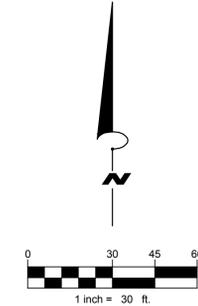
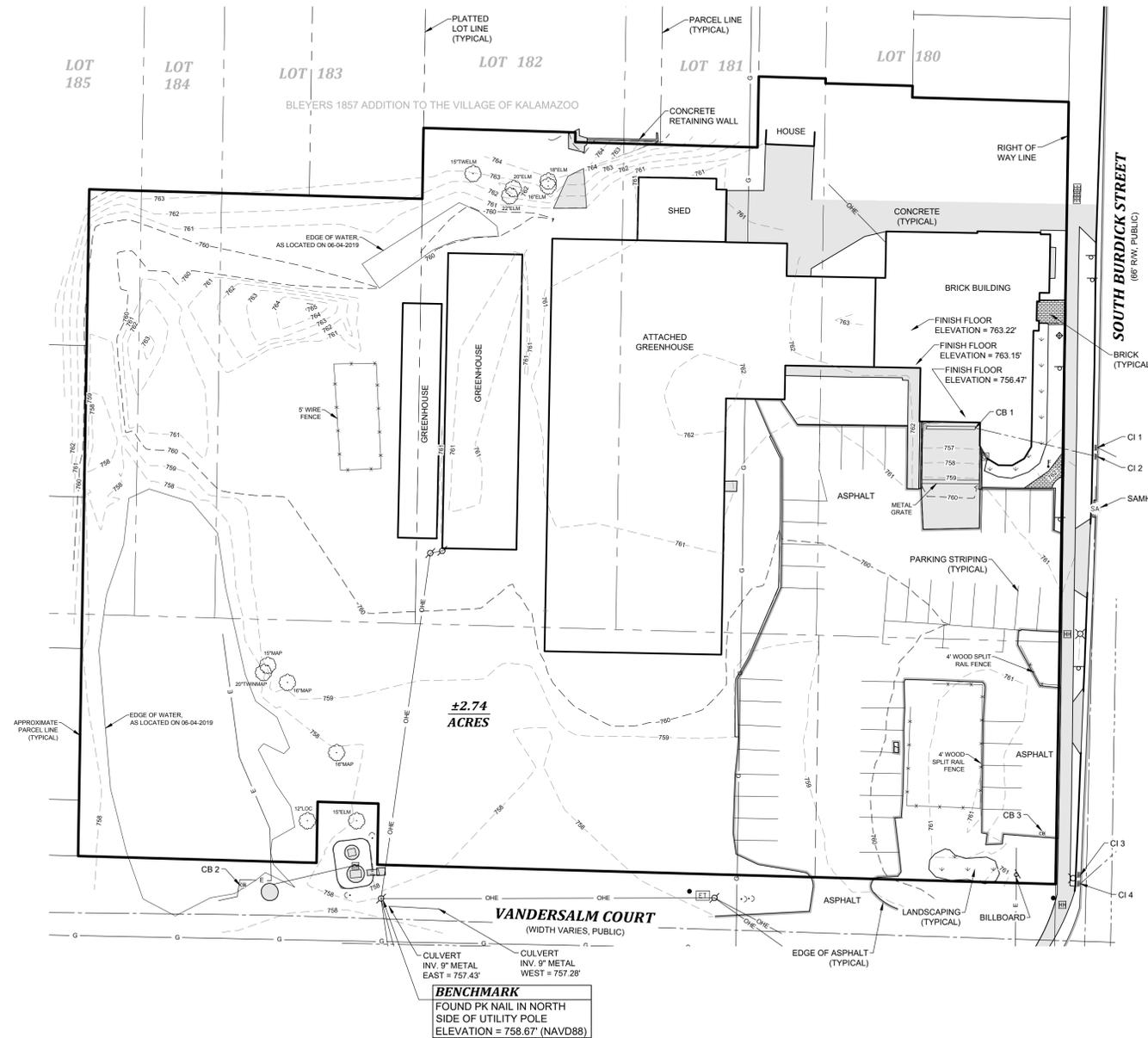


