the packet. He said they are incredibly busy with projects. He encouraged Planning Commissioners to reach out to staff if they have questions or want to see any of those site plans.

#### **L. MISCELLANEOUS COMMENTS BY PLANNING COMMISSIONERS**

Commissioner Ellis asked if they will continue meeting virtually for the rest of the year. Planner Eldridge said they are continuing to evaluate sites that would be large enough to meet. Until they are elevated to the next stage of Covid-19 recovery, they won't have any place with the occupancy level needed to hold citizen meetings in person. He will ask and see if an update can be sent out. They are planning to use the Zoom video conferencing for the next few months.

Attorney Robinson added that it will depend on the Governor's orders. There has been a slowing of Covid infection across Michigan, but the Governor's office is being cautious. If there is no spike in September after the Labor Day holiday, there may be an easing of some restrictions as they get further into the fall months.

Commissioner Chambers said that the City of Kalamazoo is looking for poll workers for November. She said high school juniors and seniors are also eligible to work. Any who are interested need to fill out applications and send them to the County Clerk's office. The training will be in October and you get paid for training. In November they feed you and provide masks and shields. Absentee ballots will be going out in the next couple weeks. She encouraged Planning Commissioners to share the information.

Commissioner Greenman Wright added that there is a great need, especially for workers in low risk categories.

Planner Eldridge received an update from Planner Anderson. The Executive Order allowing electronic meetings was extended today to go through Oct 1<sup>st</sup>. That will allow virtual meetings into late October.

#### **M. ADJOURNMENT**

**Commissioner Milliken adjourned the meeting at 8:06 pm.**



**Community Planning and Economic Development  
Historic Preservation Coordinator**

**245 N. Rose St.**

**Kalamazoo, MI 49007**

Telephone: (269) 337-8804

FAX (269) 337-8513

[ferraros@kalamazoo-city.org](mailto:ferraros@kalamazoo-city.org)

To: Kalamazoo Planning Commission

September 22, 2020

**Re: Kalamazoo Local Historic District Study Committee Report for the First Baptist Church Building.**

To the Commission:

In Michigan under Public Act 169 (Local Historic Districts) and under the City of Kalamazoo Code of Ordinance (Chapter 16, Historic Districts) a very regulated process is required for the creation of a local historic district. Altogether there are fifteen steps, including three opportunities for public input.

One of the steps is to send the completed final report to the Planning Commission for review and comment at the same time it is sent to three state historical entities.

The Historic Preservation Commission requests that the members of the planning commission read and comment on the report. The commission may also examine whether establishing the First Baptist Church as a single resource local historic district supports or conflicts with the Imagine Kalamazoo Master Plan.

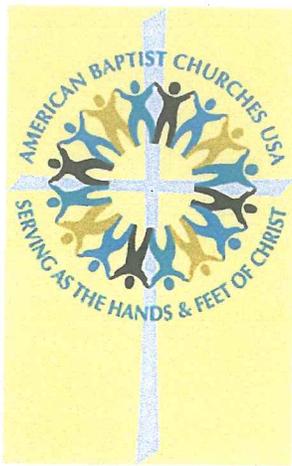
There are more steps ahead before the First Baptist Church Local Historic District is created including a final report including all comments, a public hearing and finally, submission for approval by the city commission.

Once the new local historic district is created, the church will be subject to design review by the Historic District Commission for exterior changes and will have the strongest protection available in Michigan for the preservation of their historic church, the oldest church in the city.

If the commissioner have any questions, please contact me at [ferraros@kalamazoo-city.org](mailto:ferraros@kalamazoo-city.org)

Thank you  
Sharon Ferraro  
Historic Preservation Coordinator

*History is lived in the main by the unknown and forgotten. Then occasionally voices ring out of the darkness – voices that historians never expected to hear, whose existence they had almost forgotten. Historian - Arthur Schlesinger Jr.*



# First Baptist Church

315 West Michigan Avenue  
Kalamazoo, MI 49007  
Phone: 269-345-2195  
Fax: 269-345-2046

June 1, 2020

Kalamazoo Historic Preservation Commission  
c/o Sharon R. Ferraro  
Historic Preservation Coordinator  
City of Kalamazoo  
245 North Rose Street, Suite 101  
Kalamazoo, MI 49007

Dear Commission Members:

The First Baptist Church in Kalamazoo, a Michigan nonprofit corporation a/k/a The First Baptist Church of Kalamazoo, seeks to have a Local Historic District established for its buildings located at 315 West Michigan Avenue, Kalamazoo, Michigan.

The First Baptist Church is one of the seventeen contributing resources to the Bronson Park National Register Historic District and is individually significant in the history of the City of Kalamazoo.

The First Baptist Church has contributed to the research and preparation of the Kalamazoo Local Historic District Study Committee Report and endorses its contents. Therefore, The First Baptist Church hereby requests that the remainder of the designation process proceed immediately and that the Kalamazoo City Commission approve the establishment of The First Baptist Church Local Historic District at the time the final Study Report is submitted to The Commission for action.

It is possible The First Baptist Church will transfer its historic buildings to the Kalamazoo Nonprofit Advocacy Coalition (KNAC) sometime in the coming months. Even if this should happen, The First Baptist Church affirms that it will continue to seek and support a Local Historic District designation for the buildings.

The First Baptist Church in Kalamazoo  
a/k/a The First Baptist Church of Kalamazoo

By: David Nichols David Nichols,  
Senior Pastor

By: Quinton B. Slovacsek  
Quinton B. Slovacsek, FBC Moderator

Kalamazoo Nonprofit Advocacy Coalition  
315 West Michigan Avenue  
Kalamazoo, MI 49007  
c/o Dann Sytsma, Board President  
(269) 599-7390  
dann@crawlspace theatre.com

July 17, 2020

Kalamazoo Historic Preservation Commission  
c/o Sharon R. Ferraro  
Historic Preservation Coordinator  
City of Kalamazoo  
245 North Rose Street, Suite 101  
Kalamazoo, MI 49007

Dear Commission Members:

The Kalamazoo Nonprofit Advocacy Coalition (KNAC), a Michigan nonprofit corporation, intends to enter into an Agreement for Sale and Purchase of Real Estate with The First Baptist Church of Kalamazoo congregation for their property located at 315 West Michigan Avenue in Kalamazoo, Michigan.

One of KNAC's primary goals is to redevelop and rehabilitate this property, commonly known as The First Baptist Church. We recognize the building's importance to the identity of Downtown Kalamazoo, the Bronson Park Historic District, and the First Baptist Church of Kalamazoo congregation, and intend to work in partnership with the City of Kalamazoo, State Historic Preservation Office, Department of Interior, and the First Baptist Church congregation to ensure its continued preservation as a historic resource.

With this goal in mind, KNAC enthusiastically supports the creation of The First Baptist Church Local Historic District. We have reviewed the Kalamazoo Local Historic District Study Committee Report, endorse its contents, and request that the City of Kalamazoo adopt the district as soon as possible.

Kalamazoo Nonprofit Advocacy Coalition

By: 

Dann Sytsma, Board President

# Kalamazoo Local Historic District Study Committee Report for the First Baptist Church Building.

**Location: 315 W. Michigan Avenue, Kalamazoo County Michigan**

## **1. Charge of the Committee**

On April 30, 2007, the Kalamazoo City Commission amended Chapter 16 of the Code of Ordinances (Local Historic District) and appointed the Kalamazoo Historic Preservation Commission as its permanent, standing Historic District Study Committee. The Kalamazoo Historic Preservation Commission as established in Chapter 2 of the Code of Ordinances for the City of Kalamazoo will fulfill the duties of the historic district study committee set forth in section 3 of 1970 P.A. No. 169, MCL 399.203 as amended.

Pursuant to that charge, the Kalamazoo Historic Preservation Commission proposes to grant Local Historic District designation to the First Baptist Church Building.

## **2. Composition of Committee Membership**

Members of the Historic Preservation Commission include:

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- 1) **Chair Joshua Koenig** Director, Undergraduate Advising & American, Public Environmental, Architectural History & Historic Preservation instructor, WMU
- 2) **Regina Gorham** Collections Manager, Kalamazoo Valley Museum.
- 3) **Tim Hills** Owner & Furniture Dealer, Tryscraft. Author, *Norman F. Carver Jr., Architect of Form and Space.*
- 4) **Lenee Powell-Wilson** Community Care Nurse, Veterans Administration, Battle Creek.
- 5) **Sue Robinson** Retired school teacher.
- 6) **Nicole Sabel** Not employed outside the home.
- 7) **Beth Timmerman** Retired Local History Specialist, Kalamazoo Public Library.

## **3. Name of the Historic District Studied**

First Baptist Church Building

### **4a Verbal Boundary Description**

Kalamazoo's First Baptist Church sits on the northeast corner of "Church Square", which is part of the original plat of what is now the City of Kalamazoo, then known first as "Brunson" which was later corrected to "Bronson." The lot is bounded on the north by West Michigan Avenue, on the east by Church Street, on the south by the historic First Reformed Church building, and on the West by the historic First Congregational Church building and its parking lot. Church Square is located near the northwest corner of the Bronson Park National Register Historic District (#83000855), which is an irregularly shaped, seven-block area in the heart of Kalamazoo, and sits directly north of the west half of Bronson Park.

### **4b Visual Boundary Description**

## **Boundary Description**

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159 - D ORIGINAL PLAT NE 1/4 OF BLOCK KNOWN AS CHURCH SQUARE

### **4d Boundary Justification**

The boundaries of this district concur with the legal boundaries of the lot on which the First Baptist Church Building is located.

### **5. History of the Proposed District**

The Village of "Brunson" was platted in 1831; its name later corrected to "Bronson." The area within the plat includes today's Bronson Park and its surrounding National Register Historic District, and is located on land formerly occupied and owned by ancestors of today's Match-E-Be-Nash-She-Wish Band of Pottawatomi.

In 1821, the Band signed a treaty surrendering its tribal land to the United States government. As a result, a nine-square-mile area along the Kalamazoo River was reserved for the Band. In 1827, the Michigan Territorial Government Treaty retracted the reservation, and members of the band were forcibly moved from the area and the compact community they had established. Those who remained mostly scattered to sections of the Gun Lake prairies, 25 miles north of Kalamazoo.

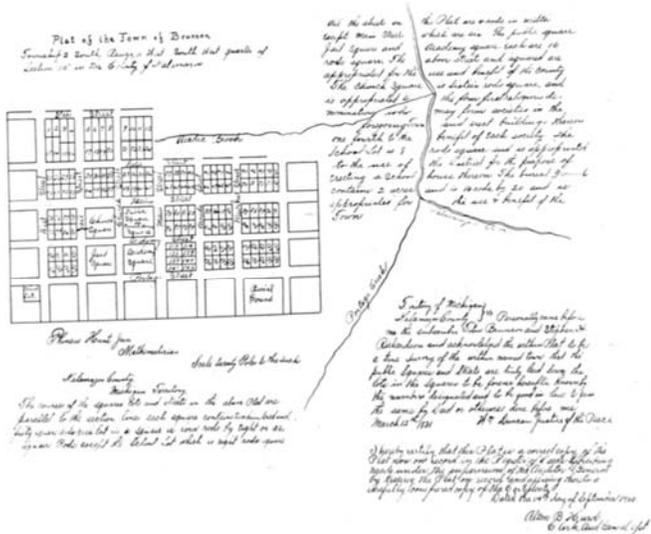
On November 1, 1830, Stephen Richardson and his brother-in-law Titus Bronson each bought eighty acres of this land from the U.S. Government. Today's Rose Street was the north-south dividing line between their two eighty-acre parcels. Bronson's (E ½ of SW ¼, Section 15) was on Rose Street's east side, while Richardson's (W ½ of SW ¼, Section 15) was on the west. The two platted Brunson/Bronson in 1831, and Richardson's land became home to what has since become identified as the now well-known "Four Squares" found on the 1831 plat map.

As Kalamazoo's very first economic development incentive, the Four Squares were set aside for public and religious use. The plat map notations read in part:

*The public square Jail square and Academy square are 16 rods square. The above streets and squared (sp) are appropriated for the use and benefit of the County. The Church Square is Sixteen rods square, and is appropriated to the four first religious denominations who may form societies in the foregoing Town and erect buildings thereon one fourth to the benefit of each society.*

That 1831 plat map shows the marked squares bounded by what are now known as W. Michigan Avenue, Rose, South, and Park Streets. The incentive worked. Within the next three years, the State government located the county seat and land offices to Bronson.

1831 Plat Map for the  
"Town of Bronson"  
the Four Squares are near the  
lower left corner



In 1836, nearly \$2 million worth of land was sold in Kalamazoo at \$1.25 an acre. Within a decade, all the squares were partially or fully developed. A Courthouse was built in 1838 (NE.) Church Square, (NW) was fully populated by 1852 with Baptist, Methodist, Episcopal and Congregational houses of worship. A Jail and Academy were built in their respective SW and SE squares.

**Context: The National Register Historic District**

In 1983, following several decades of historic resources surveys, the Bronson Park National Register Historic District was created by the National Park Service as part of a Multiple Resource nomination for Kalamazoo. The First Baptist Church is one of the seventeen contributing resources to the Bronson Park National Register Historic District.

**Context: Outside The Four Squares**

Bronson Park, along with the activity of Courthouse and Church Squares made the immediately surrounding area the focus of a residential building boom, and it became home to some of the City's best-known public servants, merchants and professionals.

These included Pioneer Justus Burdick, early drugstore owner D. A. McNair, and Nathaniel Balch, who served as County Prosecutor, State Senator, Bar Association president and village president. They and their families were joined by construction company owners Frederick Bush and Thomas Patterson, civil engineer and surveyor Luther Trask, and many others, including, but not limited to Frederick Curtenius, Samuel Ransom, Josiah Hawes, and Joel Perrin, many of whom served the infant community in a variety of ways.

By 1880, more homes were added, including those belonging to Amariah Prouty, Joseph Cornell, William Lawrence and attorney, constitutional convention delegate, and village president Hezekiah (H.G.) Wells. By the middle-1880s, several of the still-available lots were filled with homes.

About this same time, however, nearby land uses slowly began to change. In 1882, the Dankmar Adler and Louis Sullivan designed Academy of Music replaced Justus Burdick's home, and in 1893, a new Library was completed at the southeast corner of Rose and South Streets. Both of these changes subtly began a shift from residential to the civic uses. That shift continued and strengthened, slowly transforming this area to today's "Civic Center" over the next forty years.

About 1929, the City began its first city-wide master planning effort with assistance from Planner Jacob Crane. Plates I and II of Crane's plan (shown here) represent this area, including Church Square and the then still gable-roofed First Baptist Church, thus indicating the high level of importance he and others placed on the City's first platted area.

In Plate I (looking west), Crane envisioned the new City Hall and a spot which soon became the Civic Theater, along with the Presbyterian Church along the park's south side, the Christian

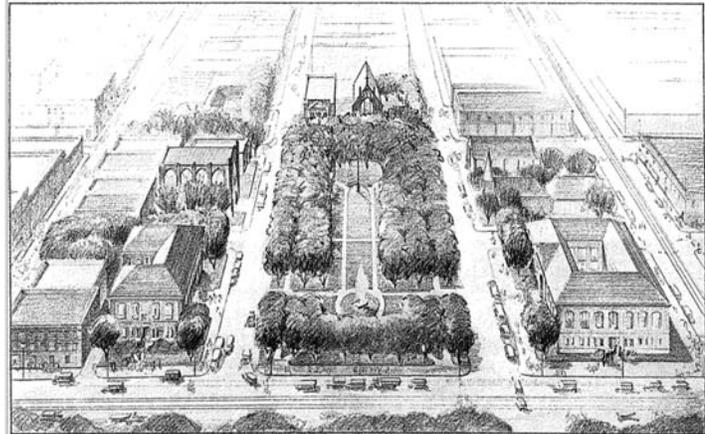


PLATE I  
Birdseye of Civic Center viewed toward Bronson Park; future Court House right foreground, future City Hall left foreground.

Science and Methodist Churches on the west, the Congregational, Baptist and Reformed Churches and YMCA on Church Square, and a not-yet-built new County Courthouse on its Square.



Plate II (looking north) shows no residences remaining that are immediately adjacent to Bronson Park, as Crane's proposed Civic Center would be when completed.

## **Context: The Four Squares**

### **Bronson Park**

The County jail's demolition in 1845 rendered the southwest Square vacant, except for the extant circular mound, which may have been built by an ancient indigenous cultural group. With the jail's removal, the roots of today's Bronson Park took hold.

In 1854, having petitioned the village to have Academy Square on the southeast vacated of its 1838 school building, citizens finally just picked it up and moved it into the street and set it on fire, rendering both southern Squares for park use. And, since 1864, the 3.6 acre park has occupied these two southern squares of the original four.

### **Courthouse Square**

Planning for the first courthouse on this Square began in 1836, shortly after Stephen Richardson's four square set-aside. The chosen style was then growing in favor -- a two-story Greek Revival. In 1866, the county enlarged the building, but things grew cramped again, and in the early 1880s, voters approved construction for a new, larger courthouse. Completed in 1885, the second courthouse was designed in the Renaissance Revival style by Edward Fallis from Ohio. That building was razed in 1935, following calls and approval of a new combined courthouse and jail. Its replacement, which stands today, was completed in 1937.

### **Church Square**

As noted on the original plat, the land here was free to the first four congregations to claim it and build a house of worship. The Episcopalians built first, on the square's northwest corner, in 1837. Though the Baptists made the first claim to land on the square, it finished its first building in 1841, four years after the Episcopalians, and so were the second congregation to locate there. They were followed by the Methodists in 1842 on the southeast corner, and Congregationalists in 1852, on the southwest corner. From there, the history gets a bit complicated. For the purposes of this report, the following describes the individual development of each corner of the square, except the northeast corner, which is found under "History of the First Baptist Church Building" later in this report.

*Church Square, SE Corner* (home of the historic First Reformed Church Building)

The Methodists hold the title of longest-*organized* congregation in the City. Beginning in 1830, Methodist circuit rider James T. Robe performed the first Christian services held in Kalamazoo. The Methodists made the third claim on Church Square, completing their Greek Revival building on the southeast corner in 1842, facing Church Street. They outgrew the building and departed in 1866, having sold the church building to the Dutch Reformed congregation.

The Dutch Reformed congregation was formed in 1850 after pioneer Paulus

denBleyker decided to settle here. The congregation met first in businesses' and stores' second floors, and in 1852, in Kalamazoo's first [denominationally-shared] ecumenical church building on South Street, east of Rose. By the middle 1860s, that was too small, so they bought and moved into the Methodist's former Church Square building. When they outgrew that building, they erected a new white clapboard church on the site. It was the first church on Church Square to face Bronson Park, and dedicated in 1871.

In 1910, the First Reformed building was extensively renovated, with a brick veneer applied to its frame, an enlarged pulpit, new stained glass windows and a stairway, taking the building from somewhat Romanesque to more of a Tudor style. The congregation later added an educational wing on its west side, c1950s, and remained here until 2006, when it closed the building and joined the Second Reformed Congregation. In 2016, the First Congregational Church purchased the property, and at the time of this writing, plans to demolish the building.

*Church Square, NW Corner* (now First Congregational Church's parking lot)

St. Luke's Episcopal Church congregation formed in 1837 and built a small frame building here that year. It was followed in 1848 by a significantly larger brick building designed by New York architect Richard Upjohn. In 1859, the congregation split. When some of St. Luke's congregation left the Square, a member bought and donated it to the Young Men's Christian Association of Kalamazoo (YMCA), which completed its first building there by 1892. In January 1911, that building was destroyed by fire, but by September, a new building took its place, to which an addition was added in 1941. The YMCA moved to Maple Street in 1970, and First Congregational Church bought and demolished the "Y" for its extant parking lot.

*Church Square, SW Corner* (present-day site of First Congregational Church complex)

Having located in two earlier locations since 1834, the Congregationalists moved into their new brick building here in 1852, filling the Square's remaining open lot. In 1887, its growth was evident, and by 1890, a new Byzantine-influenced church here was dedicated. At the very end of 1925, that building was destroyed by a fire.

Most of First Congregational's present-day worship complex was designed by New York architect Aymar Embury II, and completed in 1928, including a sunken garden facing Bronson Park. In 1946, members recommended significant improvements which were finally completed in 1960. New construction on the former garden site had doubled the size of the parish house, and another addition filled in between it and the sanctuary, together providing Sunday school classrooms and other spaces. This work was co-designed by Edward Coe Embury and Kalamazoo's Stone, Smith and Parent Architects. The building's primary entrance was shifted from Bronson Park to the parking lot in the late 1970s.

### **Church Square, NE Corner: History of the First Baptist Church and Building**

The first European-American religious leader to visit Kalamazoo was Baptist minister Rev. Leonard Slater, in 1826. Slater stayed overnight on his way to Niles (and later returned.)

Eight years after that, in 1835, Rev. Jeremiah Hall began preaching at his father-in-law's home (Maj. Ezekiel Ransom) and the congregation organized with fourteen members.

Samuel Durant reported that the first building on this corner was started elsewhere and intended for a lot set aside for a school where today's Kalamazoo Institute of Arts is located. However, following an unknown disagreement or misunderstanding, the Baptists bought it, moved it here and finished it, holding its first services in 1841.

Baptist Church leaders played a *very* significant role in the creation and operation of today's Kalamazoo College, an institution known worldwide for its exceptional liberal arts educational curriculum and study abroad program. Early known as the Michigan and Huron Institute, Rev. Hall secured a site on what was then known as Arcadia Hill (today's college campus), and in 1835, helped raised funds from the village to build the school. It was later renamed The Kalamazoo Literary Institute, and in its early years, many large functions, including commencements, were held at First Baptist Church.

However, the relationship between the institution and its supporting congregation was seriously strained over time. The most significant of these involved members Lucinda Hinsdale Stone and her husband, Dr. James A. B. Stone, who were closely involved as faculty and administrators of the new school between 1843 and 1863.

Despite the creation and administration of a growing Ladies Department, Mrs. Stone was criticized for initiating a too liberal a course of study, and both she and her husband were criticized as being too religiously tolerant. In 1863, they resigned because of these criticisms and others from the church. The following year, Dr. Stone was accused of sexual misconduct with a former student, called to trial by the church, and found guilty; a situation that deeply divided the community. The misconduct accusations against Dr. Stone were later proved to have been forged. But the damage was done, and the College, having lost the majority of its students over the conflict, struggled to survive for several decades.

During this same general period, the Baptists replaced their 1841 building with one completed in 1855. Text from the *Seventy-Five Years' History of First Baptist Church of Kalamazoo MI, 1911* indicate it was built by parishioners:

*"The walls and foundations are substantial about us today. The last work of an aged hewer of stone, Father Gregg, who was a member of the church at that time, was done on this building and it has answered the bond he gave the church, that they were Baptist foundations and should never fail."*

That is the building which substantially survives today, along with its church house/education annex, which was added to the west side of the church nearly eight decades later. The group held its first services and dedicated the new building in 1856. Its pews were sold at auction to cover construction expenses; while congregants, who had previously been baptized in the Kalamazoo River, took comfort in having a building that would now accommodate making that commitment to their church.

Church historian George Kohrman notes that by 1857, the walls had begun to move outward, and work took place at that time to address the issue.

At the building's completion, a clock and fire alarm were installed in the bell tower, underneath a tall, slender steeple, which was maintained by the City. These features survive in today's extant tower. The steeple was deemed unsafe and removed in the spring of 1865. It took 100 men to pull it down. A shorter steeple soon took its place.

In 1870, the congregation hired Kalamazoo contractor and architect H.W. Coddington to design a program to again shore up the walls and remodel the building. This was carried out in 1871. The work encompassed substantial repair to and raising the gable's peak, raising the clock tower to accommodate the additional roof height, removing the auditorium's flat ceiling and creating a delicately flattened Gothic vaulted one in its place. The new roof structure had a ventilation system comprised of wood air ducts and circular decorated vents in the auditorium ceiling and floor. Those on the ceiling were opened and closed from the bell tower with a rope and weight system. The ventilation dormers for this system are extant, (three on each slope of the roof) as are the ones in the sanctuary floor, now covered with carpet.

Importantly, the full-width balcony on the north end of the auditorium was removed, and a horseshoe-shaped balcony that wraps inside the east, north and west walls was built to stabilize the building. The new balcony had graceful stairs at the south end of the auditorium, tying the east and west walls to the new organ and choir apse addition on the south wall. New glass was installed in the auditorium's east and west windows, and a narthex-entrance on the north was added. According to church records, John Phillips, a member and carpenter with a shop on E. Water Street did most of the interior work.

In 1912, the building's brick exterior was parged with cement, the replacement bell-tower steeple and one other were removed, the bell tower remodeled, and the narthex-entry widened with entry doors filled with plate glass, among other work. Additional ventilation and electric work were also accomplished, as well as some rearrangement of some interior space. A *Kalamazoo Gazette* article from December 6, 1912, mentions that windows, except those on the sides of the auditorium, were replaced. Chicago architect William C. Jones designed this project.

As congregational growth continued, plans began in earnest for a church house/education wing in 1929. Working with plans from Dr. George Merrill of New York, from the Northern Baptist Convention's Bureau of Architecture, Kalamazoo's Ernest Batterson adapted the plans for the four-story addition. Its first three floors were completed and furnished in 1932. The fourth floor was finished and fitted out in 1949, during which the children's chapel was completed there.

In 1951, the original building's auditorium was again substantially remodeled. In part to accommodate the installation of a new organ, the south balcony stairs were removed and a two-story addition built at the southeast corner entry. That space today holds an office and choir rehearsal room. This work was designed by Edward Jansson of Chicago, with local architect Randall Wagner managing the project. About 1979, the elevator annex was added on the south side of the bell tower.

In 1980, a tornado swept through downtown Kalamazoo, and First Baptist was not immune to its affects. The building's roofing was replaced as a result, along with 400 individual window panes that were almost entirely located in the church house/education wing.

A new, Letourneau organ was installed in 1998, and the auditorium was again remodeled to accommodate it. The organ's presence has supported the congregation's efforts to increase the building's use for arts and cultural events, and it is listed in the Organ Historical Society Pipe Organ Database. First Baptist's many stained glass windows are registered on the Michigan Stained Glass Census; their makers are unknown.

First Baptist's congregation has shrunk over the past half century, not unlike that of many other long-time religious institutions. At the time of this writing, information on its website shares the following:

*"...declining attendance and growing operating deficits brought the church to the brink of closing in January, 2015. The church, however, voted to spend its accumulated funds to do something new and different. This led to the hiring of Rev. Dr. David L. Nichols and a bold plan to share the building with non-profit organizations."*

Documents are being prepared to sell the building to the Kalamazoo Nonprofit Advocacy Coalition (KNAC) The congregation plans to continue worship services in the building's auditorium.

### **Changes to First Baptist Church Building**

Other than those described earlier in this report, we are aware of no other major changes to the building.

### **Potential Threats to First Baptist Church Building**

As a result of the small congregation's inability to maintain the building, coupled with Kalamazoo's increasingly favorable downtown development market -- the most prominent threat to the First Baptist Church Building is inappropriate new alterations to the building, or new development in place of the building.

The County sold the Courthouse building to the east to a local development company in 2018 which has not yet announced its plans. The potential demolition of the historic First Reformed Church building immediately south is also a threat to the established

historic and physical character of Church Square, and thus to the physical and visual context of the "Church Square" area in which the First Baptist Church building resides.

## **6. Statement of Significance**

The First Baptist Church Building is significant for its association with historical events, persons, type and period characteristics, and the work of local and regional masters.

*Period of Significance:* 1855-1949

The period of significance to end at 1949 because that is when the church house/educational addition was completed, which has gained significance in its own right.

*Areas of Significance:* Architecture, Community Planning and Development, Religion

### **Criteria A. The First Baptist Church Building is associated with events that have made a significant contribution to the broad patterns of our history.**

In 1827, the government took back the land which Kalamazoo's Match-E-Be-Nash-She-Wish Band of Pottawatomi owned through a reservation agreement, including that upon which the First Baptist Church Building sits today. In late 1830, the United States Government sold 80 acres each from the near center of that former reservation to Stephen Richardson and Titus Bronson, which they platted the following year.

Bronson and Richardson hailed from Connecticut, and seemingly well-understood the incentive for growth potential that could be immediately realized if the County Seat was moved to Kalamazoo. Presumably by previous agreement, they carried out the first act of community planning here when they agreed to set aside four "Squares" of Richardson's 80 acres, near the plat's center, for four specific uses: Courthouse, Jail, Academy and Church -- *if* the County Seat became Kalamazoo. That is exactly what happened shortly after the plat was prepared. Soon thereafter, the federal land office was moved to Kalamazoo from White Pigeon (1835.)

As the Four Squares developed over time, including construction of the Baptist congregation's first and not long after, second building on Church Square, the surrounding area on the west, south and east began to emerge as a core residential community in Kalamazoo, while land to the north began to be used for commerce. For another three decades, this first residential development period continued. Then, in 1881, a slow shift began to what exists there today. The following half century or so completed the shift to the second period of development, where new churches, institutions and civic uses came to dominate the landscape around the Four Squares.

This move of early residential to other uses in early community cores is well-established throughout much of the United States. However, to our knowledge, it is not clearly established that *private* development incentives like Richardson's and Bronson's donated Four Squares here were used elsewhere *at the time of founding*.

As the area evolved into its third development period, this transition was codified in Kalamazoo's first "official" governmental planning effort, carried out by planner Jacob Crane. His efforts focused on the importance of what we already had in this specific area, using the terms: "Public Buildings, Civic Center, and City Beautiful." Since that time, the 1929 plan Crane envisioned was completed, and has remained largely unaltered. The ongoing presence of what is now Kalamazoo's oldest extant house of worship, the First Baptist Church, plays a significant role in all of the development phases.

**Criteria B. The First Baptist Church Building is associated with the lives of significant persons in our past.**

The circumstances under which the area developed were unusual, and particularly so when Kalamazoo's civic center, or "heart" expanded as a direct result from the donated Four Squares. A short and certainly incomplete list of significant individuals who are associated with the First Baptist's Church's development on Church Square and Kalamazoo are listed here.

On the way to the Carey Mission in Niles, early Baptist Missionary **Leonard Slater** and his wife, Mary French Ide, stayed overnight in 1826 with a French trader and a small group of Native Americans in a settlement where Riverside Cemetery now sits. Taken by the view, Rev. Slater vowed to return. After a short stint in Niles, they moved to the Thomas Mission in Grand Rapids and then to Prairieville in 1836, living among Native Americans throughout. Rev. Slater learned their language, and continued to use it when he moved to Kalamazoo in 1851, following his wife's death. It is reported that he visited Prairieville on Sundays to preach, and later, after attending services at First Baptist Church, he would emerge and preach to waiting Native Americans. Slater died in 1866 and is buried in Riverside Cemetery.

New Englanders **Stephen Richardson and Titus Bronson** platted the Town of Brunson (later corrected to Bronson) in 1831. Titus Bronson settled here in 1829, and is commonly referred to as Kalamazoo's founder, though there is strong evidence that the Four Squares set aside at the time of platting belonged *not* to Bronson, but to his brother-in-law, Richardson.

Planner **Jacob L. Crane**, a Michigan native, graduated from the University of Michigan and studied Landscape Architecture at Harvard. He had established his planning business in Chicago by the time he worked in Kalamazoo, and went on to work for the federal housing and home finance agencies, and served as the federal government's housing coordinator during World War II. Later, Crane returned to city planning, working in the mid- and far-west, as well as 25 foreign countries.

First Baptist congregation member **Lucinda Hinsdale Stone's** work touched this district, the community and the nation in several ways. She was a suffragist and active, strongly progressive First Baptist member. She moved to Kalamazoo in 1843 with her husband Dr. James Stone, who was also a First Baptist member, and appointed principal of the

Kalamazoo Branch of the University of Michigan. Lucinda Stone eventually headed the Ladies Department at what later became Kalamazoo College.

Mrs. Stone served the Michigan Federation of Women's Clubs and Women's Press Association, and worked with other well-known suffragists, including Susan B. Anthony. As an "Educator, Feminist (and) Mother of Clubs." She reorganized the Kalamazoo Ladies Library Association (LLA) in 1852, and between 1860 and 1867, the congregation at First Baptist provided space for the LLA's collection and meetings.

Mrs. Stone was also long active and successful in lobbying the University of Michigan to admit female students and hire female faculty. With that accomplished, she encouraged one of her former students, Kalamazoo's **Madelon Stockwell**, to apply at the University, and Stockwell was the first woman admitted there. Mrs. Stone was awarded an honorary doctorate from the University in 1890, and inducted into the Michigan Women's Hall of Fame in 1983.

Lucinda Stone's husband, **Dr. James A. B. Stone** was First Baptist's second pastor, and played a role in Kalamazoo College's birth as its first president. He led the school from 1843 to 1863, at a time when very significant early growth took place. Also a suffragist, Dr. Stone, while serving as Kalamazoo's Postmaster, made employment changes that promoted hiring women for available clerkships. Following his departure from Kalamazoo College, he owned the *Kalamazoo Telegraph* newspaper with sons Clement and Horatio.

The Baptist Church's first Deacon was **Major Ezekiel Ransom**, who, following his Revolutionary War and President Washington's staff service, settled here in 1835, and was instrumental in the creation of today's Kalamazoo College. Ezekiel Ransom was the father of Samuel Ransom, below, and of seventh Michigan Governor Epaphroditus Ransom.

Baptist congregation member **Samuel Ransom**, who was brother to Epaphroditus Ransom and a First Baptist deacon, lived nearby at Park and Academy Streets. Ransom earned his living through real estate development, along with his bakery, meat market and sawmill. He too helped establish Kalamazoo College.

Builder-architect **H. (Henry) W. Coddington** carried out a number of well-known Kalamazoo projects during his career. In addition to his work at First Baptist, he designed, worked on, or built: Ladies Hall (Lower Hall), for what is now Kalamazoo College; the 1867 Kalamazoo Female Seminary; the former 1867-69 Methodist Episcopal Church at Lovell and South Rose Streets; St. Luke's Episcopal Church (1886) and later, its parish house (1893), and the former S. Burdick Street Post Office (1892). Coddington also re-built the burned down Kalamazoo Steam Brewery in 1867 on what is now Oakland Drive.

Chicago architect **William C. Jones** designed the 1911-12 First Baptist remodeling. Over

a decades-long Chicago Midwestern career, first with Holabird and Roche (now Root), Jones helped design Chicago's 1893 World's Columbian Exposition buildings, and later worked with architect Gilbert Turnbull and on his own. In addition to his church work, Jones designed homes, stores, schools, factories and government buildings. Elsewhere in Kalamazoo, his 1914 First Church of Christ Scientist (now demolished) was the progenitor for his later Rock Island Christian Science church building, and his 1917 Boone, Iowa church for the Trinity Lutheran congregation.

Kalamazoo architect **Ernest Batterson** was a versatile designer, working on institutional and residential buildings throughout southwest Michigan. He moved from Battle Creek to Kalamazoo and first worked with local architect Rockwell LeRoy. In 1919, he struck out on his own, eventually designing many homes in the Hillcrest, Orchard Hills and West Main Hill neighborhoods (mostly extant), school buildings, the former Salvation Army building on N. Rose Street (extant), the Modernist Douglas Community Center (extant), as well as his largest Kalamazoo building, the First United Methodist Church at Park and Academy Streets (extant).

Kalamazoo architect **Randall Wagner** graduated in the University of Michigan Class of 1920. He worked on several nearby churches during his career, including First Methodist and the St. Augustine Cathedral Complex, as well as other area churches and schools.

Chicago architect **Edward Jansson**, who worked with Wagner on First Baptist's 1951 renovation, is recognized for his church designs throughout the Midwest.

American lawyer and writer **Charles Guiteau**, gave a talk on the "Second Coming of Christ" in the basement of First Baptist Church in 1879. In 1881, Guiteau shot President Garfield, who died two months later.

**Anna Dorothy Wylie**, wife of former Rev. Dr. T. Thomas Wylie, joined the congregation when her husband was called to serve First Baptist as its new pastor in middle-1930s. A devoted member, she helped forge new projects and relationships within the congregation and greater Kalamazoo. Her leadership led church youth in a reciprocal visitation program with black youth and their families in Washington DC, as well as work with Big Brothers and Big Sisters in Kalamazoo, and "Little" Brothers and Sisters programs at First Baptist for children in need of support. These activities led to the beginning of a similar public school initiative that was the forerunner of Kalamazoo's Headstart program.

**Criteria C. The First Baptist Church Building embodies the distinctive characteristics of a type, period, or method of construction, that represents the work of masters, possesses high artistic values, and a significant and distinguishable entity whose components may lack individual distinction.**

## Description

As noted in the 1983 Bronson Park National Register of Historic Places District designation, the Gothic-style First Baptist Church building is the oldest standing church building in Kalamazoo, one of west Michigan's earliest Gothic churches, and one of Michigan's oldest Victorian-period houses of worship.

The building's form, with its heightened gable style roof, rectangular nave and square tower at the northeast corner and overall design remain intact. Of the alterations described earlier in this report, the 1911-12 work, when the brick exterior was parged, had the greatest elemental effect on the original building's exterior.

Today, the exterior of the original 1855 building's primary facade presents a full-width, two-story vestibule with two, lighted, flattened Gothic-arch double entry doors that are topped with pairs of small Gothic stained glass windows. Stepped-back stair towers with additional Gothic (second floor) and square windows (main floor) are located on either side of the entry doors; all are topped with a crenelated roof treatment. The narthex-entry walls are treated with a set of three slender, full-height buttress-like piers between and on either side of the doors and at the corners of the stair towers. Large black lanterns flank the doors. Over the left door, an inset plaque reads "First Baptist Church, Erected 1853." Over the right door, an inset plaque reads "Remodeled 1912."

Behind the narthex-entry, the gable-roofed auditorium building rises with a monumental Gothic window in the center of the second level, which is flanked by quarter-sized examples and a small rectangular ventilating window at the top of the gable.

The substantial clock-bell tower rises from the facade's northeast corner, its historic equipment in-tact, along with a "new" 1950 motor for the clock. The former Church Street entrance there is closed. Tall slender Gothic windows ascend to the church's eave height underneath small rose windows (which filled the round opening left by the clock faces when the tower and clock were raised.) Above these is the raised historic clock. The Church Street facade has a series of five upper-story Gothic windows; the northern-most is partially covered with the elevator annex, and the southern-most is partially covered by the 1951 southeast rear addition.

As you enter the 1855 section of the building from Michigan Avenue at ground level, the fellowship area is straight ahead and consists of a large open space which may be subdivided to the west with roll-down partitions that were part of the 1912 remodeling. The church auditorium is directly above in the second floor, and accessed from the stairways at either end of the narthex-entry. Auditorium seating is divided into three sections, with aisles between and on either side. The apse stage projects into the auditorium space, a change believed to have taken place when the extant organ was installed.

The c1932 addition's exterior remains largely unaltered. Located on the auditorium building's west facade, it has a rectangular footprint. It's twin gabled-end sections face east and west at the front (Michigan Avenue) and rear, and the cross-gable center

section and chimney stack fill the space between. A single-story, four-window bay faces north toward W. Michigan Avenue. The roof of the cross-gable section has four gable-front dormers facing west. On the addition's east side, much of its exterior wall has been pulled back from the original church building to create an interior, uncovered light court (although the architect's plans for the second floor show this was, at least at some point, to be covered at that level.)

The addition is veneered in variegated Indiana limestone, which runs in varied-height horizontal courses. It is entirely fenestrated with steel casement windows which carry multi-colored glass pieces set into an overall diamond pattern. The window frames are rectangular in shape except for one set of three Gothic shaped ones set in the south gable. The windows appear in singles, as well as sets of two, three and four.

A flattened Gothic arch front doorway holds double doors with four lights with diamond-patterned leaded glass over two panels, and is accompanied by lanterns that match those at the main narthex-entry. The doorway is topped with an inscription that reads: "Ye Shall Know the Truth."

The addition's interior includes front and rear stairways that bookend the light court and lead to the light court's steel-windowed main corridors. Original plans for the building show a mixture of large and small rooms on each floor for the nursery, assembly and large and small classrooms, rest and coat rooms, offices, the Pastor's study, and on the fourth floor, a recreation room and children's chapel at the front and rear of the building. Church historian George Kohrman has reported that the first and fourth floor extant plans are original, and major alterations to the second and third floors were carried out in the 1970s. The addition's historic stairs, main corridors, light court and general circulation pattern have not been significantly affected.

### **Conclusion**

The formation of Kalamazoo's First Baptist congregation is deeply rooted in Kalamazoo history through its association with historical events, the lives of some of Kalamazoo's most important early Euro-American settlers, and its architecture. This church building is not only the oldest extant house of worship in the City, but has been cited a number of times as a distinguished example of important local and regional religious architecture.

This district's resource, despite alterations over the years, maintains its ability to tell its important story through its physical presence, and thus, retains a high level of integrity in terms of the strong role it has played in greater Kalamazoo's architecture, community planning and development, and religious histories.

Therefore, with the support of its owners, we recommend that the Kalamazoo City Commission act immediately to create a Local Historic District to protect this building, whose presence demonstrates and helps bring this segment of our history to life, and supports Kalamazoo's unique character and sustainability.

## **7. Photographs**

See Appendix #2

## **8. Resource Counts and Percentages**

The proposed district contains one contributing resource. 100% of the properties contribute to the district.

## **9. List of Historic and Non-Historic Resources**

**Historic Resources:** First Baptist Church Building

**Non-Historic Resources:** None

## **10. Bibliography**

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### **Appendix #1, Visual Boundary Description – Map**

#### **Appendix #2 Photos Historic & Current**

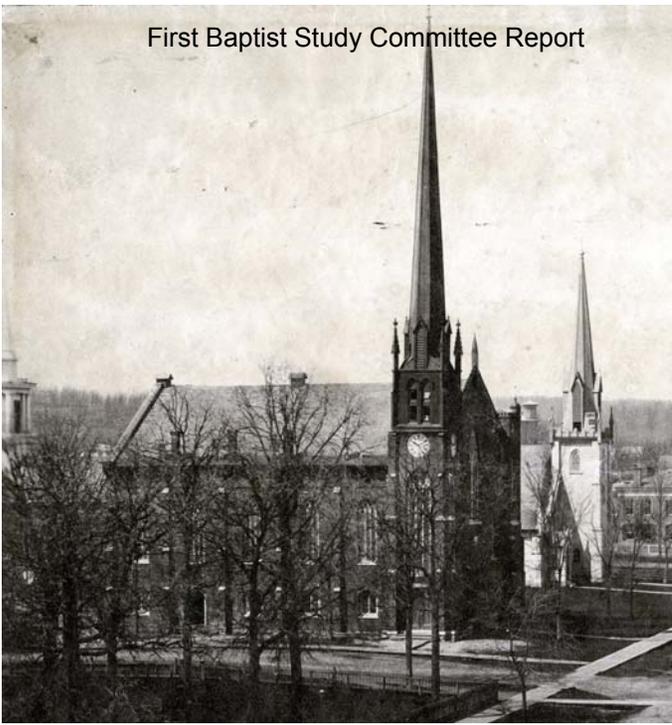
Exterior

- 1.G.Kohrman. c1860-62.firstbaptist\_8x10\_de (Courtesy George Kohrman)  
c1860; looking W-SW
- 2.KPL.1871-84.45912104921\_fdba5b5ec6\_k (Courtesy Kalamazoo Public Library)  
c1871-1884; looking SW
- 3.KPL.1894.23326200526\_d8807d0005\_c (Courtesy Kalamazoo Public Library)  
1894; image on right, looking SW
- 4.KPL.c1940.30840707157\_ee1e160ad4\_h (Courtesy Kalamazoo Public Library)  
c1940; looking S-SW
- 5.KVM.1955.03\_0387 (Courtesy Kalamazoo Valley Museum, via the Kalamazoo Public Library)  
1955; looking S
- 6.SRF.MichW 315 2018-10-09 N church house blue doors (Courtesy Sharon Ferraro)  
2018; church house/education annex door; looking S
- 7.SRF.MichW 315 2018-10-09 NEcor (Courtesy Sharon Ferraro)  
2018; looking SW





First Baptist Study Committee Report



- (1) First Baptist ca 1860
- (3) First Baptist ca 1894

Appendix 2



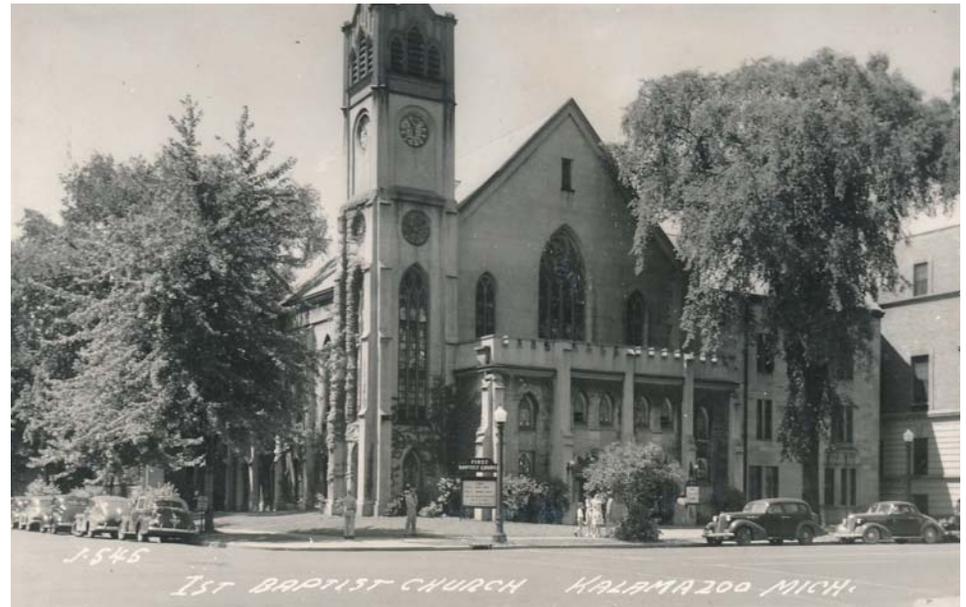
- (2) First Baptist ca 1871-84
- (4) First Baptist 1940

A



First Baptist Study Committee Report

FIRST BAPTIST CHURCH.



