

# Civil Engineering Set

# PARKWAY FLATS PARKING ADDITION

Arboretum Parkway  
 City of Kalamazoo  
 Kalamazoo County, MI  
 8/10/20

8.11.2020

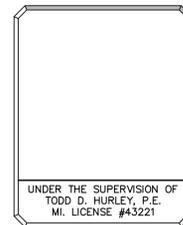
**OWNER**

AMERICAN KENDALL PROPERTY, LLC  
 3600 WOODVIEW TRACE, SUITE 130,  
 INDIANAPOLIS, IN 46268  
 P: (317)872-4600 F:(317)8724840

**PLANS PREPARED BY:**



hurley & stewart, llc  
 2800 south 11th street  
 kalamazoo, michigan 49009  
 269.552.4960 fax 552.4961  
 www.hurleystewart.com



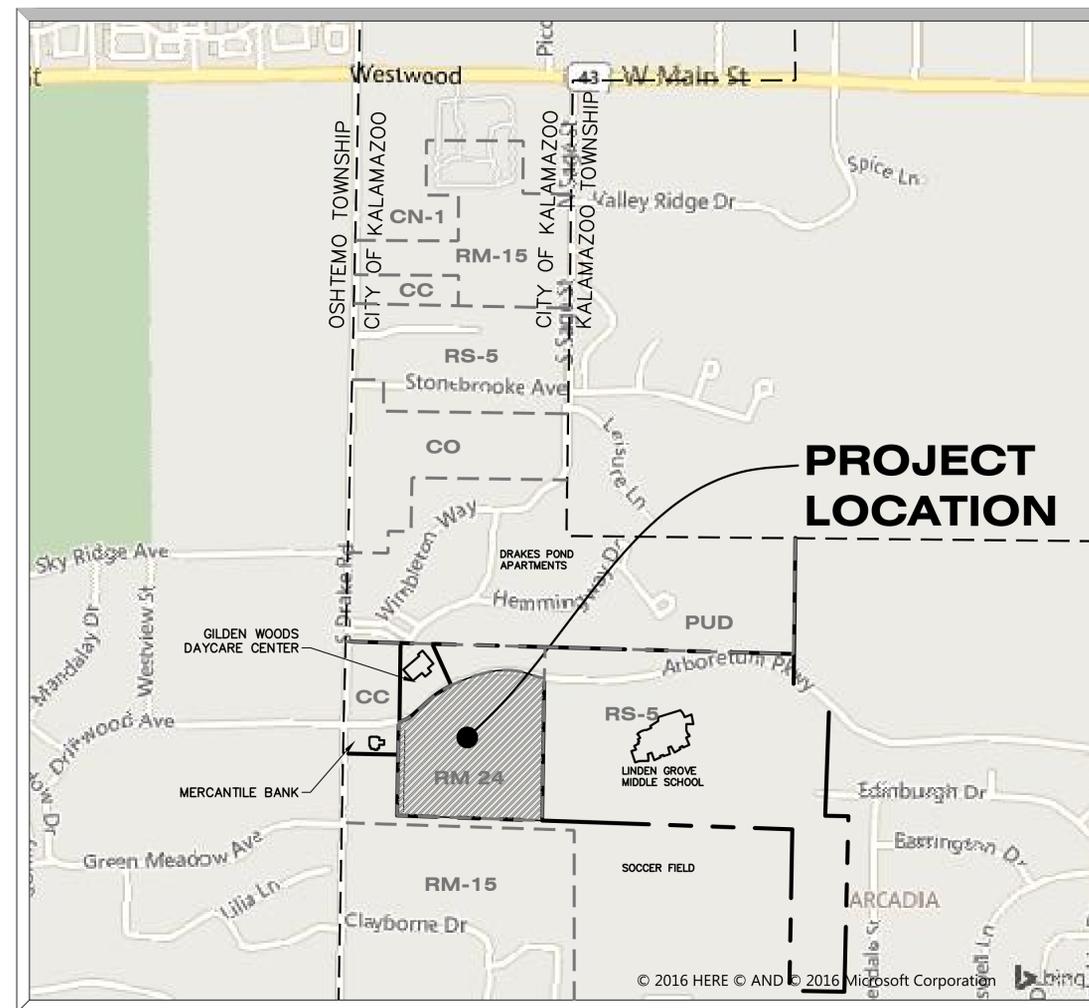
**UTILITY CONTACTS:**

CONSUMERS ENERGY CO. ELECTRIC/GAS  
 JESSE BURNS  
 2500 E. CORK STREET  
 KALAMAZOO, MI 49001  
 269.337.2311

CITY OF KALAMAZOO WATER/SANITARY  
 DEPARTMENT OF PUBLIC SERVICES  
 ENGINEERING DIVISION  
 STEVE SKALSKI/RYAN STOUGHTON  
 KALAMAZOO, MI 49001  
 269.337.8454/8736

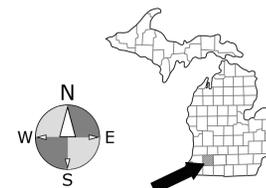
**DRAWING INDEX**

SHT #	DESCRIPTION
C-0	TITLE SHEET
C-1	EXISTING CONDITIONS AND DEMOLITION
C-2	LAYOUT PLAN
C-3	SITE GRADING AND SESC



**SITE LOCATION MAP**

SCALE: 1" = 500'



EXISTING TOPOGRAPHY PROVIDED BY LANDTECH LAND SURVEYING. ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA.

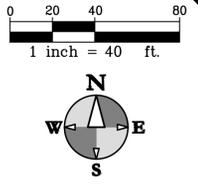
ISSUED FOR:  
 PARKING ADDITION  
 8/10/20

**REMOVAL NOTES**

1. REVIEW ALL THE REMOVALS AND PROTECTION WITH OWNER PRIOR TO COMMENCING CONSTRUCTION. INSTALL TEMPORARY SNOW FENCE AROUND ALL TREES REQUIRING PROTECTION. SNOW FENCE SHALL BE PLACED AT EDGE OF DRIP LINE.