TOPOGRAPHIC SURVEY

IN THE NORTHWEST QUARTER OF SECTION 22, TOWNSHIP 2 SOUTH, RANGE 11 WEST, CITY OF KALAMAZOO, KALAMAZOO COUNTY, MICHIGAN

LEGAL DESCRIPTION PER KALAMAZOO GIS:

BLEYKER'S ADDITION; LOT 180, EXCLUDING THE WEST 35FT 4 INCHES (MEASURED 36.733FT) OF THE NORTH 70FT AND EXCLUDING THE EAST 63.667FT OF THE NORTH 40.75FT. ALSO LOT 181, EXCLUDING THE NORTH 68FT OF THE EAST 27.5FT & EXCLUDING THE NORTH 97FT OF THE WEST 55FT. ALSO LOT 182, EXCLUDING THE NORTH 97FT OF THE EAST 20FT & EXCLUDING THE NORTH 83FT OF THE WEST 62.5FT. ALSO LOT 183, EXCLUDING THE NORTH 122FT. ALSO LOT 184, EXCLUDING THE NORTH 122FT. ALSO BEGINNING AT THE SOUTHWEST CORNER OF LOT 180 OF BLEYKER'S ADDITION; THENCE WEST 302FT MORE-OR-LESS ALONG THE SOUTH LINE OF BLEYKER'S ADDITION TO A POINT IN THE SOUTH LINE OF LOT 185 BEING 28FT EAST OF THE EAST LINE OF NEWELL'S ADDITION; THENCE SOUTH 99FT PARALLEL TO AND 28FT EAST OF THE EAST LINE OF NEWELL'S ADDITION, TO A POINT ON THE NORTH LINE OF VANDERSALM COURT, A PRIVATE COURT, THENCE EAST 302FT MORE-OR-LESS ALONG THE NORTH LINE OF VANDERSALM COURT TO A POINT 99FT EAST OF THE WEST LINE OF SOUTH BURDICK STREET, SAID POINT ALSO BEING ON THE EXTENSION SOUTH OF THE WEST LINE OF LOT 180; THENCE NORTH 99FT PARALLEL TO THE WEST LINE OF SOUTH BURDICK STREET AND TO THE POINT OF BEGINNING, EXCLUDING BEGINNING AT A POINT 279FT WEST OF THE INTERSECTION OF THE WEST LINE OF SOUTH BURDICK STREET AND THE NORTH LINE OF VANDERSALM COURT; THENCE NORTHERLY 25FT PARALLEL WITH THE WEST LINE OF SOUTH BURDICK STREET; THENCE WESTERLY 25FT PARALLEL WITH THE NORTH LINE OF VANDERSALM COURT; THENCE SOUTHERLY 25FT PARALLEL WITH THE WEST LINE OF SOUTH BURDICK STREET TO THE NORTH LINE OF VANDERSALM COURT; THENCE EASTERLY 25FT ALONG THE NORTH LINE OF VANDERSALM COURT TO THE POINT OF BEGINNING FOR THIS EXCLUSION.



LEGEND

- ⊗ = UTILITY POLE
- ⊗ = LIGHT POLE
- ⊗ = ELECTRIC METER
- ⊗ = ELECTRIC TRANSFORMER
- ⊗ = GUY WIRE
- ⊗ = ELECTRICAL HAND HOLE
- ⊗ = CATCH BASIN
- ⊗ = CURB INLET
- ⊗ = SANITARY MANHOLE
- ⊗ = GAS METER
- ⊗ = SPRINKLER CONTROL BOX
- ⊗ = SIGN
- ⊗ = POST
- ⊗ = FLAG POLE
- ⊗ = DECIDUOUS TREE
- ELM = ELM
- LOC = LOCUST
- MAP = MAPLE
- TWELM = TWIN ELM
- TWMAP = TWIN MAPLE
- NAV88 = NORTH AMERICAN VERTICAL DATUM OF 1988
- OHE — = OVERHEAD UTILITY LINES
- E — = APPROXIMATE BURIED ELECTRIC LOCATION
- S — = APPROXIMATE SANITARY SEWER LOCATION
- SS — = APPROXIMATE STORM SEWER LOCATION
- W — = APPROXIMATE WATER LOCATION
- G — = APPROXIMATE BURIED GAS LOCATION

CURB INLET INFORMATION

CI 1
RIM = 762.30'
12" METAL EAST 759.00'

CI 2
RIM = 762.12'
12" METAL NORTH 758.62'
12" METAL WEST 758.62'
12" METAL EAST 758.52'

CI 3
RIM = 759.96'
BOTTOM = 758.11'
PIPES NOT VISIBLE DUE TO WATER IN STRUCTURE

CI 4
RIM = 761.49'
BOTTOM = 759.69'
PIPES NOT VISIBLE DUE TO WATER IN STRUCTURE.