Appendix 2



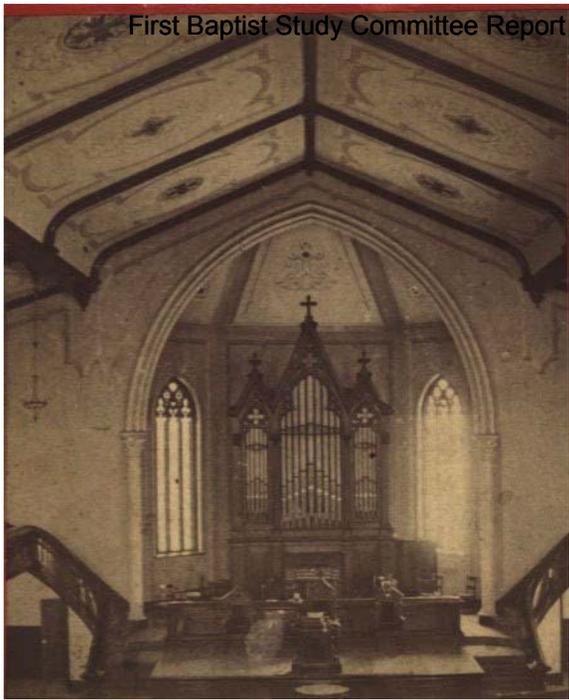
(1) First Baptist 1955  
(3) First Baptist ca 1894



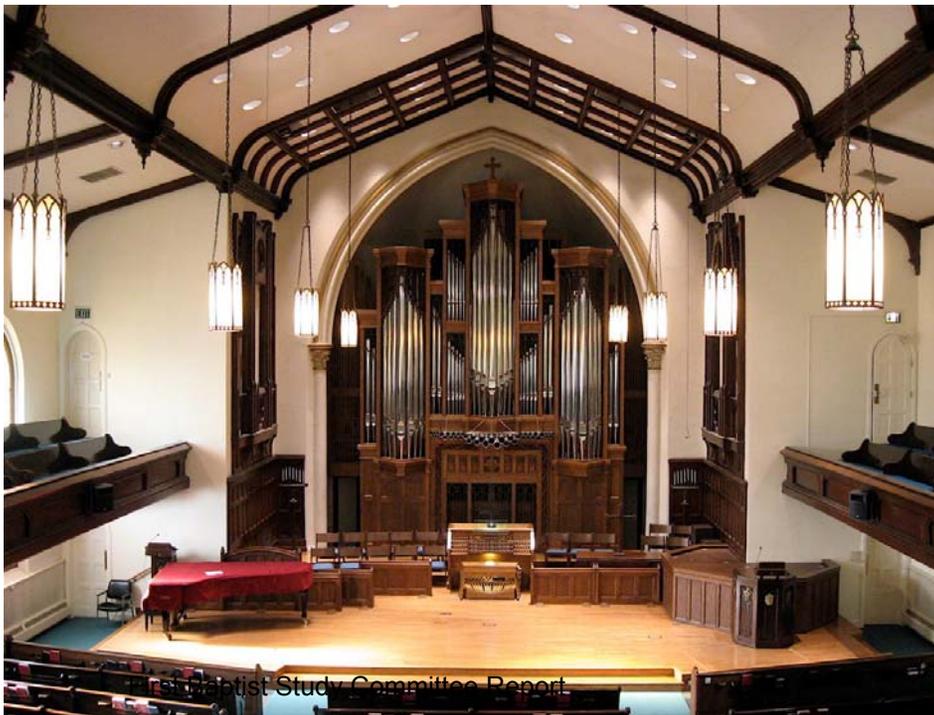
(2) First Baptist - Doors to annex  
(4) First Baptist - north/front

**B**





(1) First Baptist – historic – facing south – ca 1871  
 (3) First Baptist facing south with organ

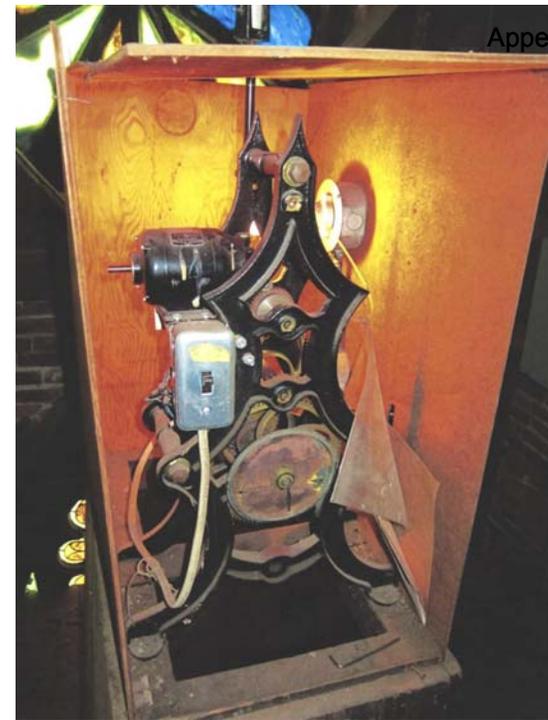


C (2) First Baptist – Historic 1952  
 (4) First Baptist – facing NE



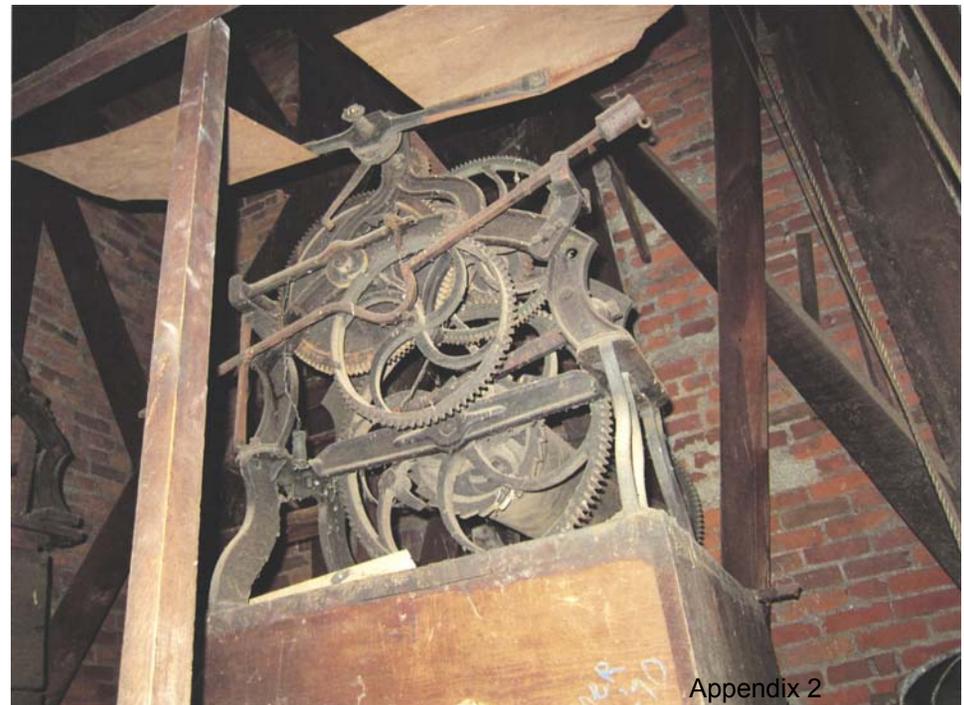
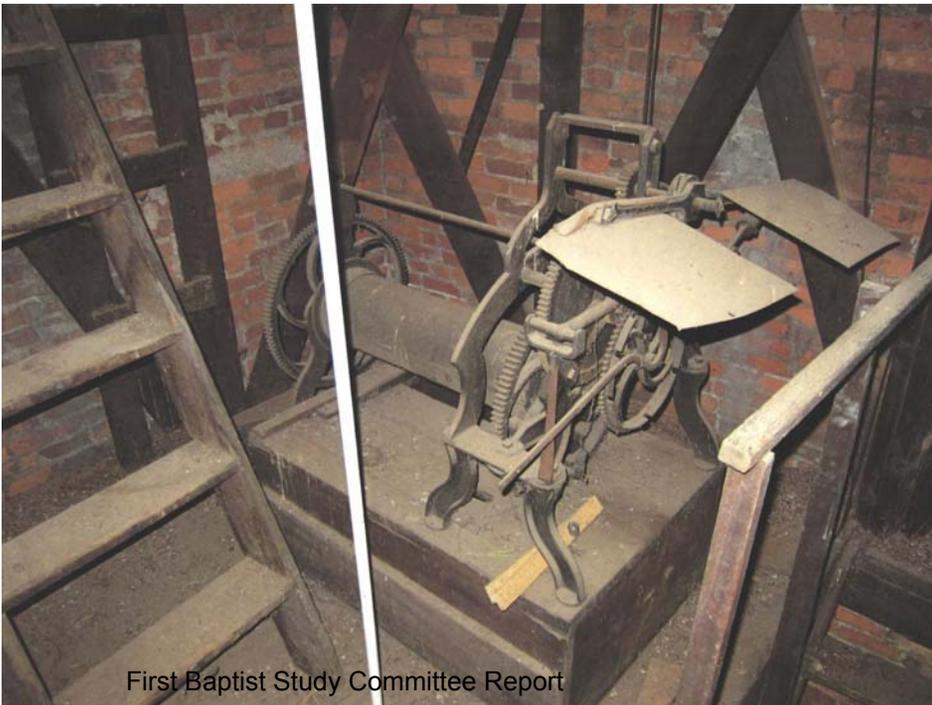


(1) First Baptist – added height of brick in attic over sanctuary  
(3) First Baptist – historic (non-working) clock motor



(2) First Baptist – working clock motor  
(4) First Baptist – historic (non-working) fire alarm

D





# Chapter 50: Zoning Ordinance

Draft  
Sept. 2020

THE CITY OF KALAMAZOO



imagine  
kalamazoo  
2025

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## How to Use These Regulations

The Live-Work 1, Live-Work 2, and Node zoning districts establish a set of development regulations that focus not only on the use of the building, but also the building's form and impact on the block. These regulations go beyond basic setback lines and maximum height to consider such development components as building entrance, minimum amount of transparent windows, and both minimum and maximum heights. This type of regulation is referred to as a form-based zoning. These development components are compiled into Lot Types (refer to 5.6 Lot Types) and each zoning district allows for one or more Lot Type. These regulations are different than the traditional zoning regulations in the City of Kalamazoo, but they are written plainly, organized using tables, and are clearly illustrated for ease of use.

To determine the zoning regulations that apply to a parcel, please follow these steps. The Planning Division is always available to answer questions at 269-337-8044.

### 1 Zoning District.

What zoning district is your property located?



Locate the property on the Zoning Map (refer to Figure 1.2-1 Zoning Map.)

### 2 Permitted Use.

What is your desired use? Is it permitted in this location?



Refer to the 4.1-1 Use Table to review what uses are permitted in each Zoning District. Information on Accessory Uses and Structures can be found in Table 4.1-1.

### 3 Zoning Standards.

What are the requirements for developing or rehabbing a building in this location?



Refer to Table 5.6-1 Lot Types by District to determine which set of development standards are permitted, including dimensional standards that locate a building on a lot and standards for the building facades.

Review the Lot Type Standards in section 5.6, each of which is summarized in a table and with illustrations.

When rehabbing an existing building refer to section 1.4 to determine what activities would result in meeting the requirements of Chapter 50.

## Article 50-1. General Requirements.

### 50-1.1 Purpose.

A. The intent of these requirements is to:

- (1) Create a flexible, market driven approach to the districts defined to promote public health, safety, and general welfare.
- (2) Realize the community's vision as detailed in the Master Plan, including permitting a variety of uses, increased variety of housing infill, and promoting active walkable nodes and corridors through the inclusion of building form requirements.

B. This document should reflect the current adopted Master Plan; if substantial changes occur, this text should be reviewed and amended.

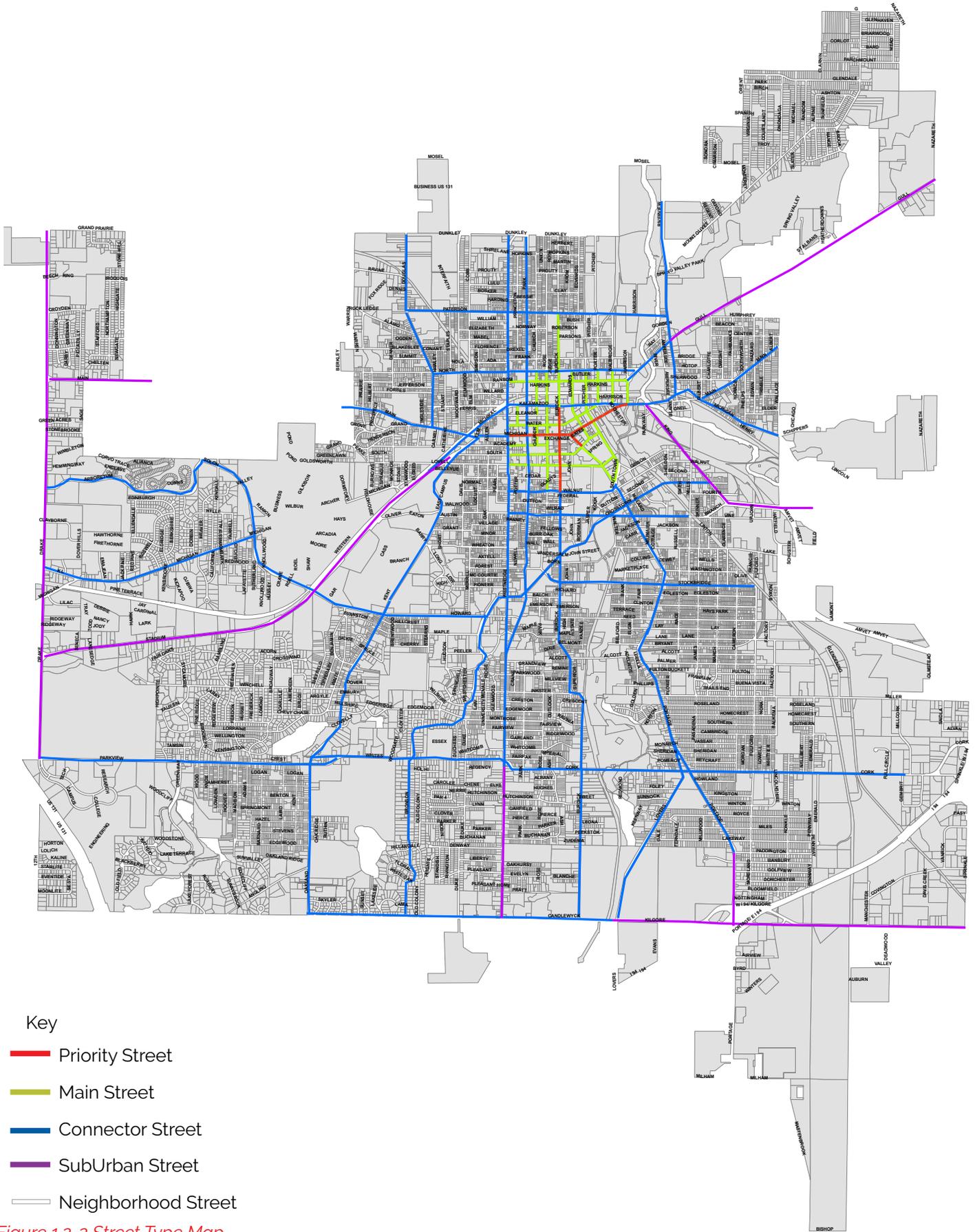
### 50-1.2 General Provisions.

A. Zoning Maps The zoning districts detailed in these regulations are mapped according to Figure 1.2-1. *Throughout this Code, many standards are tied to both the mapped zoning districts and the street type, the street types are mapped according to Figure 1.2-2.*

B. Conflicts. If a conflict arises between the regulations in Chapter 50 and those in Appendix A, the regulations of Chapter 50 take precedent unless otherwise approved by the City Planner.

C. Existing Structures. The form-based zoning districts are intended to allow existing structures to remain while integrating new development through the use of the form-based standards.

Figure 1.2-1 Zoning Map.



Key

- Priority Street
- Main Street
- Connector Street
- SubUrban Street
- Neighborhood Street

Figure 1.2-2 Street Type Map.

**50-1.3 Definitions.**

A. Agriculture. Growing of food crops indoor or outside for personal use, donation, or sale; this excludes the growth of marihuana plants for medicinal or recreational purposes.

B. Alley. A public or private right-of-way intended for accessing rear yards, utilities, trash pick up, and vehicular access to parking or loading areas. The City Planner can approve having existing Courts serve the same functions as Alleys, as it relates to the requirements of this code.

C. Basal Area. A method of determining Woodland density by measuring the cross-sectional area of individual tree stems over a particular unit area.

D. Best Management Practices (BMP). Commercial or professional procedures that are accepted or prescribed as being correct or most effective.

E. Build-to Zone. The designated area on a lot that the front or corner side façade of a building must be located. The zone dictates the minimum and maximum distances a building may be placed from the front or corner side lot line. Refer to Figure 1.3-1 Build-to Zone, Property Lines, and Yards.

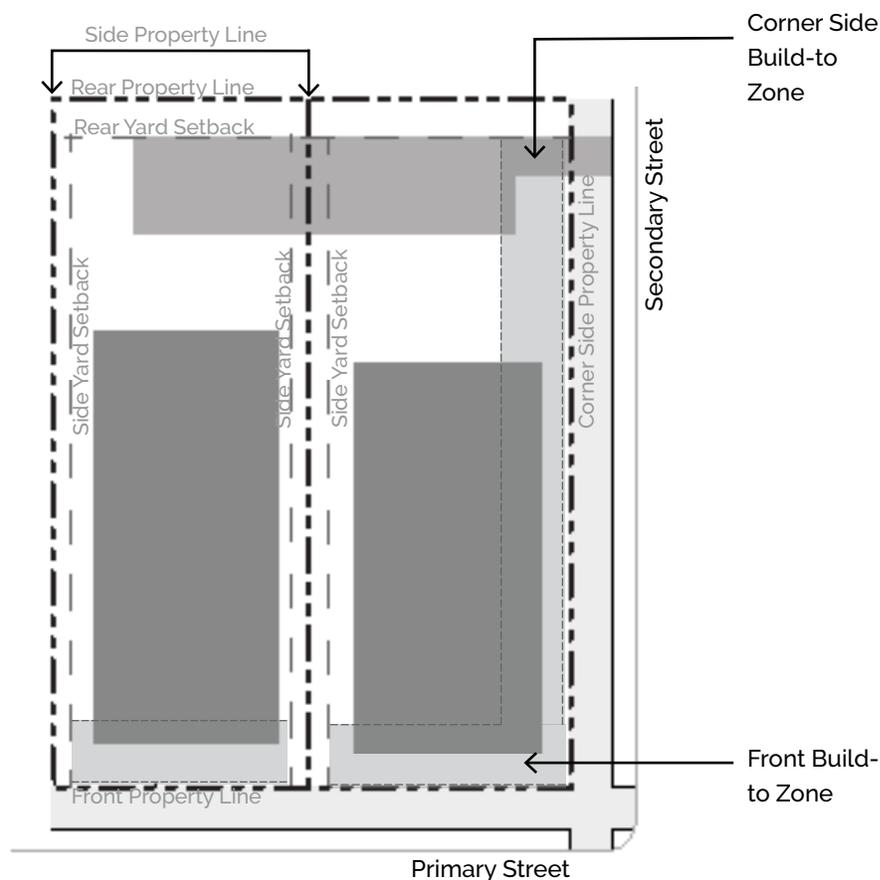


Figure 1.3-1 Build-to Zone, Property Lines, & Yards.

F. Canopy, Tree. The upper layer of a Woodland formed by the crowns of mature trees.

G. Courtyard. An open-to-the-sky outdoor area enclosed by a building on at least two (2) sides. Parking is not permitted in a Courtyard.

H. Critical Root Zone (CRZ). The zone encompassing the majority of a tree's roots. It is calculated by measuring the diameter of a tree trunk at breast height and measuring outward from the trunk eighteen (18) inches for every inch of trunk diameter. Refer to Figure 1.3-2 Measuring Critical Root Zone.

I. Cultivate. To propagate, breed, grow, harvest, dry, cure, or separate parts of the marihuana plant by manual or mechanical means.

J. Develop. The construction, removal, or renovation of a primary or accessory structure or other impervious surfaces on a lot.

K. Diameter at Breast Height (DBH). The diameter of a tree trunk measured at 4.5 feet above ground level.

L. Disturbance. Includes any of the following: 1) placement of impervious surface or structure; 2) exposure or movement of soil, including removal or addition of soil or other natural or manufactured materials; or 3) clearing, cutting, or removing of vegetation.

M. Ecosystem. A biological community of interacting organisms and their physical environment.

N. Ecosystem Assessment, Woodland. A method for quickly gathering information about the plant density, species

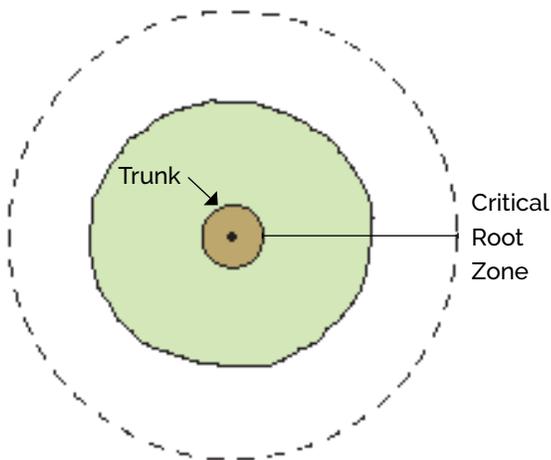


Figure 1.3-2 Measuring Critical Root Zone

diversity, and/or condition of a Woodland habitat.

O. Endangered Species. Any species recognized by the State of Michigan and/or Federal government as being in danger of extinction throughout all or a significant portion of its range.

P. Entrance Treatment. The permitted treatments of the ground story façade, including entrance and window transparency. Refer to 5.2 Entrance Treatment.

Q. Equivalent License. Any of the following when held by a single licensee:

- (1) grower license of any class under both the MRTMA and MMFLA;
- (2) processor licenses under both the MRTMA and MMFLA;
- (3) secure transporter licenses under both the MRTMA and MMFLA;
- (4) safety compliance facility licenses under both the MRTMA and MMFLA; and
- (5) a retailer license under the MRTMA and a provisioning center license under the MMFLA

R. Façade. The exterior face of a building, including but not limited to the wall, windows, doorways, and design elements. The front façade of a building faces the front property line.

S. Façade, Street Facing. Façade of a building facing a public or private space, such as a street or park. This does not include building facades along alleys, which would be considered rear facades.

T. Graminoids. Grasses, sedges, and rushes.

U. Habitat. The natural home or environment of an animal, plant, or any other living organism.

V. Habitat Corridor. An area of land containing wildlife habitat, generally native vegetation, which joins or provides passage between two or more larger areas containing similar wildlife habitat, and the entire corridor thus formed.

W. Industrial Hemp Any part of the plant, whether growing or not, *Cannabis sativa* L or the genus *cannabis* with a delta-9 tetrahydrocannabinol concentration that does not exceed 0.3% on a dry-weight basis, or per volume or weight of marijuana-infused product, or the combined percent of delta-9-tetrahydrocannabinol and tetrahydrocannabinolic acid in any part of the plant regardless of moisture content. Industrial hemp includes industrial hemp commodities and products and topical or ingestible animal and consumer products with a delta-9-tetrahydrocannabinol concentration of not more than 0.3% on a dry weight basis.

X. Invasive Species. Any living organism that is not native to an ecosystem and causes the ecosystem harm.

Y. Lot Type. A lot type is defined by the combination of building siting, form, façade treatment, parking and access, and use. Refer to Chapter 5.

Z. Marihuana. All parts of the plant *Cannabis sativa* L. or of the genus *cannabis*, growing or not; the seeds of the plant; the resin extracted from any part of the plant; and every compound, manufacture, salt, derivative, mixture, or preparation of the plant or its seeds or resin, including marihuana concentrate and marihuana-infused products. For purposes of this ordinance, marihuana does not include:

- (1) the mature stalks of the plant, fiber produced from the stalks, oil or cake made from the seeds of the plant, any other compound, manufacture, salt, derivative, mixture, or preparation of the mature stalks, except the resin extracted from those stalks, fiber, oil, or cake, or any sterilized seed of the plant that is incapable of germination;
- (2) industrial hemp; or
- (3) any other ingredient combined with marihuana to prepare topical or oral administrations, food, drink, or other products.

AA. Marihuana Establishment, Adult Use.. An adult use marihuana commercial business operation licensed pursuant to the MRTMA and permitted to operate by City ordinance.

BB. Marihuana Establishment, Medical. A medical marihuana commercial business operation licensed pursuant to the MMFLA and permitted to operate by City ordinance.

CC. Marihuana-Infused Products. A topical formulation, tincture, beverage, edible substance, or similar product containing marihuana and other ingredients and that is intended for human consumption in a manner other than smoke inhalation.

DD. Master Plan. City of Kalamazoo Planning document that outlines the community's vision primarily as it relates to land use and transportation.

EE. MMFLA. The acronym for the Medical Marihuana Facilities Licensing Act, Public Act 281 of 2016, MCL 333.27101 et seq.

FF. MRTMA. The acronym for the Michigan Regulation and Taxation of Marihuana Act, Initiated Law 1 of 2018, MCL 333.27051 et seq.

GG. *Nativar*. A cultivar of a native plant species.

HH. *Native Species*. A species that normally lives and thrives in a particular place as a result of natural processes, not human introduction, disturbance, or intervention. For the purposes of this Article, a particular place is defined as Kalamazoo County.

II. *Natural Communities*. Groups of plants and animals and their physical environment that have experienced minimal human-caused disturbance or recovered from that disturbance.

JJ. *Natural Features*. Features defined in the Natural Feature Protection Overlay, specifically Wetlands, Water Resources, Trees, Woodlands, Floodplains, Slopes, Natural Heritage Areas, and Habitat Corridors.

KK. *Natural Vegetation*. Plants that grow naturally, especially but not limited to those that provide habitat for wildlife; deep-roots to stabilize banks, shorelines, and slopes; or canopy for shade.

LL. *NREPA*. Michigan's Natural Resources and Environmental Protection Act, 451 of 1994, as amended, MCL 324.101 - 324.90106.

MM. *Occupied Space*. The first fifteen (15) feet inside a building measured from the front facade *and on corner side facades when fronting a Priority or Main street*. In this space, uses such as interior parking, residential units, storage, or utility areas may be restricted. Refer to Article 5 Zoning Standards for more information.

NN. *Orbs*. Non-woody plants and wildflowers other than grasses.

OO. *Ordinary High Water Mark*. The upper limit that the water level reaches during regular changes in water level. Refer to Figure 6.2-1 Wetland and Water Resources Setbacks.

PP. *Parcel, Parent*. The parcel or tract of land lawfully in existence on the effective date of the Natural Features Protection Overlay District.

QQ. *Playground*. *means Any* outdoor facility (including any parking lot appurtenant thereto) intended for recreation, open to the public, and with any portion thereof containing three or more separate apparatus intended for the recreation of children including, but not limited to, sliding boards, swing sets, and teeterboards.

RR. Preserve. An area of land under common ownership by a tax-exempt nonprofit organization where a management plan for conservation, wildlife, historic resources, or ecological resources or values is actively implemented.

SS. Process or Processing. The activity to separate or otherwise prepare parts of the marijuana plant and to compound, blend, extract, infuse, or otherwise make or prepare marijuana concentrate or marijuana-infused products.

TT. Property Line. Also referred to as lot line. Refer to Figure 1.3-1 Build-to Zone, Property Lines, and Yards.

UU. Property Line, Front. Also referred to as a front lot line. The intersection of the right-of-way and the property or lot; the area from which the front build-to zone is set. Figure 1.3-1 Build-to Zone, Property Lines, and Yards.

(1) When a primary street abuts a through or corner lot, the front property line is that property line along the primary street.

(2) When a lot abuts two (2) or more primary streets or does not abut any primary streets, the front property line shall be determined by the City Planner.

VV. Restoration. The process of assisting the recovery of an ecosystem that has been degraded, damaged, or destroyed.

WW.. Riparian Area. The area adjacent to a Water Resource or Wetland.

XX. Runoff. The portion of precipitation that does not soak into the ground or evaporate.

YY. Scale. Typically defined by the adjacent buildings and rights-of-way, scale refers to the size or massing of a structure or street.

ZZ. Semi-pervious Materials. A ground surface covering that allows for at least forty (40) percent absorption of water into the ground or vegetation, such as porous pavement, pavers, crushed stone, or gravel.

AAA. Site Characteristics. Minor, physical development features on a lot, including signage, landscaping, parking, driveway location, and other physical, but non-structural elements of a site.

BBB Slope. The area of the ground surface where there is a change in elevation over a horizontal distance.

CCC. Slope Analysis. An analysis based upon a topographic survey used to calculate the grade of slopes.

DDD. Slope Face. The surface area of the slope from Top to Toe of Slope. Refer to Figure 1.3-3 Parts of a Slope.

EEE. Slope Percent Grade. The vertical change in the elevation of the ground surface (rise) divided by the specific horizontal distance (run) multiplied by 100.

FFF. Slope, Toe of. The lowest part of a slope. Refer to Figure 1.3-2 Parts of a Slope. Refer to Figure 1.3-3 Parts of a Slope.

GGG. Slope, Top of. The highest part of a slope. Refer to Figure 1.3-2 Parts of a Slope. Refer to Figure 1.3-3 Parts of a Slope.

HHH. Stormwater Best Management Practices (BMP). Tools used to prevent or reduce stormwater runoff and/or associated pollutants as determined by professional associations, State of Michigan, or Federal government, such as the Michigan Low Impact Development Manual.

III. Stormwater Runoff. Runoff and any other surface water drainage that flows into natural or man-made drainage ways.

JJJ. Street, Types. The types of right-of-ways and associated treatment of vehicular, bicycle, and pedestrian ways within, as defined by the Master Plan. *The Street Types are: Priority Street, Main Street, Connector Street, SubUrban Street, and Neighborhood Street. Refer to Figure 1.2-2 Street Types Map.*

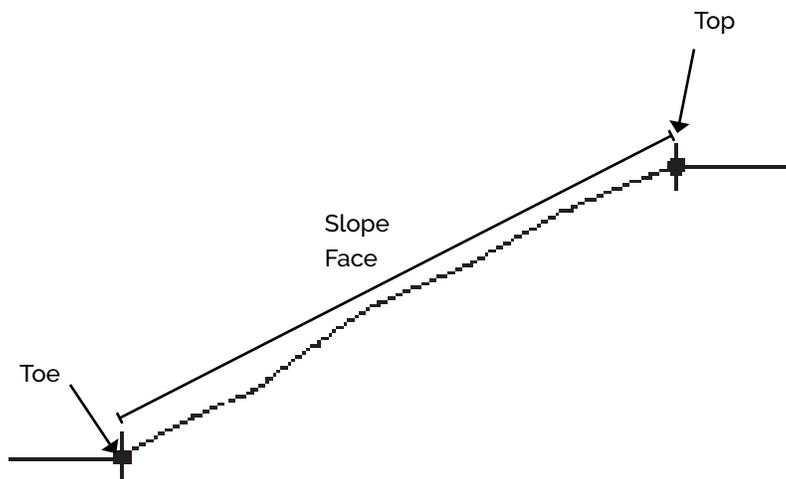


Figure 1.3-3 Parts of a Slope

KKK. Street, Primary. A street designated as having priority over other streets in terms of setting the front lot line, locating building entrance, and façade treatment. On corner lots, the primary street is determined by the street type with the following order of priority: priority street, main street, connector street, and neighborhood street. *When a lot fronts three (3) or more streets and/or two (2) or more of the same street type, the primary street will be designated by the City Planner through Site Plan Review.*

LLL. Street, Secondary. A street designated as not having priority over other streets. Secondary streets typically serve as preferred location for vehicular access points and buildings fronting secondary streets may have a reduction in the facade requirements.

MMM. Story, Ground. Also referred to as ground floor. The first floor of a structure that is level to or elevated above the finished grade, measured at the front and corner facades. This excludes partially above-ground basement areas. Refer to Figure 5.3-1 Measuring Height.

NNN. Story, Half. A floor located partially below grade and partially above or a floor located within the roof structure facing that has transparency facing a street.

OOO. Story, Upper. The floors of a structure located above the ground story. Also referred to as upper floor.

PPP. Structure, Primary. A structure that contains the lot's primary use and is located in the front-build to zone. A lot may contain more than one primary structure, refer to 5.6 Lot Types.

QQQ. Structure, Accessory. A structure that contains a secondary or accessory use on a lot. Accessory structures are typically smaller in size than the primary structure and located toward the rear of the lot. Refer to 4.5 Accessory Uses and Structures.

RRR. Surface, Pervious. An area that allows for the absorption of water into the ground or vegetation. Also referred to as permeable area.

SSS. Surface, Impervious. Areas covered with surfaces that do not allow at least forty (40) percent absorption of water into the ground, including areas for driveways, parking lots, and walkways and structures.

TTT. Surface, Semi Pervious. An area that allows for at least forty (40%) absorption of water into the ground or vegetation. Semi-pervious materials can include such materials as porous pavement, pavers, crushed stone, or gravel.

UUU. Threatened Species. Any species recognized by the State of Michigan and/or Federal government which is likely to become an endangered species within the foreseeable future throughout all or a significant portion of its range.

VVV. Turf Grass. Any variety of commercial grasses grown and maintained to form turf.

WWW. Understory. The layer or layers of woody vegetation — including understory trees and shrubs — that naturally grow beneath a Tree Canopy.

XXX. Use, Accessory. May also be referred to as secondary use. This use typically takes up less space than the principal use and is often located in an accessory structure or in side or rear yards.

YYY. Use, Primary. May also be referred to as the principal use. The dominant use of a lot. It is typically located in the lot's primary structure along the front property line.

ZZZ. Vegetated Buffer. A permanent, maintained strip of vegetation designed to help absorb and slow the velocity of surface Stormwater Runoff, and filter out sediment and other pollutants.

AAAA. Wetland Determination. An on-site investigation to determine whether the presence of water, hydric soils, and wetland vegetation occur in such a manner as to meet the definition of a Wetland.

BBBB. Wild-type. A straight species native plant that has not been commercially cultivated for a specific characteristic, which provides for natural genetic diversity, disease resistance, climate resiliency, and reliable pollinator habitat.

CCCC. Youth Center. *means Any* recreational facility and/or gymnasium (including any parking lot appurtenant thereto), intended primarily for use by persons under 18 years of age, which regularly provides athletic, civic, or cultural activities."

DDDD. Zoning District, Base. Also referred to as underlying zoning. The zoning regulations applied to a parcel according to the Zoning Map.

EEEE. Zoning District, Overlay. A set of standards placed on a parcel in addition to the standards of the Base Zoning District.

### **50-1.4 Nonconformances.**

Refer to Chapter 9. Nonconformities of Appendix A for the management of nonconforming uses of land and nonconforming structures and uses of structures with the following additions.

A. Regulations of Chapter 50 shall be met when,

- (1) Change in Use. The use nonconformance exception ends when a change of use will result in a fifty (50) percent or greater change in capacity or intensity, such as an increase in gross floor area, seating, or residential units.
- (2) Change in Structure. The structural nonconformance exception ends when the associated structure is modified to change the gross floor area by fifty (50) percent or more.

B. Nonconforming Site Characteristics. Site characteristics may continue in accordance with the following.

- (1) Ten Percent Exception. A site characteristic is not considered nonconforming if the size of the nonconformance is less than ten (10) percent of the requirement.
- (2) Change In Use. The nonconforming site characteristic exception ends if a change of use will result in a fifty (50) percent or greater change in capacity or intensity, such as an increase in gross floor area, seating, or residential units.
- (3) Change in Structure. The nonconforming site characteristic exception ends if the associated structure is modified to change the gross floor area by fifty (50) percent or more.
- (4) Exception for Multi-Tenant Signs. Multi-tenant signs are exempt from this requirement in that an individual or tenant is permitted to install a new sign or change out signage within an existing multiple tenant sign provided that the new signage does not increase the amount of nonconformance.

C. Street Facing Façade. When a building located within the build-to zone is renovated, including with no change to the overall square footage of the structure, the regulations of 5.5 Street Facing Facades shall be met when any of the following occur.

- (1) Installation of new entrance or change in location of entrance on a street facing façade.
- (2) Change in window location or size on a street facing façade by thirty (30) percent or more.
- (3) Change or replacement of more than thirty (30) percent of façade materials on a street facing façade with a different material.

### Article 50-2. Review Bodies.

**Reserved**

### Article 50-3. Zoning Districts.

**50-3.1 Zone Districts.** Refer to Figure 1.2-1 for the Zoning Map of the following districts.

A. Node District. Nodes are intended to create walkable, vibrant mixed-use commercial areas in Kalamazoo

neighborhoods with a focus on building forms that promote inviting public places. Nodes allow a wide range of commercial uses on the ground floor with commercial and residential uses allowed on upper floors. Nodes locations can be found in the Master Plan, Future Land Development Map.

B. Live-Work 1 District. Live-Work 1 promotes a wide mix of commercial and residential uses in a scale and with a building form compatible with Kalamazoo neighborhoods and corridors. Live Work 1 standards focus on the building form, specifically along the street, while allowing a flexible list of uses within the building.

C. Live-Work 2 District. Live-Work 2 is intended to promote a wide mix of uses, including residential, commercial, and craftsman industrial users. Typically located adjacent to the Downtown or traditional industrial areas, Live-Work 2 is similar to Live-Work 1, but allows for more urban scaled development.

D. Downtown 1. Downtown 1 supports the key retail blocks of Downtown Kalamazoo by promoting a mix of uses with the most active permitted on the ground floor. This district is intended for the active, walkable principle blocks that focus on retail, entertainment, and service uses, storefronts, pedestrian-scaled signage, and access to shared parking facilities.

E. Downtown 2. This district is similar to Downtown 1, but with more flexibility in its form and permitted uses. It is intended for blocks directly adjacent to those in Downtown 1.

F. Downtown 3. Promotes a wide mix of uses, including residential, commercial, and civic uses in building forms that support the scale and intensity of Downtown Kalamazoo.

**50-3.2 Overlay Zone Districts.** Refer to Figure 3.2-1 Zoning Overlay District Map of the following overlay districts.

A. Natural Feature Protection (NFP) Overlay District. Natural Features Protection (NFP) Overlay District is an overlay district providing additional development standards for parcels containing or adjacent to Natural Features. Refer to 50-6.2.

Table 4.1-1 Use Table

	Node	LV1	LV2	D1	D2	D3
<b>Residential/Lodging</b>						
Bed & Breakfast		P	P	PD	P	P
Hotel/Motel	P	P	P	P	P	P
Nursing Home/Assisted Living/Rehabilitation Center/Adult Foster Care		PD	P	PD	P	P
Residential (1 & 2 units)	PD	P	PD	PD	<i>P</i>	P
Residential (3 & 4 units)	PD	P	P	PD	P	P
Residential: Multifamily (5 & more units)	PD	P	P	PD	P	P
Rooming House	PD	P	P	PD	P	P
Transitional Residence		P	P			
<b>Civic/Institutional Uses</b>						
Assembly	PD	P	P	PD	P	P
Assembly, Religious	S	S	S		P	S
College and University	P	P	P		P	P
Hospital		P	P		P	P
Library & Museum	P	P	P	<i>P</i>	P	P
Parks & Open Space		P	P		PD	P
Police & Fire Station	P	P	P		P	P
School		P	P			P
<b>Commercial</b>						
Agriculture		PD	PD			
Day Care	PD	PD	PD		PD	PD
Entertainment Sports (Participant - indoor)	P	P	P	P	P	P
Entertainment Sports (Participant - outdoor)		S	S		S	S
General Retail	P	P	P	P	P	P
General Services	P	P	P	P	P	P
Kennels			PD			PD
Office	P	P	P	P	P	P
Outdoor Sales & Storage		S	S			
Package Liquor	PD			PD	PD	PD
Parking (stand alone)		PD	PD		<i>PD</i>	PD
Vehicle Service		PD	PD			PD
<b>Industrial</b>						
Craftsman Industrial	PD	PD	PD	PD	PD	PD
Industrial			PD			
Warehouse & Distribution			S			

	Node	LV1	LV2	D1	D2	D3
<b>Marihuana, Adult-Use Establishments</b>						
Grower						
Processor						
Safety Compliance		P	P		PD	P
Secure Transporter						
Retailer		PD		PD	PD	PD
Microbusiness			PD			
Designated Consumption Lounge				PD	PD	PD
<b>Marihuana, Medical</b>						
Grower						
Processor						
Safety Compliance		P	P		PD	P
Secure Transporter						
Provisioning Center		PD		PD	PD	PD

**4.1-1 Use Table Key**

P Permitted      S Special Use

PD Permitted - Development Standards Required

Blank cell means the use is not permitted

**Article 50-4. Uses.****50-4.1 General Provisions.** The following general provisions apply to the uses outlined in Table 4.1-1 Use Table.

A. Permitted Uses. Uses are either permitted by-right, permitted with development standards, or permitted if a special use permit is granted from the Planning Commission.

B. Lot Type Required. All uses shall be located within a permitted Lot Type, unless otherwise specified. *Refer to Article 5 Zoning Standards: Lot Types for additional use standards that may differ based on a ground or upper floor location within a building.*

C. Required Licenses. Any facility that is required to be licensed by the State of Michigan shall have a valid license at all times. It is a violation of this Code to operate at any time without a valid license.

**50-4.2 Organization.** The uses listed in the Table 4.1-1 are grouped into general categories and shall be interpreted as follows.

A. Unlisted Similar Uses. If a use is not listed, but is similar in character and impact to a use in the permitted, permitted with development standards, or permitted with a special use permit, it may be interpreted by the City

Planner as similar.

B. Unlisted Dissimilar Uses. If a use is not listed and cannot be interpreted as similar to a listed use, the use is not permitted.

**50-4.3 Use Table.** Table 4.1-1 outlines the permitted uses by zoning district. Uses are permitted in one of the following ways.

A. Permitted. Uses in the table noted with "P" are permitted by right in the zoning district(s) in which they are listed.