2. SAWCUT ALL CURB, SIDEWALK, AND PAVEMENTS PRIOR TO REMOVAL. ADDITIONAL SAWCUT MAY BE NECESSARY PRIOR TO REPLACEMENT TO ENSURE CLEAN EDGE.
3. ALL REMOVALS SHALL BE TAKEN OFF-SITE AND DISPOSED OF. NO STOCKPILE OR BURNING OF DEBRIS IS ALLOWED.
4. COMPLY WITH ALL ASPECTS OF THE SOIL EROSION CONTROL PERMIT AS ISSUED BY KALAMAZOO COUNTY. ALL TEMPORARY CONTROL MEASURES SHALL BE IN PLACE PRIOR TO COMMENCING CONSTRUCTION.
5. ALL REMOVALS SHALL BE TO THE LIMITS INDICATED ABOVE UNLESS OTHERWISE DIRECTED BY THE ENGINEER. UNAUTHORIZED REMOVALS AND SUBSEQUENT REPLACEMENT SHALL BE AT THE CONTRACTOR'S EXPENSE.
6. REMOVE, STORE, AND RESET ANY EXISTING SIGNS AS DIRECTED BY THE ENGINEER/OWNER.
7. REMOVE ALL TREES TO THE CLEARING LIMITS AS SHOWN. REMOVE ALL EXISTING TREES, STUMPS AND BRUSH FROM THE SITE AS NECESSARY TO CONSTRUCT THE IMPROVEMENTS.
8. REVIEW CLEARING LIMITS WITH OWNER PRIOR TO COMMENCING WORK. PRESERVE TREES WHERE INDICATED.
9. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
10. FOR PROTECTION OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL CALL 1-800-482-7171 A MINIMUM OF THREE FULL WORKING DAYS EXCLUDING SATURDAYS, SUNDAYS AND HOLIDAYS PRIOR TO BEGINNING EACH EXCAVATION IN AREAS WHERE PUBLIC UTILITIES HAVE NOT BEEN PREVIOUSLY LOCATED. MEMBERS WILL THUS BE ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING OWNERS WHO MAY NOT BE A PART OF THE "MISS DIG" ALERT SYSTEM.
11. ALL TREES SHOWN FOR REMOVAL ARE LESS THAN 8" DIAMETER.