SANITARY SEWER INFORMATION

SAMH 1
RIM = 761.49'
10" PVC NORTH 754.99'
10" PVC SOUTH 754.79'

CATCH BASIN INFORMATION

CB 1 (FRENCH DRAIN)
RIM = 756.75'
3" METAL EAST 754.95'

CB 2
RIM = 757.76'
BOTTOM = 758.11'
PIPES NOT VISIBLE DUE TO WATER IN STRUCTURE.

CB 3
RIM = 760.40'
BOTTOM = 756.40'
PIPES NOT VISIBLE DUE TO WATER IN STRUCTURE.

NOTES:

THIS IS NOT A BOUNDARY SURVEY.
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES

WIGHTMAN

BENTON HARBOR
2303 Pipestone Road
Benton Harbor, MI 49022
Phone: 269.927.0100

KALAMAZOO
433 East Ransom Street
Kalamazoo, MI 49007
Phone: 269.327.3532

ALLEGAN
1670 Lincoln Road
Allegan, MI 49010
Phone: 269.673.8465

www.gowightman.com

AARON D. SMITH
PS - 43068

PROJECT NAME:
SITE PLAN DEVELOPMENT
1120 SOUTH BURDICK STREET
KALAMAZOO, MI

VANDERSALM'S FLOWER SHOP
1120 SOUTH BURDICK STREET