B. Permitted, Development Standards Required. Uses in the table noted with "PD" are permitted by right in the zoning district(s) in which they are listed provided that they are developed with the listed development standards. The development standards listed are intended to manage potential impacts associated with it, making it appropriate in a location where it might otherwise have not been allowed.

C. Special Use. Uses in the table noted with "S" are permitted with the approval of a special use permit from the Planning Commission in the zoning district(s) in which they are listed.

**50-4.4 Use Definition and Standards.** The following details the uses listed in Table 4.1-1 and describes any development standards necessary.

A. Residential/Lodging Uses.

(1) Bed and Breakfast. An establishment providing short term lodging and service of at least one (1) meal per day to guests on a lot that also serves as the principal residence of the operator.

(2) Hotel/Motel. An establishment that permits short term lodging with or without an in-room kitchen where the rooms are accessed from an interior corridor or hallway (hotel) or exterior passageway (motel). Restaurant, meeting spaces, and retail are commonly associated with this use.

(3) Nursing Home/Assisted Living/Rehabilitation Center/Adult Foster Care. Residence that provides short or long term lodging with services such as meals, personal care, supervision of self-administered medication, medical care, and therapy. This type of facility would not meet the definition of a hospital. In the districts where it is Permitted with Development Standards ("PD"), the following is required:

(a) A rehabilitation center is permitted for up to six (6) persons.

(b) In Downtown 1, this use is not permitted on the ground floor.

(4) Residential. Dwelling units located within a primary structure on a lot. In the districts where residential is Permitted with Development Standards ("PD"), the following applies.

(a) In Nodes and Downtown 1, residential units are not permitted in a building's *ground floor* occupied space (refer

to 50.1-3.MM Occupied Space). Refer to Article 5 Zoning Standards for details and exceptions.

(b) In Live Work 2, Yard - Detached Lot Type is permitted only when it contains two or more units.

(5) Residential, Multi Family. Five (5) or more dwelling units located within a primary structure on a lot. In the districts where residential is Permitted with Development Standards ("PD"), residential units are not permitted in a building's *ground floor* occupied space (refer to 50.1-3.MM Occupied Space). Refer to Article 5 Zoning Standards for details and exceptions.

(6) Rooming House. A type of group living use in which space is let primarily for sleeping purposes, with or without meals, by the owner or agent to persons who are not related to the owner or operator by blood, marriage, or adoption. In the districts where a rooming house is Permitted with Development Standards ("PD"), residential units are not permitted in a building's *ground floor* occupied space (refer to 50.1-3.MM Occupied Space). Refer to Article 5 Zoning Standards for details and exceptions.

(7) Transitional Residence. A residential facility that provides temporary accommodations and on-site management, including 24-hour care, for its residents. Transitional residences can accommodate both individuals and families and can serve a variety of populations, such as the homeless, domestic violence victims, or those recovering from addictions. Residency often requires attendance at classes, trainings, or counseling sessions which may occur on-site. Residents typically do not keep personal vehicles on site.

## B. Civic/Institutional Uses

(1) Assembly. A use that has organized services, meetings, or programs to educate, entertain, or promote discussion amongst the community. It can be a public or private facility. Examples of Assembly include a club, lodge, theatre or community center. In the districts where assembly is Permitted with Development Standards ("PD"), *the following is required.*

*(a) Private Membership.* Clubs and lodges and other similar uses with limited hours or private membership are not permitted in the *ground floor* occupied space of the ground floor in Node Districts.

*(b) Downtown 1. Assembly uses are not permitted in the occupied space of the ground floor.*

(2) Assembly, Religious. An assembly use that focuses on religion, a house of worship. Residential uses accessory to the religious assembly use, such as convent, rectory, or caretaker's residence, are permitted with this use. In the districts where Religious Assembly is Permitted with a Special Use Permit ("S") or Permitted with Development Standards ("PD"), the following standards apply.

(a) Facilities that accommodate less than fifty (50) persons are permitted without obtaining a special use permit.

(3) College and University. An educational institution authorized to award associate, baccalaureate, or other higher degrees and certificates.

(4) Hospital. A state licensed facility providing in-patient accommodations; a wide range of medical and surgical care; and other in-patient health services for sick or injured persons. Permitted secondary uses with this type of

facility may include laboratories, outpatient department, training facilities, central services, offices, residences, dining areas, and retail.

(5) Library and Museum. An establishment housing educational, cultural, artistic, or historic information resources, and exhibits that is open to the public. Permitted secondary uses with this type of facility include retail space, food sales, dining, and meeting rooms.

(6) Parks and Open Spaces. An area of land designed and equipped for passive or active recreation or open air gathering. In the districts where Parks and Open Space is Permitted with Development Standards ("PD"), the following standards apply.

(a) In the D2 District, special design attention should be given to the street wall and character of a block when locating and designing a park and open space.

(7) Police and Fire Stations. A facility that provides protection to a district or entity according to fire, life, and safety code sections. Permitted secondary uses with this type of facility include storage of equipment, indoor and outdoor parking of vehicles, offices, and residences. Police and Fire Stations are exempt from any entrance bay and vehicle access standards noted in 5.6. Lot Types; the use of these standards is encouraged to support this use blending within the neighborhood location.

(8) School. A public or private education facility, including elementary, middle, and high schools. Schools may include space for classrooms, laboratories, gymnasium, pools, theaters, dining services, and outdoor athletic or recreational facilities.

### C. Commercial

(1) Agriculture. Growing of food crops indoor or outdoors for personal use, donation, or sale (on or off site); this excludes the growth of marihuana plants for medicinal or recreational purposes. In the districts where Agriculture is Permitted with Development Standards ("PD"), the following standards apply.

(a) Size. Maximum lot size is 10,000 square feet.

(b) Lot Type. No Lot Type is required unless a hoop house, green house, or farm stand are constructed, then 5.6.G Outdoor Market Lot Type apply.

(c) Other Secondary Buildings. Sheds, garages, and other Secondary Buildings not noted in 50.4-4.C(1)(b) shall follow the standards for Accessory Structures, refer to 50-4.5.B

(d) Intensity. Use of outdoor farm machinery is not permitted.

(2) Day Care. A use providing care, protection, and supervision for children or adults on a regular basis away from their primary residence for periods of less than twenty-four (24) hours. In the districts where a day care is Permitted with Development Standards ("PD"), the following is required.

(a) Outdoor Play Area. At least one (1) outdoor play area will be provided as follows.

[1] Size. The size of this play area will be measured at a rate of 100 square feet for each child the facility is

Table 4.4-1. Examples of General Retail &amp; Service Uses.

General Retail Uses	General Service Uses
Apparel & Accessories	Animal Board, Day Care (no outdoor kennels)
Art, Craft, Hobby Store	Bank, Financial Services
Automotive Supply (no service)	Catering
Bakery	Dance or Music Studio
Bicycle, Scooter, Moped Sales	Dry Cleaning, Laundry-mat
Book Magazine, Newspaper	Eating & Drinking Establishment, Cafe, Coffee Shop, Brewpub, Tavern, Lounge
Convenience Store	Fitness (ex: Gym, Yoga, Pilates, Dance Studio)
Drug Store/Pharmacy	Framing
Florist	Funeral Home
Home Furnishing & Accessories	Locksmith
Grocery Store, Specialty Foods	Mail system, copying, printing
Hardware Store	Medical Services, Optical, Urgent Care
Office Supplies	Pet Grooming
Paper, Stationary Store	Personal Services (salon, spa, barber shop)
Pet & Pet Supply Shop	Repair of Small Goods, household goods, electronics
Sporting Goods Sales & Rental	Tailor & Seamstress
Toy Shop	Tattoo, Piercing
Video Games & Electronic Sales	Training Center
	Travel Agency

permitted to have at maximum attendance.

[2] Enclosure Requirement. The play area must be enclosed on all sides by building or fencing.

(b) In-Home Day Care Facilities. Day care facilities located in a residence, also referred to as a in-home day care facility, containing seven or more participants require a special use permit.

(3) Entertainment and Sports. An establishment that provides sports and recreation activities for participants. These may occur indoor, including such indoor facilities as bowling alleys, escape rooms, pool, billiards, arcade, and outdoors, such as mini golf, ropes courses, swimming pools, and driving ranges. In the districts where Entertainment and Sports is Permitted with a Special Use Permit ("S"), outdoor facilities using an Outdoor Market Lot Type require a special use permit.

(4) General Retail. A category of uses involving the sale of goods and merchandise. General Retail includes such uses as those listed in table 4.4-1.

(5) General Services. A category of uses that provides patrons services and often retail products related to those services. General Services includes such uses as those listed in table 4.4-1.

(6) Kennels. Care of domestic and small animals, such as dogs and cats, that can include day or overnight care. Kennels can be located inside a building or outside and may also provide grooming and training services. In the districts where a kennel is Permitted with Development Standards ("PD"), *the following standards apply.*

*(a) Outdoor Facilities. Outdoor kennels are not permitted.*

*(b) Accessory Use. In Downtown 3, kennels are only permitted as an accessory use to a pet store, pet adoption center, veterinary service, or similar use.*

(7) Office. A category of uses that involve the transactional affairs of a profession service, industry, or government. Patrons of these uses typically have set appointment or meeting times; these businesses do not typically rely on walk-in customers.

(8) Outdoor Sales and Storage. A use that involves the sale, rental, and minor repair of items where the majority of the goods are stored or displayed outdoors. This includes such uses as sale and rental of vehicles with less than 10,000 pounds gross cargo weight, motor homes, and boats and the sale of building or landscape materials such as plants, gravel, or rocks. In the districts where outdoor sales and storage is Permitted with Special Use Permit ("S"), the following standard applies.

(a) Screening. Storage of all outdoor items must be screened from view from side and rear property lines; storage of loose materials such as rock, gravel, or soil must be additionally screened from the front and corner side property lines.

(b) Structure. A building is required to house the office, sales management, on-site security, or other similar functions.

(c) Structure Location. When the Outdoor Market Lot Type is utilized, the front facade of the building shall be located within ten (10) feet of the front property line. Refer to 5.6.G Outdoor Market Lot Type.

(9) Packaged Liquor. A retail establishment licensed by the Michigan Liquor Control Commission selling packaged alcoholic liquors, including beer, wine, and spirituous liquors, for consumption off-site. This use does not include establishments meeting the definition of an eating and drinking establishment or grocery stores. In the districts where packaged liquor is Permitted with Development Standards ("PD"), the following is required.

(a) A minimum distance of 2,460 feet is required between locations of packaged liquor uses.

(b) A minimum distance of 500' is required from parcels containing a religious assembly and school use.

(c) Calculations to determine the required distance are made along the adjacent street center lines by measuring between two (2) fixed points located on the center line(s) that are determined by drawing perpendicular lines from the closest edge of the building containing the use in question to the center line of the adjacent street.

(10) Parking Lot (Stand Alone). A lot in which the primary use is parking of vehicles for public use or private use of adjacent businesses and residences. In the districts where parking lot is Permitted with Development Standards

("PD"), the following is required.

- (a) Parking lots may not be used as towing service storage and storage for inoperable vehicles.
- (b) Corner Lot. *In Live Work 1, Live Work 2, Downtown 2, and Downtown 3*, a parking lot is not permitted on a corner lot.

~~(c) *Priority Streets*. A parking lot is not permitted on a lot that fronts a Priority Street.~~ ———

(d) Required Treatment When Fronting on a Street.

[1] *Primary Street* Additional Approval. A parking lot is not permitted on a lot that fronts a *primary Main or Connector* street without a special use permit unless it is directly adjacent to the building that it serves.

[2] Fence. Fencing up to forty-two (42) inches in height is permitted in the landscape buffer along a street. Refer to Appendix A 6.3 Screens & Fencing for more information on fences.

(11) Vehicle Services. A category of uses that involve the servicing of vehicles and/or the sale of fuel. General retail is often associated with vehicle service uses. This category includes, vehicle service shops, car wash, and gas stations. In the districts where Vehicle Service is Permitted with Development Standards ("PD"), the following standards apply.

(a) Use Limitations.

[1] Gas Stations.

[a] Gas stations require a special use permit.

[b] Sale of packaged liquor at gas stations is permitted but must adhere to the development standards required for the packaged liquor use. Refer to 50.4-4.C(g).

[c] Gas stations not permitted in Live Work 2.

[2] Car Wash. A car wash requires a special use permit.

[a] Outdoor vacuuming is not permitted on lots adjacent to an open space, park, or preserve. Outdoor vacuuming is not permitted on lots adjacent to a residential zoning district.

[b] Car washes are not permitted in Live Work 2.

(b) Vehicle Bays. Bays may not face a primary street.

(c) Outdoor Activities.

[1] Outdoor vacuuming areas are permitted in the side and rear yards.

[2] Washing areas are not permitted outside.

[3] Repair or service activities or equipment are not permitted outside.

[4] Outdoor storage of vehicles awaiting service is not permitted. Vehicles awaiting pick up are permitted on site for up to three (3) days and shall be located in the rear or side yard.

(d) Screening. Perimeter landscaping or fencing is required along side and rear yards.

(e) Over-sized Vehicles. Services for semi-trucks and other oversized vehicles is not permitted.

(f) Lot Types. Gas Stations shall follow the Outdoor Market Lot Type and have the front facade of the building located within the Build-to Zone. Refer to 5.6.G Outdoor Market Lot Type.

D. Industrial.

(1) Craftsman Industrial. A use involving small scale manufacturing, production, assembly, and/or repair that includes a showroom or retail space open to the public with no environmental or nuisance impact; may also be referred to as maker spaces. Refer to table 4.4-2 for examples of uses permitted in Craftsman Industrial. In the districts where Craftsman Industrial is Permitted with Development Standards ("PD"), the following standards apply.

(a) Retail Component.

[1] At least ten (10) percent of the floor area must be public showroom or retail space.

[2] Retail and/or showroom component shall be located along the front facade of the building and utilize a storefront or stoop entrance treatment. Refer to 5.5 Street Facing Facades.

(b) Size Requirements. Maximum facility size of 10,000 square feet is permitted in Live-Work 1, Node, Downtown 1, and Downtown 2 districts.

(c) Outdoor Storage. Outdoor storage of goods is permitted in Live-Work 2 with Craftsman Industrial uses

Table 4.4-2. Examples of Craftsman Industrial

Craftsman Industrial
Apparel, Accessories, & Finished Fabrics
Art, Glass, Textiles, Ceramics, Pottery, Woodworking
Brewing, Distilling, & Roasting
Commercial Copying & Printing
Construction, Special Trades
Electronic Assembly
Food Preparation & Production- Bakery, Beverages, Desserts, Canning, Preserving, Pasta, Dairy, etc
Furniture & Fixtures, Household Textiles, Home Furnishing & Accessories
Metal Products - Engraving, welding
Music Instruments, Recording Studio
Small Good Manufacturing & Repair

provided the area used for storage is less than or equal to five (5) percent of the site's lot area. Refer to 4.5.C((7) for additional requirements.

(2) Industrial. A category of uses that allow for the production, processing, assembling, and packaging of goods. This category of uses does not have environmental or nuisance conditions that are detectable at the property lines of the site. Associated with the category are uses such as offices, warehousing, and loading or service bays. In the districts where Industrial is Permitted with Development Standards ("PD"), the following standards apply.

(a) Entrance Bays. Entrance bays are not permitted on facades facing primary streets unless they are located more than fifty (50) feet beyond the building's front facade.

(b) Outdoor Activities.

[1] Fuel pumps are not permitted.

[2] Outdoor Storage is permitted. Refer to 4.5.C((7) for

additional requirements.

(c) Size. Maximum size of manufacturing facility is 20,000 square feet, this calculated area excludes office, showroom, or retail space. Larger facilities require review through a special use permit.

(3) Warehouse and Distribution. An industrial use involving significant commercial vehicle access and large-scale storage, both indoors and outside. In the districts where Warehouse and Distribution is Permitted with Special Use Permit ("S"), the following standards apply.

(a) Size Requirements. Maximum facility size is 20,000 square feet.

(b) Outdoor Activity. Fuel pumps and outdoor storage are permitted as follows.

[1] Must be located in the rear yard.

[2] Must be screened from all adjacent uses according to 6.2 Landscaping and Open Spaces in Appendix A.

[3] Outdoor Storage shall follow the standards in 4.5.C((7)).

(c) Vehicle Entrance Bays. Entrance bays are not permitted on facades facing primary streets.

E. Adult-Use Marihuana. A category of uses permitting adult use establishments licensed pursuant to the MRTMA and Chapter 20B of the City Ordinances.

(1) General Provisions. The following apply to all adult use marihuana establishments, unless otherwise noted.

(a) General Requirements.

[1] All location criteria and required separation distances apply to both new marihuana establishments and to any proposed change in the location of an existing marihuana establishment.

[2] All location criteria and required separation distances apply to both marihuana establishments and similar protected uses located in adjacent governmental jurisdictions.

[3] A marihuana establishment is prohibited from operating in any residential zoning district or in a residential unit.

[4] A licensee may not operate a marihuana establishment at any place in the City other than the address provided in the application on file with the City Clerk.

[5] A licensee must operate the licensed establishment in compliance with all applicable State and City regulations for that type of establishment.

(b) Location Criteria. All marihuana establishment types must meet the following location criteria, except Safety Compliance Operations:

[1] Required Distance.

[a] A marihuana establishment must not operate within one thousand (1,000) feet of a pre-existing private or public school, providing education in kindergarten or any grades 1 through 12.

[b] A marihuana establishment must not operate within five hundred (500) feet of a pre-existing State-licensed childcare center, public playground, public pool, or youth center.

[2] Measuring the Required Distance. The required distance is measured in a straight line from the nearest property line of a protected use to the nearest portion of the building or unit in which the marihuana establishment is located.

(c) Shared Location. Marihuana establishments may operate from a location shared with an equivalent licensed marihuana facility.

(2) Grower Establishments. Growers are licensed to cultivate marihuana and sell or otherwise transfer marihuana to marihuana establishments. The three (3) grower license types are Class A (authorized to grow up to 100 plants); Class B (authorized to grow up to 500 plants); and Class C authorized to grow up to 2000 plants). An Excess Grower holds five (5) Class C Adult Use Marihuana Grower & at least two (2) Class C Medical Marihuana Grower licenses. In the zoning districts where a Grower Establishment is Permitted with Development Standards, the following standards apply:

(a) Class A Grower Establishments are permitted as follows:

[1] In Zones Community Commercial (CC), Limited Manufacturing (M-1), and General Manufacturing (M-2).

[2] In Zone CC, all grow operations must be conducted within an enclosed building.

(b) Class B and Class C Grower Establishments are permitted in Zones Limited Manufacturing (M-1), and General Manufacturing (M-2).

(c) Excess Grower Establishments are permitted in Zone General Manufacturing (M-2).

(d) Permitted Outdoor Activities. All Grower facilities and operations must be within an enclosed building, except cultivation may occur in an outdoor area under the following conditions.

[1] Area is contiguous with the facility building.

[2] Area is fully enclosed by fences or barriers that block outside visibility of the marihuana plants from public view.

[3] Marihuana plants cannot grow above the height of the fence or barrier.

[4] The fence is secured and only accessible to authorized persons and emergency personnel.

[5] Area is located at least five hundred (500) feet from a residential zone district.

(3) Processor Establishments. Processors are licensed to obtain marihuana from marihuana establishments; process and package marihuana; and sell or otherwise transfer marihuana to marihuana establishments. In the zoning districts where a Processor Establishment is Permitted with Development Standards, the following standards apply:

(a) Permitted in Limited Manufacturing (M-1), and General Manufacturing (M-2).

(b) All processing operations must be conducted within an enclosed building.

(4) Safety Compliance Operations Establishment. Safety Compliance Establishments are licensed to test marihuana, including certification for potency and the presence of contaminants. *In the Districts where Safety Compliance Facility is Permitted with Development Standards, the following standards apply.*

(a) Permitted in the following zones. Community Commercial (CC), Live Work 1 (LW-1), Live Work 2 (LW-2), *Downtown 3 (D3)*, Business Technology, and Research (BTR), Limited Manufacturing (M-1), and General Manufacturing (M-2).

*(b) Street Type Limitations. In Downtown 2 (D2), a safety compliance facility cannot be located in the occupied space along a Priority Street side of a building*

(5) Secure Transporter Establishment. Secure Transporter Establishments are licensed to obtain marihuana from marihuana establishments in order to transport marihuana to marihuana establishments. In the zoning districts where Secure Transporter Establishment is Permitted with Development Standards, the following standards apply:

(a) Permitted in Zones Community Commercial (CC), Limited Manufacturing (M-1), and General Manufacturing (M-2).

(b) In Zone CC, warehousing activity is only permitted as an accessory use to the principal permitted Secure Transporter use.

(6) Retailer Establishment. Retailer Establishments are licensed to obtain marihuana from marihuana establishments and to sell or otherwise transfer marihuana to marihuana establishments and to individuals who are 21 years of age or older. In the zoning districts where a Retailer Establishment is Permitted with Development Standards, the following standards apply:

(a) Permitted in the *following* Zones

*[1] Live Work 1 (LW-1) when located on a SubUrban, Connector, or Main Street street type.*

*[2] Downtown 1 (D1), Downtown 2 (D2), Downtown 3 (D3). In D3, only when located on a Priority, SubUrban, Connector, or Main Street street type.*

*[3] Community Commercial (CC).*

(b) Permitted in Zones Limited Manufacturing (M-1) and General Manufacturing (M-2) when operated as part of a single establishment engaged in Grower and Processor operations.

(c) All Retailer activities must be conducted within an enclosed building.

(d) A Retailer is not permitted on the same property or parcel or within the same building where any of the following are located:

[1] A package liquor store.

[2] A convenience store that sells alcoholic beverages.

[3] A fueling station that sells alcoholic beverages.

(e) A separation distance of one thousand (1000) feet is required from any other Retailer or Provisioning Center with the following exceptions.

[1] A separation distance of five hundred (500) feet is permitted when an applicant or a group of applicant-owners with 51% or more ownership in the Retailer Establishment is one of the following

[a] A City of Kalamazoo resident living within Census Tracts 1, 2.02, 3, 9, and 10 for the past three (3) years

[b] A City of Kalamazoo resident with a marihuana conviction that does not involve distribution of a controlled substance to a minor.

[2] A location shared with a licensed Provisioning Center

(f) A Retailer is not allowed within six hundred sixty (660) feet of the following intersections: E. Cork St. and S. Burdick St., the intersection of E. Cork St. and Portage St., and the intersection of W. Ransom St. and N. Westnedge Ave.

*(g) The sale, consumption, or serving of food to visitors is prohibited on a Retailer Establishment premises.*

(7) Microbusiness Establishment. Microbusiness Establishments are licensed to cultivate not more than one hundred and fifty (150) marihuana plants; process and package marihuana; and sell or otherwise transfer marihuana to individuals who are 21 years of age or older or to a marihuana safety compliance establishment, but not to other marihuana establishments. In the zoning districts where a Microbusiness Establishment is Permitted with Development Standards, the following standards apply:

(a) Permitted in Zones Community Commercial (CC), Live Work 2 (LW-2), Limited Manufacturing (M-1), and General Manufacturing (M-2).

(b) In Zones CC and LW-2 the following requirements apply:

[1] All business activities must be conducted within an enclosed building.

[2] The use of any substances with a flashpoint below one hundred (100) degrees Fahrenheit for processing is prohibited.

(c) A separation distance of five hundred (500) feet is required from another Microbusiness Establishment with the following exceptions:

[1] A separation distance of two hundred and fifty (250) feet is permitted when an applicant or a group of applicant-owners with 51% or more ownership in the Microbusiness Establishment is one of the following.

[a] A City of Kalamazoo resident living within Census Tracts 1, 2.02, 3, 9, and 10 for the past three (3) years.

[b] A City of Kalamazoo resident with a marihuana conviction that does not involve distribution of a controlled substance to a minor.

[2] No separation distance is required within Zones Limited Manufacturing (M-1) or General Manufacturing (M-2).

(8) Designated Consumption Establishment. A designated Consumption Establishment is a commercial space that is licensed for the consumption of marihuana products by persons 21 and older. *In the zoning districts where a Designated Consumption Establishment is Permitted with Development Standards, the following standards apply.*

(a) Permitted in the *following* Zones

*[1] Community Commercial (CC)*

*[2] Downtown 1 (D1), Downtown 2 (D2), Downtown 3 (D3). In D3, only when located on a Priority, SubUrban, Connector, or Main Street street type.*

*(b) Indoor Activities. Consumption of marihuana products must occur indoors.*

*(d) A Consumption Establishment is not permitted on the same property or parcel or within the same building where any of the following uses are located:*

*[1] A package liquor store.*

*[2] A convenience store that sells alcoholic beverages.*

*[3] A fueling station that sells alcoholic beverages.*

F. Medical Marihuana. A category of uses permitting medical marihuana facilities licensed to operate pursuant to the MMFLA and Chapter 20B of the City ordinances.

(1) General Provisions. The following apply to all medical marihuana facilities, unless otherwise noted.

(a) General Requirements.

[1] All location criteria and required separation distances apply to both new medical marihuana facilities and to any proposed change in the location of an existing medical marihuana facility.

[2] All location criteria and required separation distances apply to both medical marihuana facilities and similar protected uses located in adjacent governmental jurisdictions.

[3] A medical marihuana facility must not operate in any residential zoning district or in a residential unit.

(b) Location Criteria. All marihuana facility types must meet the following location criteria from protected uses, except Safety Compliance Facilities.

[1] Required Distance.

[a] A marihuana facility must not operate within one thousand (1,000) feet of the following:

i.) A pre-existing private or public preschool, elementary, secondary, vocational or trade school, college or university.

ii.) A public library.

iii.) A housing facility owned by a public housing authority.

[b] A marihuana facility must not operate within five hundred (500) feet of the following.

i.) A state-licensed childcare center.

ii.) Religious assembly.

iii.) A public pool, recreation facility, park or playground.

iv.) A public or private youth center.

v.) A transitional residence, correctional facility or substance abuse rehabilitation or treatment center.

[2] Measuring the Required Distance. The required distance is measured in a straight line from the nearest property line of a protected use to the nearest portion of the building or unit in which the marihuana facility is located.

(c) Shared Location. Marihuana facilities may operate from a location shared with an equivalent licensed

marihuana establishment.

(2) Grower Facility. A licensee that is a commercial entity located in this state that cultivates, dries, trims or cures and packages marihuana for sale to a processor or provisioning center. The three (3) grower license types are Class A (authorized to grow up to 500 plants); Class B (authorized to grow up to 1,000 plants); and Class C authorized to grow up to 1,500 plants). In the Districts where Grower Facility is Permitted with Development Standards, the following standards apply:

- (a) Grower Facilities are permitted in Limited Manufacturing (M-1) and General Manufacturing (M-2).
- (b) Permitted Outdoor Activities. All Grower facilities and operations must be within an enclosed building, except cultivation may occur in an outdoor area under the following conditions.
  - [1] Area is contiguous with the facility building.
  - [2] Area is fully enclosed by fences or barriers that block outside visibility of the marihuana plants from public view.
  - [3] Marihuana plants cannot grow above the height of the fence or barrier.
  - [4] The fence is secured and only accessible to authorized persons and emergency personnel.
  - [5] Area is located at least five hundred (500) feet from a residential zone district.
- (c) Multiple Facilities on a Lot. The following applies for multiple facilities on one lot.
  - [1] Except as permitted by State regulatory rules for Class C growers, only one (1) Medical Marihuana Grower facility license is allowed per parcel or lot.
  - [2] Licensees may occupy the same premises if holding separate Grower and Processor licenses for the premises.

(3) Processor Facility. A licensee that is a commercial entity located in this state that purchases marihuana from a grower and that extracts resin from the marihuana or creates a marihuana-infused product for sale and transfer in packaged form to a provisioning center. In the Districts where Processor Facility is Permitted with Development Standards, the following standards apply:

- (a) Processor Facility is permitted in Limited Manufacturing (M-1) and General Manufacturing (M-2)
- (b) Only one Medical Marihuana Processor facility license permitted per parcel or lot
- (c) All Processing operations must be conducted within an enclosed building
- (d) Licensees may occupy the same premises if holding a separate Grower and Processor licenses for the premises.

(4) Secure Transporter Facilities. A licensee that is a commercial entity located in this state that stores marihuana and transports marihuana between marihuana facilitates for a fee. In the Districts where Secure Transporter Facility is Permitted with Development Standards, the following standards apply:

- (a) Secure Transporter Facility is permitted in Community Commercial (CC), Limited Manufacturing (M-1), and

General Manufacturing (M-2).

(b) In Zone CC, warehousing activity is only permitted as an accessory use to the principal permitted Secure Transporter use.

(5) Safety Compliance Facility. A licensee that is a commercial entity that receives marihuana from a marihuana facility or registered primary caregiver, tests it for contaminants and for tetrahydrocannabinol and other cannabinoids, returns the test results, and may return the marihuana to the marihuana facility. *In the Districts where Safety Compliance Facility is Permitted with Development Standards, the following standards apply.*

(a) Permitted in the following zones. Community Commercial (CC), Live Work 1 (LW-1), Live Work 2 (LW-2), *Downtown 3 (D3)*, Business Technology, and Research (BTR), Limited Manufacturing (M-1), and General Manufacturing (M-2).

*(b) Street Type Limitations. In Downtown 2 (D2), a safety compliance facility cannot be located in a building's occupied space fronting a Priority Street.*

(6) Provisioning Center. A licensee that is a commercial entity located in this state that purchases marihuana from a grower or processor and sells, supplies, or provides marihuana to registered qualifying patients, directly or through the patients' registered primary caregivers. Provisioning Center includes any commercial property where marihuana is sold at retail to registered qualifying patients or registered primary caregivers. A noncommercial location used by a primary caregiver to assist a qualifying patient connected to the caregiver in accordance with the Michigan Medical Marihuana Act, MCL 333.26421 et seq., is not a provisioning center for purposes of this article. In the Districts where Provisioning Center Facility is Permitted with Development Standards, the following standards apply:

(a) Permitted in the *following* Zones

*[1]* Community Commercial (CC)

*[2]* *Downtown 1 (D1), Downtown 2 (D2), Downtown 3 (D3). In D3, only when located on a Priority, SubUrban, Connector, or Main Street street type.*

(b) Only one Provisioning Center license is permitted per parcel or lot.

(c) All Provision Center activities must be conducted within an enclosed building.

(d) A Provisioning Center is not allowed within six hundred sixty (660) feet of the following intersection: E. Cork St. and S. Burdick St., the intersection of E. Cork St. and Portage St., and the intersection of W. Ransom St. and N. Westnedge Ave.

(e) A separation distance of one thousand (1000) feet is required from any other Provisioning Center or Retailer, except when operating from a shared location,

(f) A Provisioning Center is not permitted on the same property or parcel or within the same building where any of the following are located:

- [1] A package liquor store.
- [2] A convenience store that sells alcoholic beverages.
- [3] A fueling station that sells alcoholic beverages.

(g) The sale, consumption, or serving of food to visitors is prohibited on Provisioning Center premises.

**50-4.5 Accessory Uses and Structures.**

A. Table. Table 4.5-1 outlines the permitted accessory uses and structures by district. Accessory Uses and Structures are permitted in the following ways.

- (1) Permitted. Uses in the table noted with "P" are permitted by right in the zoning district(s) in which they are listed.
- (2) Permitted, Development Standards Required. Uses in the table noted with "PD" are permitted by right in the zoning district(s) in which they are listed provided they are developed with the listed development standards. The development standards listed for a use are intended to manage any potential impacts associated with it, making it appropriate in a location where it might otherwise have not been allowed.
- (3) Special Use. Uses in the table noted with "S" are permitted with the approval of a special use permit from the Planning Commission in the zoning district(s) in which they are listed.

B. Development Requirements. All accessory structures will meet the following standards, unless otherwise noted.

- (1) Front Yard. Accessory structures are not permitted in the front yard unless otherwise noted.
- (2) Corner Side Yard. Accessory structures cannot be located closer to the corner-side property line than a principal structure.

**Table 4.5-1 Accessory Uses & Structures**

Uses & Structures	District							Key
	Node	LV1	LV2	D1	D2	D3	All R	
Accessory Dwelling Units (ADU)	PD	PD	PD			PD	PD	P Permitted S Special Use PD Permitted - Development Standards Required
Agriculture	PD	P	P	PD	PD	PD		
Drive Through	PD	PD	PD		PD	PD		
Food Truck	PD	PD	PD		PD	PD		
Home Occupation	PD	PD	PD	PD	PD	PD	PD	
Kiosk	PD	PD	PD		PD	PD		
Outdoor Storage	PD	PD	PD					
Secondary Building	PD	PD	PD	PD	PD	PD	PD	
Sidewalk Café	PD	PD	PD	PD	PD	PD		

- (3) Setback. Accessory structures shall be setback five (5) feet from side and rear property lines.
- (4) Height. Accessory structures shall not exceed the height of the principal structure.
- (5) Lot Coverage. Accessory structures count toward a lot's impervious coverage. Placement of an accessory structure cannot make a lot exceed its impervious coverage requirement.

C. Use Definition and Standards. The following details the accessory uses and structures listed in Table 4.5-1 and detail any development standards necessary.

(1) Accessory Dwelling Unit. A secondary dwelling unit on a lot; it may be located in a secondary building or interior to the principal building.

(a) Units in secondary buildings.

[1] Quantity. One (1) accessory dwelling unit in a secondary structure is permitted per lot.

[2] Maximum Unit Size. Maximum unit size is 950 square feet.

(b) Interior Units. An interior accessory dwelling unit is defined as one with a separate exterior entrance. When located interior to the principal structure the following are required.

[1] Quantity. One (1) accessory dwelling unit interior to a principal building is permitted.

[2] Maximum Unit Size. Maximum unit size is less than or equal to thirty (30) percent of the square footage of the primary residential unit or 600 square feet, whichever is larger.

(c) Parking. Space for 1 car per accessory dwelling unit is required. On-street parking, if available overnight, can meet this requirement if located within 660 feet.

(2) Agriculture. Growing of food crops indoor or outside for personal use, donation, or sale; this excludes the growth of marijuana plants for medicinal or recreational purposes as an accessory use on the lot. In the districts where agriculture is Permitted with Development Standards ("PD"), the following standards apply,

(a) Agriculture as an accessory use shall not prevent a lot from meeting its lot type requirements, refer to Article 5 Zoning Standards: Lot Types

(b) Agriculture as an accessory use is permitted in all yards.

(c) Agriculture as an accessory use is permitted within a building, provided that it is not in the occupied space of a building; it is permitted on a buildings roof.

(3) Drive Through. Drive throughs provide service to customers who remain in their vehicle and may be used in conjunction with variety of uses including financial institutions and restaurants. In the districts where a drive through is Permitted with Development Standards ("PD"), the following standards apply, Refer to Figure 4.5-1 Drive Throughs.

(a) Permitted Locations. A drive through is permitted as follows.

[1] Nodes, Downtown 2, and Downtown 3. A drive through is permitted only in the rear yard, fully screened from

property lines by structure or landscaping.

[2] Other Districts. A drive through is permitted in the rear yard. If the lot does not front a *Priority or Main* street, a drive through is also permitted in the side yard.

(b) Landscape Screening. Adjacent to the drive through along the rear and/or side property lines shall be screened by a landscaping as defined by Appendix A 6.2 Landscaping and Open Spaces.

(c) Stacking Space. A minimum of three (3) stacking spaces are required, measured from the drive-through window or entrance into the stall or loading area.

(4) Food Truck. Vehicle or trailer used to prepare and/or serve food. In the districts where a food truck is Permitted with Development Standards ("PD"), an approved Site Plan is required as follows.

(a) Single Food Truck. Site Plan approval is required when one (1) food truck operates on a lot three (3) or more days a week and utilizes the lot's utilities, such as electrical or water services.

(b) Multiple Food Trucks. Site plan approval is required if multiple food trucks operate on a lot three (3) or more days a week.

(c) Permanent Food Truck Lot. The Outdoor Market Lot Type standards shall be followed. Refer to 5.6.G Outdoor Market Lot Type.

(5) Home Occupation. Types of work that can be conducted in a residence with little to no impact on the surrounding lots. Home occupations are secondary to the primary use of the lot, residential.

(a) Prohibited Uses. Prohibited uses include animal boarding, dispatch center, restaurants, vehicle or large

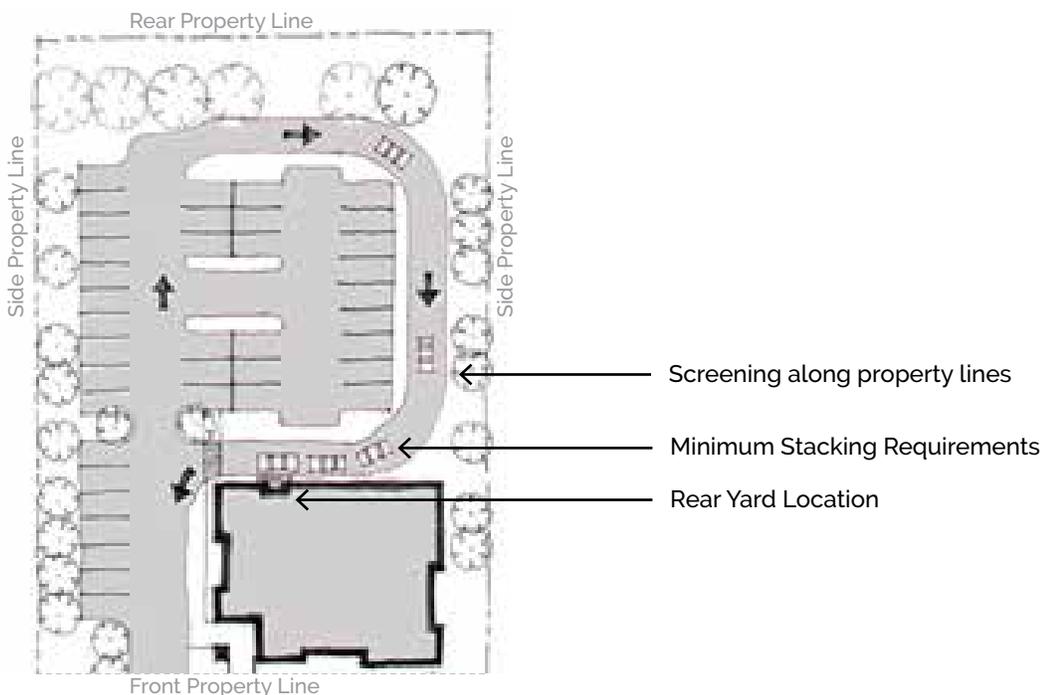


Figure 4.5-1. Drive Through Design

equipment storage and repair.

(b) Resident-Operator. The operator of the home occupation must be a full time resident of the lot in which the business is associated.

(c) Employees. A maximum of two (2) nonresident employees are permitted on premises at one time.

(d) Signs. No more than one nameplate sign permitted with a maximum size of one (1) square foot. It may not be internally illuminated.

(e) Secondary Building. If located in a secondary building on the lot, the home occupation may not take more space than 500 square feet.

(f) Exterior Building Appearance. No exterior building changes are permitted; there must be no visible evidence of the existence of a home occupation beyond the permitted signage, including outdoor storage of materials related to the use.

(g) Operational Impacts. No home occupation or equipment used with a home occupation may cause odor, vibration, noise, electrical interference or fluctuation in voltage measured at the lot line.

(h) Customers. Customers or clients are permitted at the home occupation during the hours of 8:00 AM to 8:00 PM.

[1] No more than two (2) customers or clients are permitted at a given time, except in the case of a classes, such as art, music, cooking, or fitness classes, where up to four (4) clients are permitted at one time.

[2] A Special Use Permit is required for a home occupation providing classes with five (5) or more clients at a time.

(i) Customer Parking. Customer parking may occur off-street or on-street, where permitted.

(j) Deliveries. Deliveries are permitted during the hours of 8:00 AM to 8:00 PM and are permitted through the common residential delivery services.

(k) Medical Marihuana. Medical Marihuana is a permitted home occupation when a primary caregiver who has agreed and is registered with the State of Michigan to assist with a qualifying patient's use of medical marihuana. In the districts where medical marihuana is permitted is Permitted with Development Standards, the following standards apply:

[1] Michigan Medical Marihuana Act Compliance. The medical use of marihuana and marihuana-infused products shall comply at all times and in all circumstances with the Michigan Medical Marihuana Act, 2008 Initiated Law #1, MCL 333.26421 et seq. ("Act") and the Administrative Rules promulgated by the State of Michigan ("Administrative Rules") pursuant to the Act, as they may be amended from time to time.

[2] Location Criteria. Medical Marihuana as a home occupation must comply with the following location criteria.

[a] A primary caregiver must be located 1000' from an existing public or private elementary, vocational, or secondary school; public or private college, junior college, or university; playground; housing facility owned by a public housing authority; or public library or private library open to the public.

[b] A primary caregiver must be 100' from an existing public or private youth center, public swimming pool, or video arcade facility to ensure community compliance with State and Federal "Drug-Free School Zone" requirements.

[3] Number of Caregivers. One primary caregiver is permitted within a dwelling unit to service qualifying patients, who do not reside with the primary caregiver.

[4] Number of Patients Permitted. A primary caregiver is permitted up to five qualifying patients.

[5] Consent of the Property Owner. If the primary caregiver is not the owner of the property in which they live and operate from, written consent must be obtained from the property owner to ensure the owner's knowledge of the use of the premises as permitted and the primary caregiver shall maintain written proof that the use of the property as a home occupation under this section is not prohibited by the property owner.

[6] Growing. All medical marihuana plants shall be secured in one of the following ways.

[a] Contained within a structure that is an enclosed, locked facility inaccessible on all sides and equipped with locks or other security devices that permit access only by the primary caregiver or qualifying patient.

[b] Plants cultivated outdoors must be fully enclosed by fences or barriers that blocks the plants from public view, with no plants visibly growing above the fence or barrier, and the fence or barrier is locked or otherwise secured to limit access only to the primary caregiver or qualifying patient engaged in cultivating the plants.

[7] Processing. The separation of plant resin from a marihuana plant using any substances with a flashpoint below one hundred (100) degrees Fahrenheit for processing is prohibited.

[8] Lighting. If a room with windows is utilized as a marihuana-growing location, any lighting methods that exceed usual residential use between the hours of 11:00 p.m. and 6:00 a.m. shall employ shielding methods, without alteration to the exterior of the residence, to prevent ambient light spillage that causes or creates a distraction or nuisance to adjacent residential properties

[9] Required Permits. All necessary building, electrical, plumbing and mechanical permits shall be obtained for any portion of the residential structure in which electrical wiring lighting, and/or watering devices are located, installed or modified that support the cultivation, growing or harvesting of marihuana.

[10] Nothing in this subsection, or in any companion regulatory provision adopted in any other provision of this Code, is intended to grant, nor shall they be construed as granting, immunity from criminal prosecution for growing, sale, consumption, use, distribution, or possession of marihuana not in strict compliance with that Act and the Administrative Rules and this subsection. Also, since federal law is not affected by that Act or the Administrative Rules, nothing in this chapter, or in any companion regulatory provision adopted in any other provision of this Code, is intended to grant, nor shall they be construed as granting, immunity from criminal prosecution under federal law. Neither this ordinance nor the Michigan Medical Marihuana Act protects users, caregivers or the owners of properties on which the medical use of marihuana is occurring from federal prosecution, or from having their property seized by federal authorities under the Federal Controlled Substances Act.

(6) Kiosk. Non-permanent structure that permits a variety of general retail and service uses, may be associated with the use of shipping containers or pop up shops and sheds. In the districts where a kiosk is Permitted with Development Standards ("PD"), the following is required.

(a) Site Plan. An approved Site Plan is required when two (2) or more kiosks are being located on a lot for a period of more than two (2) weeks or when a kiosk is used with the Outdoor Market Lot Type, refer to 5.6.G Outdoor Market Lot Type.

(7) Outdoor Storage. Storage of goods for sale or items related to the use(s) on the lot located outside of a structure. In the districts where a outdoor storage is Permitted with Development Standards ("PD"), the following is required.

(a) Site Plan. A site plan is required to review the size and placement on a lot.

(b) Maximum Size. Outdoor storage is permitted in an area no greater than ten (10) percent of the total lot area; in Live Work 1 no greater than five (5) percent..

(c) Location. Storage is permitted in the rear yard or side yard.

(d) Screening. Storage must be screened from view from view from all property lines.