**REMOVALS LEGEND**

- CURB REMOVAL
- LIMITS OF CONSTRUCTION



DRAWING LOCATION: H:\E-3070 (Arboretum Road Apartments)\FINAL DRAWINGS\Additional parking\C-1 - Existing Conditions and Demolitions.dwg LAST SAVED BY: JUTVLUST ON 8/10/2020



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Job No. 16-037D - P.M.-ASP - Drt: MM -A/C: 8/10/20	ISSUED FOR/REVISIONS:
1 PARKING ADDITION	9/10/20
2	
3	
4	

#####  
**PARKWAY FLATS PARKING ADDITION**  
**AMERICAN KENDALL PROPERTY, LLC**  
 Sheet Title: #####  
 Project: #####  
 Client: #####

8/10/20  
 Sheet  
**C-1**

**ZONING REQUIREMENTS**

**ZONING**  
THE SITE IS ZONED RM 24 (MULTI-UNIT RESIDENTIAL) SETBACKS:

**PROPOSED USE**  
MULTI-UNIT RESIDENTIAL CONSTRUCTION TYPE II

**PARKING**  
1.5 SPACES PER FLAT 241 UNIT X 1.5 = 362 SPACES

EXISTING TOTAL PARKING PROVIDED = 475 SPACES  
EXISTING SURFACE PARKING = 316 SPACES  
EXISTING GARAGE PARKING = 159 SPACES  
TOTAL PROPOSED ADDITIONAL PARKING = 45  
BARRIER FREE SPACES REQUIRED = 9  
BARRIER FREE SPACES = 9 PROVIDED  
ALL BARRIER FREE SPACES DESIGNED PER ADA REQUIREMENTS

TYPICAL PARKING SPACE DIMENSION = 9'x18' PARALLEL SPACES 10'x24'

BIKE PARKING 1/2 SPACE PER FLAT = 121 SPACES  
6 BIKE PARKING SPACES PROVIDED AT THE CLUBHOUSE AND LOCKED INTERIOR BIKE PARKING WITHIN THE BUILDINGS.

**BUILDING INFORMATION**

MAX BUILDING HEIGHT = 48'

**INTERIOR LANDSCAPING**

LANDSCAPING AREA REQUIRED FOR LOT WITH MORE THAN 30 SPACES 5% OF LOT  
23437 SF PARKING LOT X .05 = 1171 SFT  
LANDSCAPING AREA PROVIDED = 1,025 SFT

**OPEN SPACE REQUIREMENTS**

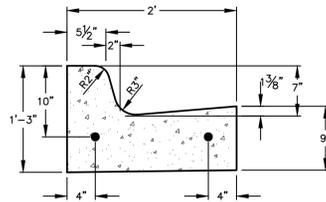
TOTAL SITE	556,811 SF	
EXISTING BUILDING AREA	111,463 SF	20.0%
EXISTING PARKING/ROADS	192,032 SF	34.5%
PROPOSED PARKING	8,266 SF	1.48%
EXISTING OPEN SPACE	253,316 SF	45.5%
PROPOSED OPEN SPACE	245,050 SF	44.0%

**TRAFFIC**

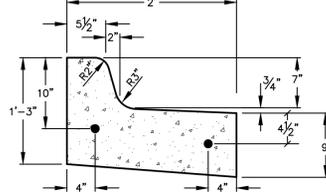
TOTAL VEHICLE TRIPS PER DAY ESTIMATED AT 3 TRIPS PER UNIT  
= 3 X 241 = 683 TRIPS