KALAMAZOO, MI

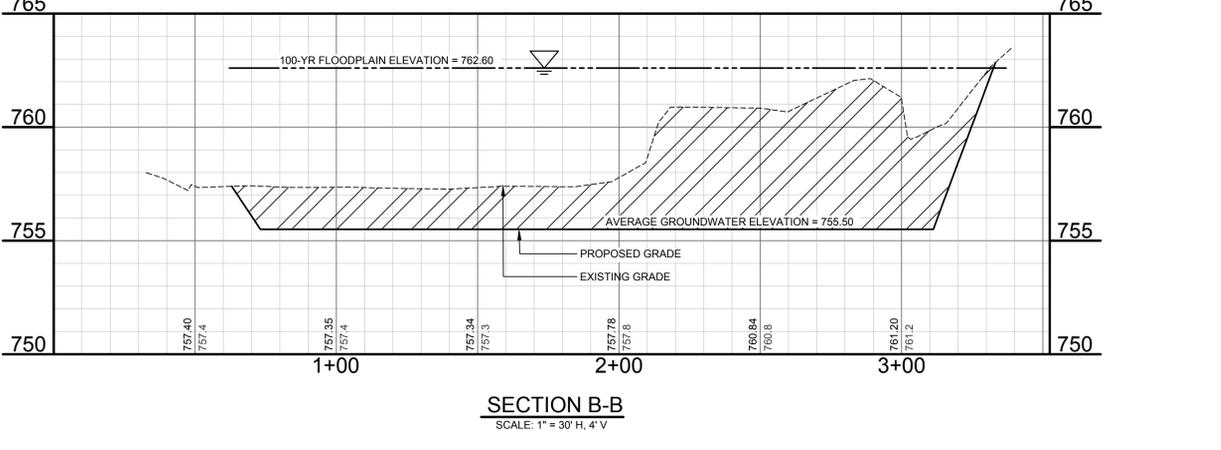
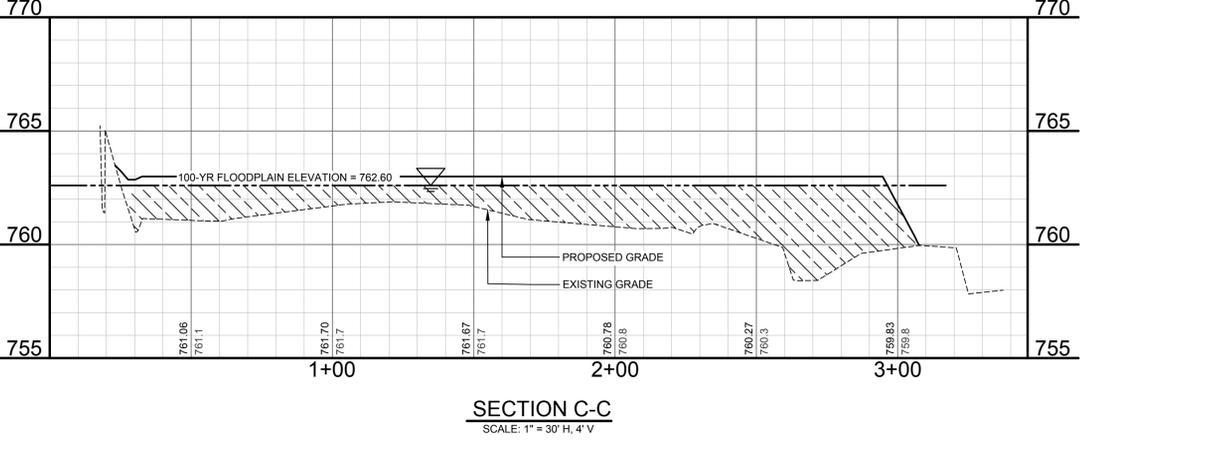
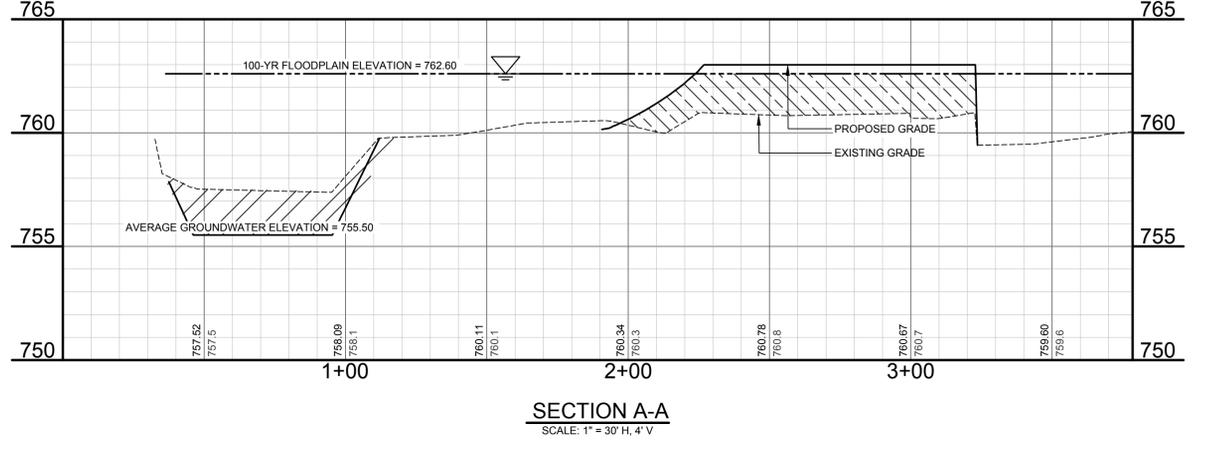
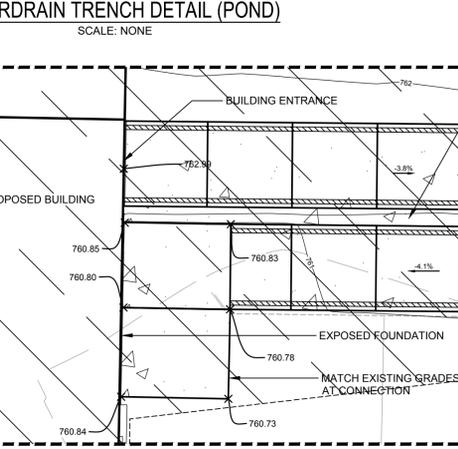
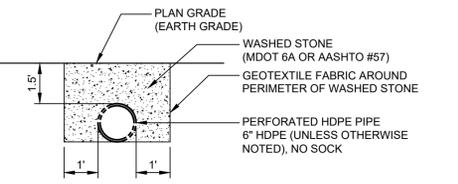
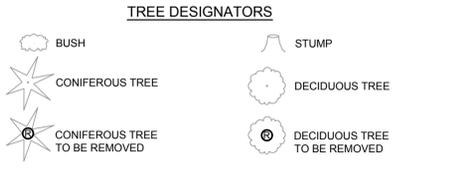
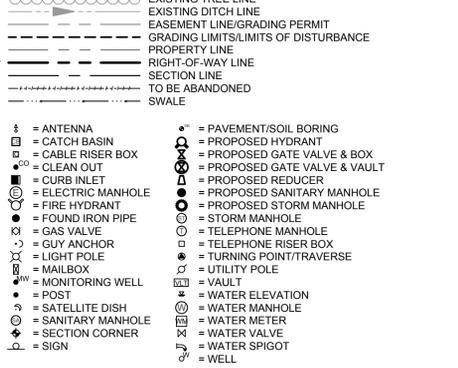
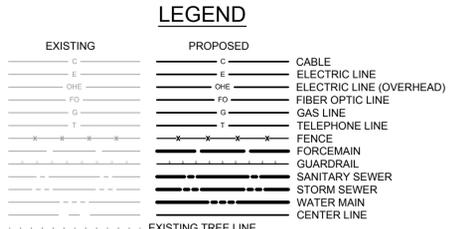
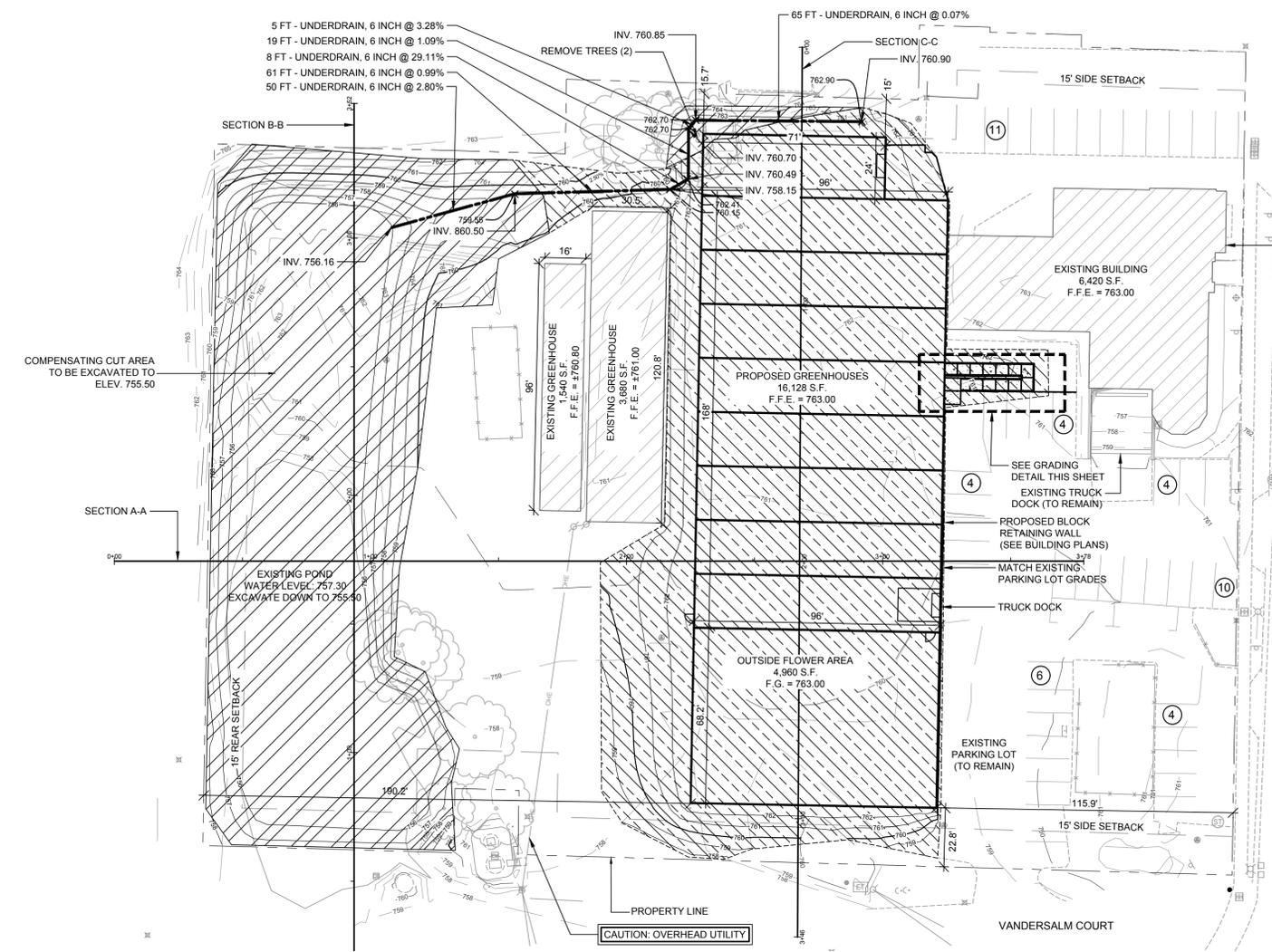
00 PRELIMINARY - NOT FOR CONSTRUCTION