(8) Secondary Building. Secondary buildings include such structures as detached garages, sheds, accessory dwellings, green houses, and hoop houses. In the districts where secondary Buildings are Permitted with Development Standards ("PD"), the following standards apply.

(a) Height. Secondary buildings can be up to two (2) stories in height. Refer to 5.3-1 Measuring Height.

(b) Agricultural Uses. A secondary building associated with a principal agriculture use, such as a green house, hoop house, or shed, shall set back at least ten (10) feet from the Front and Corner Property Lines.

(g) Sidewalk Cafe. Outdoor eating areas permitted within the right-of-way and on the property in question. In the districts where a sidewalk cafe is Permitted with Development Standards ("PD"), the following standards apply,

(a) Clear Pedestrian Pathway. A minimum pedestrian pathway *width* of five (5) feet must be maintained free of all obstacles. *This clear pedestrian pathway shall be located adjacent to the building facade unless otherwise approved through the City Planner.*

(b) Permit. If located in the right-of-way, a Right-of-Way Permit is required from the City of Kalamazoo.

## Article 5. Zoning Standards: Lot Types.

### 50-5.1 Lot Type General Requirements.

A. Applicability. The following Lot Types shall apply to all new construction and exterior renovation of existing structures with the parameters noted in 1. General Requirements.

- (1) Zoning District. Lot Types are permitted by zoning district. Refer to Table 5.6-1 Lot Types by Zoning District.
- (2) Uses. Lot Types may each house a variety of uses based upon the zoning district in which it is located. Refer to 4.1-1 Use Table.

B. Lot Type Requirements. A Lot Type is comprised of standards for the following development components.

- (1) Building Siting. The location of the building(s) on a lot, including the following. Refer to 50-5.2 Building Siting.
  - (a) Street Frontage. Refers to locating the building(s) on a lot.
  - (b) Lot Area and Coverage. Refers to the maximum coverage of a lot with buildings or pavement.
  - (c) Parking, Loading, and Access. Refers to the location of parking areas and access on a lot.
- (2) Height. The minimum and maximum height permitted. Refer to 50-5.3 Height.
- (3) Uses. The uses permitted on a Lot Type. Refer to 50-5.4 Use.
- (4) Street Facing Facades. Refers to the entrance location and minimum transparency of windows. Refer to 50-5.5 Street Facing Facades.
  - (a) Transparency. The percentage of a façade that has clear, non-reflective windows that allow visibility into a building of at least four (4) feet.
    - [1] Ground Floor. Transparency is determined by entrance treatment, unless otherwise noted.
    - [2] Upper Floor. Transparency is determined by Lot Type.
  - (b) Entrance. Refers to permitted ground floor entrance treatments and quantity and location of entrances.
  - (c) Roof Types. The allowance of special roof elements, tower and spire.

### 50-5.2 Building Siting.

A. Street Frontage. Refer to Figure 5.2-1 Building Siting.

- (1) Multiple Principal Buildings. The allowance for more than one (1) principal structure on a lot.
- (2) Front Lot Line Coverage. The minimum percentage of building façade required along the front property line.
  - (a) Measurement. The standard is calculated by taking the width of the principal structure, measured in the build-to zone, divided by the total width of the lot's build-to zone.
  - (b) Multiple Buildings. Multiple principal buildings can be located on the lot. The minimum front lot line coverage must be met.

- (3) Occupation of the Corner. Occupying the corner, the area where the front and corner build-to zones meet, with a principal structure.
- (4) Front Build-to Zone. The build-to zone located parallel to the front property line.
  - (a) If not occupied by a structure, this area will contain landscaping, public or private outdoor space, or sidewalk.
  - (b) Vehicular parking is not permitted in the front build-to zone unless otherwise noted.
- (5) Corner Build-to Zone. The build-to zone located parallel to the corner side property line.
  - (a) If not occupied by a structure, this area will contain landscaping, public or private outdoor space, or sidewalk.
  - (b) Vehicular parking is not permitted unless otherwise noted.
- (6) Encroachment. Certain building elements, such as balconies, awnings, or signage may be permitted to encroach into the right-of-way.
  - (a) Where permitted, an encroachment agreement with the City is required.

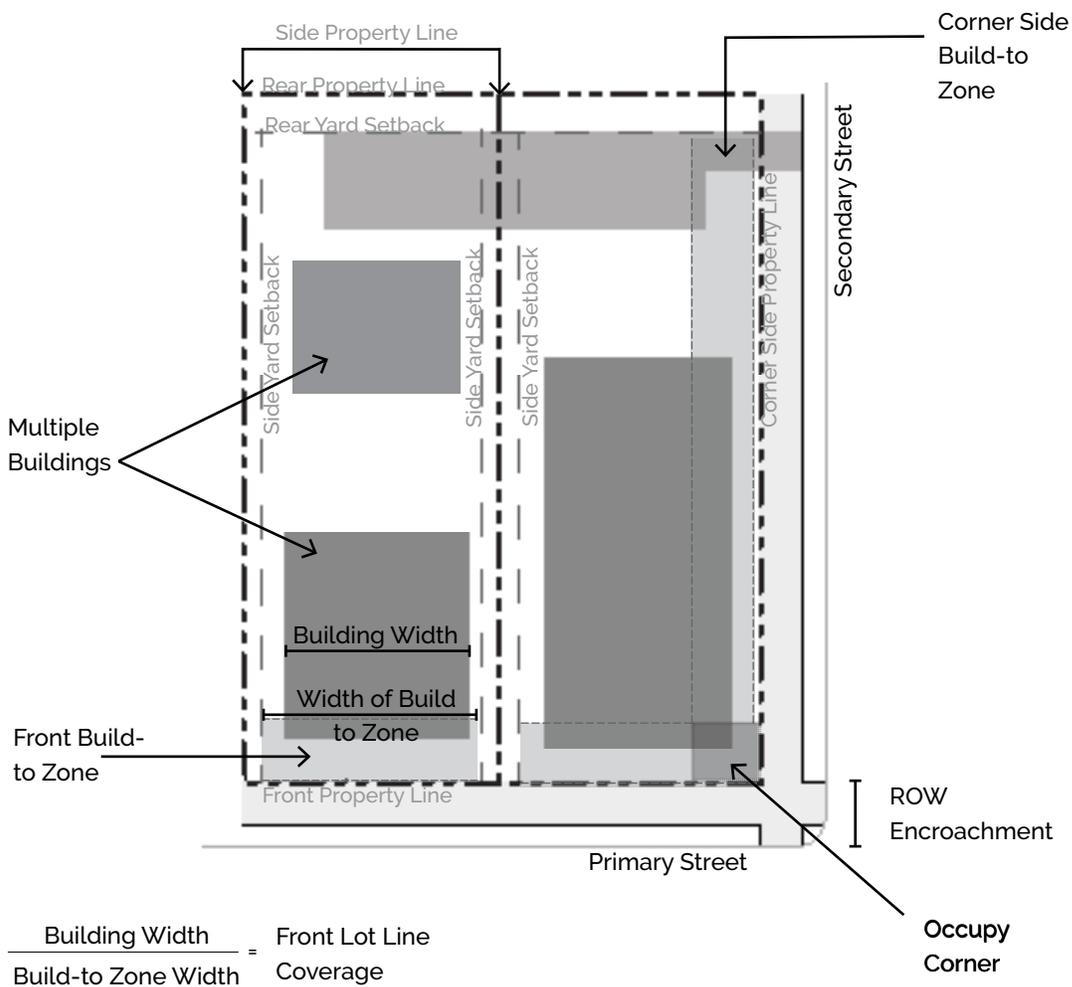


Figure 5.2-1. Building Siting: Street Frontage, Lot Area & Front Lot Line Coverage.

(b) Encroachments shall not extend closer than two (2) feet from the back of the curb line.

(c) A minimum height clearance of eight (8) feet must be maintained.

**B. Lot Area.**

(1) Side Yard Setback. The minimum required setback along a side property line.

(a) Driveways are permitted in the side yard setback.

(2) Rear Yard Setback. The minimum required setback along a rear property line.

*(a) Driveways are permitted in the rear yard setback.*

**C. Lot Coverage.** The maximum percentage of a lot permitted to be covered with not pervious surfaces and the additional amount of semi-pervious surface permitted. Refer to Figure 5.2-2 Lot Coverage.

**D. Parking, Loading, and Site Access. .**

(1) Parking Location. The yard in which a parking area and associated drive are permitted.

(2) Service and Loading Locations. The façade on which access is permitted for servicing, loading, and unloading activities related to that building's use.

(3) Vehicle Entrance Bay. The façade of the building on which an entrance bay to interior parking is permitted.

(4) Driveway Location. The permitted locations for vehicular access.

(a) If an alley is available, driveway access shall be located from the alley.

(b) If an alley is not available, driveway location is noted by Lot Type (refer to 5.6 Lot Types).

(c) Driveways on corner lots must be at least fifty (50) feet from the corner of the Lot.

**50-5.3 Height.**

**A. Height.** Overall height for all Lot Types is measured as follows. Refer to Figure 5.3-1 Measuring Height

(1) Minimum and Maximum Height. The minimum and maximum overall height of a structure.

(a) Measurement. Building height is measured in stories.

(b) Half stories. Half stories can be found either completely within the roof structure with street-facing windows or in a visible basement exposed up to ½ story above grade.

(2) Floor Height. Each Lot Type permits a range of height expressed in feet for each story.

(a) Floor to Floor. The height of a story is measured between floors; top of floor to top of floor.. If the building is one (1) story, use the floor of the story to the tallest point of the ceiling.

(b) Application. Floor height requirements apply only to principal buildings on street facing facades.

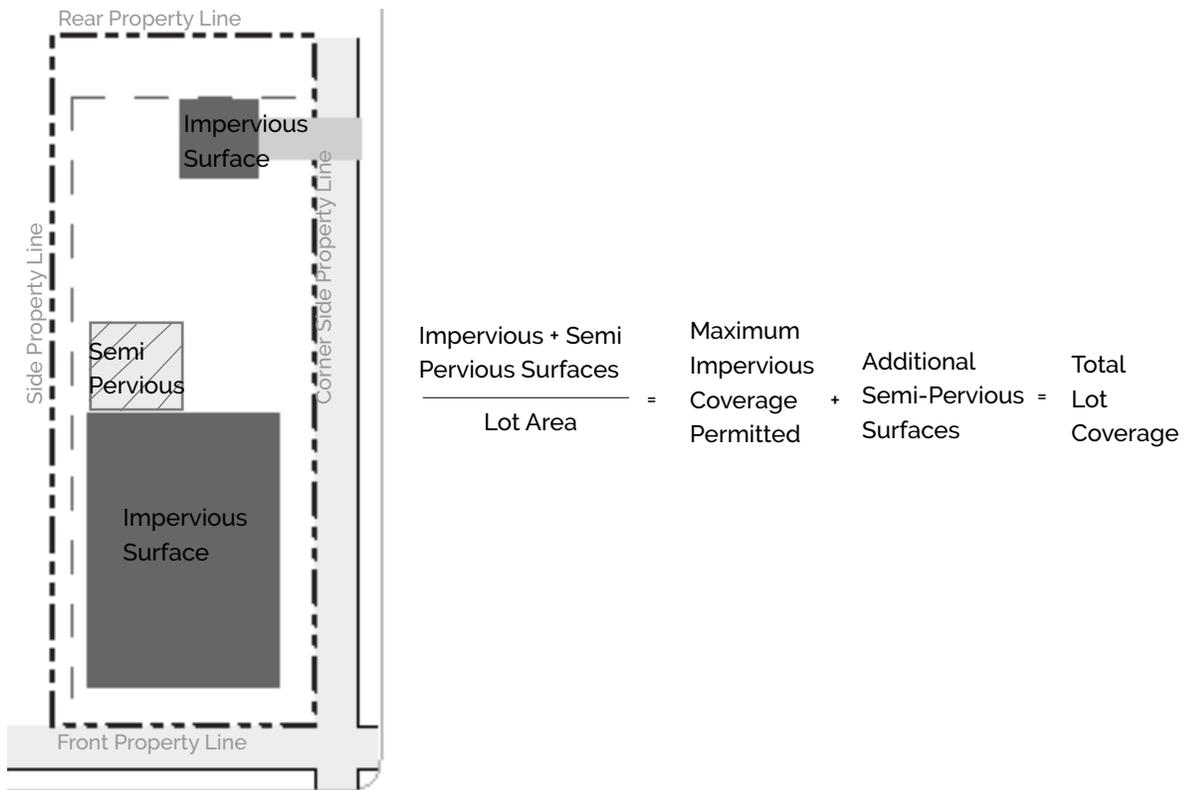


Figure 5.2-2 Lot Coverage

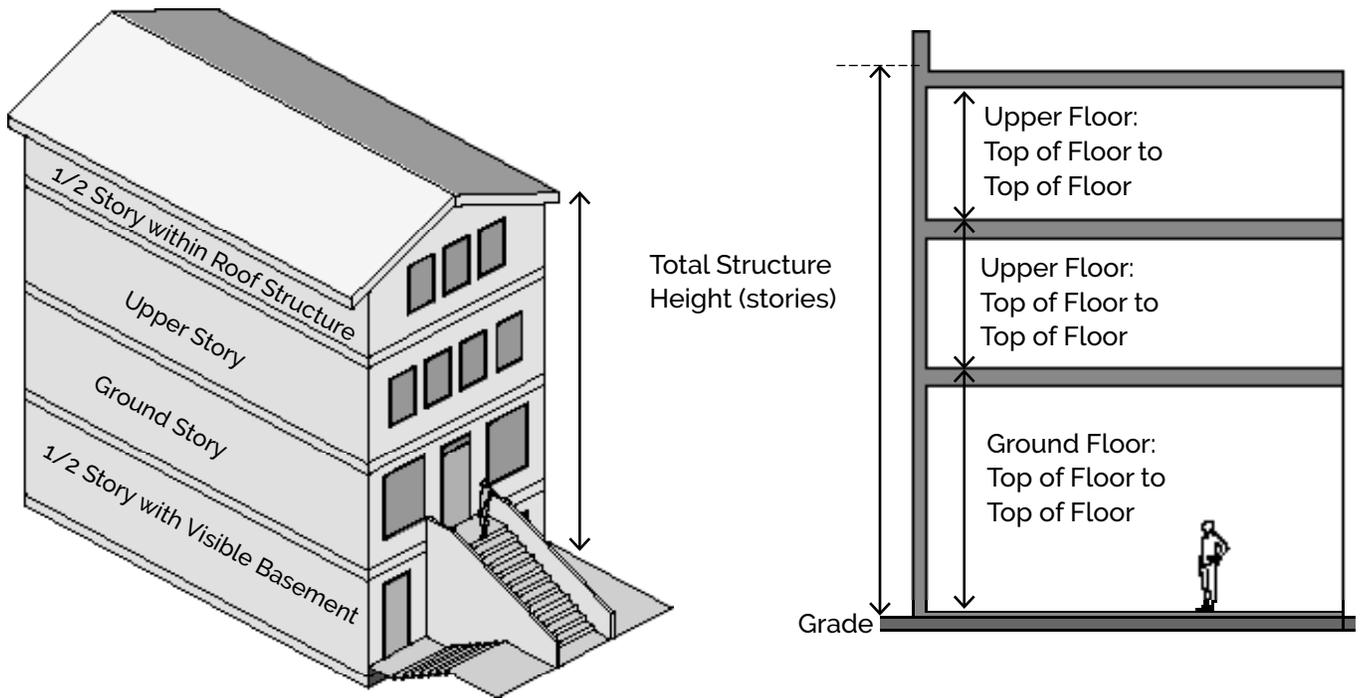


Figure 5.3-1. Measuring Height

**50-5.4 Use.**

A. Uses. Each Lot Type includes a list of permitted uses outline in Figure 4.1-1 Use Table. Also refer to Figure 5.4-1 Permitted Uses per Floor

- (1) Ground and Upper Floor. The permitted uses may vary between ground and upper floors.
- (2) Occupied Space. The restriction of internal parking, residential units, storage areas, and utility areas in the occupied space of a building's ground *or upper* floors unless otherwise stated in the Lot Types. Refer to 50.1-3.DD Occupied Space for additional information on occupied space.

**50-5.5 Street Facing Facades.**

A. Street Facing Façade. The following are requirements on street facing building facades.

- (1) Transparency. Measurement of the percentage of a façade that has clear, non-reflective windows that allow clear vision into a building's occupied space. Refer to Figure 5.5-1. Measuring Transparency.
  - (a) Ground Floor. Transparency is determined by entrance treatment, unless otherwise noted in the Lot Type.
  - (b) Upper Floor. Transparency is noted by Lot Type.
  - (c) Full Façade. Transparency measured using the entire front façade rather than only one (1) story of the building.
- (2) Blank Wall Limitations. The maximum area on a façade permitted to be windowless.

B. Entrance. Required entrance locations and treatments.

- (1) Location. Location of the primary, functioning, public entrance of the principal building, noted by façade.
- (2) Entrance Treatment. The entrance treatments required on street facing facades. Entrance treatment standards apply to the entire ground story of all front facades, and corner side facades when facing a primary street.
  - (a) Storefront. Storefronts are a highly transparent ground story treatments typically used as display areas for retail and other commercial uses. Refer to Figure 5.5-2 Storefront Entrance Type.
    - [1] Transparency. Minimum transparency is seventy (70) percent, measured between two (2) and eight (8) feet above the grade of the sidewalk. Refer to Figure 5.5-1. Measuring Transparency.
    - [2] Elevation. Storefronts shall be located no more than one (1) foot above the sidewalk.
    - [3] Recess. Entrances may be recessed up to eight (8) feet.
    - [4] Building Entrance. Primary building entrance shall be located off the storefront.
    - [5] Interior Access. Additional entrances to access uses in the upper stories or rear of the ground floor are permitted without having to adhere to the above requirements.
  - (b) Stoop. Refer to Figure 5.5-3 Stoop.
    - [1] Transparency. Minimum transparency is fifty (50) percent, measured between two (2) and eight (8) feet above

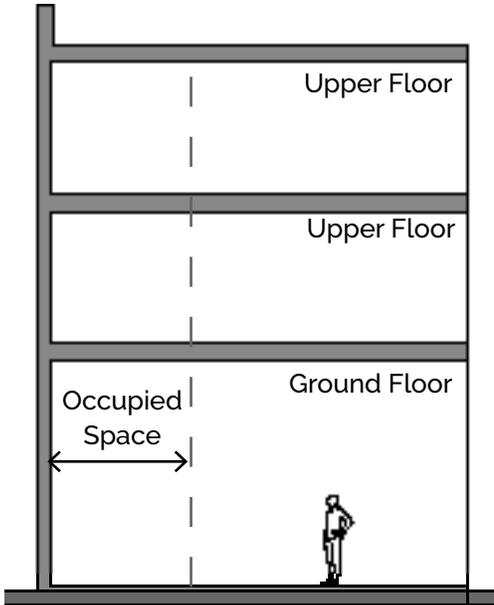


Figure 5.4-1 Permitted Uses Per Floor

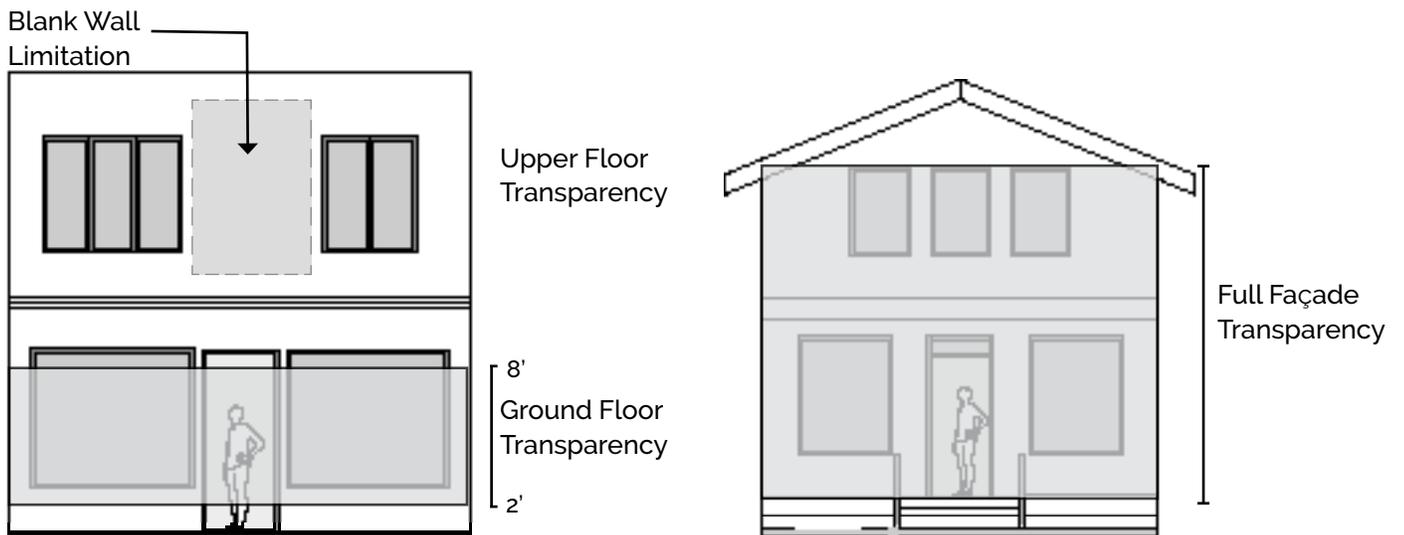


Figure 5.5-1. Measuring Transparency: Ground Floor, Upper Floor, & Full Façade

the grade of the sidewalk. Refer to Figure 5.5-1. Measuring Transparency.

[2] Elevation. Stoops shall be not be elevated more than 3' 6" above the sidewalk, except with a visible basement.

[3] Stoop Size. Stoops shall be a minimum of three (3) feet deep and six (6) feet wide.

[4] Recess. Entrances may be recessed up to five (5) feet

[5] Building Entrance. Entrances shall be located off the stoop.

[6] Interior Access. Additional entrances to access uses in the upper stories or rear of the ground floor are permitted without having to adhere to the above requirements.

(c) Arcade. An arcade is a covered pedestrian walkway within the recess of a ground story. Refer to Figure 5.5-4 Arcade.

[1] Interior Treatment. Arcades must be used in conjunction with storefront or stoop treatment.

[2] Arcade Width. Open air public walkway must be a minimum of six (6) feet.

[3] Columns Spacing. Columns shall be spaced between ten (10) and twelve (12) feet on center.

[4] Arcade Opening. Opening shall not be flush with interior arcade ceiling and may be arched or straight.

(d) Porch Entrance Type. A porch is a raised, roofed platform. Porches can be fully enclosed. Refer to Figure 5.5-5 Porch Entrance Type.

[1] Transparency. Per Lot Type; unless the porch is fully enclosed in which case a minimum of forty (40) percent is applied. Refer to Figure 5.5-1. Measuring Transparency.

[2] Elevation. Porches shall be located a maximum of 4'6" above the sidewalk or average grade measured at the front facade.

[3] Height. A porch may be up to two (2) stories in height to provide a balcony for the second story.

[4] Building Entrance. Primary building entrance shall be located off the porch.

(3) Entrances on Street Facing Facades. The maximum spacing between entrances on a street facing building façade.

(4) Entrances on Other Facades. An entrance is required on side and rear facades when fronting parking areas

C. Roof Type. All roof styles are permitted in the Lot Types, provided that a defined roof style is utilized; special roof types, tower and spire, are permitted per Lot Type.

(1) Tower. A tower is a rectilinear or cylindrical, vertical building element. Refer to Figure 5.5-6 Tower.

(a) Height. Maximum tower height is equal to the height of one (1) upper story floor of the building onto which the tower is applied.

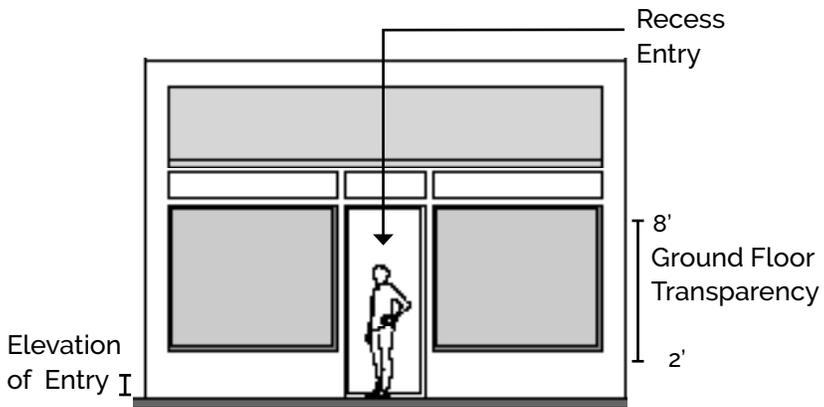


Figure 5.5-2. Storefront.

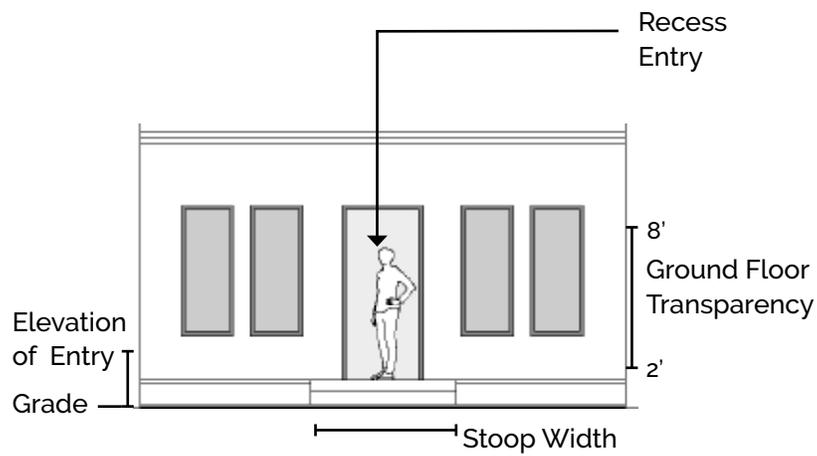


Figure 5.5-3. Stoop.

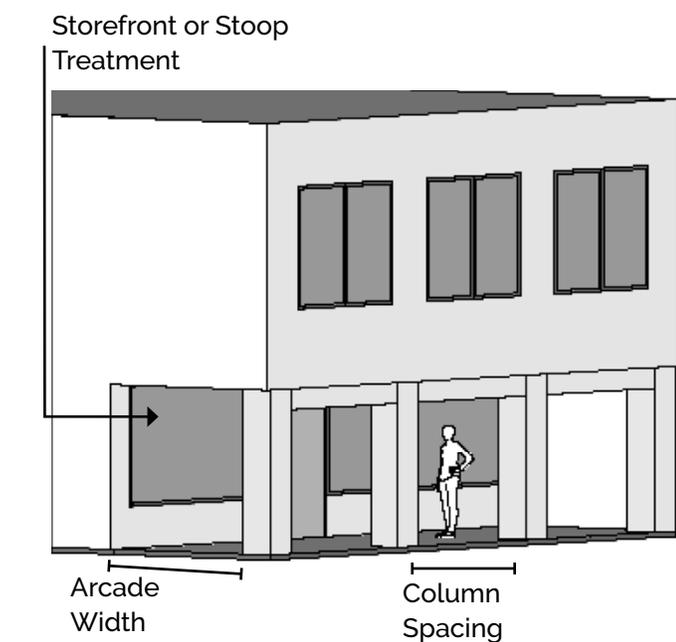


Figure 5.5-4. Arcade

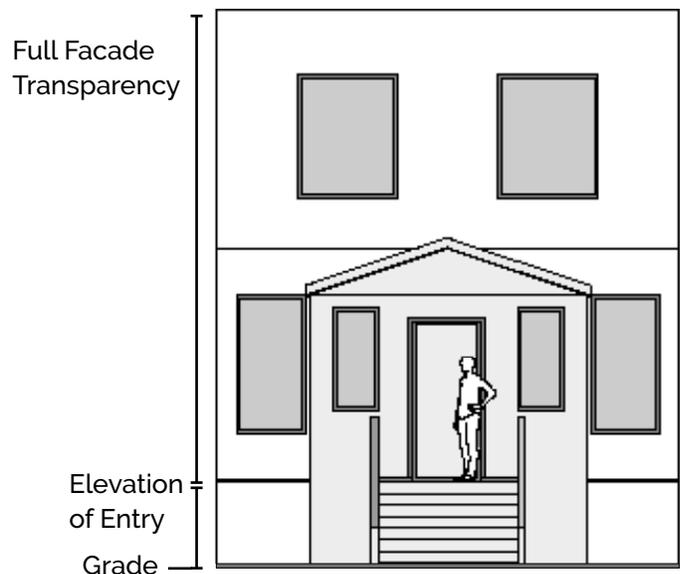


Figure 5.5-5. Porch.

(b) Width. Maximum tower width along all facades is one-third (1/3) the width of the building or thirty (30) feet, whichever is less.

(c) Use. Towers may be utilized by the same uses allowed in the upper stories of the front type in which it is located.

(2) Spire. A spire is a long, tapering design element attached to a tower or the roof of a building. Refer to Figure 5.5-7 Spire.

(a) Use. Spire may not contain an occupied space.

**50-5.6 Lot Type Standards.**

A. Lot Type Descriptions. The following Lot Types are defined and detailed for use in development and redevelopment in the Node, Live-Work 1, and Live-Work 2 Districts. Refer to Table 5.6-1 Lot Types by Zoning District.

(1) Commercial Lot Type. A Lot Type with a high level of transparency on the ground floor that is located at or near the front property line of a lot. This type is ideal for active ground floor uses such as retail or a community center and a mix of uses including residential and commercial on upper stories.

(2) Flex Lot Type. A Lot Type that promotes buildings constructed in a narrow front build-to zone with a range of entrance treatments that can support a wide variety of uses including commercial, industrial, and residential.

(3) Cottage Commercial Lot Type. A Lot Type that recognizes that many structures residential in character can be used for commercial purposes, at least on the ground floor. These typically have a higher transparency and

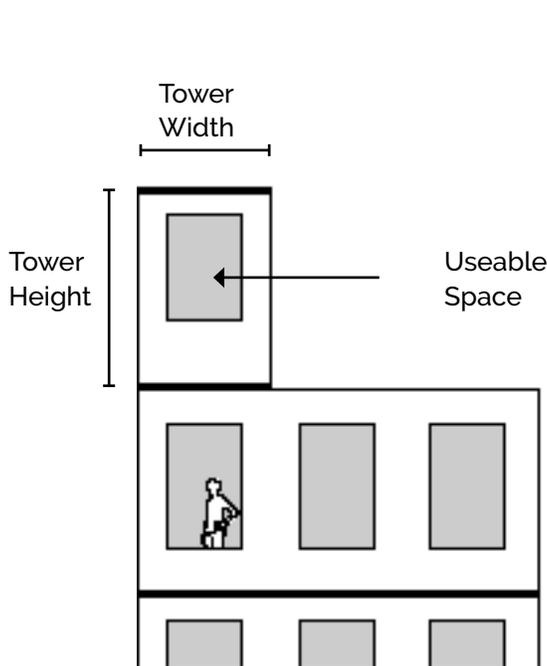


Figure 5.5-6. Tower.

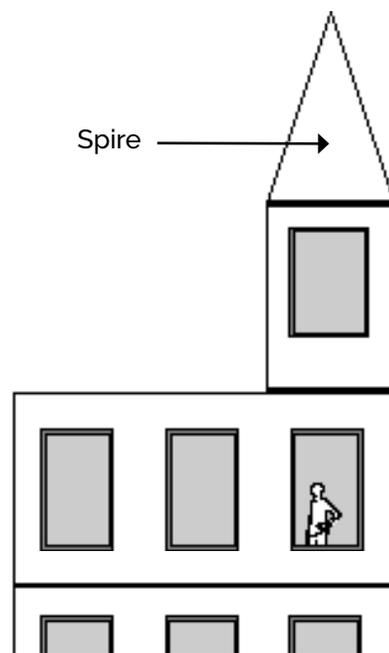


Figure 5.5-7. Spire

impervious coverage than the Yard - Detached Lot Type. In the Districts where the Cottage Commercial Building is Permitted with Development Standards ("PD"), the lot type is only permitted in Neighborhood Nodes, as designated in the 2025 Master Plan, Future Land Development Map.

(4) Civic Lot Type. A Lot Type that allows for the development of unique buildings for civic and institutional uses through flexible building siting and facade treatment standards.

(5) Warehouse Lot Type. A Lot Type that maintains the urban character of an area while considering the needs of commercial and industrial uses.

(5) Yard - Attached Lot Type. A Lot Type that supports the development of buildings that are slightly set back from the front property line and typically contains residential uses.

(6) Yard - Detached Lot Type. A residential Lot Type that allows for detached buildings that are set back from the street. Typically it supports residential uses.

(7) Outdoor Market Type. A Lot Type that focuses on the use of outdoor spaces on a lot for such uses as gardening, seating, dining, gathering, and retail. May include limited indoor areas in non-permanent or open air structures, such as shipping containers, kiosks, or pergolas, for the sale of items or preparation of food items for sale, but with limited or no indoor seating. Permanent buildings are also permitted with this Lot Type, provided they account for a small percent of the total lot area.

### Table 5.6-1 Lot Types by Zoning District

Lot Type	Zoning District					
	Node	LW1	LW2	D1	D2	D3
Commerce	P			P	P	
Flex		P	P		P	P
Cottage Commercial	PD	P	P			P
Civic		P	P		P	P
Warehouse			P			
Yard - Attached		P	P			P
Yard - Detached		P	P			<del>P</del>
Outdoor Market		P	P			P

B. Lot Type: Commerce

(1) Building Siting (Figure 5.6-1)

(a) Street Frontage

Multiple Principal Buildings	Yes	1
Front Lot Line Coverage (min)	80% <sup>1</sup>	2
Occupation of Corner	Yes	3
Front Build-to Zone	0'-5'; 0-10' if for public space, such as wider sidewalks, on-street parking, or cafes <sup>2</sup>	4
Corner Build-to Zone	0'-5'; 0-10' if for public space, such as wider sidewalks, on-street parking, or cafes <sup>2</sup>	4
ROW Encroachment	Yes	5

(b) Lot Area

Side Yard Setback	0'	6
Rear Yard Setback	0', 0' off alley 10' next to R district	7

(c) Lot Coverage

Impervious Surface (max)	100%	8
Semi-Impervious Surface	n/a	9

(d) Parking, Loading, & Access

Parking Location	Rear Yard	10
Loading & Service Location	Rear, Side, Corner Side Facades <sup>3</sup>	11
Vehicle Entrance Bay	Alley; 1 on Corner Side <sup>3,4</sup> , or 1 on Front if an interior lot not located in D1 <sup>3,4</sup>	12

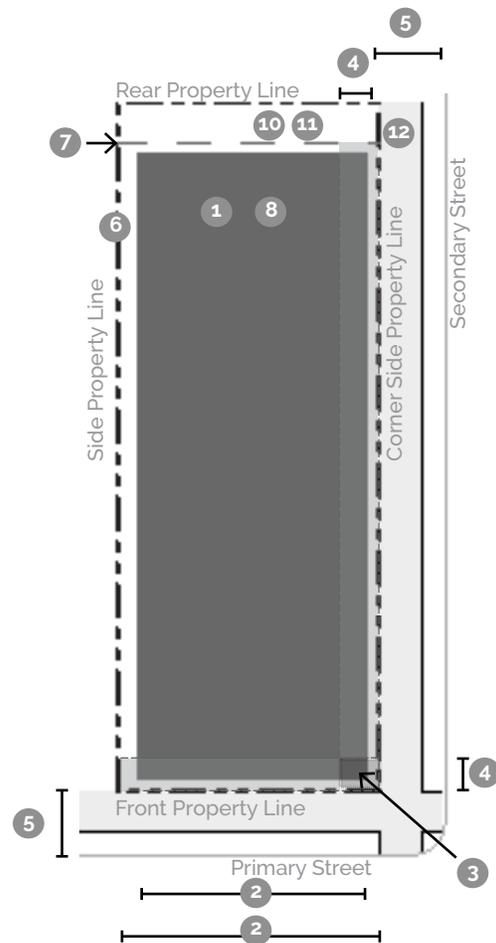


Figure 5.6-1 Building Siting.

Notes:

<sup>1</sup> A courtyard may count toward up to 35% of the minimum coverage.

Lots less than 60' in width, without alley access, and not on a corner have a minimum coverage requirement of 65%.

<sup>2</sup> Larger BTZ requires review and approval through the site plan review process. Larger BTZ is not permitted in D1.

<sup>3</sup> Entrance bays for parking and loading not permitted on primary streets. *Entrance bays and driveways are not permitted on a Priority Street.*

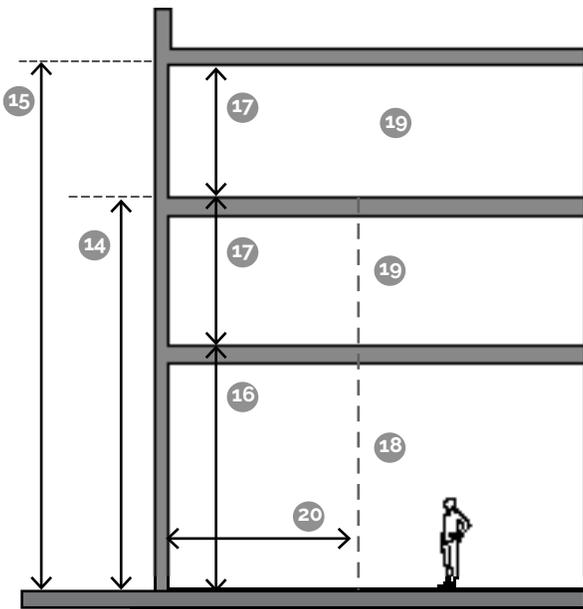
<sup>4</sup> A 2<sup>nd</sup> driveway is permitted on lots wider than 200'.

### (2) Height (Figure 5.6-2)

Minimum Height	2 stories <sup>7</sup>	14
Maximum Height <sup>5</sup>	Node: 3 stories or up to height of tallest building within 330' <sup>6</sup> ; D1 & D2: no max, height on Priority Streets; D2: <i>up to</i> 9 stories	15
Ground Floor	14'-24' <sup>7</sup>	16
Upper Floor(s)	9'-14'	17

### (3) Uses (Table 4.1-1)

Ground Floor	All uses permitted per district	18
Upper Floor	All uses permitted per district	19
Occupied Space	Yes, first two floors, except <i>Restrictions</i> Residential/Lodging is permitted per Table 4.1-1	20
Accessory Uses & Structures	See Table 4.5-1	



### (4) Street Facing Facades (Figure 5.6-3)

#### (a) Transparency (minimum)

Ground Floor	Per entrance type, see 5.5.B	21
Upper Floor(s)	20% per floor	22
Blank Wall Limitations	Yes	23

#### (b) Entrance

Location	Front Facade, Building Corner	24
Entrance Treatment (see 5.5.B)	Storefront	25
Entrances on Street Facing Facades	1 per 50' of building length	26
Entrances on Other Facades	Yes	

#### (c) Roof Type

Tower	Permitted	27
Spire	Not Permitted	

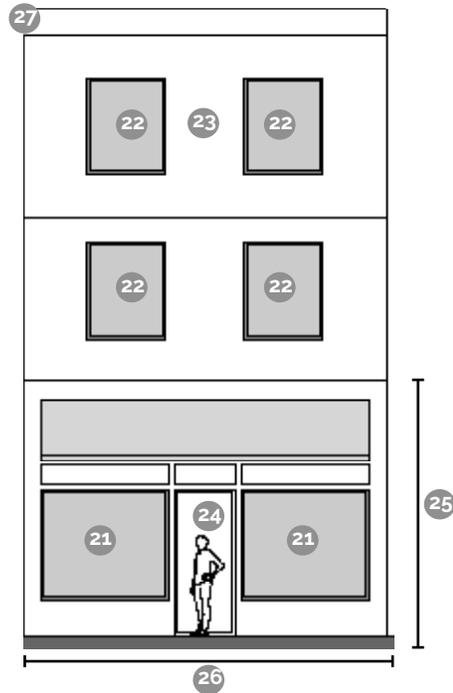


Figure 5.6-2 Height & Use

Notes:

<sup>5</sup> Tower is allowed to be one (1) story taller than the overall building height.

<sup>6</sup> 330' is measured from outer lot line of the Node District. The height increase is capped at no more than two (2) stories taller than the tallest building in the Node.

<sup>7</sup> A Ground Floor height of 20' or greater will be counted as two (2) stories for overall building height.

Figure 5.6-3 Street Facing Facades.



### (2) Height (Figure 5.6-5)

Min. Height <sup>5</sup>	1 story; 2 story min in D2	14
Max. Height <sup>4</sup>	3 stories; LW-2 on a Connector & D3: up to 5 stories D2: up to 9 stories; except no max. height on Priority Streets	15
Ground Floor	12'-24' <sup>5</sup>	16
Upper Floors	9'-14'	17

### (3) Uses (Table 4.1-1)

Ground Floor	All uses permitted per district	18
Upper Floor	All uses permitted per district	18
Occupied Space	Yes; first two floors; except Residential/Lodging permitted per Table 4.1-1	19
Restrictions		
Accessory Uses & Structures	See Table 4.5-1	

### (4) Street Facing Facades (Figure 5.6-6)

(a) Transparency (minimum)		
Ground Floor	Per entrance type, see 5.5.B	20
Upper Floor(s)	20% per floor	21
Blank Wall Limitations	Yes	22

(b) Entrance		
Location	Front Facade, Building Corner	23
Entrance Treatment (see 5.5.B)	Storefront, Stoop	24
Entrances on Street Facing Facades	1 per 60' of building length	25

Other Facade	Yes	
Entrances	Yes	

(c) Roof Type		
Tower	Permitted	26
Spire	Not Permitted	

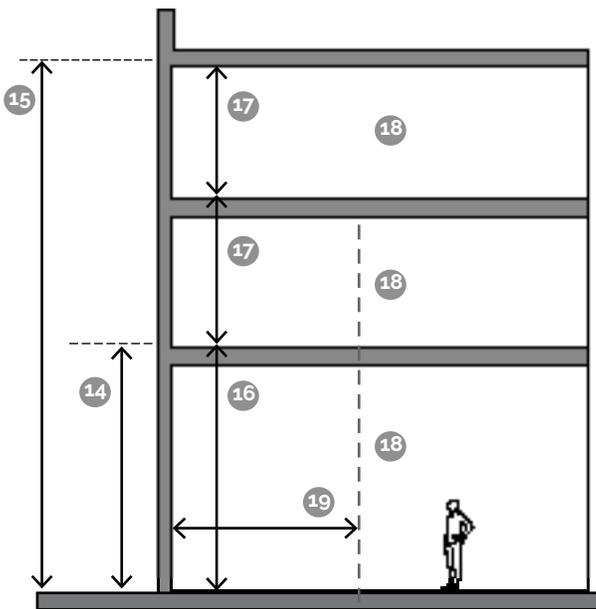


Figure 5.6-5 Height & Use

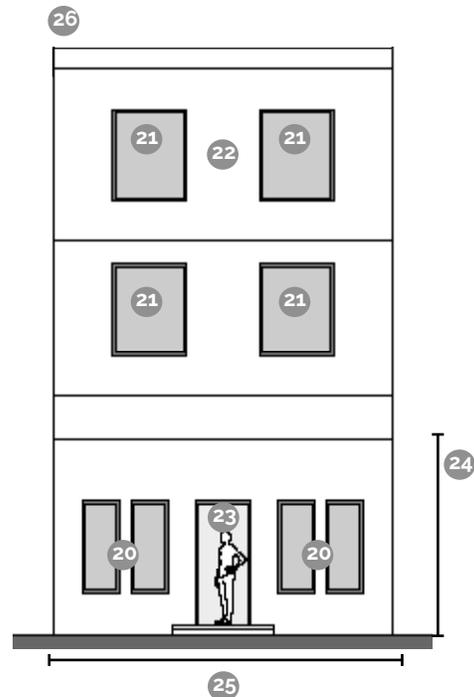


Figure 5.6-6 Street Facing Facades.

Notes:

<sup>4</sup> Tower is allowed to be one (1) story taller than the overall building height.

<sup>5</sup> A ground floor height of 20' or greater will be counted as two (2) stories for overall building height.

D. Lot Type: Cottage Commercial

(1) Building Siting (Figure 5.6-7)

(a) Street Frontage

Multiple Principal Buildings	Yes	1
Front Lot Line Coverage (min)	40%	
Occupation of Corner	Not required	2
Front Build-to Zone	5'-20'; 0-10' in Nodes <sup>1</sup>	3
Corner Build-to Zone	5'-20' 5-15' in Nodes <sup>1</sup>	4
ROW Encroachment	Yes	5

(b) Lot Area

Side Yard Setback	5'	7
Rear Yard Setback	15'	8

(c) Lot Coverage

Impervious Surface (max)	65%	9
Semi-impervious Surface	10%	10

(d) Parking, Loading, & Access

Parking Location	Rear, Side Yards	11
Loading & Service Location	Not Permitted	
Vehicle Entrance Bay	Rear, Side, Corner Side Facades <sup>2</sup>	12
Driveway Location	Alley; 1 on Corner Side or 1 on Front if an interior lot	13

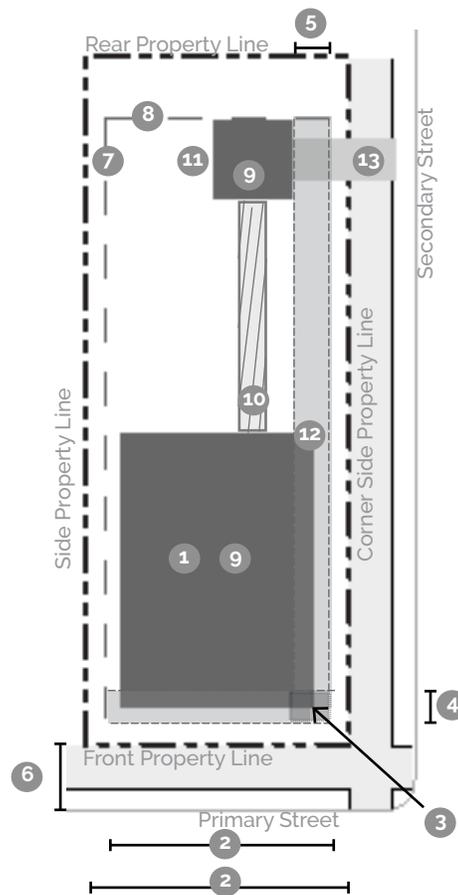


Figure 5.6-7 Building Siting Attached and Detached

Notes:

<sup>1</sup> Stoops and porches may be located in the build-to zone.

<sup>2</sup> Parking entrance bays are not permitted to front primary streets unless located outside of the build-to-zone.

**(2) Height (Figure 5.6-8)**

Minimum Height	1 story	14
Maximum Height	2.5 stories	15
All Floors	9'-14'	16

**(3) Uses (Table 4.1-1)**

All Floors	Residential/ Lodging, Commercial, Craftsman	17
Occupied Space <i>Restrictions</i>	Yes	18
Accessory Uses & Structures	See Table 4.5-1	

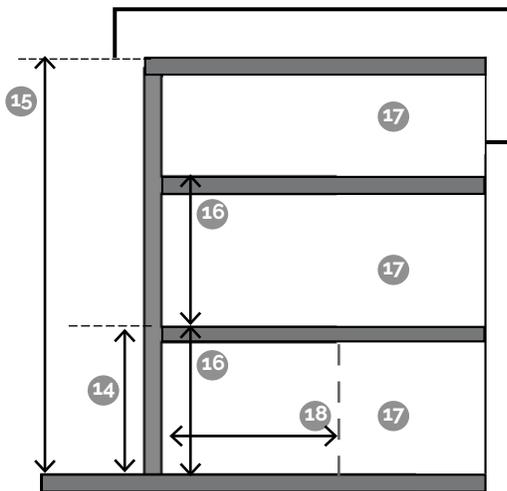


Figure 5.6-8 Height & Use

**(4) Street Facing Facades (Figure 5.6-9)**

**(a) Transparency (minimum)**

Facade Transparency (min)	40% for Stoops and Porches; Storefronts per 5.5.B(2)(a)	19
Blank Wall Limitations	No	20

**(b) Entrance**

Location	Front Facade, Building Corner	21
Entrance Treatment (see 5.5.B)	Stoop, Porch, Storefront	22
Entrances on Street Facing Facades	1 per building	23
Other Facade Entrances	Not Required	24

**(c) Roof Type**

Tower	Permitted
Spire	Not Permitted

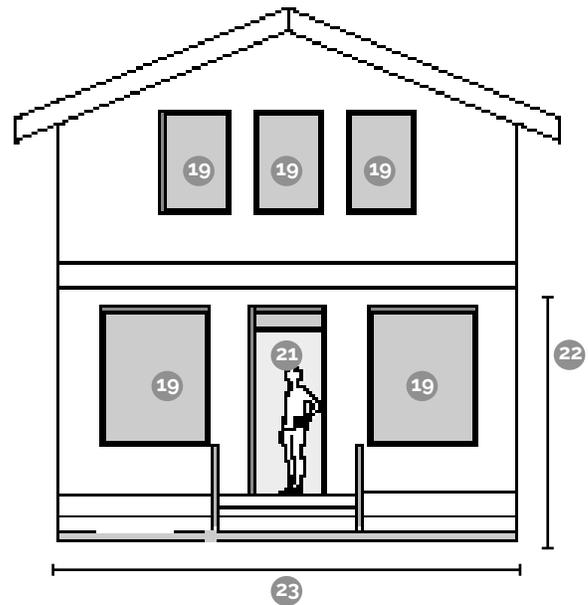


Figure 5.6-9 Street Facing Facades.

E. Lot Type: Civic

(1) Building Siting (Figure 5.6-10)

(a) Street Frontage

Multiple Principal Buildings	Yes	1
Front Lot Line Coverage (min)	Not Required	2
Occupation of Corner	Yes	3
Front Build-to Zone	0'-25'; 0-15' in D2	4
Corner Build-to Zone	0'-15'	5
ROW Encroachment	Yes	6

(b) Lot Area

Side Yard Setback	0'	7
Rear Yard Setback	5', 0' off alley, 10' next to R district	8

(c) Lot Coverage

Impervious Surface (max)	70%,	9
Semi-Impervious Surface	10%	10

(d) Parking, Loading, & Access

Parking Location	Rear, Side Yards	11
Loading & Service Location	Rear, Side Corner Side	12
Vehicle Entrance Bay	Facades <sup>1</sup>	
Driveway Location	Alley, 1 on Corner Side <sup>2</sup> , 1 on Front if an interior lot except in D2 <sup>1</sup>	13

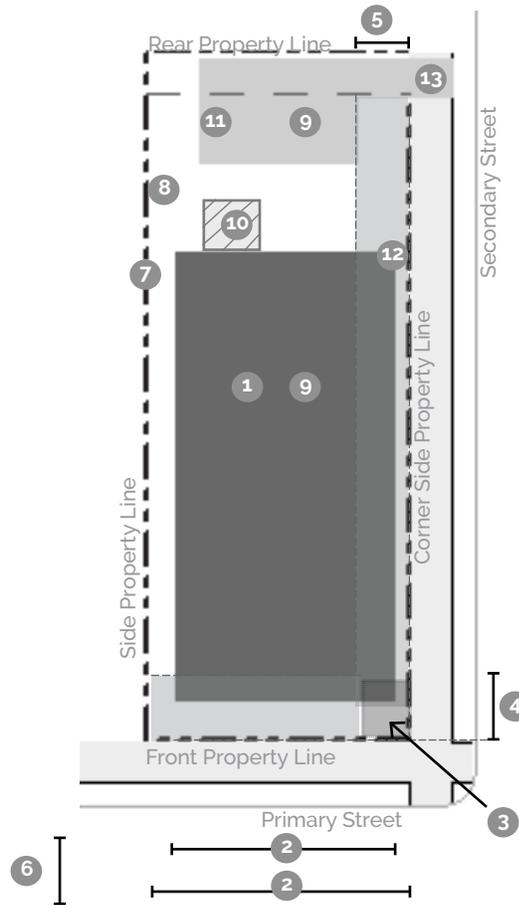


Figure 5.6-10 Building Siting.

Notes:

<sup>1</sup> Entrance bays for parking and loading are not permitted on primary streets. *Entrance bays and driveways are not permitted on a Priority Street.*

<sup>2</sup> A 2<sup>nd</sup> driveway is permitted on lots wider than 200'.

<sup>3</sup> A Tower or a spire is allowed to be one (1) story taller than the overall building height; a tower and a spire can add an additional one and a half (1 1/2) stories to the overall permitted height.

**(2) Height (Figure 5.6-11)**

Minimum Height <sup>4</sup>	1 stories	14
Maximum Height <sup>3</sup>	3 stories; D2 & D3: up to 5 stories	15 16
Ground Floor	15'-30' <sup>4</sup>	17
Upper Floor	9'-14'	

**(3) Uses (Table 4.1-1)**

All Floors	Civic/ Institutional <sup>5</sup>	18
Occupied Space <i>Restrictions</i>	Yes <sup>5</sup>	19
Accessory Uses & Structures	See Table 4.5-1	

**(4) Street Facing Facades (Figure 5.6-12)**

**(a) Transparency (minimum)**

Facade Transparency (min)	15% per street facing Facade	20
Blank Wall Limitations	No	21

**(b) Entrance**

Location	Front Facade, Building Corner	22
Entrance Treatment (see 5.5.B)	Stoop	23
Entrances on Street Facing Facades	1 per 60' of building length	24
Other Facade Entrances	Yes	25

**(c) Roof Type**

Tower	Permitted	26
Spire	Permitted	27

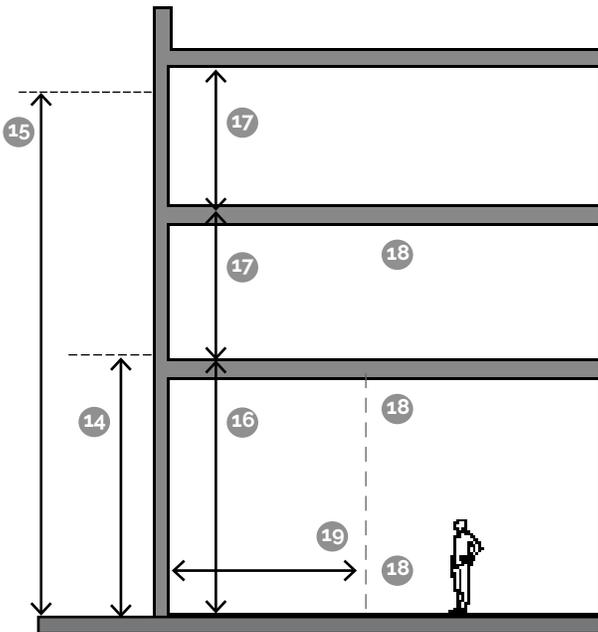


Figure 5.6-11 Height & Use

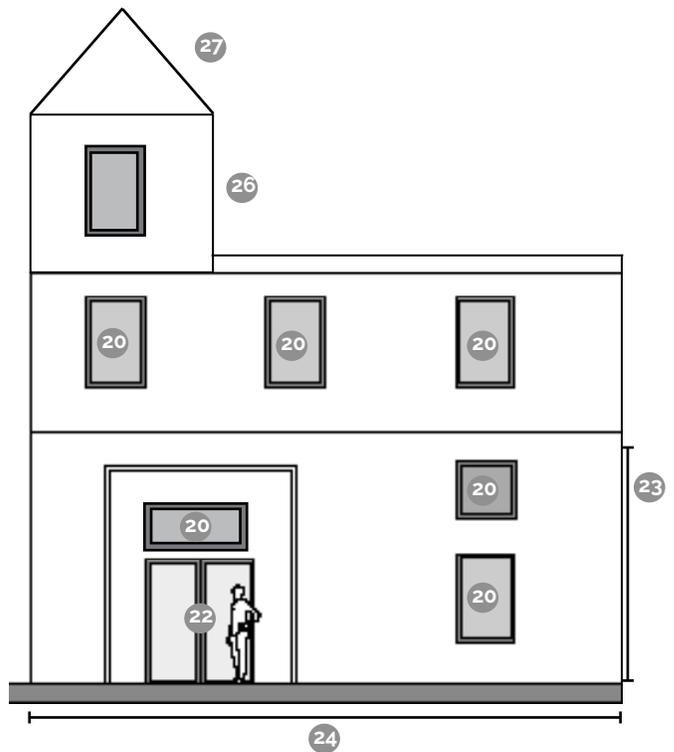


Figure 5.6-12 Street Facing Facades.

Notes:

4 A ground floor height of 20' or greater will be counted as two (2) stories for overall building height.

5 Civic Lot Types existing at the time of this Ordinances' approval may contain any use permitted in the District in which it is located.

F. Lot Type: Warehouse

(1) Building Siting (Figure 5.6-13)

(a) Street Frontage

Multiple Principal Buildings	Yes	1
Front Lot Line Coverage (min)	65% <sup>1</sup>	2
Occupation of Corner	Yes	3
Front Build-to Zone	0'-15'	4
Corner Build-to Zone	0'-10'	5
ROW Encroachment	Yes	6

(b) Lot Area

Side Yard Setback	5'	7
Rear Yard Setback	15', 0' off alley,	8

(c) Lot Coverage

Impervious Surface (max)	80%,	9
Semi-Impervious Surface	10%	10

(d) Parking, Loading, & Access

Parking Location	Rear, Side Yards	11
Loading & Service Location	Rear, Side, Corner Side Facades <sup>2</sup> , & 1 on Front Facade <sup>2</sup>	12
Vehicle Entrance Bay	Alley, 1 on Corner Side, 1 on Front if an interior lot <sup>3</sup>	13

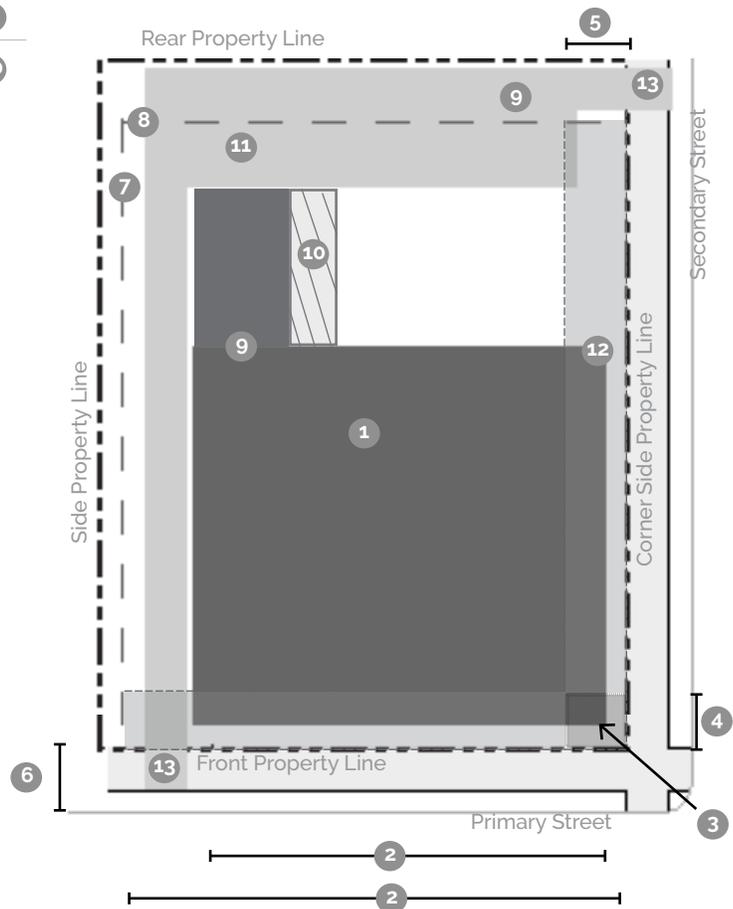


Figure 5.6-13 Building Siting.

Notes:

<sup>1</sup> A courtyard may count toward up to 35% of the minimum coverage.

<sup>2</sup> Entrance bays for parking and loading not permitted on primary streets unless located at least fifty (50) feet behind the front facade.

<sup>3</sup> A 2<sup>nd</sup> driveway is permitted on lots wider than 200'.

**(2) Height (Figure 5.6-14)**

Minimum Height <sup>5</sup>	1 stories	
Maximum Height <sup>4</sup>	3 stories	15
Ground Floor	12'-30'	16
Upper Floor	9'-15'	17

**(3) Uses (Table 4.1-1)**

All Floors	Industrial	18
Occupied Space <i>Restrictions</i>	Not Required, except Craftsman	19
	Industrial retail/showroom uses	
Accessory Uses & Structures	See Table 4.5-1	

**(4) Street Facing Facades (Figure 5.6-15)**

**(a) Transparency (minimum)**

Ground Floor (min)	40% <sup>6</sup>	19
Upper Floor(s)	10%	20
Blank Wall Limitations	No	21

**(b) Entrance**

Location	Front Facade, Building Corner	22
Entrance Treatment (see 5.5.B)	Stoop, Storefront	23
Entrances on Street Facing Facades	1 per 75' of building length	24

Other Facade Entrances	Yes	25
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**(c) Roof Type**

Tower	Permitted	26
Spire	Not Permitted	

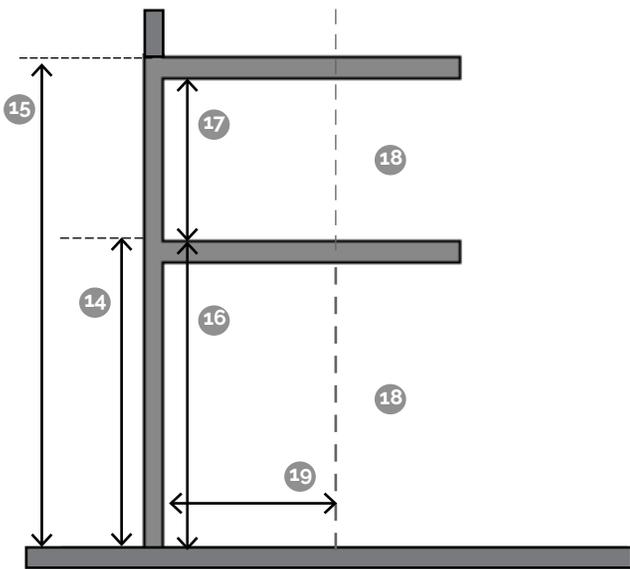


Figure 5.6-14 Height & Use

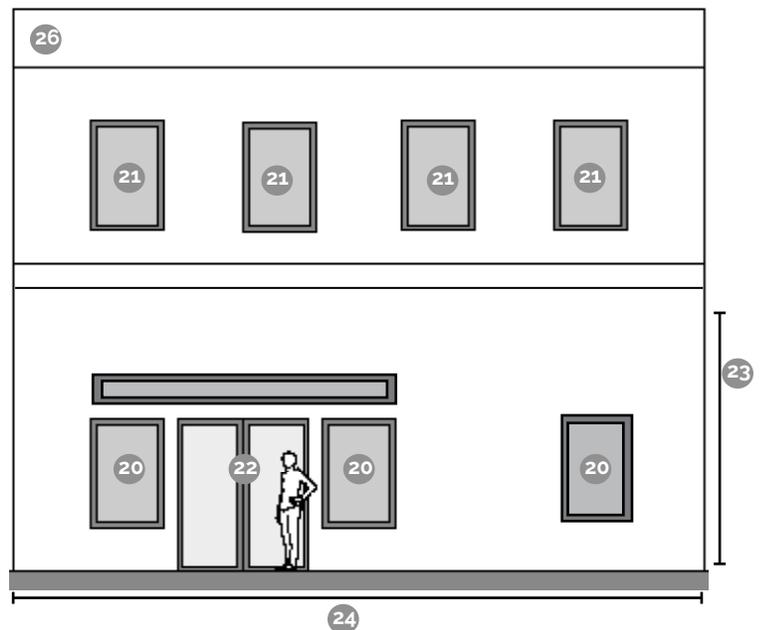


Figure 5.6-15 Street Facing Facades.

Notes:

<sup>4</sup> Tower is allowed to be one (1) story taller than the overall building height.

<sup>5</sup> A ground floor height of 20' or greater will be counted as two (2) stories for overall building height.

<sup>6</sup> Craftsman Industrial uses follow transparency for either the storefront or stoop entrance type. To determine transparency, the measurement can be taken in the location of the retail or showroom element and not along the entire ground floor facade.

G. Lot Type: Yard - Attached

(1) Building Siting (Figure 5.6-16)

(a) Street Frontage

Multiple Principal Buildings	Yes; Up to 5 units may be connected	1
Front Lot Line Coverage (min)	60%	2
Occupation of Corner	Not required	3
Front Build-to Zone	5'-15' <sup>1</sup>	4
Corner Build-to Zone	5'-15' <sup>1</sup>	5
ROW Encroachment	No	6

(b) Lot Area

Side Yard Setback	5' <sup>2</sup>	7
Rear Yard Setback	15'	8

(c) Lot Coverage

Impervious Surface (max)	60%	9
Semi-Impervious Surface	15%	10

(d) Parking, Loading, & Access

Parking Location	Rear, Side Yards	11
Loading & Service Location	Not Permitted	
Vehicle Entrance Bay	Rear, Side, Corner Side Facades <sup>3</sup>	12
Driveway Location	Alley; 1 on Corner Side or 1 on Front if an interior lot	13

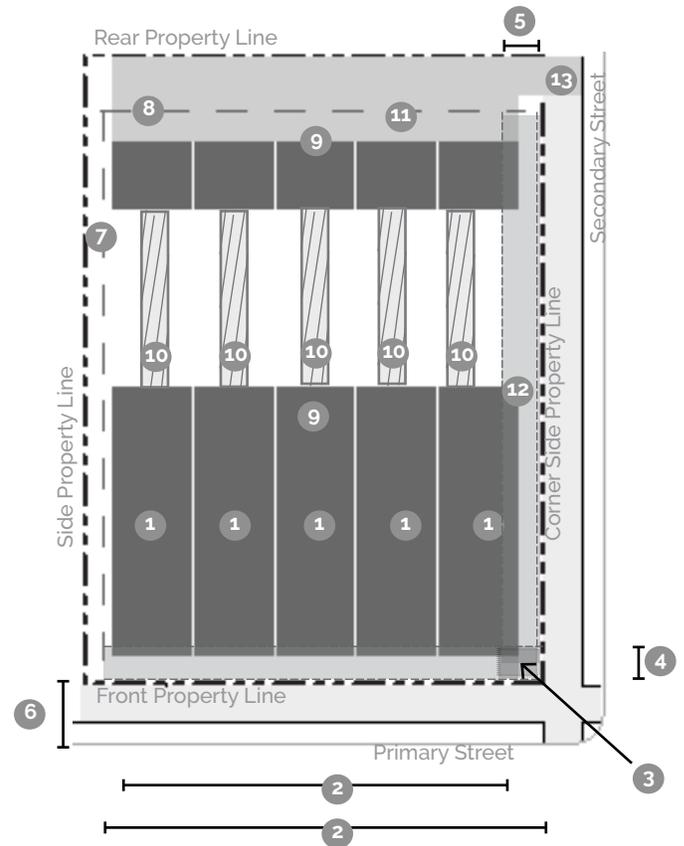


Figure 5.6-16 Building Siting

Notes:

<sup>1</sup> Stoops and unenclosed porches may be located in the build-to zone.

<sup>2</sup> If buildings are attached, side yard setbacks apply to the set or row of buildings, not each individual building.

<sup>3</sup> Vehicle entrance bays are not permitted to front primary streets unless located outside of the build-to-zone.

**(2) Height (Figure 5.6-17)**

Minimum Height	1 story	14
Maximum Height	3 stories	15
All Floors	9'-14'	16

**(3) Uses (Table 4.1-1)**

All Floors	Residential/ Lodging	17
Occupied Space <i>Restrictions</i>	Not Required, except for <i>internal</i> parking	18
Accessory Uses & Structures	See Table 4.5-1	

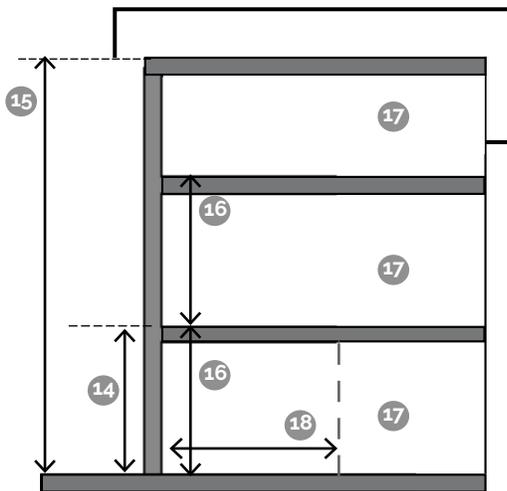


Figure 5.6-17 Height & Use

**(4) Street Facing Facades (Figure 5.6-18)**

**(a) Transparency (minimum)**

Facade Transparency (min)	30%	19
Blank Wall Limitations	Yes	20

**(b) Entrance**

Location	Front Facade, Building Corner	21
Entrance Treatment (see 5.5.B)	Stoop, Porch	22
Entrances on Street Facing Facades	1 per building <sup>4</sup>	23
Other Facade Entrances	Not Required	24

**(c) Roof Type**

Tower	Permitted
Spire	Not Permitted

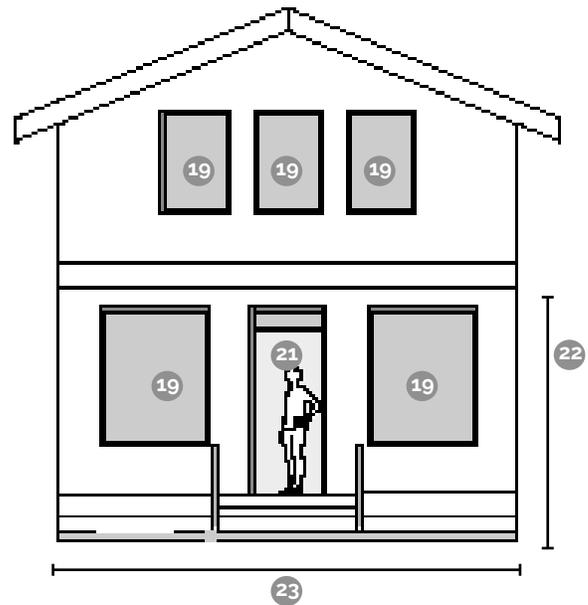


Figure 5.6-18 Street Facing Facades.

Notes:

<sup>4</sup>When multiple detached or attached buildings exist on a lot, entrances on buildings behind the Front and Corner Side Facade shall be located off a shared open space or courtyard or pedestrian pathway.

H. Lot Type: Yard - Detached

(1) Building Siting (Figure 5.6-19)

(a) Street Frontage

Multiple Principal Buildings	Yes	1
Front Lot Line Coverage (min)	40%	2
Occupation of Corner	Not required	3
Front Build-to Zone	10'-25' <sup>1</sup>	4
Corner Build-to Zone	10'-20' <sup>1</sup>	5
ROW Encroachment	No	6

(b) Lot Area

Side Yard Setback	5'	7
Rear Yard Setback	10'	8

(c) Lot Coverage

Impervious Surface (max)	50% <sup>2</sup>	9
Semi-Impervious Surface	15%	10

(d) Parking, Loading, & Access

Parking Location	Rear, Side Yards	11
Loading & Service Location	Not Permitted	
Vehicle Entrance Bay	Rear, Side, Corner Side Facades <sup>3</sup>	12
Driveway Location	Alley; 1 on Corner Side or 1 on Front if an interior lot	13

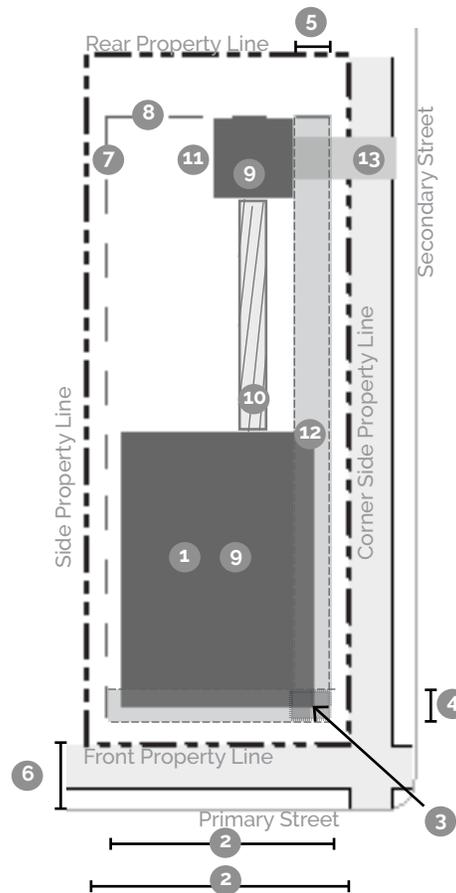


Figure 5.6-19 Building Siting Attached and Detached

Notes:

<sup>1</sup> Stoops and unenclosed porches may be located in the build-to zone.

<sup>2</sup> 60% impervious surface permitted when two or more principal buildings are on a lot.

<sup>3</sup> Vehicle entrance bays are not permitted to front primary streets unless located outside of the build-to-zone.

**(2) Height (Figure 5.6-20)**

Minimum Height	1 story	14
Maximum Height	3 stories	15
All Floors	9'-14'	16

**(3) Uses (Table 4.1-1)**

All Floors	Residential/ Lodging	17
Occupied Space	Not Required, except for <i>internal</i> parking	18
Accessory Uses & Structures	See Table 4.5-1	

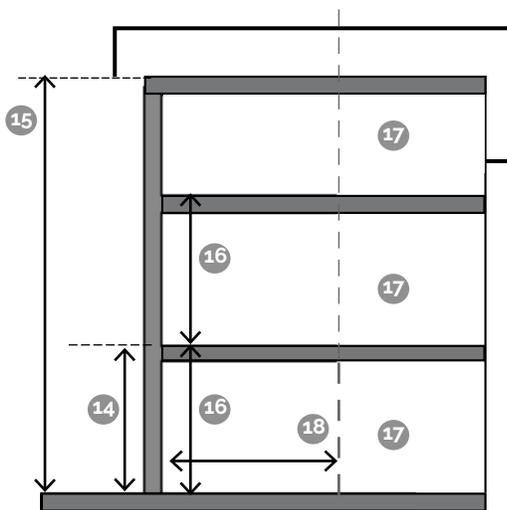


Figure 5.6-20 Height & Use

**(4) Street Facing Facades (Figure 5.6-21)**

**(a) Transparency (minimum)**

Facade Transparency (min)	30%	19
Blank Wall Limitations	Yes	20

**(b) Entrance**

Location	Front Facade, Building Corner	21
Entrance Treatment (see 5.5.B)	Stoop, Porch	22
Entrances on Street Facing Facades	1 per building <sup>4</sup>	23
Other Facade Entrances	Not Required	24

**(c) Roof Type**

Tower	Not Permitted
Spire	Not Permitted

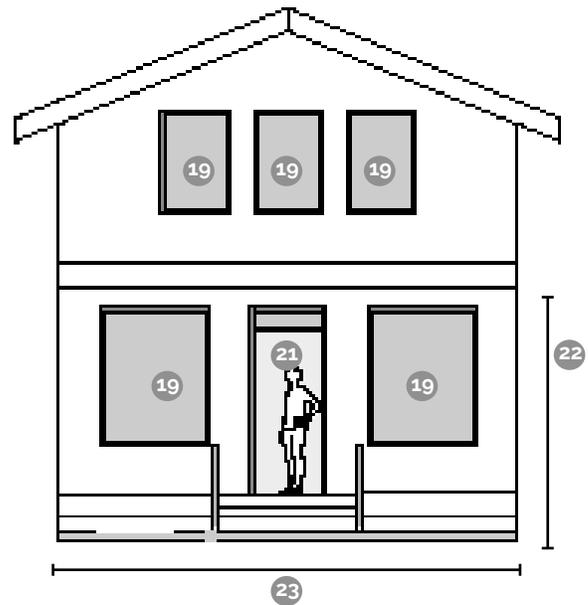


Figure 5.6-21 Street Facing Facades.

Notes:

<sup>4</sup>When multiple detached or attached buildings exist on a lot, entrances on buildings behind the Front and Corner Side Facade shall be located off a shared open space or courtyard or pedestrian pathway.

I. Lot Type: Outdoor Market

(1) Building Siting (refer to Figure 5.6-22)

(a) Street Frontage

Multiple Principal Buildings	Yes	1
Front Lot Line Coverage	Not Required	
Occupation of Corner	Not Required	
Front Build-to Zone		
Corner Build-to Zone	Not Required <sup>1</sup>	2
ROW Encroachment	Yes	3

(b) Lot Area

Side Yard Setback	10'	4
Rear Yard Setback	15'	5

(c) Lot Coverage

Impervious Surface (max)	65% <sup>2</sup>	6
Semi-impervious Surface	15%	7

(d) Parking, Loading, & Access

Parking Location	Rear Yard	8
Loading & Service Location	Side or Rear Yard	9
Interior Parking Entrance Bay	Not Permitted	
Driveway Location	Alley; 1 on Corner Side; 1 on Front if an interior lot	10

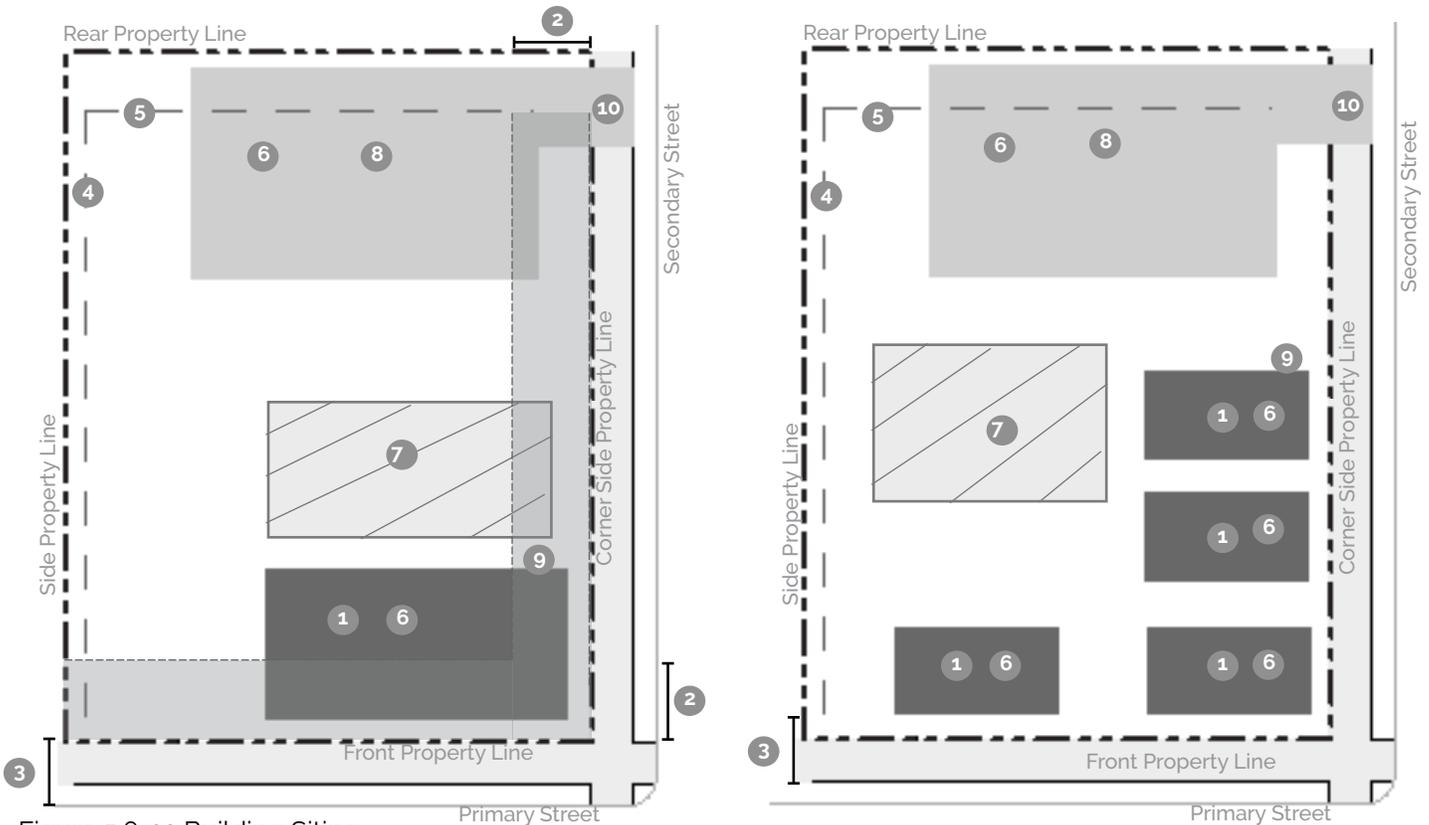


Figure 5.6-22 Building Siting.

**(2) Height (Figure 5.6-23)**

Minimum Height	1 Story	11
Maximum Height	1 Story	12
Ground Floor	Not Required	
Upper Floor(s)	Not Required	

**(3) Uses (Table 4.1-1)**

All Floors	Commercial, Park/Open Space	13
Occupied Space	Not Required	14
Accessory Uses & Structures	See Table 4.5-1	

**(4) Street Facing Facades (Figure 5.6-23)**

**(a) Transparency (minimum)**

Ground Floor	Not Required <sup>3</sup>	15
Upper Floor(s)	Not Required	
Blank Wall Limitations	Not Required	

**(b) Entrance/Counter**

Location	Not Required <sup>3</sup>	16
Entrance Treatment (see 5.5.B)	Not Required <sup>3</sup>	
Entrances on Street Facing Facades	Not Required <sup>3</sup>	17
Other Facade Entrances	Not Required	

**(c) Roof Type**

Tower	Not Permitted
Spire	Not Permitted

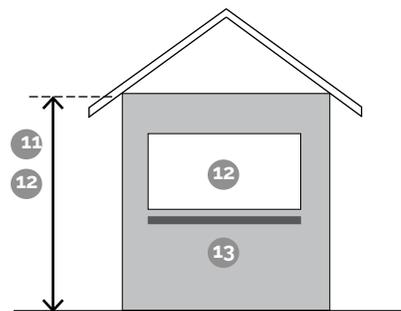


Figure 5.6-23 Street Facing Facades.

Notes:

<sup>1</sup> Except: 0-10' BTZ is required for Outdoor Sales & Storage and Vehicle Service.

<sup>2</sup> A permanent building shall account for no more than twenty-five (25) percent of the impervious coverage allowance. This does not apply to such structures as kiosk, shipping container, greenhouse, or hoop house, which are considered not permanent for the purposes of impervious coverage.

<sup>3</sup>When a building is located in the 0-10' Front or Corner Side Build-to Zones, it must have an entrance, windows, or service window/counter on the facade facing the adjacent street. Outdoor Sales & Storage & Vehicle Service uses must be in buildings with a stoop or storefront entrance treatment.

## Article 6. Zoning Standards: Overlay District Standards

### 50-6.1 Overlay District Requirements.

A. Applicability. Overlay Districts are applied to parcels in addition to the base or underlying Zoning District as mapped in the Zoning Map. Unless otherwise provided, an overlay zoning district shall include and be applicable to whole parcels and any parcels subsequently joined or combined with a parcel subject to any overlay zone regulations.

B. Intent. Overlay Districts provide an additional set of requirements for the development and use of parcels with the Overlay

C. Conflict. If a conflict arises between the Overlay District regulations and those of the Base Zoning District, the Overlay District regulations control.

### 50-6.2 Natural Features Protection Overlay Standards

A. Intent. The NFP Overlay District is intended to protect Natural Features in the City of Kalamazoo, specifically Wetlands, Water Resources, Trees, Woodlands, Floodplains, Slopes, Natural Heritage Areas, and Habitat Corridors.

B. Applicability. The NFP Overlay District standards apply as follows.

(1) The Natural Features Standards are divided by defined Natural Feature. When a parcel is developed, redeveloped, or the Natural Feature is impacted due to any site alterations, the standards for all applicable Natural Features are applied.

(2) The Site Development Standards shall be applied to all parcels in the NFP Overlay District.

(3) Overlay standards shall not eliminate the need to obtain a permit from the Michigan Department of Environmental Quality (MDEQ) or any other State, Federal, or regional permitting agency, if required.

(4) Structures existing on the effective date of the ordinance creating the NFP Overlay District that do not meet the setbacks required in this Article are permitted and may be altered or expanded provided that they do not increase the amount of their non-conformance with the standards in this Article.

C. Natural Feature Standards: Wetlands. A Wetland is any area, regardless of parcel boundaries, that is characterized by the presence of water at a frequency and duration sufficient to support wetland vegetation or aquatic life, or otherwise defined in Part 303 of the NREPA.

(1) Wetland Determination. If any area on a parcel appears to be supporting wetland vegetation or is identified on the National Wetlands Inventory (NWI) map, one of the following is required.

(a) The area in question shall be treated as a Wetland and the standards of this Section apply.

(b) A Wetland Determination shall be completed by a qualified professional, such as a Professional Wetland Scientist to confirm whether the area in question is a Wetland.

(2) Altering a Wetland. Alteration to a Wetland is prohibited except as allowed by the NREPA. A copy of any required permits obtained from the State to alter a Wetland must be submitted to the City.

(3) Wetland Setbacks. Setback distance is measured from the outer edge of wetland vegetation. Refer to Figure 6.2-1 Measuring Wetland and Water Resource Setbacks and Figure 6.2-2 Setbacks Across Parcel Boundaries.

(a) The size of the Wetland setback is based on the size of the parent parcel following the distances in Table 6.2-1 Wetland and Water Resources Setbacks.

(b) Prohibited Activities. The following activities are prohibited in the setback.

- [1] Development activities, such as structures, impervious surfaces, parking, driveways, etc.
- [2] New Stormwater BMPs.

(c) Permitted Activities. The follow activities are permitted in the setback.

- [1] Water and sewer lines, utility lines, bridge abutments or approaches, or semi-pervious, non-motorized trailways, may be developed and maintained within a Wetland setback with approval from all applicable local, State, and/or Federal agencies.
- [2] Restoration activities, such as planting with native vegetation with approval from all applicable local, State, and/or Federal agencies.
- [3] Mitigation activities required under the NREPA.

(4) Protection During Construction. Appropriate erosion control measures must be used according to Chapter 30 of the Kalamazoo City Code.

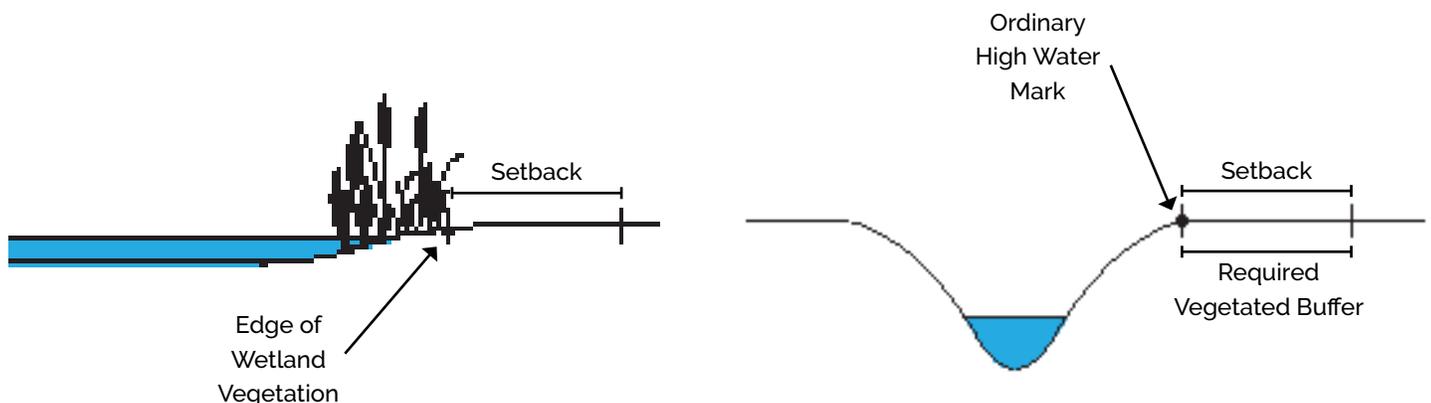


Figure 6.2-1 Measuring Wetland and Water Resource Setbacks

D. Natural Feature Standards: Water Resources. A Water Resource is any lake, pond, or impoundment; a river, stream, or creek which may or may not be serving as a drain; or any other body of water that has defined banks, a bed, and visible evidence of a continued flow or continued occurrence of water, or as otherwise defined in Part 301 of the NREPA.