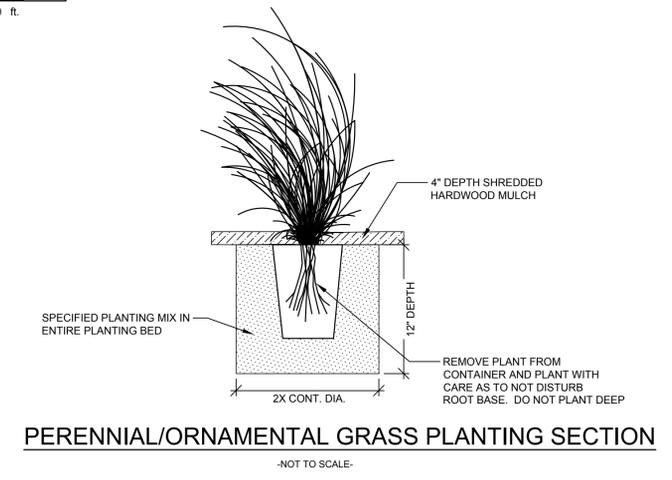
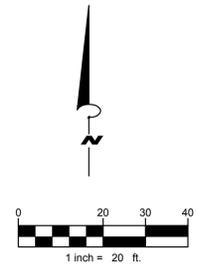
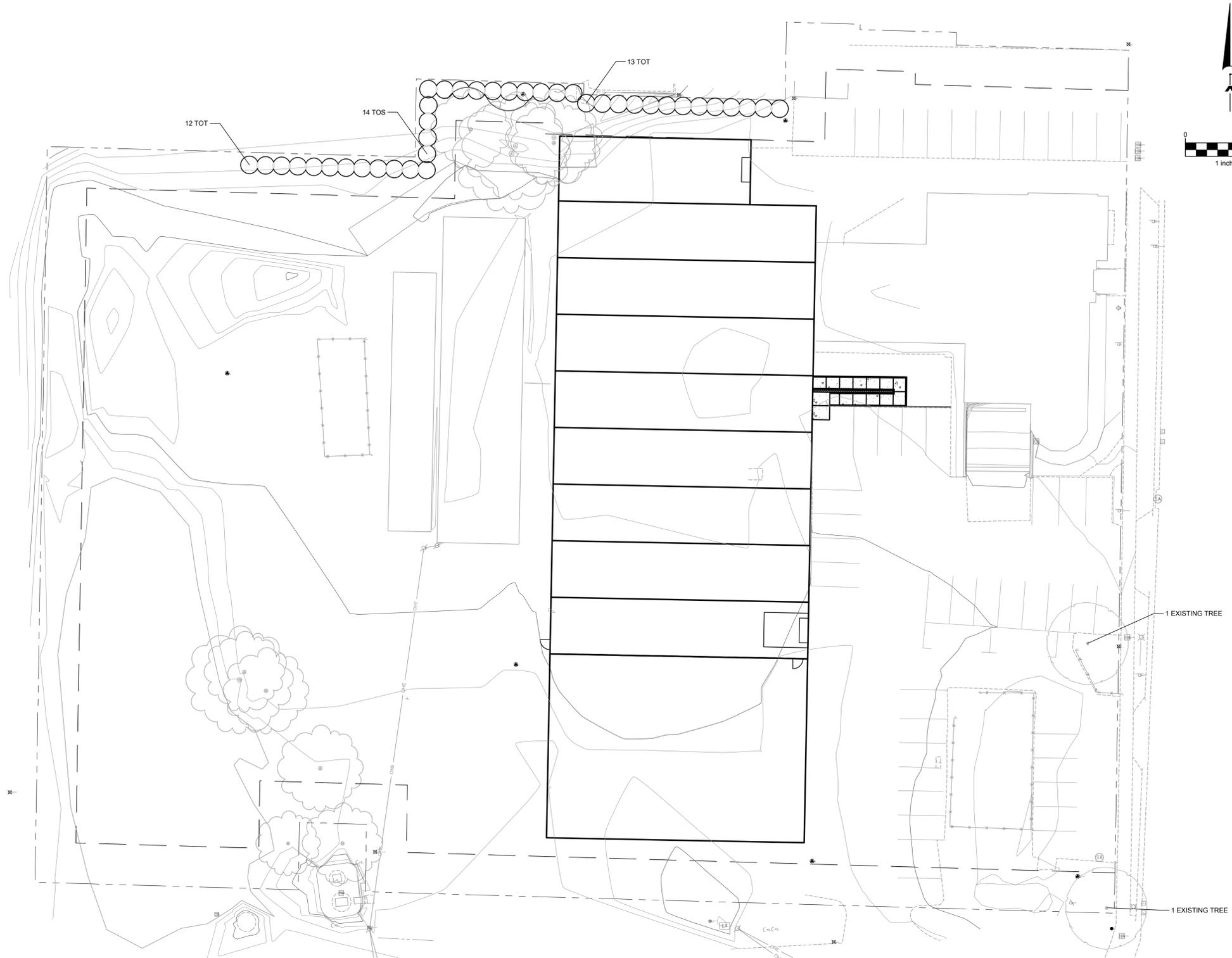
REVISIONS