(1) Altering a Water Resource. Alteration to a Water Resource is prohibited except as allowed by the NREPA. A copy of any required permits obtained from the State to alter a Water Resource must be submitted to the City.

(2) Water Resource Setbacks. Setback distance is measured from the Ordinary High Water Mark of all Water Resources, including when the Water Resource is located off the parcel but within the setback distance. Refer to Figure 6.2-1 Measuring Wetland and Water Resource Setbacks and Figure 6.2-2 Setbacks Across Parcel Boundaries.

(a) The size of the Water Resource setback is based on the size of the parent parcel following the distances in Table 6.2-1 Wetland and Water Resources Setbacks.

(b) Prohibited Activities. The following activities are prohibited in the setback.

- [1] Development activities, such as structures, impervious surfaces, parking, driveways, etc.
- [2] New Stormwater BMPs.

(c) Permitted Activities. The following activities are permitted in the setback.

- [1] Up to twenty (20) percent of the setback area may be developed with semi-pervious materials, such as paths or mowed Turf Grass.

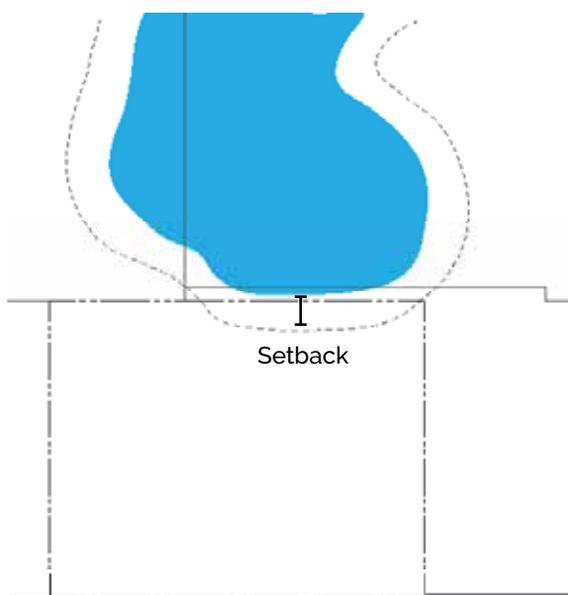


Table 6.2-1 Wetland and Water Resources Setbacks

Size of Parent Parcel	Minimum Required Setback
Greater than 1 acre	25 feet
1/2 acre - 1 acre	20 feet
Less than 1/2 acre	15 feet

Figure 6.2-2 Setbacks Across Parcel Boundaries

[2] Water and sewer lines, utility lines, bridge abutments or approaches, or semi-pervious, non-motorized trailways, may be developed and maintained within a Water Resource setback with approval from all applicable local, State, and/or Federal agencies.

[3] Disturbance to the bank or shoreline, as expressly allowed under State law, is permitted when a restoration plan is prepared by a qualified professional, such as a Michigan Certified Natural Shoreline Professional or Professional Engineer.

[4] Operation and maintenance of existing flood control facilities or Stormwater BMPs.

(3) Required Planting. The setback must contain Natural Vegetation, including a combination of trees, shrubs, grasses, and Forbs to form a Vegetated Buffer in a Riparian area. The Vegetated Buffer must meet one (1) of the following.

(a) Where the bank or shoreline contains Natural Vegetation.

[1] Existing vegetation must remain undisturbed during and after construction activities.

[2] Supplemental planting or seeding is allowed when Native Species are used. Mowed turf grass does not qualify as Natural Vegetation.

[3] Removal of invasive species and/or dead or diseased woody species are allowed, if they are replaced according to the parameters in 50-6.2D(3)(b)[3].

(b) Where the bank or shoreline is not covered in Natural Vegetation.

[1] A Vegetated Buffer must be planted and maintained in the setback.

[2] Soil preparation for planting is allowed with proper soil erosion controls.

[3] A diverse mix of appropriate native species is required, as follows.

[a] At least twelve (12) different species must be planted.

[b] At least two (2) species from each of the following plant types must be planted: shrubs, Graminoids, and Forbs. Refer to Table 6.2-2 Example Plants for Vegetated Buffers.

[c] Trees may be planted if appropriate to the site. Refer to Table 6.2-5 Replacement Tree List.

[4] Any combination of native seed mix, plant plugs, bare root trees or shrubs, and/or container plants, trees, or shrubs are permitted.

(c) Exceptions. The Vegetated Buffer is not required when a structure or parcel is being redeveloped unless the project increases the site's impervious coverage on the parcel by more than ten (10) percent or if the project is being conducted within twenty (20) feet of the Water Resource setback.

(4) Protection During Construction. Appropriate erosion control measures must be used according to Chapter 30 of the Kalamazoo City Code.

(5) Operation and Maintenance Agreement. The Vegetated Buffer must be included in the Stormwater Operation and Maintenance Agreement, if an Agreement is required for the project.

Table 6.2-2 Example Plants for Vegetated Buffers

Common Name	Scientific Name	Type
Silky Dogwood	<i>Cornus amomum</i>	Shrub
Red Osier, Red Twig Dogwood	<i>Cornus stolonifera, sericea</i>	Shrub
Common Elderberry	<i>Sambucus canadensis</i>	Shrub
Atlantic Ninebark	<i>Physocarpus opulifolius</i>	Shrub
Common Winterberry	<i>Ilex verticillata</i>	Shrub
Northern Spicebush	<i>Lindera benzoin</i>	Shrub
Highbush Blueberry	<i>Vaccinium corymbosum</i>	Shrub
Lake Sedge	<i>Carex lacustris</i>	Graminoid
Tussock Sedge	<i>Carex stricta</i>	Graminoid
Bottlebrush Sedge	<i>Carex hystericina</i>	Graminoid
Bebb's Sedge	<i>Carex bebbii</i>	Graminoid
Common Fox Sedge	<i>Carex vulpinoidea</i>	Graminoid
Prairie Cordgrass	<i>Spartina pectinata</i>	Graminoid
Dark-Green Bulrush	<i>Scirpus atrovirens</i>	Graminoid
Cottongrass Bulrush	<i>Scirpus cyperinus</i>	Graminoid
Bluejoint Grass	<i>Calamagrostis canadensis</i>	Graminoid
Common Rush	<i>Juncus effusus</i>	Graminoid
Spotted Joe-Pye-Weed	<i>Eutrochium maculatum</i>	Forb
White Turtlehead	<i>Chelone glabra</i>	Forb
New England American Aster	<i>Symphyotrichum novae-angliae</i>	Forb
Purple-Stem American Aster	<i>Symphyotrichum puniceum</i>	Forb
Flat-Topped White Aster	<i>Doellingeria umbellata</i>	Forb
Common Boneset	<i>Eupatorium perfoliatum</i>	Forb
Swamp Milkweed	<i>Asclepias incarnata</i>	Forb
Cutleaf Coneflower	<i>Rudbeckia laciniata</i>	Forb
Pin Oak	<i>Quercus palustris</i>	Tree
Swamp White Oak	<i>Quercus bicolor</i>	Tree
Black Tupelo, Black Gum	<i>Nyssa sylvatica</i>	Tree
Tamarack, American Larch	<i>Larix laricina</i>	Tree

E. Natural Feature Standards: Floodplains. Reserved.

F. Natural Feature Standards: Trees. Trees that provide special value to the community or ecosystem are protected through the NFP Overlay District.

(1) Tree Criteria. When Trees meet any of the following criteria and are not counted as part of a Woodland, the standards of this Overlay apply.

(a) Trees on the Special Status Tree List in Table 6.2-4.

(b) Any Tree larger than twenty-four (24) inches DBH.

(2) Tree Protection. Trees and their CRZ shall be protected during site development and construction.

(a) Disturbance. No disturbance is allowed within a CRZ, except as follows.

[1] Fences are permitted when they meet all other applicable zoning standards.

[2] Management of other Trees or Woodlands with a plan by a qualified professional, such as an International Society of Arboriculture (ISA) Certified Arborist.

(b) Protection During Construction. The CRZ of Trees shall be protected following the standards of 50-6.2K(8) Protection During Construction.

(3) Tree Removal. Trees may be removed in the following circumstances.

(a) Tree is located such that it impedes access to the site or prevents utility connections.

(b) A qualified professional has determined the tree is diseased, dying, or has sustained substantial damage prior to site work.

(c) Location of the Tree presents a threat to the structural integrity of an existing structure or infrastructure.

(4) Replacement. Any Tree meeting the criteria which is removed from the parcel must be replaced as follows.

(a) Except as otherwise permitted by this subsection, the replacement ratio is 1:1, where for every inch of Tree removed in total from the parcel, an equivalent number of inches must be replaced by newly planted Trees as follows.

[1] Inches of Tree removed shall be measured at DBH.

[2] Replacement Trees shall be selected from the Replacement Tree List in Table 6.2-5. Site context should be taken into consideration when selecting a replacement Tree.

[3] Replacement Trees must be two (2) inch caliper or greater, unless otherwise stated in Table 6.2-5.

(b) A replacement ratio of 3:1 is applicable in the following circumstances (where for every three (3) inches of Tree DBH removed, one (1) inch of new replacement Tree DBH must be planted).

[1] Replacement Tree is four (4) inch caliper or greater.

[2] Replacement Tree has a special value in terms of long-term survival rate, habitat quality, or climate resiliency, as indicated by the ratios in Table 6.2-5 Replacement Tree List.

(c) Location. Replacement Trees shall be located as follows.

- [1] Replacement Trees shall be located on the site from which they are removed.
- [2] The NFP Review Board can approve alternative locations, if on-site replacement is not possible provided that the alternative is within the City of Kalamazoo.
- [3] Replacement Trees cannot be located within a parking lot.

G. Natural Feature Standards: Woodlands. Woodlands provide important ecosystem services and habitat corridors and are protected by the NFP Overlay District.

(1) Woodland Criteria. When trees located on a parcel meet the following criteria, the area shall be considered a Woodland and the standards of this Overlay apply.

- (a) Minimum Area. Trees cover a minimum area of 21,780 square feet or a half (1/2) acre, regardless of parcel boundaries. Refer to Figure 6.2-3 Defining and Delineating a Woodland.
- (b) Tree Count. The area contains the equivalent of at least forty (40) trees per acre of at least two (2) inches DBH and reach or at maturity will reach at least fifty (50) feet in height.
- (c) Natural Ground Cover. No more than twenty-five (25) percent of the ground area is mowed.

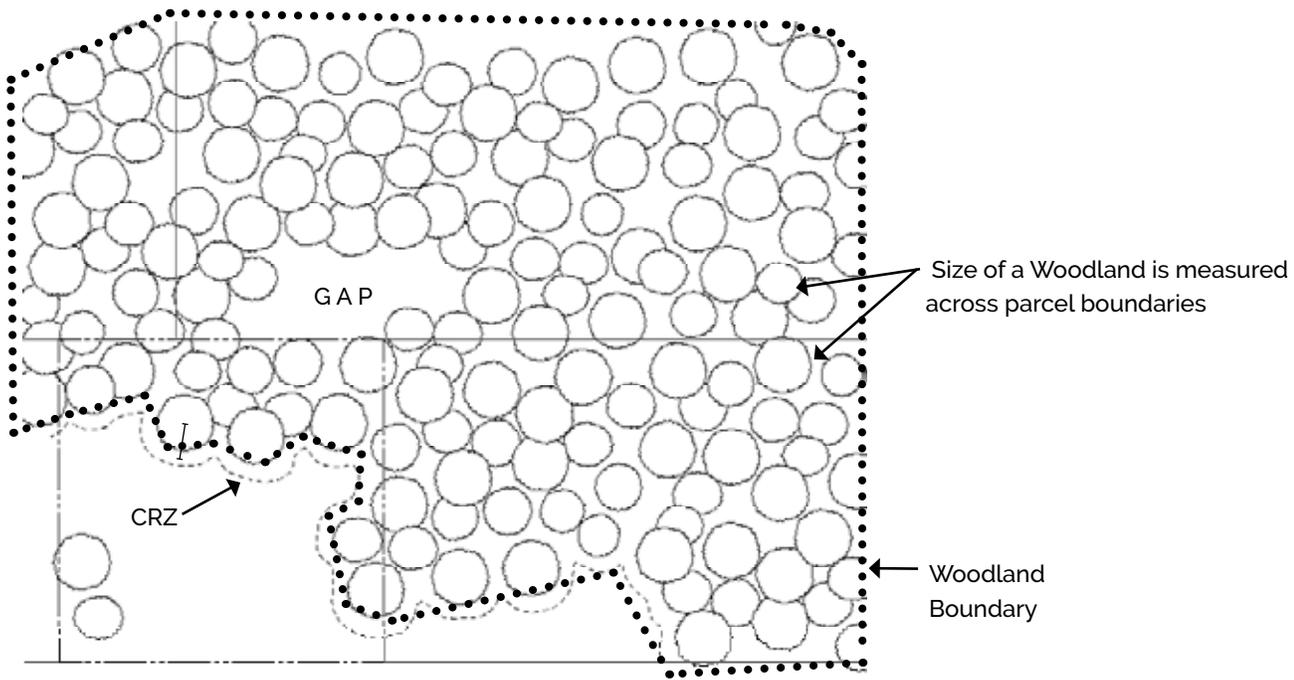


Figure 6.2-3 Defining and Delineating a Woodland

(d) Understory. The area contains a layering of shorter understory trees and/or shrubs and Forbs.

(2) Woodland Delineation and Assessment. Refer to Figure 6.2-3 Defining and Delineating a Woodland. Existing Woodland coverage on the parcel shall be delineated and assessed as follows.

(a) Gaps. Areas without trees or that have sparse trees are common within a Woodland and should be included in area and density measurements except when the gap is larger than 8,000 square feet.

(b) Woodland Assessment Tools. A Woodland must be assessed using a Basal Area, Woodland Ecosystem Assessment, or tree survey conducted by a qualified professional, such as an ISA Certified Arborist.

(3) Woodland Protection. For areas meeting the definition of a Woodland, a portion of the Woodland on the parcel must be preserved as follows.

(a) Woodland Preservation Minimums. Woodlands shall be preserved following the coverage requirements in Table 6.2-3 Woodland Preservation.

(b) Criteria for Woodland Preservation. In determining which areas of a Woodland are to be preserved, the following priorities shall be applied.

[1] Woodlands contiguous to Woodlands on adjacent parcels or areas serving as Habitat Corridors.

[2] Woodlands on or adjacent to another Natural Feature(s), floodplain, or a publicly accessible open space.

[3] Woodlands in the best condition as determined by a qualified professional, such as an ISA Certified Arborist, and based upon the Basal Area score or another Woodland Ecosystem Assessment.

[4] Woodlands with older growth, higher DBH trees, or trees noted in 6.2-4 Special Status Tree List and 6.2-5 Replacement Trees List.

(4) Prohibited Activities.

(a) Disturbance. No disturbance is allowed within a Woodland preserved area, the boundary of which is defined by the CRZ of trees along its edges, except for the following activities.

[1] Fences are permitted when they meet all other applicable zoning standards.

[2] Management of the Woodland vegetation with a plan by a qualified professional, such as an ISA Certified Arborist.

## Table 6.2-3 Woodland Preservation

Woodland Coverage of Parent Parcel	Minimum Required Woodland Coverage to be Preserved
75% to 100%	25%
50% up to 75%	50%
25% up to 50%	75%
Less than 25%	90%

Table 6.2-4 Special Status Tree List

Common Name	Scientific Name	DBH (inches)*
Ash	<i>Fraxinus spp. (not cultivars)</i>	18"
Basswood, Linden	<i>Tilia americana</i>	18"
Beech	<i>Fagus spp.</i>	18"
Buckeye (Horsechestnut)	<i>Aesculus spp.</i>	18"
Cherry, Black	<i>Prunus serotina</i>	18"
Elm, American	<i>Ulmus americana</i>	18"
Elm, Slippery	<i>Ulmus rubra</i>	18"
Elm, Winged	<i>Ulmus alata</i>	18"
Fir	<i>Abies spp.</i>	18"
Fir, Douglas	<i>Pseudotsuga menziesii</i>	18"
Kentucky Coffeetree	<i>Gymnocladus dioicus</i>	18"
Maple, Red	<i>Acer rubrum</i>	18"
Maple, Silver	<i>Acer saccharinum</i>	18"
Maple, Sugar	<i>Acer saccharum</i>	18"
Pine, Red	<i>Pinus resinosa</i>	18"
Pine, White	<i>Pinus strobus</i>	18"
Spruce	<i>Picea spp.</i>	18"
Sycamore, American	<i>Plantanus occidentalis</i>	18"
Tuliptree	<i>Liriodendron tuliperifera</i>	18"
Walnut, Black	<i>Juglans nigra</i>	18"
Honey Locust	<i>Gleditsia triacanthos</i>	16"
Oak, Black	<i>Quercus velutina</i>	16"
Oak, Bur	<i>Quercus macrocarpa</i>	16"
Oak, Northern Red	<i>Quercus rubra</i>	16"
Oak, White	<i>Quercus alba</i>	16"
Arbor-vitae, Eastern White Cedar	<i>Thuja occidentalis</i>	12"
Birch	<i>Betula spp.</i>	12"
Birch, River	<i>Betula nigra</i>	12"
Cherry, Flowering	<i>Prunus spp.</i>	12"
Crabapple	<i>Malus spp.</i>	12"
Dawn Redwood	<i>Metasequoia glyptostroboides</i>	12"
Eastern Hemlock	<i>Tsuga canadensis</i>	12"
Ginkgo	<i>Ginkgo biloba</i>	12"

Common Name	Scientific Name	DBH (inches)*
Hickory, Bitternut	<i>Carya cordiformis</i>	12"
Hickory, Pignut	<i>Carya glabra</i>	12"
Hickory, Shagbark	<i>Carya ovata</i>	12"
Hickory, Shellbark	<i>Carya laciniosa</i>	12"
Oak, Chinkapin	<i>Quercus muehlenbergii</i>	12"
Oak, Northern Pin	<i>Quercus ellipsoidalis</i>	12"
Oak, Swamp White	<i>Quercus bicolor</i>	12"
Pear	<i>Pyrus spp.</i>	12"
Persimmon	<i>Diospyros virginiana</i>	12"
Poplar	<i>Populus spp.</i>	12"
Sassafras	<i>Sassafras albidum</i>	12"
Sweet Gum	<i>Liquidambar styraciflua</i>	12"
Willow, Black	<i>Salix nigra</i>	12"
Yellowwood	<i>Cladrastis lutea</i>	12"
American Chestnut	<i>Castanea dentata</i>	8"
Black Tupelo, Black Gum	<i>Nyssa sylvatica</i>	8"
Butternut	<i>Juglans cinerea</i>	8"
Cedar, Eastern Red	<i>Juniperus virginiana</i>	8"
Hackberry	<i>Celtis occidentalis</i>	8"
Hawthorn	<i>Crataegus crus-galli and other spp.</i>	8"
Larch/Tamarack	<i>Larix laricina</i>	8"
Maple, Mountain/Striped	<i>Acer spicatum/pensylvanicum</i>	8"
American Hophornbeam	<i>Ostrya virginiana</i>	4"
American Hornbeam, Blue Beech	<i>Carpinus caroliniana</i>	4"
Dogwood, Flowering	<i>Cornus florida (native only)</i>	4"
Dwarf Hackberry	<i>Celtis tenuifolia</i>	4"
Eastern Redbud	<i>Cercis canadensis</i>	4"
Pawpaw	<i>Asimina triloba</i>	4"
Serviceberry	<i>Amelanchier spp.</i>	4"

\*Tree species with DBH greater than or equal to the values in this column of the table require replacement with any species on the Replacement Tree List if removed for construction/development.

Gray Highlight = Tree species must be replaced with a different species from the Replacement Tree List.

Table 6.2-5 Replacement Tree List

Common Name	Scientific Name	Replacement Ratio	Condition Code
Basswood, Linden*	<i>Tilia americana</i>	1:1	Cs
American Chestnut	<i>Castanea dentata</i>	3:1, (hybrid)	Cr, F, Cul
American Hophornbeam*	<i>Ostrya virginiana</i>	1:1	P, Cr
American Hornbeam, Blue Beech*	<i>Carpinus caroliniana</i>	3:1	Cr, P
Arborvitae, Eastern White Cedar	<i>Thuja occidentalis</i>	1:1	Cv, Cs
Birch	<i>Betula spp.</i>	1:1	Cv
Birch, River	<i>Betula nigra</i>	1:1	P, Ri
Black Tupelo, Black Gum*	<i>Nyssa sylvatica</i>	3:1	Cr, Ri
Cedar, Eastern Red*	<i>Juniperus virginiana</i>	3:1	Cr, P
Cherry, Wild Black*	<i>Prunus serotina</i>	1:1	
Cherry, Flowering	<i>Prunus spp.</i>	1:1	
Crabapple	<i>Malus spp.</i>	1:1	P
Dawn Redwood	<i>Metasequoia glyptostroboides</i>	1:1	
Dogwood, Flowering*	<i>Cornus florida (native only)</i>	2:1	Cr
Eastern Redbud	<i>Cercis canadensis</i>	3:1	Cr, P
Elm, American	<i>Ulmus americana</i>	3:1	Cul, Cs
Elm, Slippery	<i>Ulmus rubra</i>	1:1	
Hackberry*	<i>Celtis occidentalis</i>	3:1	Cr
Hawthorn*	<i>Crataegus crus-galli and other spp.</i>	3:1	Cr, P
Hickory, Bitternut*	<i>Carya cordiformis</i>	3:1	Cr, F, Ri, Cs
Hickory, Pignut*	<i>Carya glabra</i>	3:1	Cr, F, Cs
Hickory, Shagbark*	<i>Carya ovata</i>	3:1	Cr, F, Cs
Hickory, Shellbark*	<i>Carya laciniosa</i>	3:1	F, Ri, Sc
Honey Locust	<i>Gleditsia triacanthos</i>	3:1	Cr
Kentucky Coffeetree*	<i>Gymnocladus dioicus</i>	3:1	Cr
Larch/Tamarack*	<i>Larix laricina</i>	3:1	Ri, Cs
Maple, Red	<i>Acer rubrum</i>	1:1	Cv, Cs
Maple, Silver*	<i>Acer saccharinum</i>	3:1	Cr, Ri, Cs
Maple, Sugar	<i>Acer saccharum</i>	1:1	Cv, Cul
Oak, Black*	<i>Quercus velutina</i>	3:1	Cr, Cs
Oak, Bur*	<i>Quercus macrocarpa</i>	3:1	Cr, Cul, Cs
Oak, Chinquapin*	<i>Quercus muehlenbergii</i>	3:1	Cr, Cs
Oak, Pin*	<i>Quercus palustris</i>	3:1	Cr, Ri, Cs

Common Name	Scientific Name	Replacement Ratio	Condition Code
Oak, Northern Red*	<i>Quercus rubra</i>	3:1	Cr, Sc
Oak, Swamp White*	<i>Quercus bicolor</i>	3:1	Cr, Ri, Cs
Oak, White*	<i>Quercus alba</i>	3:1	Cr, Cul, Cs
Pawpaw	<i>Asimina triloba</i>	3:1	Cr, F
Persimmon	<i>Diospyros virginiana</i>	3:1	Cr, F
Pine, Red	<i>Pinus resinosa</i>	1:1	
Pine, White	<i>Pinus strobus</i>	1:1	
Populus	<i>Populus spp. (except deltoides, alba)</i>	1:1	Cv
Sassafras	<i>Sassafras albidum</i>	1:1	
Serviceberry*	<i>Amelanchier spp.</i>	1:1	P, F
Spruce	<i>Picea spp.</i>	1:1	
Sycamore, American*	<i>Plantanus occidentalis</i>	3:1	Cr
Tuliptree*	<i>Liriodendron tuliperifera</i>	1:1	Cr, Cs
Walnut, Black	<i>Juglans nigra</i>	3:1	F, Cs
Willow, Black	<i>Salix nigra</i>	1:1	Ri
Ash	<i>Fraxinus spp.</i>		PROHIBITED
Beech	<i>Fagus spp.</i>		PROHIBITED
Fir	<i>Abies spp.</i>		PROHIBITED
Fir, Douglas	<i>Pseudotsuga menziesii</i>		PROHIBITED
Ginkgo	<i>Ginkgo biloba</i>		PROHIBITED
Pear	<i>Pyrus spp.</i>		PROHIBITED
Maple, Mountain/Striped	<i>Acer spicatum/pensylvanicum</i>		PROHIBITED
Yellowwood	<i>Cladrastis lutea</i>		PROHIBITED

## Condition Codes:

PROHIBITED = Species not to be used as replacement tree

\*denotes species where 1" caliper tree may be substituted when Wild-Type is planted (full credit for 2" caliper applies)

Cr = Climate Resilient

Cs = Carbon sequestration

Cul = Culturally significant

F = Food source

P = Suitable for parking lots and roadways

Ri = Suitable for riparian/wet plantings

Cv = Climate vulnerable

(b) Stormwater. No new Stormwater BMPs within the CRZ.

(5) Permitted Activities. Operation and maintenance of public utilities is permitted within the CRZ. Directional boring shall be used whenever possible.

(6) Construction Protection. Woodlands trees and their CRZ shall be protected during site construction following the standards of 50-6.2K(8) Protection During Construction.

H. Natural Feature Standards: Slopes. Slopes associated with Water Resources and other Natural Features are protected by the NFP Overlay District.

(1) Slope Criteria. Slopes protected by the NFP Overlay District are those with a grade of twenty (20) percent or greater and meet at least one (1) of the following.

(a) Slope Face contains a Woodland, refer to 50-6.2G.

(b) Slope Face contains Natural Heritage Area, refer to 50-6.2I.

(c) Any portion of the Slope Face is within five-hundred (500) feet of a Wetland or Water Resource, refer to 50-6.2C and 50-6.2D.

(d) Any portion of the Slope Face extends onto adjacent parcels.

(2) Slope Determination. If any area on a parcel appears to meet the Slope Criteria, one (1) of the following is required.

(a) A Slope Analysis by a professional is not completed and the area is assumed to meet the slope criteria; the standards of this Overlay are applied.

(b) A Slope Analysis shall be completed by a licensed surveyor, licensed professional engineer, or a geologist certified by the American Institute of Professional Geoscientists (AIPG) following all acceptable practices to determine whether any part of the Slope Face meets the Slope Criteria.

(3) Slope Protection. Slopes shall be maintained and protected as follows.

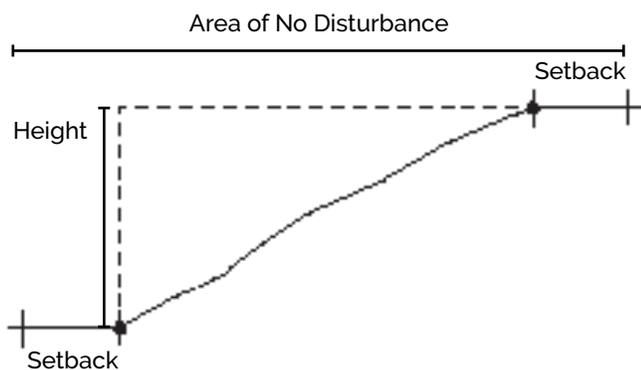


Figure 6.2-4 Protected Slope Setbacks

(a) Setbacks. A setback is required from the Top of Slope and the Toe of Slope equal to half (1/2) the height of the Slope, regardless of whether or not the entire Slope is contained within the parcel, or ten (10) feet, whichever is greater. Refer to Figure 6.2-4 Slope Setbacks.

(b) Permitted Activities in the Setbacks. Setback areas from the Top or Toe of Slope shall remain undisturbed except as follows.

[1] Any work necessary to maintain the stability of the Slope.

[2] Restoration and management of other Natural Features provided that they meet the requirements of this Overlay.

[3] Fences are permitted when they meet all other applicable zoning standards.

[4] Normal maintenance that does not disturb existing terrain.

[5] Maintenance of existing impervious surfaces and structures.

[6] In addition to the requirements in 50-6.2B(4), existing structures located in the setback may be expanded up to twenty-five (25) percent of the existing building footprint as follows.

[a] The expansion does not disturb the Slope Face.

[b] Ground disturbance is the minimum needed for the expansion.

(c) Permitted Activities in the Slope Face. The Slope Face shall remain undisturbed except as follows.

[1] Any work necessary to maintain the stability of the Slope Face, including the Top and Toe of Slope.

[2] Restoration and management of other Natural Features provided that they meet the requirements of this Overlay.

[3] Normal maintenance that does not disturb existing terrain.

[4] Maintenance of existing impervious surfaces and structures.

[5] In addition to the requirements in 50-6.2B(4), existing structures where a portion of the structure is in the Slope Face may be expanded up to twenty-five (25) percent of the existing building footprint as follows.

[a] The expansion can only occur on Slopes with a grade of thirty (30) percent or less.

[b] Expansion in the Slope Face is limited to no more than fifteen (15) percent of the existing building footprint.

[c] Ground disturbance is the minimum needed for expansion.

(d) Prohibited Activities. The following activities are prohibited.

[1] Surface water shall not be directed toward any Slope regulated by this Overlay.

[2] Stormwater BMPs are not permitted within the Slope Face or the setbacks, including storm sewer outlets.

[3] No new underground utilities may be placed within the Slope Face or setbacks.

(e) Construction Protection. The Slope Face and setbacks shall be protected during site development and construction following the standards of 50-6.2K(8) Protection During Construction.

I. Natural Feature Standards: Natural Heritage Areas. Rare species and remnants of historically and culturally significant ecosystems are protected by the NFP Overlay District.

(1) Natural Heritage Area Criteria. A Natural Heritage Area is defined by the presence of either of the following.

(a) Any species considered to be rare, threatened, or endangered by the State of Michigan, Federal government, or listed on the Michigan Natural Features Inventory (MNFI) Database.

(b) Any remnant of a Natural Community listed on the MNFI Michigan's Natural Communities List.

(2) Determination of Natural Heritage Area. The MNFI Natural Heritage Database shall be used to determine if any rare species have been located within a two (2) mile radius of the parcel.

(3) On-Site Survey. When a database search indicates a rare species has been identified within two (2) miles of the parcel, an on-site survey shall be conducted. The survey must be conducted by a consultant with a Michigan Endangered Species Permit or another qualified professional approved by the City Planner.

(4) Natural Heritage Area Protection. If the on-site survey confirms that a Natural Heritage Area exists on the parcel, all State and Federal protections and/or mitigation activities must be followed. A copy of any required permit obtained from a State or Federal agency must be submitted to the City.

J. Natural Feature Standards: Habitat Corridors. Reserved.

K. Site Development Standards. The following standards apply to all properties within the NFP Overlay District.

(1) Building Setbacks. When a conflict exists between meeting the 50-6.2C-J NFP Standards and the required placement of structures, the setbacks or built-to zones or lines may be adjusted to eliminate or reduce the conflict provided that the adjustment is the minimum required to meet the NFP standards.

(2) Use. In addition to the uses permitted in the Base Zoning District, the following apply.

(a) Appendix A 3.5 Wellhead Protection Overlay 10-year use restrictions.

(b) Outdoor storage of loose materials is prohibited within five hundred (500) feet of a Water Resource or Wetland.

(c) Appendix A 3.5 Wellhead Protection Overlay 1-year use restrictions apply within five hundred (500) feet of a Water Resource or Wetland.

(3) Lot Coverage. Areas designated to meet the pervious surface requirement of a the Base Zoning District shall meet the following requirements.

(a) Natural Features. Areas left undisturbed per the standards in 50-6.2C-J can be applied to a parcel's pervious lot coverage requirement, except that Stormwater BMPs shall count at a ratio of two (2) square feet of BMP to one (1) square foot of pervious coverage ratio or at a rate of fifty (50) percent.

(b) Undisturbed Areas. All areas designated to meet a parcel's overall pervious lot coverage requirement must remain undisturbed except in the following circumstances.

[1] Restoration or maintenance of the pervious area when guided by a plan developed by a qualified professional.

[2] Planting or restoration of plants or trees per 50-6.2 Natural Features Standards.

[3] Installation of stormwater BMPs from the Michigan Low Impact Development (LID) Manual BMP Matrix Table in the Runoff Volumes and Infiltration categories.

(c) Location. Areas designated to meet a parcel's overall pervious lot coverage requirement shall be located as follows.

[1] Contiguous. Pervious areas shall be located in one (1) contiguous area or clustered into areas that each equal at least twenty (20) percent of the total pervious area.

[2] Adjacent to Natural Features. Pervious areas shall be located adjacent to defined Natural Features.

(d) Construction. Pervious areas shall be protected during construction and site development through barrier fencing as described in 50-6.2K(8).

(e) Semi-Pervious Allowance. A semi-pervious allowance of up to fifteen (15) percent may be utilized to meet the lot coverage requirement.

(4) Landscape and Screening. Additional landscape and screening activities apply within the NFP Overlay District.

(a) Relief. A reduction in a parcel's required building perimeter, parking lot, loading zone, perimeter screening, or interior landscaping requirements (refer to Appendix A. 6.2 Landscaping and Open Space) may be permitted to eliminate conflicts with meeting the requirements of 50.6-2 Natural Features Standards.

[1] Relief shall be the minimum required to meet the NFP standards.

[2] Landscaping serving as a buffer between residential and non-residential uses and between a vehicular parking lot and a street shall not be reduced.

(b) Plant Selection. Native species must be used for all site landscaping, which includes the use of both Wild-type and Nativar plants. Plants in Table 6.2-6 Prohibited Planting List shall not be planted on any portion of a parcel.

(c) Existing Vegetation. When a parcel's existing vegetation is being preserved and utilized to meet landscaping requirements in Appendix A 6.2 Landscaping and Open Space the following applies.

[1] Existing nonnative plants must be contained within the planting areas.

[2] Existing invasive plants must be removed. Refer to *Meeting the Challenge of Invasive Plants* by MNFI or Table 6.2-6 Prohibited Planting List.

(5) Lighted Signs. Internally illuminated, automatic changeable copy, and blinking and/or flashing lighted signs are not permitted within three hundred (300) feet of a Preserve.

(6) Stormwater Management Criteria. Refer to the City of Kalamazoo Performance Standards for Groundwater Protection within Wellhead Protection Capture Zones for additional information and definitions.

Table 6.2-6 Prohibited Planting List

Common Name	Scientific Name
<b>Trees</b>	
Norway Maple	<i>Acer platanoides</i>
Tree-of-Heaven	<i>Ailanthus altissima</i>
Silktree	<i>Albizia julibrissin</i>
Russian Olive	<i>Elaeagnus angustifolia</i>
Black Locust	<i>Robinia pseudoacacia</i>
Siberian Elm	<i>Ulmus pumila</i>
Callery Pear	<i>Pyrus calleryana</i>
<b>Shrubs</b>	
Japanese Barberry	<i>Berberis thunbergii</i>
Common Barberry	<i>Berberis vulgaris</i>
Autumn Olive	<i>Elaeagnus umbellata</i>
Glossy Buckthorn	<i>Frangula alnus</i>
Common or European Privet	<i>Ligustrum vulgare</i>
Showy Fly Honeysuckle (or hybrid)	<i>Lonicera x.bella</i>
Amur Honeysuckle	<i>Lonicera maackii</i>
Morrow Honeysuckle	<i>Lonicera morrowii</i>
Tatarian Honeysuckle	<i>Lonicera tatarica</i>
Common Buckthorn	<i>Rhamnus cathartica</i>
Multiflora Rose	<i>Rosa multiflora</i>
Japanese Meadowsweet	<i>Spiraea japonica</i>
European Cranberrybush	<i>Viburnum opulus</i>
<b>Vines</b>	
Asian Bittersweet	<i>Celastrus orbiculatus</i>
Black Swallow-wort	<i>Cynanchum louiseae</i>
European Swallow-wort	<i>Cynanchum rossicum</i>
English Ivy	<i>Hedera helix</i>
Japanese Honeysuckle	<i>Lonicera japonica</i>
<b>Grasses</b>	
Reed Canary Grass	<i>Phalaris arundinacea</i>
Common Reed	<i>Phragmites australis</i>

Common Name	Scientific Name
<b>Herbs</b>	
Garlic Mustard	<i>Alliaria petiolata</i>
Spotted Knotweed	<i>Centaurea biebersteinii</i> or <i>C. maculata</i>
Canada Thistle	<i>Cirsium arvense</i>
Bull Thistle	<i>Cirsium vulgare</i>
Leafy Spurge	<i>Euphorbia esula</i>
Dame's Rocket	<i>Hesperis matronalis</i>
Creeping Jenny or Moneywort	<i>Lysimachia nummularia</i>
Purple Loosestrife	<i>Lythrum salicaria</i>
Japanese Knotweed	<i>Polygonum cuspidatum</i>
Giant Knotweed	<i>Polygonum sachalinense</i>
Crown Vetch	<i>Securigera varia</i>

(a) Channel Protection Performance Standard. Parcels half (1/2) acre or greater shall maintain the post-development project site runoff volume and peak flow rate at or below pre-development levels for all storms up to the ten (10) year, twenty-four (24) hour event.

(b) Water Quality Treatment Runoff Volume Standard. The first one (1) inch of runoff generated from the entire parcel must be treated using one of the following.

[1] Multiple Methods. Two or more BMPs shall be utilized with at least twenty-five (25) percent of the required runoff volume treated by BMPs from the Low Impact Development Manual for Michigan, Table 7.1 BMP Matrix Table from "Runoff Volume/Infiltration" and "Runoff Volume/Non-infiltration" categories.

[2] Underground Methods. All required runoff shall be treated by underground detention or infiltration BMPs.

[3] Non-Infiltration Methods. Sites requiring non-infiltration BMPs, such as those with contamination or within A3.5 Wellhead Protection Overlay, use BMPs from Low Impact Development Manual for Michigan, Table 7.1 BMP Matrix Table, "Runoff Quality/Non-infiltration" category.

(c) Maintenance Agreement. A Stormwater Operation and Maintenance Agreement is required by and between the City of Kalamazoo and the owner of the property when Stormwater BMPs are used.

(d) Exceptions. Development or redevelopment of a single family home or duplex is exempt from these Stormwater standards.

(7) Fill Materials. Use of fill material containing regulated substances above any State and/or Federal cleanup criteria for soils is prohibited. Fill material shall be sourced as follows.

(a) Fill material shall not be sourced from industrial or commercial sites where hazardous materials were used, handled, or stored or from unpaved parking areas.

(b) Fill material shall not be sourced from sites that contain species that are legally designated by the State of Michigan as prohibited or restricted.

(8) Protection During Construction. A temporary construction fence is required to protect Natural Features and not-to-be disturbed areas, such as those designated to meet pervious lot coverage requirements, during the duration of any site work or construction,

(a) Fence Construction. Construction fences shall be erected as follows.

[1] Fencing must be built using posts six (6) feet in height, spaced no more than eight (8) feet apart on center and buried at least two (2) feet below grade.

[2] Fence must have two (2) cross beams placed approximately at two (2) and six (6) feet above grade.

[3] Plastic mesh barrier fence shall be affixed to the front of the posts.

(b) Fence Placement. Refer to Figure 6.2-5 Placement of Construction Fencing. Fencing shall be located no closer than the required setback or edge of a not-to-be disturbed area.

[1] Where a tree is located in the setback or not-to-be disturbed area, the fencing shall be placed to protect the

CRZ. Refer to Figure 6.2-5 Placement of Construction Fencing.

[2] Trees and Woodlands protected through 50-6.2F and 50-6.2G shall have construction fencing placed outside of the CRZ.

(c) Prohibited Activities. The following activities are prohibited within the construction fencing.

[1] Spreading of soil spoils.

[2] Heavy equipment and vehicle traffic.

[3] Storage of construction materials and debris.

[4] Site grading changes that increase or decrease the moisture conditions within a CRZ on a temporary or permanent basis.

L. NFP Review Bodies and Processes. Projects located in the NFP Overlay District require special review.

(1) Project Review. Review of projects in the NFP Overlay District shall occur as follows.

(a) Where Site Plan is not required. Administrative review of the site development or construction permit request shall be completed by the City Planner or designee.

(b) Where Site Plan is required. The NFP Review Board shall review the NFP Plan in conjunction with the Site Plan Review process. NFP Review Board approval is required for a project to achieve Site Plan approval.

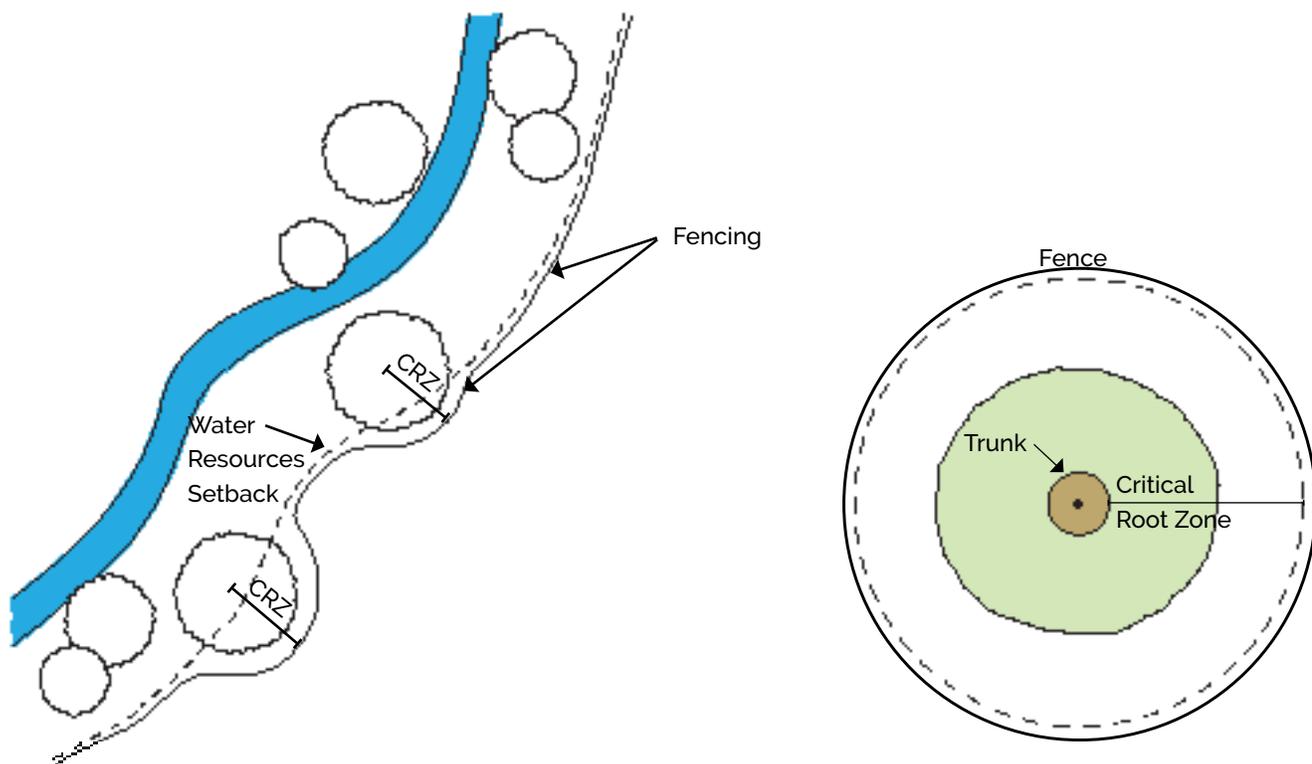


Figure 6.2-5 Placement of Construction Fencing

(c) Where Site Plan is required and a zoning review from the Planning Commission is requested and/or Zoning Board of Appeals is requested or the site is located within one hundred (100) feet of a Wetland or Water Resource or adjacent to land publicly used for open space or recreation, the following shall occur prior to review by the NFP Review Board.

[1] Owner or developer shall send notice by first class postage paid of a project in the NFP Overlay District to all property owners and occupants within three hundred (300) feet of the parcel and the neighborhood association or contact.

[2] Notice shall at a minimum include information on the proposed project, a location (physical or digital) where plans can be reviewed, instructions on how to provide comments, and a timeline for project review and construction.