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CHECKED BY: GDH

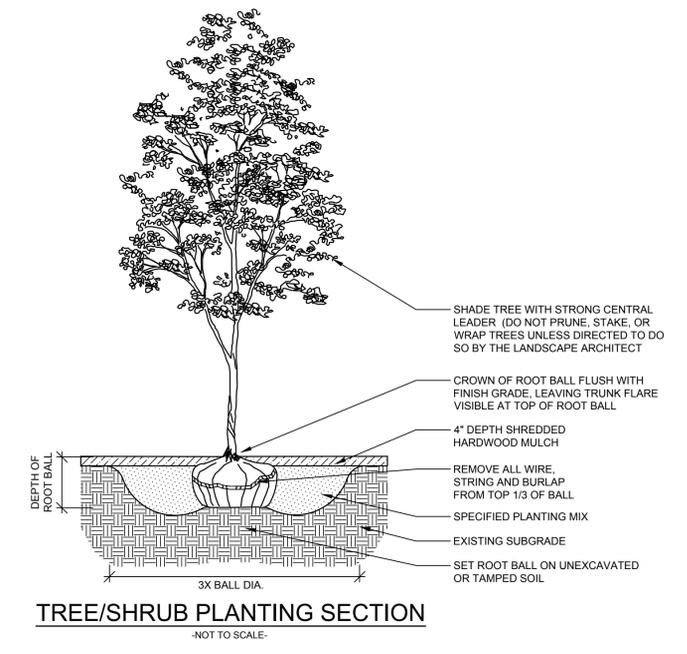
TOPOGRAPHIC SURVEY

JOB No. 184389
V001





PERENNIAL/ORNAMENTAL GRASS PLANTING SECTION
 -NOT TO SCALE-



TREE/SHRUB PLANTING SECTION
 -NOT TO SCALE-

PLANT LIST
 NOTE: QUANTITIES ON THE PLANT LIST ARE PROVIDED FOR INFORMATION ONLY. PLANT QUANTITIES UNDER THE CONTRACT ARE INDICATED ON THE PLANS. IN THE EVENT OF ANY DISCREPANCIES, THE CONTRACT SHALL BE BASED ON THE QUANTITIES SHOWN ON THE PLANS.

CODE	BOTANICAL NAME	COMMON NAME	QTY	HT	ROOT
Evergreen Trees					
TOS	THUJA OCCIDENTALIS 'SMARAGD'	AMERICAN ARBORVITAE	14	6'	B&B
TOT	THUJA OCCIDENTALIS 'TECHNY'	TECHNY AMERICAN ARBORVITAE	25	6'	B&B

LANDSCAPE REQUIREMENTS

REQUIRED	PROVIDED
K1a. SPECIAL PROVISIONS FOR EXISTING SITES	
EXPANSION OF 1% FLOOR AREA SHALL INCLUDE 4% OF LANDSCAPE REQUIRED	EXISTING SF: 21,700 EXPANSION SF: 2,300 INCREASE: 10.6%
	REQUIRED LANDSCAPE: 42.4%
E. REQUIRED LANDSCAPING FOR FRONT YARD SETBACKS	
1 TREE OR EVERGREEN PER 35 LINEAR FEET	= 3 TREES
1 SHRUB PER 25 LINEAR FEET	= 4 SHRUBS
	3 TREES IN BUFFER AREA REQUIREMENT H2a 2 TREES IN BUFFER AREA REQUIREMENT H2a
F. REQUIRED LANDSCAPING FOR BUILDING PERIMETERS	
1 SHRUB PER 5 LINEAR FEET	PROVIDED WITH PRESERVED VEGETATION
	PROVIDED WITH PRESERVED VEGETATION
G3. INTERIOR LANDSCAPING REQUIREMENTS	
5 PERCENT OF PARKING LOT AREA	PROVIDED WITH PRESERVED VEGETATION
1 TREE PER 300 SQUARE FEET LANDSCAPE	PROVIDED WITH PRESERVED VEGETATION
	PROVIDED WITH PRESERVED VEGETATION
H2a. BUFFER AREA SCREENING BETWEEN LAND USES	
10 WIDE SCREENING AREA	= 1 PER 6'
	39 EVERGREEN TREES

- NOTES**
- LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES CONTRACTOR MUST CALL 811 FOR UTILITY LOCATIONS THREE DAYS PRIOR TO DIGGING.
 - LANDSCAPE BEDS TO RECEIVE 4" SHREDDED HARDWOOD BARK. APPLY PRE-EMERGENT HERBICIDE TO ALL LANDSCAPE BEDS.
 - CONDUCT SOIL TEST TO VERIFY FERTILITY OF TOPSOIL. AMEND SOIL IF PH IS LESS THAN 5.0 OR GREATER THAN 7.5. MAKE OTHER ADJUSTMENTS AS SOIL ANALYSIS INDICATES
 - PLANTING MIX TO BE A 12" MINIMUM DEPTH IN ALL PLANTING BEDS.
 - PLANT TREES SO THAT TOP OF ROOTBALL IS EVEN WITH THE FINISHED GRADE. FOR BACKFILL AREAS, PLANT BALL UP TO 3" HIGH TO ALLOW FOR SETTLING. ALL TREE WRAP/TWINE ETC TO BE REMOVED FROM TREE IN ONE YEAR AS PART OF MAINTENANCE.
 - ALL AREAS OF THE SITE NOT DESIGNATED AS PAVED OR LANDSCAPE BED TO BE PLANTED IN TURFGRASS. REWORK ANY AREAS OF EXISTING TURFGRASS TO A FULL STAND. SEED MIXTURE SHALL BE 40% CREEPING RED FESCUE, 30% PERENNIAL RYEGRASS AND 30% 98/85 KENTUCKY BLUEGRASS OR APPROVED EQUAL. ALL LAWN AREAS TO RECEIVE 4" OF TOPSOIL.
 - ALL LANDSCAPE BEDS ADJACENT TO LAWN AREAS SHALL HAVE A SPADED EDGE.
 - LANDSCAPE ARCHITECT TO REVIEW ALL TREES EITHER IN THE NURSERIES OR VIA PHOTOGRAPHS OF EACH PLANT. CONTRACTOR TO COORDINATE.
 - CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IF AREAS OF POOR DRAINAGE OR OTHER UNUSUAL SUBSURFACE CONDITIONS ARE ENCOUNTERED DURING EXCAVATION FOR PLANTING PITS.

02/10/2019 TWC
 SITE PLAN APPROVAL
 01/09/24/2019 TWC
 EGLE SUBMITTAL

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 DATE: FEBRUARY, 2020
 SCALE:

LANDSCAPE PLAN