[3] Notice shall be postmarked a minimum of fourteen (14) days before application is made for review by the NFP Review Board.

(2) NFP Review Board. A board will be formed to review projects in the NFP Overlay District.

(a) Intent. The NFP Review Board will review projects to ensure the standards of the NFP Overlay District are met and assist the City with regular review of the NFP standards, map, outreach, and City-wide education.

(b) NFP Review Board Members.

[1] Board will be comprised of seven (7) members.

[2] Members will be those who live or work in the greater Kalamazoo community.

[3] At a minimum, the Board must have at least one (1) member with education or experience in each of the following features in this Chapter: 1) water resources/wetlands, 2) plants/trees, 3) slopes, and 4) site development/building construction.

[4] Board members are to be appointed by the Mayor and approved by the City Commission.

[5] A City staff will be appointed by the City Planner to be the Board's liaison.

(c) The NFP Review Board is subject to the Open Meetings Act, MCL 15.261 et seq. and shall establish its own by-laws and meeting procedures.

(3) Relief from NFP Overlay District Standards. Relief from the NFP Overlay District Standards may be sought from the Zoning Board of Appeals.

(a) Criteria. Relief from the NFP Overlay District Standards in 50-6.2 may be granted when all the following conditions are met.

[1] The parcel cannot be reasonably utilized for its zoned use without the requested relief.

[2] The extent of relief requested is the minimum needed to permit reasonable utilization of the site.

[3] It is demonstrated that the relief can be granted without substantial detriment to the public good and will not substantially impair the intent and the purpose of the NFP Overlay District.

[4] The requested relief is balanced by the use of conservation and/or green development tools and actions, such as utilizing Stormwater BMPs from the Michigan Low Impact Development Manual that promote infiltration, restoration or expansion of a Natural Feature on the site, or use of Wild-type native plants or desired trees as detailed in Table 6.2-5 Replacement Trees.

(b) Process. The following process shall be followed when relief is sought from 50.6-2 NFP Overlay District.

[1] NFP Review Board shall review the request using the NFP Site Plan documentation and make a recommendation on the requested relief to the Zoning Board of Appeals.

[2] Application for relief from the Zoning Board of Appeals must include the NFP Review Board's recommendation.

#### M. Bonding of Projects.

(1) Intent. To ensure the protection of Natural Features, a financial assurance will be required when seeking site development permits for a lot or structure from the City of Kalamazoo.

(2) Applicability. The following financial assurances shall be required for NFP projects that require Site Plan approval.

(a) A bond is required for projects in the NFP Overlay District valued at \$100,000 or more.

(b) A lien shall be applied to parcels for projects in the NFP Overlay District valued under \$100,000.

(3) Financial Assurance Amount. The amount of the assurance shall be in an amount satisfactory to the City to restore and/or stabilize a Natural Features that has been disturbed, not properly managed during site work or construction, or has been abandoned for more than six (6) months.

(4) Release of Financial Assurance. The assurance shall be released when a Certificate of Occupancy is granted. Except when a project includes a vegetated buffer or required tree planting where the assurance may be reduced by sixty (60) percent at the time of the Certificate of Occupancy is granted with the remaining percentage released no sooner than three (3) years after the granting of the Certificate of Occupancy.

#### N. Penalty. A violation of the provisions of this Chapter is a municipal civil infraction punishable as follows.

(1) Any person, firm, or corporation violating any provision of this Chapter is responsible for a municipal civil infraction and shall be fined up to \$2,500 for each violation. A civil infraction citation for a violation of this Chapter may be issued by the Building Official, or by such person as the City Commission or City Manager may designate.

(2) Each day a violation exists or continues shall be deemed as a separate offense.

(3) Any person, firm, or corporation found responsible for a subsequent violation of this Chapter within two years of having been found or admitted responsible for a violation of this Chapter shall be responsible for a civil fine of up to \$5,000.

(4) Imposition of court-imposed costs.

(5) Issuance of an order by the court to replace, mitigate, or restore a Natural Feature damaged or destroyed by a violation.

## Article 7. Parking & Loading Regulations

### 50-7.1 General Requirements.

A. Applicability. Unless otherwise stated, parking and loading shall be provided as is outlined in this Chapter.

B. General Provisions.

(1) Accessible Parking. Parking facilities accessible for persons with disabilities shall be in compliance with or better than the standards detailed in the state and federal building or accessibility requirements, including quantity, size, location, and accessibility.

(2) Requirements for Unlisted Uses. Parking spaces will be provided as detailed in Table 7.2-1. If a use is not listed, the City Planner is authorized to apply standards for a use deemed as similar. In the instance where an equivalent may not be clearly determined, the City Planner may require a parking study, transportation management plan, or other evidence that will help determine the appropriate requirements.

C. Exempt Areas.

(1) Downtown. Lots located in the Downtown Exempt Parking Area (refer to Figure 7.1-1) are exempt from the requirement to provide off-street parking spaces. Spaces that are provided must adhere to all applicable requirements including design, layout, and landscaping.

(2) Nodes. Lots in the Node Districts are permitted a twenty-five (25) percent reduction of the required off-street parking. Spaces that are provided must adhere to all applicable requirements, including design, layout and landscaping.

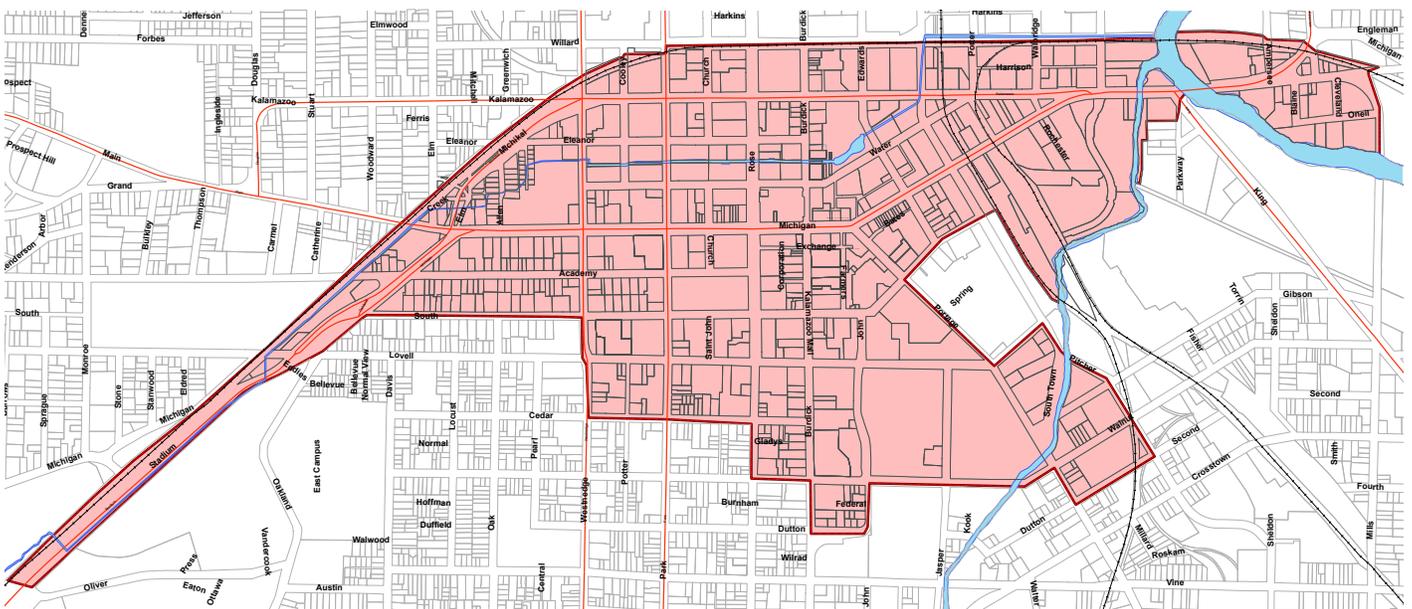


Figure 7.1-1 Downtown Exempt Parking Map

(3) Small Commercial Establishments. A commercial establishment, including the non-manufacturing element of craftsman industrial, containing up to 2,000 square feet of floor area, located in a building constructed on or before October 18, 2005, and not located in the Community Commercial zoning district, shall be exempt from all requirements to provide off-street parking spaces.

### **50-7.2 Required Vehicular Off-Street Parking Spaces.**

A. Required Parking Table. Table 7.2-1 outlines the required off-street parking spaces. Total required vehicular parking spaces should be determined using the following parameters in addition to Table 7.2-1.

(1) Fractions. In determining the number of spaces required, any fraction of spaces required under  $1/2$  shall be disregarded; a fraction equal to or greater than  $1/2$  shall be rounded up to count as one (1) space.

(2) Maximum Parking Spaces Provided. Off-street parking may not be provided in an amount greater than 110% of the minimum parking requirement.

(3) On-Street Parking Credit.

(a) Up to twenty (20) percent of the parking requirement for commercial and industrial-craftsman uses can be met with on-street parking located within 660' of the site.

(b) Up to twenty (20) percent of the parking requirement for residential uses can be met with on-street parking located within 660' of the site where overnight parking is permitted.

(4) Shared Parking. Credit for shared off-street parking is calculated as follows.

(a) Off-Site Location. Spaces in off-site parking facilities within 660' can be applied to the parking requirements for a lot.

(b) Multiple Uses Credit. When multiple uses share parking facilities, the quantity of spaces provided should be calculated as follows.

[1] Shared Peak Demand Times. Businesses with the same peak parking demand times that share parking facilities shall reduce the quantity provided by five (5) percent.

[2] Different Peak Demand Times. Business with different peak parking demand times, can reduce their required parking spaces using Table 7.2-2 Parking Times Per Use Category.

[a] Determine the required number of spaces per use, following Table 7.2-1 Required Parking Table.

[b] Applying the percentages in Table 7.2.2, determine the number of spaces needed per use in each of the six (6) time periods.

[c] For each time period, add the number of spaces needed for all applicable use categories to obtain a total for each of the six (6) time periods.

[d] The time period with the highest total of parking spaces, is the number of spaces required for the site.

Table 7.2-1 Required Parking Table

Use	Required Spaces
<b>Residential/Lodging</b>	
Hotel/Motel	.75 spaces/1 guest room plus 1 space/employee on largest shift; CC District: 1 space/1 guest room plus 1 space/employee on largest shift
Bed & Breakfast	1 space/guest room, 1 space for innkeeper/home occupant
Dormitory	1 space/3 beds or per City Approved Campus Master Plan
Nursing Home/Assisted Living/ Rehabilitation Center/Adult Foster Care	1 space/employee on largest shift, 1 space/facility vehicle, 1 space/5 beds
Residential	1 space/dwelling unit <sup>1</sup>
Residential: Senior Housing	.5 space/dwelling unit
Residential: Off-Campus Student Housing/RM-15C	2 spaces/dwelling unit
Rooming House	1 space/unit or bedroom
Transitional Residence	1 space/2 employees on largest shift
<b>Civic/Institutional Uses</b>	
Assembly/Theatre	1 space/3 persons permitted at maximum occupancy
Assembly, Religious	1 space/6 seats in worship area or 1 space/40 square feet without seats
College and University	Based on similar use or per City Approved Campus Master Plan
Hospital	1 space/3 beds or per City Approved Campus Master Plan
Library & Museum	1 space/3 persons permitted at maximum occupancy
Police & Fire Station/Utilities & Public Services	1 space/employee on largest shift
School	2 spaces/3 employees as largest shift, plus 1 space/10 students enrolled in grades 10-12

<sup>1</sup> For detached and attached dwelling units, up to 2 spaces per unit are permitted.

Use	Required Spaces
<b>Commercial</b>	
Agriculture	1 space/employee on largest shift
Day Care	1 space/employee on largest shift, in addition commercial facilities: 1 space/5 children permitted at maximum occupancy
Eating & Drinking Establishments	1 space/5 persons at maximum occupancy, 1 space/2 employees at largest shift
Entertainment Sports (Participant)	1 space/5 persons at maximum occupancy, 1 space/2 employees at largest shift
Entertainment Sports (Spectator)	1 space/6 fixed seats or 1 space/40 square feet without seats
Retail/Services	1 space/330 square feet
Kennels	1 space/employee on largest shift, 1 space/3 animals permitted at maximum occupancy
Office	1 space/300 square feet
Outdoor Sales & Storage	1 space/employee at largest shift, 1 space/2,500 square feet outdoor sales area
Vehicle Service	1 space/200 square feet floor area; in addition vehicle repair 2 spaces/repair bay or area
Vehicle Service: Car Wash	1 space/employee on largest shift
<b>Industrial</b>	
Craftsman Industrial	1 space/employees on largest production shift, 1 space/500 square feet retail
Industrial	1 space/2 employees on largest shift

Table 7.2-2 Parking Times Per Use Category

Uses Category	Weekdays			Weekends		
	Midnight - 7 AM	7 AM - 6 PM	6 PM - Midnight	Midnight - 7 AM	7 AM - 6 PM	6 PM - Midnight
Residential	100%	50%	80%	100%	80%	80%
Hotel/Motel/Bed & Breakfast	100%	65%	100%	100%	65%	100%
Assembly- Religious	0%	30%	50%	0%	100%	75%
Retail & Services	5%	100%	80%	5%	100%	60%
Eating & Driving Establishments	50%	70%	100%	70%	60%	100%
Entertainment (Spectator, Participant) & Assembly	5%	30%	100%	5%	80%	100%
Office	5%	100%	5%	5%	5%	5%

(5) Bicycle Facilities. For every ten (10) required bicycle parking spaces, the required number of vehicular spaces may be reduced by one (1). Refer to 50-7.3 Required Bicycle Parking.

(6) Administrative Reduction. City Planner may reduce the number of required parking spaces by up to ten (10) percent if the applicant can document that the required number of parking spaces will not be fully utilized.

B. Vehicular Parking Design and Location. Vehicular parking facilities shall be provided using the following standards.

(1) Design. Vehicular parking shall be designed as follows.

(a) Space Dimension. Parking space design shall follow the dimensions in Table 7.2-3 Parking Space and Aisle Dimensions and Figure 7.2-1 Parking Space and Drive Aisle Dimensions

(b) Wheel Stops. Wheel stops or bumper guards are required for spaces adjacent to property lines, landscape buffers, and pedestrian pathways, internal to site or in public right-of-way.

(c) Tandem Spaces. Tandem spaces are permitted as follows.

[1] Two (2) spaces may be placed in tandem provided one (1) space is accessible by an aisle, driveway, or alley.

[2] Tandem spaces are permitted for use by residential units only and must be utilized by the occupants of the same dwelling unit.

(d) Slope. All parking areas, driveways, and sidewalk access to parking areas shall meet the requirements of the American Disabilities Act.

(e) Materials. Parking areas may be designed with impervious or semi-pervious materials, such as concrete, asphalt, macadam, brick, and stone.

[1] Gravel and crushed stone are permitted for parking lots for residential parking areas up to ten (10) spaces and for all parks and open space uses. Additional application of these types of material may be permitted with approval of the City Planner.

(f) Landscape Areas.

[1] Areas not used for sidewalks, parking spaces, drive aisles, loading, or refuse shall be constructed and maintained as landscaped areas.

[2] The perimeter of a parking lot shall be treated with fencing and/or landscaping along all property lines following Appendix A 6.2 Landscaping and Open Spaces

(g) Lighting. Parking areas with fifty (50) or more spaces must be lit per Appendix A 6.4 Lighting.

(h) Pedestrian Access. Parking lots with more than two (2) double-loaded aisles will provide internal pedestrian access both through the lot, and if directly adjacent to right-of-way, from the adjacent right-of-way to the structure(s).

[1] Dimension. The pedestrian access pathway shall be at least six (6) feet in width.

[2] Location. The pathway(s) shall be centrally located.

Table 7.2-3 Parking Space &amp; Aisle Dimensions

Angle of Parking	Stall Dimensions			Drive Aisle Width	
	Curb Length	Stall Width	Stall Depth	One-Way	Two-Way
0 Degrees (Parallel)	18'	8'	18'	12'	20'
45 Degrees	12'	8.5'	18'	12'	20'
60 Degrees	10'	8.5'	18'	18'	20'
90 Degrees	8.5'	8.5'	18'	20'	20'

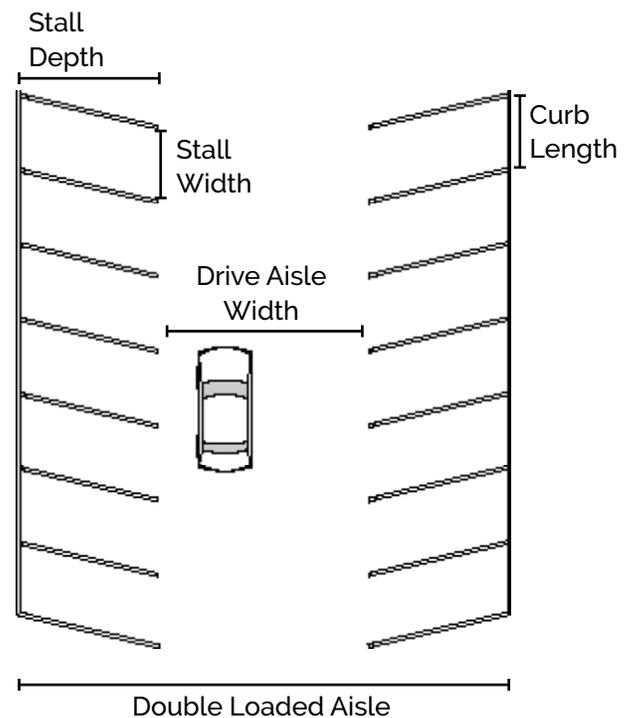


Figure 7.2-1 Parking Space and Drive Aisle Dimensions.

[3] Buffer. The pathway shall be buffered from drive aisles with landscaping or designated parking stalls and delineated with paint where it crosses drive aisles.

(2) Vehicular Parking Location. If located in a district with lot type standards, refer to these standards for parking lot location. In addition the following applies.

(a) Access. All spaces, unless otherwise noted, shall front an drive aisle, driveway, or right-of-way, providing direct access the parking space.

(b) Parking in Yards. Parking of motorcycles and personal vehicles are not allowed in front yards except on driveways, permitted parking area, or within structures.

(c) Recreational Vehicles. Trailers, motor homes, recreational vehicles, boats, or other similar vehicles may be parked as follows.

[1] Recreational Vehicles shall not be stored in a front yard or front or corner build-to zone unless in a garage or carport; except vehicles may be parked for up to seventy-two (72) hours for loading and unloading purposes.

[2] Recreational Vehicles can be stored in the side or rear yards.

[3] Recreational Vehicles must be kept in good repair and carry a current license and registration.

[4] A maximum of two (2) recreational vehicles can be stored out of doors on a lot at a time; there is no limit as it relates to vehicles within fully enclosed structures.

Table 7.3-1 Required Bicycle Parking Table

Use	Required Spaces
<b>Residential/Lodging</b>	
Bed & Breakfast/Hotel/Motel	1 space/7 employees
Dormitory	1 space/5 beds or per City Campus Master Plan
Nursing Home/Assisted Living/ Rehabilitation Center/Adult Foster Care	1 space/7 employees
Residential	1 space/5 dwelling units
<b>Civic/Institutional Uses</b>	
Assembly/Theatre	1 space/50 persons permitted at maximum occupancy
Assembly, Religious	1 space/50 seats in worship area or 100 square feet without seats
College and University	Based on similar use or per City Approved Campus Master Plan
Hospital	1 space/15 employees or per City Approved Campus Master Plan
Library & Museum	1 space/7 employees
Parks & Open Space	1 space/5,000 square feet of land area or per City Parks & Recreation Plan
School	2 spaces/classroom
<b>Commercial &amp; Industrial</b>	
Agriculture	1 space/5 employees or gardeners
Eating & Drinking Establishments & Entertainment Sports (Participant)	1 space/15 persons permitted at maximum occupancy
Office/Employment Uses/Other	1 space/7 employees
Parking, Stand Alone Surface Lot or Garage/Ramp	1 space/15 parking spaces
Retail/Services	1 space/7 employees

**50-7.3 Required Bicycle Parking.**

A. Required Bicycle Parking Table. Table 7.3-1 outlines the required spaces for bicycle parking. Total required bicycle parking spaces should be determined using the following parameters in addition to Table 7.3-1.

(1) Calculation. At least one (1) space is required. Beyond the first space, in determining the number of spaces required, any fraction of spaces required under 1/2 shall be disregarded; a fraction greater than 1/2 shall be rounded up to count as one (1) space.

(2) Public Bicycle Parking Spaces. Parking facilities within public spaces, such as street rights-of-way, can count toward the requirement for non-residential uses. All facilities located within a public right-of-way, require review and approval of an encroachment agreement with the City.

B. Bicycle Parking Design and Location. Bicycle parking facilities shall be provided using the following standards.

(1) Design. Bicycle parking shall be designed as follows.

(a) Space Size. Each bicycle parking space must be at least six (6) feet long and two (2) feet wide with a five (5) foot access aisle.

(b) Bicycle Racks. Bicycle racks must be designed as follows.

[1] Be a fixed-in-place stand that is securely anchored to the ground and/or wall.

[2] Provide at least two (2) points of contact to allow locking of frame and at least one (1) wheel.

[3] Be constructed of materials that resist cutting, rusting, bending, or deformation.

(c) Lockers. Lockers must be designed as follows.

[1] Be a fixed-in-place stand that is securely anchored to the ground and/or wall.

[2] Be secured by means of a lockable door or configured internally to allow locking of the frame and at least one (1) wheel.

(2) Location. Bicycle parking shall be located as follows.

(a) Visible Location. If not visible from the street or public entrance, a directional sign must be posted indicating location. Adherence to the Manual On Uniform Traffic Control Devices for signage is recommended.

(b) Structured Parking. If more than fifty (50) percent of a site's vehicular parking is in a covered area or structure, the required spaces shall also be located in the covered area or structure or otherwise protected from the weather.

#### **50-7.4 Off-Street Loading Requirements.**

A. Off-Street Loading. Construction of new buildings that are expected to have deliveries by vehicles rated as heavy duty must provide off-street loading facilities as follows.

(1) Design. Each loading space shall be a minimum of ten (10 feet) in width, twenty-five (25) feet in length, and fourteen (14) feet in height.

(2) Location. Loading areas shall be located as follows.

(a). All off-street loading areas. Regardless of truck type, loading areas shall not be located in the front build-to zone and may not occupy any part of a required front or corner yard.

(b) Loading areas shall not be located closer than fifty (50) from a residentially zoned lot unless it is wholly enclosed within the building or by walls.

(c) Loading areas must be separate from pedestrian facilities and pathways.

**50- 7.5 Driveway Access Design.**

A. Driveways. Driveways will be designed as follows.

(1). Driveway Width. Driveway width is measured at the front property line and shall adhere to the following.

(a) Single-lane Driveways. Single-lane driveways shall be between eight (8) feet and twelve (12) feet.

(b) Double-lane Driveway. Double-lane driveways shall be between twenty (20) feet and twenty-four (24) feet, unless the driveway serves the off-street loading area, where a larger driveway may be required based on site plan review.

(2) Double Track Driveways. Double-track, wheel strip, or ribbon driveways are permitted as follows.

(a) The first two (2) feet of the entire driveway width, measured from the property line, must paved or covered with a permitted material..

(b) Wheel strip shall be at least eighteen (18) inches in width

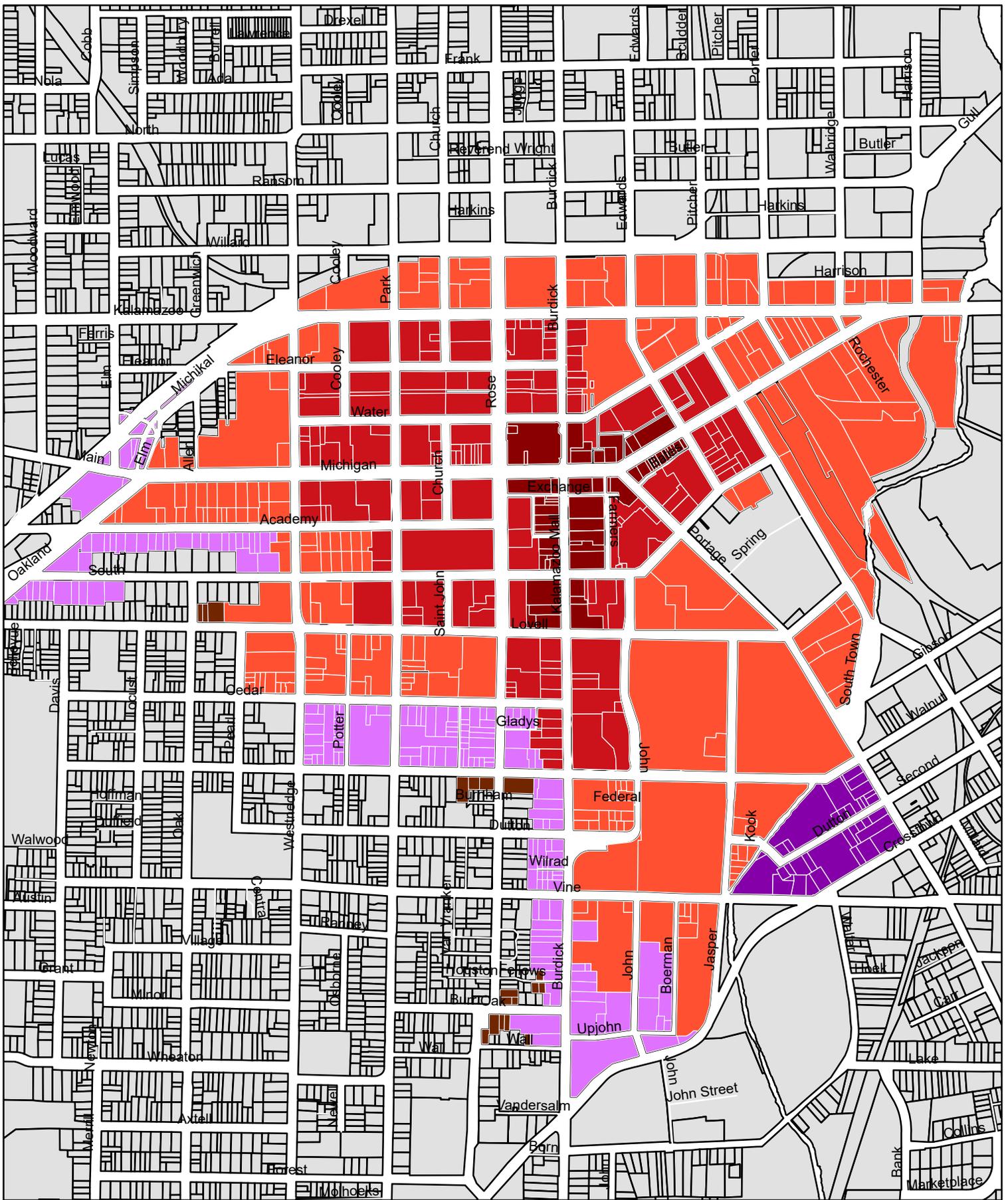
(c) Area between the wheel strips must be landscaped with living ground cover.

(3) Materials. Driveways may be designed with impervious or semi-pervious materials. such as concrete, asphalt, macadam, brick, and stone.

(a) Gravel and crushed stone are permitted for residential driveways accessing parking areas up to ten (10) spaces. Additional application of these types of material may be permitted with approval of the City Planner.

(4) Maximum Coverage of Front Yard. Driveways cannot account for more than thirty (30) percent of the front yard of a lot.





### Legend

- |  |  |        |
|--|--|--------|
| <span style="display: inline-block; width: 15px; height: 15px; background-color: #800000; border: 1px solid black;"></span> D1 | <span style="display: inline-block; width: 15px; height: 15px; background-color: #800080; border: 1px solid black;"></span> LW2  | Street |
| <span style="display: inline-block; width: 15px; height: 15px; background-color: #FF0000; border: 1px solid black;"></span> D2 | <span style="display: inline-block; width: 15px; height: 15px; background-color: #DDA0DD; border: 1px solid black;"></span> LW1  | Parcel |
| <span style="display: inline-block; width: 15px; height: 15px; background-color: #FF4500; border: 1px solid black;"></span> D3 | <span style="display: inline-block; width: 15px; height: 15px; background-color: #A0522D; border: 1px solid black;"></span> RM36 |        |

Proposed Zoning as of 9.23.20

N



## Proposed Downtown & Adjacent Areas Zoning Code Update

Street Number	Street	Existing Zoning	New District	Information/Why the proposed district chosen?
302	ACADEMY	CCBD	D2	Mix of uses with a wide range of commercial, residential, civic, & institutional appropriate; adjacent blocks to core shopping & entertainment blocks (D1)
431	ACADEMY	CCBD	D3	<p>Existing CC Zoning is not designed for Downtown and Downtown adjacent development; it is designed for large, faster, auto focused streets - not central, mixed-use urban areas. CC does not allow residential on the ground floor.</p> <p>Existing CO and CN-1 zoning limit residential development on the ground floor and permit a limited list of commercial uses. Lots being changed to D3 (north side of block): edge of Downtown, moving into West Main Hill neighborhood, smaller size/scale buildings &amp; lots, wide mix of uses; many lots front both W. Michigan &amp; Academy St.</p> <p>Lots being changed to LW1 (south side of block): Downtown edge with Vine Neighborhood to the south and West Main Hill to the west; appropriate for a wide mix of uses at a size/scale right for this location.</p>
439	ACADEMY	CCBD	D3	
447	ACADEMY	CCBD	D3	
461	ACADEMY	CCBD	D3	
465	ACADEMY	CCBD	D3	
466	ACADEMY	CCBD	D3	
472	ACADEMY	CCBD	D3	
477	ACADEMY	CCBD	D3	
511	ACADEMY	CCBD	LW1	
516	ACADEMY	CCBD	D3	
517	ACADEMY	CCBD	LW1	
519	ACADEMY	CCBD	LW1	
523	ACADEMY	CCBD	LW1	
524	ACADEMY	CCBD	D3	
527	ACADEMY	CCBD	LW1	
529	ACADEMY	CN-1	LW1	
530	ACADEMY	CCBD	D3	
535	ACADEMY	CN-1	LW1	
536	ACADEMY	CCBD	D3	
604	ACADEMY	CCBD	D3	
605	ACADEMY	CN-1	LW1	
606	ACADEMY	CCBD	D3	
609	ACADEMY	CN-1	LW1	
612	ACADEMY	CCBD	D3	
615	ACADEMY	CN-1	LW1	
616	ACADEMY	CCBD	D3	
618	ACADEMY	CCBD	D3	
621	ACADEMY	CN-1	LW1	
630	ACADEMY	CCBD	D3	
701	ACADEMY	CN-1	LW1	
707	ACADEMY	CN-1	LW1	
709	ACADEMY	CN-1	LW1	
712	ACADEMY	CCBD	D3	
713	ACADEMY	CN-1	LW1	
717	ACADEMY	CN-1	LW1	
725	ACADEMY	CN-1	LW1	
729	ACADEMY	CN-1	LW1	

735		ACADEMY	CN-1, RM-15	LW1	
738		ACADEMY	CCBD	D3	
739		ACADEMY	CN-1	LW1	
743		ACADEMY	CN-1	LW1	
747		ACADEMY	CC	LW1	
753		ACADEMY	CC	LW1	
811		BOERMAN	CC	D3	Edison Neighborhood/Southeast of Downtown/ Hospital Campus; this area is appropriate for a mix of uses
817		BOERMAN	CN-1	D3	
926		BOERMAN	RM-36	LW1	Neighborhood/Downtown edge, existing zoning only allows residential
308	N	BURDICK	CCBD	D2	Mix of uses with a wide range of commercial, residential, civic, & institutional appropriate; adjacent blocks to core shopping & entertainment blocks (D1)
309	N	BURDICK	CCBD	D2	
313	N	BURDICK	CCBD	D2	
324	N	BURDICK	CCBD	D2	
329	N	BURDICK	CCBD	D2	
335	N	BURDICK	CCBD	D2	
345	N	BURDICK	CCBD	D2	
348	N	BURDICK	CCBD	D2	
402	N	BURDICK	CCBD	D3	
448	N	BURDICK	CCBD, M-1	D3	
459	N	BURDICK	CCBD	D3	North edge of Downtown, moving toward Northside Neighborhood; Manufacturing zoning is not appropriate for this location
404	S	BURDICK	CCBD	D2	
416	S	BURDICK	CCBD	D2	Mix of uses with a wide range of commercial, residential, civic, & institutional appropriate; adjacent blocks to core shopping & entertainment blocks (D1). Existing CC Zoning is not designed for Downtown or adjacent development; it is designed for larger, faster auto focused streets - not urban areas; also it does not allow residential uses on the ground floor.
420	S	BURDICK	CCBD	D2	
423	S	BURDICK	CCBD	D2	
426	S	BURDICK	CCBD	D2	
427	S	BURDICK	CCBD	D2	
433	S	BURDICK	CCBD	D2	
440	S	BURDICK	CCBD	D2	
510	S	BURDICK	CC	D2	
516	S	BURDICK	CC	D2	
522	S	BURDICK	CC	D2	
525	S	BURDICK	CCBD	D2	
526	S	BURDICK	CC	D2	
534	S	BURDICK	CC	D2	
605	S	BURDICK	CCBD	D3	
610	S	BURDICK	CC	LW1	
616	S	BURDICK	CC	LW1	
619	S	BURDICK	CCBD	D3	
622	S	BURDICK	CC, RM-36	LW1	
627	S	BURDICK	CCBD	D3	
628	S	BURDICK	CC	LW1	
712	S	BURDICK	CC	LW1	
714	S	BURDICK	CC	LW1	
716	S	BURDICK	CC	LW1	

720	S	BURDICK	CC	LW1
724	S	BURDICK	CC	LW1
728	S	BURDICK	CC	LW1
801	S	BURDICK	CC	D3
802	S	BURDICK	CC	LW1
811	S	BURDICK	CC	D3
814	S	BURDICK	CC	LW1
821	S	BURDICK	CC	LW1
822	S	BURDICK	CC	LW1
824	S	BURDICK	CC	LW1
828	S	BURDICK	CC	LW1
904	S	BURDICK	CC	LW1
907	S	BURDICK	CC	LW1
908	S	BURDICK	CC	LW1
913	S	BURDICK	CC	LW1
914	S	BURDICK	CC	LW1
917	S	BURDICK	CC	LW1
923	S	BURDICK	CC, CO	LW1
928	S	BURDICK	CC	LW1
933	S	BURDICK	CC, CO	LW1
1000	S	BURDICK	CC, CN-1	LW1
1016	S	BURDICK	CC, CN-1	LW1
1107	S	BURDICK	CC	LW1
128		BURR OAK	CN-1	RM-36
131		BURR OAK	CN-1	RM-36
135		BURR OAK	CN-1	RM-36
143		BURR OAK	CN-1, RM-36	RM-36
127	E	CEDAR	CCBD	D2
105	W	CEDAR	CC	LW1
116	W	CEDAR	CCBD	D2
117	W	CEDAR	CC	LW1
121	W	CEDAR	CC	LW1
125	W	CEDAR	CC	LW1
131	W	CEDAR	CC	LW1
207	W	CEDAR	CC	LW1
209	W	CEDAR	CC	LW1
219	W	CEDAR	CC	LW1
229	W	CEDAR	CC	LW1
233	W	CEDAR	CC	LW1

South of Downtown/Vine and Edison Neighborhoods/Hospital Campus. Existing CC Zoning is designed for large, faster auto focused streets - not central, mixed use urban areas. Existing CO and CN-1 zoning limit residential development on the ground floor and permit a limited list of commercial uses. Proposed Live Work 1 and D3 zones provide flexibility of uses in a form that fits with these walkable areas directly south of Downtown.

Residential lots off the commercial blocks. RM zoning exists adjacent to these lots. Existing CN-1 zoning limits residential development on the ground floor.

Mix of uses with a wide range of commercial, residential, civic, & institutional appropriate; adjacent blocks to core shopping & entertainment blocks (D1)

Downtown/Vine Neighborhood Edge; Existing CC Zoning is designed for large, faster auto focused streets - not central, mixed-use urban areas.

Mix of uses with a wide range of commercial, residential, civic, & institutional appropriate; adjacent blocks to core shopping & entertainment blocks (D1)

234	W	CEDAR	CC	D3
301	W	CEDAR	CC	LW1
309	W	CEDAR	CC	LW1
313	W	CEDAR	CC	LW1
314	W	CEDAR	CC	D3
317	W	CEDAR	CC	LW1
321	W	CEDAR	CC	LW1
411	W	CEDAR	CN-1	LW1
416	W	CEDAR	CN-1	D3
424	W	CEDAR	CN-1	D3
429	W	CEDAR	CN-1	LW1
433	W	CEDAR	CN-1	LW1
437	W	CEDAR	CN-1, CO, RM-36	LW1
441	W	CEDAR	CN-1	LW1
508	W	CEDAR	CN-1	D3
512	W	CEDAR	CN-1	D3
516	W	CEDAR	CN-1, RM-15	D3
520	W	CEDAR	RM-15	D3
524	W	CEDAR	RM-15	D3
526	W	CEDAR	RM-15	D3
530	W	CEDAR	RM-15	D3
114	N	CHURCH	CCBD	D2
119	N	CHURCH	CCBD	D2
135	N	CHURCH	CCBD	D2
303	N	CHURCH	CCBD	D2
323	N	CHURCH	CCBD	D2
435	N	CHURCH	M-1	D3
440	N	CHURCH	CCBD	D3
453	N	CHURCH	M-1	D3
230		COOLEY	CCBD	D2
231		COOLEY	CCBD	D2
235		COOLEY	CCBD	D2
757		CREEK	CCBD	LW1
201	E	CROSSTOWN	RM-36	LW1
301	E	CROSSTOWN	RM-36	LW1
517	E	CROSSTOWN	M-1	LW2

Downtown/Vine Neighborhood Edge; Existing CC Zoning is designed for large, faster auto focused streets - not central, mixed-use, urban areas. CC and CN-1 zoning limit residential development on the ground floor and CN-1 permits a limited list of commercial uses and sizes of these use. These blocks are appropriate for a wide mix of commercial, civic, and residential uses, with the north side of the street proposed for D3 and the south proposed for LW1.

Mix of commercial uses also with residential, civic, & institutional; adjacent blocks to core shopping & entertainment blocks (D2).

Mix of uses with a wide range of commercial, residential, civic, & institutional appropriate; adjacent blocks to core shopping & entertainment blocks (D1)

North edge of Downtown, moving toward Northside Neighborhood; Manufacturing zoning is not appropriate for this location.

Mixed use buildings with a wide range of commercial, residential, civic, & institutional appropriate; adjacent blocks to core shopping & entertainment blocks (D1) or on blocks appropriate for that mid-scale Downtown intensity

Stuart neighborhood, appropriate for mix of uses, neighborhood size/scale buildings

Southeast of Downtown/Edison Neighborhood, appropriate for a mix of commercial, light production uses, civic, residential uses. Existing Manufacturing

601	E	CROSSTOWN	M-1	LW2	zoning is not appropriate for this location. Existing residential zoning does not allow for the mix of uses appropriate for the area. Proposed LW1 and 2 allow for a wide mix of uses and standards for new buildings that fit with the location.
615	E	CROSSTOWN	CCBD	LW2	
623	E	CROSSTOWN	M-1	LW2	
633	E	CROSSTOWN	M-1	LW2	
111	E	DUTTON	CCBD	D3	Southeast of Downtown/Edison Neighborhood/Hospital Campus; appropriate for a mix of uses. Proposed D3 allows a wide mix of uses.
130	E	DUTTON	CCBD	D3	
133	E	DUTTON	CCBD	D3	
402	E	DUTTON	CCBD	D3	
408	E	DUTTON	CCBD	D3	
412	E	DUTTON	CCBD	D3	
501	E	DUTTON	M-1	LW2	Southeast of Downtown/Edison Neighborhood, appropriate for a mix of commercial, civic, and residential uses. Existing Manufacturing zoning is not appropriate for this location. Live Work 2 allows for a mix of uses included small scale production uses, commercial, and residential.
502	E	DUTTON	M-1	LW2	
502	E	DUTTON	M-1	LW2	
504	E	DUTTON	M-1	LW2	
505	E	DUTTON	M-1	LW2	
508	E	DUTTON	M-1	LW2	
512	E	DUTTON	M-1	LW2	
539	E	DUTTON	M-1	LW2	
540	E	DUTTON	M-1	LW2	
543	E	DUTTON	M-1	LW2	
544	E	DUTTON	M-1	LW2	
547	E	DUTTON	M-1	LW2	
548	E	DUTTON	M-1	LW2	
552	E	DUTTON	M-1	LW2	
557	E	DUTTON	M-1	LW2	
561	E	DUTTON	M-1	LW2	
101	W	DUTTON	CC	LW1	South Downtown/Vine Neighborhood; appropriate for a mix of commercial, civic, and residential uses. Existing CC Zoning is designed for larger lots on wide, faster auto focused streets - not central/urban areas with a mix of uses. Existing RM district does not allow the mix of uses appropriate for this area.
109	W	DUTTON	CC	LW1	
112	W	DUTTON	CC	LW1	
113	W	DUTTON	CC	LW1	
114	W	DUTTON	CC	LW1	
117	W	DUTTON	CC	LW1	
119	W	DUTTON	RM-36	LW1	
123	W	DUTTON	RM-36	LW1	
127	W	DUTTON	RM-36	LW1	
100	N	EDWARDS	CCBD	D2	Mix of uses with a wide range of commercial, residential, civic, & institutional appropriate; adjacent blocks to core shopping & entertainment blocks (D1)
131	N	EDWARDS	CCBD	D2	
135	S	EDWARDS	CCBD	D2	
137	S	EDWARDS	CCBD	D2	
139	S	EDWARDS	CCBD	D2	
140	S	EDWARDS	CCBD	D2	
149	S	EDWARDS	CCBD	D2	
150	N	EDWARDS	CCBD	D2	
157	S	EDWARDS	CCBD	D2	
165	S	EDWARDS	CCBD	D2	

121		ELEANOR	CCBD	D2	
233		ELEANOR	CCBD	D2	
415		ELEANOR	CCBD	D2	Northwest quadrant of Downtown, moving toward the West Main Hill & Stuart Neighborhoods; appropriate for a mix of commercial, civic, and residential uses; blocks proposed for D2: adjacent blocks to core shopping & entertainment blocks (D1) or on blocks appropriate for that mid-scale Downtown intensity; blocks proposed for D3: edge of Downtown moving to adjacent neighborhoods
452		ELEANOR	CCBD	D3	
455		ELEANOR	CCBD	D2	
514		ELEANOR	CCBD, RM-15	D3	
518		ELEANOR	RM-15	D3	
522		ELEANOR	RM-15	D3	
200		ELM	CCBD, RM-36	LW1	
125	W	EXCHANGE	CCBD	D1	
145		FARMERS	CCBD	D2	Mix of uses with a wide range of commercial, residential, civic, & institutional appropriate; adjacent blocks to core shopping & entertainment blocks (D1)
149		FARMERS	CCBD	D2	
206		FARMERS	CCBD	D1	
208		FARMERS	CCBD	D1	Primary commercial blocks, on and around the Kalamazoo Mall; less active uses such as residential are limited on thru ground floor to leave this space for storefronts, entertainment, & dining uses
210		FARMERS	CCBD	D1	
212		FARMERS	CCBD	D1	
214		FARMERS	CCBD	D1	
231		FARMERS	CCBD	D2	Mix of uses with a wide range of commercial, residential, civic, & institutional appropriate; adjacent blocks to core shopping & entertainment blocks (D1)
126		FEDERAL	CCBD	D3	Southeast of Downtown/Edison Neighborhood appropriate for a mix of commercial, civic, and residential uses.
130		FEDERAL	CCBD	D3	
111		FELLOWS	CC	RM-36	Existing CC Zoning does not allow for residential on the ground floor; it is intended for large scale commercial development which does not match with the lot or street context in this location
115		FELLOWS	CC	RM-36	
116		FELLOWS	CC	RM-36	
114		GLADYS	CC	LW1	Southwest edge of Downtown/Vine Neighborhood edge, appropriate for a mix of uses: commercial, residential, civic, & institutional. Existing CC Zoning does not allow for residential on the ground floor; it is intended for large scale commercial development.
117		GLADYS	CC	LW1	
301		HARRISON	CMU	D3	Northeast edge of Downtown, appropriate for a mix of uses: commercial, residential, civic, & institutional
412		HARRISON	CMU	D3	
110		HEILMAN	CC	LW1	Southeast edge of Downtown/Vine & Edison Neighborhoods; appropriate for a mix of commercial, civic, and residential uses. Existing CC Zoning is designed for larger lots on wide, faster auto focused streets - not central, mixed-use, urban areas.
528		JASPER	CCBD	D3	
623		JASPER	CCBD	D3	
707		JASPER	CCBD	D3	
711		JASPER	CCBD	D3	
715		JASPER	CCBD	D3	
719		JASPER	CCBD	D3	

721		JASPER	CCBD	D3	Southeast edge of Downtown/northern Edison Neighborhood/Hospital Campus; appropriate for a mix of commercial, civic, and residential uses. Currently zoned with a number of different districts, many that are not designed for the mix of uses appropriate for the area.
918		JASPER	CN-1	D3	
301		JOHN	CCBD, M-1	D3	
400		JOHN	CCBD	D3	
530		JOHN	CCBD	D3	
601		JOHN	CCBD	D3	
610		JOHN	CCBD	D3	
622		JOHN	CCBD	D3	
805		JOHN	CCBD, RM-36	D3	
820		JOHN	CC, CO, RM-36	D3	
921		JOHN	CCBD, CO, RM-36	LW1	Southeast edge Downtown/north edge Edison Neighborhood; appropriate for a mix of commercial, civic, and residential uses. Existing CO district limits potential residential and commercial uses.
935		JOHN	CO	LW1	
940		JOHN	CO	LW1	
123	E	KALAMAZOO	CCBD, M-1	D3	Edge of Downtown, moving toward the Northside and Eastside Neighborhoods; appropriate for a mix of commercial, civic, and residential uses. Existing manufacturing zoning does not allow new residential development or the mix of uses appropriate for these lots. Proposed D3 District allows for a mix of uses, including production uses provided, there is a retail or showroom component.
167	E	KALAMAZOO	M-1	D3	
202	E	KALAMAZOO	CCBD	D3	
205	E	KALAMAZOO	M-1	D3	
242	E	KALAMAZOO	CCBD, M-1	D3	
261	E	KALAMAZOO	M-1	D3	
315	E	KALAMAZOO	CCBD	D3	
355	E	KALAMAZOO	M-2	D3	
402	E	KALAMAZOO	M-1	D3	
403	E	KALAMAZOO	CCBD	D3	
409	E	KALAMAZOO	CCBD	D3	
429	E	KALAMAZOO	CMU	D3	
505	E	KALAMAZOO	CMU	D3	
513	E	KALAMAZOO	CMU	D3	
525	E	KALAMAZOO	CMU	D3	
132	N	KALAMAZOO MALL	CCBD	D1	Primary commercial blocks, on and around the Kalamazoo Mall; less active uses such as residential are limited on thru ground floor to leave this space for storefronts, entertainment, & dining uses
201	N	KALAMAZOO MALL	CCBD	D2	Mix of uses with a wide range of commercial, residential, civic, & institutional appropriate; adjacent blocks to core shopping & entertainment blocks (D1)
222	N	KALAMAZOO MALL	CCBD	D2	
224	N	KALAMAZOO MALL	CCBD	D2	
225	N	KALAMAZOO MALL	CCBD	D2	
228	N	KALAMAZOO MALL	CCBD	D2	
230	N	KALAMAZOO MALL	CCBD	D2	
250	N	KALAMAZOO MALL	CCBD	D2	
251	N	KALAMAZOO MALL	CCBD	D2	
252	N	KALAMAZOO MALL	CCBD	D2	
124	S	KALAMAZOO MALL	CCBD	D1	

125	S	KALAMAZOO MALL	CCBD	D1	Primary commercial blocks, on and around the Kalamazoo Mall; less active uses such as residential are limited on the ground floor to leave this space for commercial storefronts, entertainment, & dining uses.
126	S	KALAMAZOO MALL	CCBD	D1	
132	S	KALAMAZOO MALL	CCBD	D1	
136	S	KALAMAZOO MALL	CCBD	D1	
154	S	KALAMAZOO MALL	CCBD	D1	
157	S	KALAMAZOO MALL	CCBD	D1	
202	S	KALAMAZOO MALL	CCBD	D1	
207	S	KALAMAZOO MALL	CCBD	D1	
209	S	KALAMAZOO MALL	CCBD	D1	
210	S	KALAMAZOO MALL	CCBD	D1	
211	S	KALAMAZOO MALL	CCBD	D1	
213	S	KALAMAZOO MALL	CCBD	D1	
214	S	KALAMAZOO MALL	CCBD	D1	
215	S	KALAMAZOO MALL	CCBD	D1	
217	S	KALAMAZOO MALL	CCBD	D1	
219	S	KALAMAZOO MALL	CCBD	D1	
221	S	KALAMAZOO MALL	CCBD	D1	
223	S	KALAMAZOO MALL	CCBD	D2	
230	S	KALAMAZOO MALL	CCBD	D1	
236	S	KALAMAZOO MALL	CCBD	D1	
241	S	KALAMAZOO MALL	CCBD	D1	
250	S	KALAMAZOO MALL	CCBD	D1	
315	S	KALAMAZOO MALL	CCBD	D1	
316	S	KALAMAZOO MALL	CCBD	D1	
321	S	KALAMAZOO MALL	CCBD	D1	
336	S	KALAMAZOO MALL	CCBD	D1	
346	S	KALAMAZOO MALL	CCBD	D1	
359	S	KALAMAZOO MALL	CCBD	D1	
119	W	KALAMAZOO	CCBD	D2	Mix of uses with a wide range of commercial, residential, civic, & institutional appropriate; adjacent blocks to core shopping & entertainment blocks (D1)
131	W	KALAMAZOO	CCBD	D2	
149	W	KALAMAZOO	CCBD	D2	
201	W	KALAMAZOO	CCBD	D2	
224	W	KALAMAZOO	CCBD	D3	Edge of Downtown, moving toward the Northside and Stuart Neighborhoods; appropriate for a mix of commercial, civic, and residential uses. Existing manufacturing zoning does not allow new residential development or the mix of uses appropriate for these lots. Proposed D3 District: allows for a wide mix of uses, including many manufacturing uses provided there is a retail or showroom component and residential uses and supports buildings at size and scale for where Downtown and the adjacent neighborhoods meet. Proposed D2 District: adjacent blocks to core shopping & entertainment blocks (D1) or on blocks appropriate for that mid-scale Downtown intensity;
246	W	KALAMAZOO	CCBD	D3	
317	W	KALAMAZOO	CCBD	D2	
334	W	KALAMAZOO	M-1	D3	
335	W	KALAMAZOO	CCBD	D2	
411	W	KALAMAZOO	CCBD	D2	
416	W	KALAMAZOO	CCBD	D3	
431	W	KALAMAZOO	CCBD	D3	
440	W	KALAMAZOO	M-1	D3	

151	E	LOVELL	CCBD	D2	Mix of uses with a wide range of commercial, residential, civic, & institutional appropriate; adjacent blocks to core shopping & entertainment blocks (D1)	
251	E	LOVELL	M-1	D3	Edge of Downtown, moving toward the Edison Neighborhood; appropriate for a mix of commercial, civic, and residential uses. Existing manufacturing zoning does not allow new residential development. Proposed D3 District allows for a wide mix of uses, including many manufacturing uses provided there is a retail or showroom component and residential uses.	
252	E	LOVELL	CCBD	D3		
400	E	LOVELL	CCBD, M-1	D3		
128	W	LOVELL	CCBD	D1		Primary commercial blocks, on and around the Kalamazoo Mall; less active uses such as residential are limited on the ground floor to leave this space for storefronts, entertainment, & dining uses.
133	W	LOVELL	CCBD	D2	Mix of uses with a wide range of commercial, residential, civic, & institutional appropriate; adjacent blocks to core shopping & entertainment blocks (D1)	
247	W	LOVELL	CC	D3	Downtown/Vine Neighborhood Edge, mix of commercial, civic, institutional & residential. Existing CC and CN-1 zoning districts limit residential development on the ground floor. CN-1 permits a limited list of commercial uses and places a cap on the size of the commercial use. CC zoning is designed for larger lots on wide, faster auto focused streets - not central, mixed-use, urban areas.	
301	W	LOVELL	CC	D3		
341	W	LOVELL	CC	D3		
405	W	LOVELL	CC, CN-1	D3		
415	W	LOVELL	CC	D3		
425	W	LOVELL	CC	D3		
431	W	LOVELL	CC	D3		
451	W	LOVELL	CC	D3		
455	W	LOVELL	CC	D3		
475	W	LOVELL	CC, CN-1	D3		
480	W	LOVELL	CCBD	D3		
614	W	LOVELL	CO	RM-36		Residential lots off the commercial blocks. RM zoning exists adjacent to these lots.
618	W	LOVELL	CO	RM-36		
622	W	LOVELL	CO, RM-36	RM-36		
762	W	MAIN	CCBD	LW1	Downtown edge/Stuart Neighborhood; appropriate for a mix of commercial, civic, and residential uses at a neighborhood scale.	
800	W	MAIN	CCBD	LW1		
103	E	MICHIGAN	CCBD	D1	Primary commercial blocks, on and around the Kalamazoo Mall and East Michigan Avenue; less active uses such as residential are limited on the ground floor to leave this space for commercial storefronts, entertainment, & dining	
105	E	MICHIGAN	CCBD	D1		
108	E	MICHIGAN	CCBD	D1		
131	E	MICHIGAN	CCBD	D1		
136	E	MICHIGAN	CCBD	D1		
141	E	MICHIGAN	CCBD	D1		
148	E	MICHIGAN	CCBD	D1		
151	E	MICHIGAN	CCBD	D1		
161	E	MICHIGAN	CCBD	D1		
162	E	MICHIGAN	CCBD	D1		
203	E	MICHIGAN	CCBD	D1		
215	E	MICHIGAN	CCBD	D1		
224	E	MICHIGAN	CCBD	D1		
228	E	MICHIGAN	CCBD	D1		
232	E	MICHIGAN	CCBD	D1		

234	E	MICHIGAN	CCBD	D1
238	E	MICHIGAN	CCBD	D1
244	E	MICHIGAN	CCBD	D1
250	E	MICHIGAN	CCBD	D1
251	E	MICHIGAN	CCBD	D1
254	E	MICHIGAN	CCBD	D1
258	E	MICHIGAN	CCBD	D1
262	E	MICHIGAN	CCBD	D1
266	E	MICHIGAN	CCBD	D1
276	E	MICHIGAN	CCBD	D1
278	E	MICHIGAN	CCBD	D1
280	E	MICHIGAN	CCBD	D1
305	E	MICHIGAN	CCBD	D2
310	E	MICHIGAN	CCBD	D2
320	E	MICHIGAN	CCBD	D2
325	E	MICHIGAN	CCBD	D2
332	E	MICHIGAN	CCBD	D2
336	E	MICHIGAN	CCBD	D2
350	E	MICHIGAN	CCBD	D2
401	E	MICHIGAN	M-1	D3
402	E	MICHIGAN	CMU	D3
418	E	MICHIGAN	CMU	D3
420	E	MICHIGAN	CMU	D3
421	E	MICHIGAN	CCBD	D3
426	E	MICHIGAN	CMU, M-2	D3
427	E	MICHIGAN	CCBD	D3
500	E	MICHIGAN	CMU	D3
504	E	MICHIGAN	CMU	D3
507	E	MICHIGAN	CCBD	D3
511	E	MICHIGAN	CCBD	D3
515	E	MICHIGAN	CCBD	D3
521	E	MICHIGAN	CCBD	D3
530	E	MICHIGAN	CMU	D3
536	E	MICHIGAN	CMU	D3
538	E	MICHIGAN	CMU	D3
539	E	MICHIGAN	CCBD	D3
544	E	MICHIGAN	CMU	D3
575	E	MICHIGAN	CMU	D3
600	E	MICHIGAN	CMU	D3
605	E	MICHIGAN	CMU	D3
616	E	MICHIGAN	CMU	D3
618	E	MICHIGAN	CMU	D3
100	W	MICHIGAN	CCBD	D1
107	W	MICHIGAN	CCBD	D1
140	W	MICHIGAN	CCBD	D1
155	W	MICHIGAN	CCBD	D1

uses.

Mix of uses with a wide range of commercial, residential, civic, & institutional appropriate; adjacent blocks to core shopping & entertainment blocks (D1)

Northeast edge of Downtown, moving toward the Eastside Neighborhood; appropriate for a mix of uses: commercial, residential, civic, & institutional. Current zoning is a mix of districts, including manufacturing. Proposed D3 allows a wide set of uses, supporting the mixed use development envisioned for the area.

Primary commercial blocks, on and around the Kalamazoo Mall and West Michigan Avenue; less active uses such as residential are limited on the ground floor to leave this space for commercial storefronts, entertainment, & dining uses.

200	W	MICHIGAN	CCBD	D2	Mix of uses with a wide range of commercial, residential, civic, & institutional appropriate; adjacent blocks to core shopping & entertainment blocks (D1)
216	W	MICHIGAN	CCBD	D2	
220	W	MICHIGAN	CCBD	D2	
222	W	MICHIGAN	CCBD	D2	
227	W	MICHIGAN	CCBD	D2	
232	W	MICHIGAN	CCBD	D2	
234	W	MICHIGAN	CCBD	D2	
238	W	MICHIGAN	CCBD	D2	
248	W	MICHIGAN	CCBD	D2	
302	W	MICHIGAN	CCBD	D2	
308	W	MICHIGAN	CCBD	D2	
312	W	MICHIGAN	CCBD	D2	
315	W	MICHIGAN	CCBD	D2	
345	W	MICHIGAN	CCBD	D2	
348	W	MICHIGAN	CCBD	D2	
405	W	MICHIGAN	CCBD	D2	
410	W	MICHIGAN	CCBD	D2	
444	W	MICHIGAN	CCBD	D2	
460	W	MICHIGAN	CCBD	D2	
465	W	MICHIGAN	CCBD	D2	
478	W	MICHIGAN	CCBD	D2	
491	W	MICHIGAN	CCBD	D2	
502	W	MICHIGAN	CCBD	D3	West edge of Downtown, moving to West Main Hill and Stuart Neighborhoods; appropriate for a mix of commercial, residential, and civic; transition from Downtown into neighborhoods
507	W	MICHIGAN	CCBD	D3	
521	W	MICHIGAN	CCBD	D3	
542	W	MICHIGAN	CCBD, RM-15	D3	
543	W	MICHIGAN	CCBD	D3	
553	W	MICHIGAN	CCBD	D3	
611	W	MICHIGAN	CCBD	D3	
619	W	MICHIGAN	CCBD	D3	
627	W	MICHIGAN	CCBD	D3	
645	W	MICHIGAN	CCBD	D3	
653	W	MICHIGAN	CCBD	D3	
702	W	MICHIGAN	CCBD	D3	
706	W	MICHIGAN	CCBD	D3	
711	W	MICHIGAN	CCBD	D3	
728	W	MICHIGAN	CCBD, RM-15	D3	
739	W	MICHIGAN	CCBD	D3	
763	W	MICHIGAN	CCBD	D3	
760	W	MICHIGAN	CCBD, IC	LW1	Existing CC Zoning is designed for larger lots on wide, faster auto focused streets and less. These lots, between Downtown and adjacent neighborhoods and Universities are appropriate for a wide mix of uses. Street design work plans for these blocks to better serve pedestrian and transit riders in the future to match its location. Proposed Live Work 1 district allows the wide mix of uses and
815	W	MICHIGAN	CC	LW1	
305		OAKLAND	CC	LW1	

315		OAKLAND	CC	LW1	buildings that support a walkable environment.
137	N	PARK	CCBD	D2	Mix of uses with a wide range of commercial, residential, civic, & institutional appropriate; adjacent blocks to core shopping & entertainment blocks (D1)
210	N	PARK	CCBD	D2	Northwest quadrant of Downtown, moving toward the Northside and Stuart Neighborhoods; appropriate for a mix of commercial, civic, and residential uses. Existing manufacturing zoning does not allow new residential development or the mix of uses appropriate for these lots. Proposed D3 District allows for a wide mix of uses, including many manufacturing uses provided there is a retail or showroom component and residential uses and supports buildings at size and scale for where Downtown and the adjacent neighborhoods meet. Proposed D2 District: adjacent blocks to core shopping & entertainment blocks (D1) or on blocks appropriate for that mid-scale Downtown intensity
220	N	PARK	CCBD	D2	
250	N	PARK	CCBD	D2	
436	N	PARK	M-1	D3	
212	S	PARK	CCBD	D2	
224	S	PARK	CCBD	D2	Mix of uses with a wide range of commercial, residential, civic, & institutional appropriate; adjacent blocks to core shopping & entertainment blocks (D1)
314	S	PARK	CCBD	D2	
333	S	PARK	CCBD	D2	
347	S	PARK	CCBD	D2	
415	S	PARK	CC	D3	
419	S	PARK	CC	D3	Edge of Downtown/Vine Neighborhood; appropriate for a mix of commercial, civic, and residential uses. Existing CC Zoning is designed for large lots on wide, faster auto focused streets - not central, mixed-use urban areas. Proposed D3 District allows for a wide mix of uses and supports buildings at size and scale appropriate for where Downtown and the adjacent neighborhoods meet.
423	S	PARK	CC	D3	
427	S	PARK	CC	D3	
429	S	PARK	CC	D3	
504	S	PARK	CN-1	LW1	
523	S	PARK	CC	LW1	Vine Neighborhood Edge, mix of commercial, civic, institutional & residential. Existing CC, CO, and CN-1 zoning districts limit residential development on the ground floor. CN-1 and CO permit a limited list of commercial uses and places a cap on the size of the commercial use. CC zoning is designed for large lots on wide, faster auto focused streets - not central, mixed-use, urban areas. Street design plans have a vision for Park Street that includes all users - pedestrians, cyclists, transit, and vehicles. The proposed Live Work 1 zoning matches with this vision.
524	S	PARK	CN-1, CO	LW1	
527	S	PARK	CC	LW1	
425		PEARL	RM-15	D3	Vine Neighborhood Edge; appropriate for a mix of commercial, civic, and residential uses as allowed in the proposed D3 District.
429		PEARL	RM-15	D3	
329	S	PITCHER	CMU	D3	Edge of Downtown, moving to the Edison Neighborhood. This area is home to many different uses, but the existing manufacturing zoning does not permit the mix of uses common in and adjacent to Downtown, including residential uses. The proposed D3 allows a wider mix of uses and takes the edge of Downtown location into consideration for new buildings size and scale.
340	S	PITCHER	M-1	D3	
350	S	PITCHER	M-1	D3	
357	S	PITCHER	CMU, M-1	D3	
360	S	PITCHER	M-1	D3	

412	N	PITCHER	M1	D3	Edge of Downtown, moving toward the Northside and Eastside Neighborhoods; appropriate for a mix of commercial, civic, and residential uses. Existing manufacturing zoning does not allow new residential development or the mix of uses appropriate for these lots. Proposed D3 District allows for a mix of uses, including production uses provided, there is a retail or showroom component.
426	N	PITCHER	M-1	D3	
428	N	PITCHER	M-1	D3	
111		PORTAGE	CCBD	D2	Mix of uses with a wide range of commercial, residential, civic, & institutional appropriate; adjacent blocks to core shopping & entertainment blocks (D1)
127		PORTAGE	CCBD	D2	
130		PORTAGE	CCBD	D2	
140		PORTAGE	CCBD	D2	
159		PORTAGE	CCBD	D2	
161		PORTAGE	CCBD	D2	
163		PORTAGE	CCBD	D2	
165		PORTAGE	CCBD	D2	
167		PORTAGE	CCBD	D2	
169		PORTAGE	CCBD	D2	
179		PORTAGE	CCBD	D2	
179		PORTAGE	CCBD	D2	
180		PORTAGE	CCBD	D2	
300		PORTAGE	M-1	D3	Edge of Downtown, moving to the Edison Neighborhood. This area is home to many different uses, but the existing manufacturing zoning does not permit the mix of uses common in and adjacent to Downtown, including residential uses. The proposed D3 allows a wider mix of uses and takes the edge of Downtown location into consideration for new buildings size and scale.
403		PORTAGE	CCBD, M-1	D3	
415		PORTAGE	M-1	D3	
439		PORTAGE	M-1	D3	
481		PORTAGE	M-1	D3	
562		PORTAGE	M-1	LW2	Southeast of Downtown/Edison Neighborhood, appropriate for a mix of commercial, civic, and residential uses. The existing manufacturing zoning does not permit the mix of uses common in and adjacent to Downtown, including residential uses and mixed use projects. Live Work 2 allows for a mix of uses, included small scale production uses, commercial, civic, institutional, and residential.
572		PORTAGE	M-1	LW2	
584		PORTAGE	M-1	LW2	
592		PORTAGE	M-1	LW2	
606		PORTAGE	M-1	LW2	
616		PORTAGE	M-1	LW2	
642		PORTAGE	M-1	LW2	
417		PORTER	M-2	D3	Edge of Downtown, moving toward the Northside Neighborhood; appropriate for a mix of commercial, civic, and residential uses. Existing manufacturing zoning does not allow new residential development or the mix of uses appropriate for these lots. Proposed D3 District allows for a mix of uses, including production uses provided, there is a retail or showroom component.
412		POTTER	CC	D3	Vine Neighborhood Edge, mix of commercial, civic, institutional & residential. Existing CC and CN-1 zoning districts limit residential development on the ground floor, while the RM district only allows residential uses. CN-1 permits a limited list
512		POTTER	CN-1	LW1	

522		POTTER	RM-36	LW1	of commercial uses and places a cap on the size of the commercial use. CC zoning is designed for large lots on wide, faster auto focused streets - not central, mixed-use, urban areas. Proposed D3 and Live Work 1 both allow a wide mix of uses and takes the lots location on the edge of Downtown and Vine Neighborhood into consideration for the size/scale of future buildings.
524		POTTER	RM-36	LW1	
528		POTTER	RM-36	LW1	
30		ROCHESTER	CMU	D3	Edge of Downtown. This area is home to many different uses. The proposed D3 allows a wider mix of uses and takes the edge of Downtown location into consideration for new buildings size and scale.
138	N	ROSE	CCBD	D1	Primary commercial blocks, on and around the Kalamazoo Mall and Michigan Avenue; less active uses such as residential are limited on the ground floor to leave this space for commercial storefronts, entertainment, & dining uses.
202	N	ROSE	CCBD	D2	
203	N	ROSE	CCBD	D2	
232	N	ROSE	CCBD	D2	
244	N	ROSE	CCBD	D2	
245	N	ROSE	CCBD	D2	
303	N	ROSE	CCBD	D2	
306	N	ROSE	CCBD	D2	
310	N	ROSE	CCBD	D2	
459	N	ROSE	CCBD	D3	North edge of Downtown, moving to Northside Neighborhood; appropriate for a mix of commercial, residential, and civic uses; transition from Downtown into neighborhoods
151	S	ROSE	CCBD	D2	
200	S	ROSE	CCBD	D2	
211	S	ROSE	CCBD	D2	
277	S	ROSE	CCBD	D2	
315	S	ROSE	CCBD	D2	
328	S	ROSE	CCBD	D2	
340	S	ROSE	CCBD	D2	
400	S	ROSE	CC	D2	
427	S	ROSE	CCBD	D2	Mix of uses with a wide range of commercial, residential, civic, & institutional appropriate; adjacent blocks to core shopping & entertainment blocks (D1)
431	S	ROSE	CCBD	D2	
433	S	ROSE	CCBD	D2	
506	S	ROSE	CC	LW1	
507	S	ROSE	CC	LW1	
510	S	ROSE	CC	LW1	
511	S	ROSE	CC	LW1	
514	S	ROSE	CC	LW1	
518	S	ROSE	CC	LW1	
519	S	ROSE	CC	LW1	South Downtown/Vine Neighborhood; appropriate for a mix of commercial, civic, and residential uses at a scale/size of buildings that are appropriate for a transition between Downtown and adjacent neighborhoods. Existing CC Zoning is designed for large lots on wide, faster auto focused streets - not central, mixed-use urban areas.
522	S	ROSE	CC	LW1	
527	S	ROSE	CC	LW1	
530	S	ROSE	CC	LW1	
534	S	ROSE	CC	LW1	

536	S	ROSE	CC	LW1		
604	S	ROSE	CC	RM-36	Residential lots where RM zoning exists adjacent.	
923	S	ROSE	CN-1	RM-36	Residential lots off the commercial blocks. RM zoning exists adjacent to these lots. Existing CN-1 zoning limits residential development on the ground floor.	
927	S	ROSE	CN-1	RM-36		
1015	S	ROSE	CN-1, RM-36	RM-36		
126	E	SOUTH	CCBD	D2	Mix of uses with a wide range of commercial, residential, civic, & institutional appropriate; adjacent blocks to core shopping & entertainment blocks (D1)	
142	E	SOUTH	CCBD	D2		
173	E	SOUTH	CCBD	D2		
231	E	SOUTH	CCBD	D2		
410	E	SOUTH	M-1	D3	Existing manufacturing does not allow for new residential development or mixed use projects typical of a Downtown and adjacent areas.	
422	E	SOUTH	M-1	D3		
425	E	SOUTH	CCBD	D2	Mix of uses with a wide range of commercial, residential, civic, & institutional appropriate; adjacent blocks to core shopping & entertainment blocks (D1)	
431	E	SOUTH	CCBD	D2		
118	W	SOUTH	CCBD	D1	Primary commercial blocks, on and around the Kalamazoo Mall and Michigan Avenue; less active uses such as residential are limited on the ground floor to leave this space for commercial storefronts, entertainment, & dining uses.	
126	W	SOUTH	CCBD	D1		
219	W	SOUTH	CCBD	D2	Mix of uses with a wide range of commercial, residential, civic, & institutional appropriate; adjacent blocks to core shopping & entertainment blocks (D1)	
241	W	SOUTH	CCBD	D2		
321	W	SOUTH	CCBD	D2		
347	W	SOUTH	CCBD	D2		
426	W	SOUTH	CCBD	D3		
438	W	SOUTH	CCBD	D3	Edge of Downtown/Vine Neighborhood; appropriate for a mix of commercial, civic, and residential uses. Proposed D3 District allows for a wide mix of uses and supports buildings at size and scale appropriate for where Downtown and the adjacent neighborhoods meet.	
447	W	SOUTH	CCBD	D3		
450	W	SOUTH	CCBD	D3		
458	W	SOUTH	CCBD	D3		
470	W	SOUTH	CCBD	D3		
471	W	SOUTH	CCBD	D3		
490	W	SOUTH	CCBD	D3		
491	W	SOUTH	CCBD	D3		
516	W	SOUTH	CO	LW1		Edge of Downtown/Vine Neighborhood and moving to West Main Hill Neighborhood and Universities; appropriate for a mix of commercial, civic, and residential uses, which is what exists in these blocks currently. Existing CC, CO, CN-1 zoning districts limit residential development on the ground floor, while the RM district only allows residential uses. CN-1 and CO permit a limited list of commercial uses and CN-1 places a cap on the size of the commercial use. CC zoning is designed for large lots on wide, faster auto focused streets - not central, mixed-use, urban areas. Proposed Live Work 1 District allows for a wide mix of uses and supports buildings at size and scale appropriate for where Downtown and the adjacent neighborhoods meet.
530	W	SOUTH	CN-1, RM-15	LW1		
813	W	SOUTH	CO, RM-15, RM-36	LW1		
821	W	SOUTH	CC, CO, RM-15, RM-36	LW1		
827	W	SOUTH	CC, CO, RM-36	LW1		
828	W	SOUTH	CC	LW1		
833	W	SOUTH	CC, RM-36	LW1		
837	W	SOUTH	CC, RM-36	LW1		
839	W	SOUTH	CC, RM-36	LW1		
903	W	SOUTH	CC, RM-36	LW1		
907	W	SOUTH	CC, RM-36	LW1		
911	W	SOUTH	CC, RM-36	LW1		

917	W	SOUTH	CC	LW1	
119		UPJOHN	CO	LW1	Edison Neighborhood/Southeast of Downtown/ Hospital Campus; this area is appropriate for a mix of uses, which is what exists currently in this area. Existing CO limits residential uses and permits a narrow list of commercial uses. Existing RM zoning permits only residential uses. Proposed Live Work 1 District allows a wide range of uses.
213		UPJOHN	RM-36	LW1	
219		UPJOHN	RM-36	LW1	
107	W	VINE	CC	LW1	Vine Neighborhood/south of Downtown; appropriate for a mix of commercial, civic, and residential uses at a scale/size of buildings that are appropriate for a transition between Downtown and adjacent neighborhoods. Existing CC Zoning is designed for large lots on wide, faster auto focused streets - not central, mixed-use urban areas.
112	W	VINE	CC	LW1	
114	W	VINE	CC	LW1	
115	W	VINE	CC	LW1	
120	W	VINE	CC, RM-36	LW1	
134	E	VINE	CC	D3	Edison Neighborhood/South of Downtown/Hospital Campus; appropriate for a mix of commercial, civic, and residential uses. Proposed D3 District allows for a wide mix of uses and supports buildings at size and scale appropriate for where Downtown and the adjacent neighborhoods meet.
302	E	VINE	CC	D3	
306	E	VINE	CC	D3	
310	E	VINE	CC	D3	
425	E	VINE	M-1	LW1	Edison Neighborhood/south of Downtown, appropriate for a mix of commercial, civic, and residential uses. The existing manufacturing zoning does not permit the mix of uses common in and adjacent to Downtown, including residential uses and mixed use projects. Proposed Live Work 1 District allows a wide range of uses.
429	E	VINE	M-1	LW1	
509	E	VINE	M-1	LW1	
105		WALBRIDGE	CCBD	D3	Northeast edge of Downtown, moving toward the Northside & Eastside Neighborhoods; appropriate for a mix of uses: commercial, residential, civic, & institutional. Current zoning is a mix of districts, including manufacturing. Proposed D3 allows a wide set of uses, supporting the mixed use development envisioned for the area.
414		WALBRIDGE	CMU	D3	
120		WALL	CN-1	LW1	Vine Neighborhood Edge, mix of commercial, civic, institutional & residential. Existing CN-1 zoning district limit residential development on the ground floor and permits a limited list of commercial uses and places a cap on the size of the commercial use.
105	E	WALNUT	CCBD	D2	Mix of uses with a wide range of commercial, residential, civic, & institutional appropriate; adjacent blocks to core shopping & entertainment blocks (D1)
124	E	WALNUT	CCBD	D3	Edison Neighborhood/South of Downtown/Hospital Campus; appropriate for a mix of commercial, civic, and residential uses. Proposed D3 District allows for a wide mix of uses and supports buildings at size and scale appropriate for where Downtown and the adjacent neighborhoods meet.
128	E	WALNUT	CCBD	D3	
130	E	WALNUT	CCBD	D3	
134	E	WALNUT	CCBD	D3	
418	E	WALNUT	CCBD	D3	

520	E	WALNUT	CCBD, M-1	LW2	Southeast edge of Downtown/Edison Neighborhood, appropriate for a mix of commercial, civic, and residential uses. The existing manufacturing zoning does not permit the mix of uses common in and adjacent to Downtown, including residential uses and mixed use projects. Live Work 2 allows for a mix of uses, included small scale production uses, commercial, civic, institutional, and residential.
522	E	WALNUT	M-1	LW2	
534	E	WALNUT	M-1	LW2	
114	W	WALNUT	CC	LW1	
115	W	WALNUT	CC	LW1	Vine Neighborhood/south of Downtown; appropriate for a mix of commercial, civic, and residential uses at a scale/size of buildings that are appropriate for a transition between Downtown and adjacent neighborhoods. Existing CC Zoning is designed for large lots on wide, faster auto focused streets - not central, mixed-use urban areas and it limits residential development on the ground floor, while the RM district only allows residential uses. Proposed Live Work 1 allows for a wide set of uses like those that exist in the area now.
118	W	WALNUT	CC	LW1	
125	W	WALNUT	CC, RM-36	RM36	
208	W	WALNUT	CC	LW1	
212	W	WALNUT	CC	LW1	
213	W	WALNUT	CC	LW1	
214	W	WALNUT	CC	LW1	
218	W	WALNUT	CC	LW1	
219	W	WALNUT	CC, RM-36	LW1	
220	W	WALNUT	CC	LW1	
226	W	WALNUT	CC	LW1	
302	W	WALNUT	CC	LW1	
306	W	WALNUT	CC	LW1	
310	W	WALNUT	CC	LW1	
316	W	WALNUT	CC	LW1	
322	W	WALNUT	CC	LW1	
430	W	WALNUT	RM-36	LW1	
432	W	WALNUT	RM-36	LW1	
436	W	WALNUT	CO	LW1	
442	W	WALNUT	CO	LW1	
446	W	WALNUT	CO	LW1	
509		WALNUT CT	CC	LW1	Vine Neighborhood/south of Downtown; generally appropriate for a mix of commercial, civic, and residential uses at a scale/size of buildings that are appropriate for a transition between Downtown and adjacent neighborhoods. Existing CC Zoning is designed for large lots on wide, faster auto focused streets - not central, mixed-use urban areas and it limits residential development on the ground floor. Proposed Live Work 1 allows for a wide set of uses like those that exist in the area now.
510		WALNUT CT	CC	LW1	
513		WALNUT CT	CC	LW1	
514		WALNUT CT	CC	LW1	
517		WALNUT CT	CC	LW1	
518		WALNUT CT	CC	LW1	
519		WALNUT CT	CC	LW1	
523		WALNUT CT	CC	LW1	
121	E	WATER	CCBD	D2	Mix of uses with a wide range of commercial, residential, civic, & institutional appropriate; adjacent blocks to core shopping & entertainment blocks (D1)
123	E	WATER	CCBD	D2	
128	E	WATER	CCBD	D2	
129	E	WATER	CCBD	D3	
145	E	WATER	CCBD	D3	Northwest quadrant of Downtown. Appropriate for a mix of commercial, civic, and residential uses. Proposed D3 District allows for a wide mix of uses at a scale that is appropriate for the edge of Downtown. Proposed D2 District: adjacent blocks to core shopping & entertainment blocks (D1) or on blocks appropriate for that mid-scale Downtown intensity
162	E	WATER	CCBD	D2	
180	E	WATER	CCBD	D2	
201	E	WATER	M-1	D3	
211	E	WATER	M-1	D3	
309	E	WATER	M-1	D3	

315	E	WATER	CCBD	D3	
316	E	WATER	CCBD	D3	
235	W	WATER	CCBD	D2	Mix of uses with a wide range of commercial, residential, civic, & institutional appropriate; adjacent blocks to core shopping & entertainment blocks (D1) or on blocks appropriate for that mid-scale Downtown intensity
416	W	WATER	CCBD	D2	
440	W	WATER	CCBD	D2	
441	W	WATER	CCBD	D2	Mix of uses with a wide range of commercial, residential, civic, & institutional appropriate; adjacent blocks to core shopping & entertainment blocks (D1)
445	W	WATER	CCBD	D2	
108	N	WESTNEDGE	CCBD	D2	
130	N	WESTNEDGE	CCBD	D2	
138	N	WESTNEDGE	CCBD	D2	
219	N	WESTNEDGE	CCBD	D3	Edge of core Downtown blocks. appropriate for a mix of commercial, civic, and residential uses. Proposed D3 District allows for a wide mix of uses.
301	N	WESTNEDGE	CCBD	D3	
330	N	WESTNEDGE	CCBD	D3	
123	S	WESTNEDGE	CCBD	D2	Mix of uses with a wide range of commercial, residential, civic, & institutional appropriate; adjacent blocks to core shopping & entertainment blocks (D1)
140	S	WESTNEDGE	CCBD	D3	Downtown, moving into the Vine Neighborhood; appropriate for a mix of commercial, civic, and residential uses, which is what exists in these blocks currently. Existing CO and CN-1 zoning districts limit residential development on the ground floor, while the RM districts only allows residential uses. CN-1 and CO permit a limited list of commercial uses and CN-1 places a cap on the size of the commercial use. Proposed D3 allows a wide set of uses, supporting the mixed use development envisioned for the area as it transitions from Downtown into adjacent neighborhoods.
203	S	WESTNEDGE	CCBD	D3	
204	S	WESTNEDGE	CCBD	D3	
219	S	WESTNEDGE	CCBD	D3	
222	S	WESTNEDGE	CN-1	D3	
300	S	WESTNEDGE	CN-1, CO	D3	
406	S	WESTNEDGE	CN-1, RM-36	D3	
416	S	WESTNEDGE	CN-1, RM-15	D3	
419	S	WESTNEDGE	CN-1	D3	
423	S	WESTNEDGE	CN-1	D3	
426	S	WESTNEDGE	CN-1	D3	
427	S	WESTNEDGE	CN-1	D3	
432	S	WESTNEDGE	CN-1	D3	
435	S	WESTNEDGE	CN-1	D3	
503	S	WESTNEDGE	CN-1	LW1	Downtown, moving into the Vine Neighborhood; appropriate for a mix of commercial, civic, and residential uses, which is what exists in these blocks currently. Existing CO and CN-1 zoning districts limit residential development on the ground floor. CN-1 and CO permit a limited list of commercial uses and CN-1 places a cap on the size of the commercial use. Existing CC Zoning is designed for large lots on wide, faster auto focused streets - not central, mixed-use urban areas and it limits residential development on the ground floor. Proposed Live Work 1 District allows for a wide mix of uses and supports buildings at size and scale appropriate for where Downtown and the adjacent neighborhoods meet.
507	S	WESTNEDGE	CN-1	LW1	
515	S	WESTNEDGE	CN-1	LW1	
521	S	WESTNEDGE	CO	LW1	
527	S	WESTNEDGE	CO	LW1	
531	S	WESTNEDGE	CO	LW1	
535	S	WESTNEDGE	CO	LW1	
107		WILRAD	CC	LW1	
111		WILRAD	CC	LW1	
112		WILRAD	CC	LW1	

113		WILRAD	CC	LW1
114		WILRAD	CC	LW1
118		WILRAD	CC, RM-36	LW1

**CITY OF KALAMAZOO  
SITE PLAN REVIEW PROJECT LIST**

Year 2020	Project Address	Project Description	Applicant	Property Owner	Pre-App. Received	Pre-App. Meeting	Pre-App. Approval Date	Date Site Plan Rec.	Fee	Committee Meet. Date	Design Review	Site Plan Review Status	Final Site Plan Approval Date	Final Inspect.
2020.29	4501 Arboretum	Parking Lot Expansion	Hurley and Stewart	Parkway Flats Owner, LLC	5/18/2020	5/27/2020	5/27/2020	8/11/2020	\$250	9/2/2020	NA	Project Under Review		
2020.28	1617 Portage	Change of Use to a Grocery Store	Bosch Architecture	Sabhin Property Holdings, LLC	6/16/2020	6/24/2020	6/24/2020	8/10/2020	\$250	9/2/2020	NA	Project Under Review		
2020.27	1827 Reed	Cell Antenna Colocation	American Tower	Reed 1827, LLC	5/26/2020	6/17/2020	6/17/2020	7/26/2020	\$250	8/19/2020	NA	Site Plan Approved	8/31/2020	
2020.26	500 Golden Dr	New Independent Living Building	Byce & Associates	Golden Age Non-Profit Housing	3.19.2020	4.17.2020	4/17/2020	6/23/2020	\$500	7/22/2020	NFP	Project Under Review		
2020.25	1500 N Pitcher	Building Addition	Graphics Packaging	Graphics Packaging	6/9/2020	6/24/2020	6/24/2020	6/10/2020	\$500	8/5/2020	NA	Site Plan Approved	8/31/2020	
2020.24	519 W Willard	Cell Antenna Colocation	American Tower/ Verizon	Celco Partnership	6/2/2020	6/17/2020	6/17/2020	7/6/2020	\$250	7/29/2020	NA	Site Plan Approved	7/29/2020	
2020.23	1200 Bank St	Kalamazoo Farmers Market	Prein and Newhoff	City of Kalamazoo	5/5/2020	5/20/2020	5/20/2020	6/9/2020	\$500	7/8/2020	Southtown	Site Plan Approved	7/29/2020	
2020.22	251 Mills St	Cell Antenna Colocation	Cellusite	City of Kalamazoo	11/20/2019	12/4/2019	2/1/2020	5/12/2020	\$250	6/3/2020	NFP	Site Plan Approved	6/4/2020	
2020.21	616 E Vine	Change of Use to Gymnastics Studio	Ashley Griffith	TNT Kalamazoo Enterprises	3/16/2020	4/1/2020	4/1/2020	6/1/2020	\$250	6/24/2020	Southtown	Project Under Review		
2020.2	128 E Water	Port - A - Loo	Downtown Kalamazoo Partnership	Building Authority	3/12/2019	3/27/2019	5/6/2020	5/14/2020	\$500	6/10/2020	DDRC	Site Plan Approved		
2020.19	3142 E Kilgore	Youth Center	Youth for Christ	Colonial Acres Associates, LLC	12/16/2019	1/15/2020	1/15/2020	5/18/2020	\$250	6/10/2020	NA	Site Plan Approved		
2020.18	535 W Paterson	Splash Pad	City of Kalamazoo Parks & Recreation	City of Kalamazoo	2/12/2020	2/26/2020	2/26/2020	5/5/2020	\$500	5/27/2020	NA	Site Plan Approved	5/28/2020	
2020.17	1313 Edgemoor	Cell Antenna Colocation	Verizon Wireless	City of Kalamazoo	4/13/2020	4/22/2020	4/22/2020	5/1/2020	\$250	5/27/2020	NA	Site Plan Approved	6/4/2020	
2020.16	3825 Stadium	New Medical Marihuana Provisioning Center	Spartan Services, LLC	Spartan Servies, LLC	2/3/2020	2/19/2020	2/19/2020	4/20/2020	\$500	5/13/2020	NA	Project Under Review		
2020.15	1401 Harrison	Building expansion/ Piping Bridges	Graphics Packaging	Graphics Packaging	3/15/2020	3/25/2020	3/25/2020	4/20/2020	\$500	5/13/2020	NA	Site Plan Approved	5/27/2020	
2020.14	411 W Kalamazoo Ave	New Parking Lot	Kalamazoo County	Kalamazoo County	1/17/2020	2/5/2020	2/5/2020	3/17/2020	\$500	4/15/2020	DDRC	Site Plan Approved	7/29/2020	
2020.13	3433 Oakland Dr	New Office Building	Stocum Architacts	Edward Fletcher	12/18/2019	1/8/2020	1/8/2020	3/11/2020	\$500	4/1/2020	NA	Project Under Review		
2020.12	1120 S Burdick	Greenhouse Addition	Wightman	Vandersalms	10/16/2019	10/22/2019	1/22/2020	3/2/2020	\$500	3/25/2020	Southtown	Project Under Review		
2020.11	1430 Alamo	Reuse as a Drug Rehab Facility	Wightman	Capital Funding Group		1/22/2020	1/22/2020	3/2/2020	\$250	3/25/2020	NA	Project Under Review		
2020.1	530/522 S Rose	Senior Housing Building	Phil Sybert - PGJ, LLC	Troff Properties	1/29/2020	2/5/2020	2/5/2020	3/4/2020	\$500	3/25/2020	NA	Tentative Approval w/ Conditions		
2020.09	4425 Manchester	Medical Marijuana Testing Facility	Cadaret Architecture	Equity Partners I, LLC	2/4/2020	2/19/2020	2/19/2020	2/28/2020	\$250	3/25/2020	NA	Site Plan Approved	4/21/2020	
2020.08	820 John Street	Parking Lot	Bronson Hospital	Bronson Hospital	9/17/2019	10/2/2019	10/2/2019	2/10/2020	\$500	3/18/2020	Southtown	Site Plan Approved	6/18/2020	
2020.07	100 W Michigan Ave	Restauran Addition	Saroki Architecture	Greenleaf Hospitality Group	12/9/2019	12/18/2019	12/18/2019	2/21/2020	\$500	3/18/2020	DDRC	Project Under Review		
2020.06	3928 W Michigan Ave	Change of Use to Add Auto Sales	Josh Thompson, Land Auto Sales, LLC	Mark Bijani	1/27/2020	2/12/2020	2/12/2020	2/19/2020	\$250	3/18/2020	NA	Project Under Review		