**GENERAL NOTES**

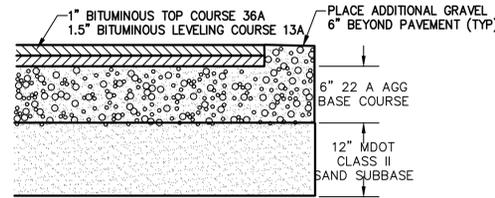
- CONTRACTOR SHALL SALVAGE AND RESPREAD EXISTING TOPSOIL.
- EXCEPT WHERE OTHERWISE INDICATED ON THESE PLANS, ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, 2012 EDITION, AND THE KALAMAZOO COUNTY ROAD COMMISSION REQUIREMENTS AND SPECIFICATIONS FOR PROPOSED PLATS, SANITARY SEWER & WATER MAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF KALAMAZOO REQUIREMENTS.
- ALL WORK SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL LAWS, RULES AND REGULATIONS IN FORCE AT THE TIME OF CONSTRUCTION.
- FOR PROTECTION OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL CALL 1-800-482-7171 A MINIMUM OF THREE FULL WORKING DAYS EXCLUDING SATURDAYS, SUNDAYS AND HOLIDAYS PRIOR TO BEGINNING EACH EXCAVATION IN AREAS WHERE PUBLIC UTILITIES HAVE NOT BEEN PREVIOUSLY LOCATED. MEMBERS WILL THUS BE ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING OWNERS WHO MAY NOT BE A PART OF THE "MISS DIG" ALERT SYSTEM.
- ANY BITUMINOUS OR CONCRETE PAVEMENT, SANITARY SEWER, SANITARY SEWER SERVICE LEADS, OR STORM SEWER, WHICH IS DAMAGED BY THE CONTRACTOR DURING HIS OPERATIONS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AND AT THE CONTRACTOR'S EXPENSE.
- IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
- ALL EXTERIOR CONCRETE SHALL BE MDT GRADE 355 (3500PSI), AIR ENTRAINED, LIMESTONE AGGREGATE, BROOM FINISHED, CURING SEAL.
- SITE CONTRACTOR SHALL REMOVE AND STOCKPILE ALL TOPSOIL AND BLACK ORGANIC SOILS ON-SITE TO BE USED IN THE RE-GRADING OF LANDSCAPE AREAS. THIS MATERIAL IS NOT TO BE USED FOR FILL OR PAVEMENT SUBBASE. REMOVAL OF ANY EXCESS SOIL OFF-SITE SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE ALL EXISTING TREES, STUMPS AND BRUSH FROM THE SITE AS NECESSARY TO CONSTRUCT THE IMPROVEMENTS.
- ALL GRANULAR FILL UNDER THE INFLUENCE OF THE ROADWAY AND PROCESSED ROAD GRAVEL SHALL BE COMPACTED TO 95% MODIFIED PROCTOR DENSITY.
- ALL COMPACTION SHALL BE ACCOMPLISHED BY PLACING THE FILL IN 12" LOOSE LIFTS AND MECHANICALLY COMPACTING EACH LIFT TO AT LEAST THE SPECIFIED MINIMUM DRY DENSITY. FIELD DENSITY TESTS SHOULD BE PERFORMED ON EACH LIFT AS NECESSARY TO ENSURE THE ADEQUATE MOISTURE CONDITIONS AND COMPACTION ARE BEING ACHIEVED.
- REMOVE AND REPLACE WITH CONTROLLED FILL ANY AREAS THAT HAVE BEEN SOFTENED BY RAINS, FREEZING, CONSTRUCTION EQUIPMENT, ETC.
- ALL SIGNING AND STRIPING TO BE IN ACCORDANCE WITH THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. REGULATORY SIGNAGE (IF SPECIFIED) SHALL BE PER THE MDT.
- THE CONTRACTOR SHALL INSTALL PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT AS REQUIRED.
- ALL UNSUITABLE SUBBASE MATERIAL MUST BE REMOVED TO A MINIMUM DEPTH OF 24" BELOW THE TOP OF THE SUBGRADE OR AS DETERMINED BY THE COUNTY ENGINEER.
- ALL DIMENSIONS SHOWN ARE TO THE EDGE OF METAL.
- PROVIDE CURB CUTS/RAMPS AT ALL BARRIER FREE ACCESS POINTS.
- PAVEMENT MARKINGS AND SIGNAGE SHALL CONFORM TO THE CURRENT MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND MICHIGAN BARRIER FREE CODE.
- MATCH EXISTING CURB & GUTTER SECTIONS WHEN CONNECTING TO THEM. CONDITIONS VARY THROUGHOUT PROJECT.



**"C4" CURB DETAIL**  
NOT TO SCALE



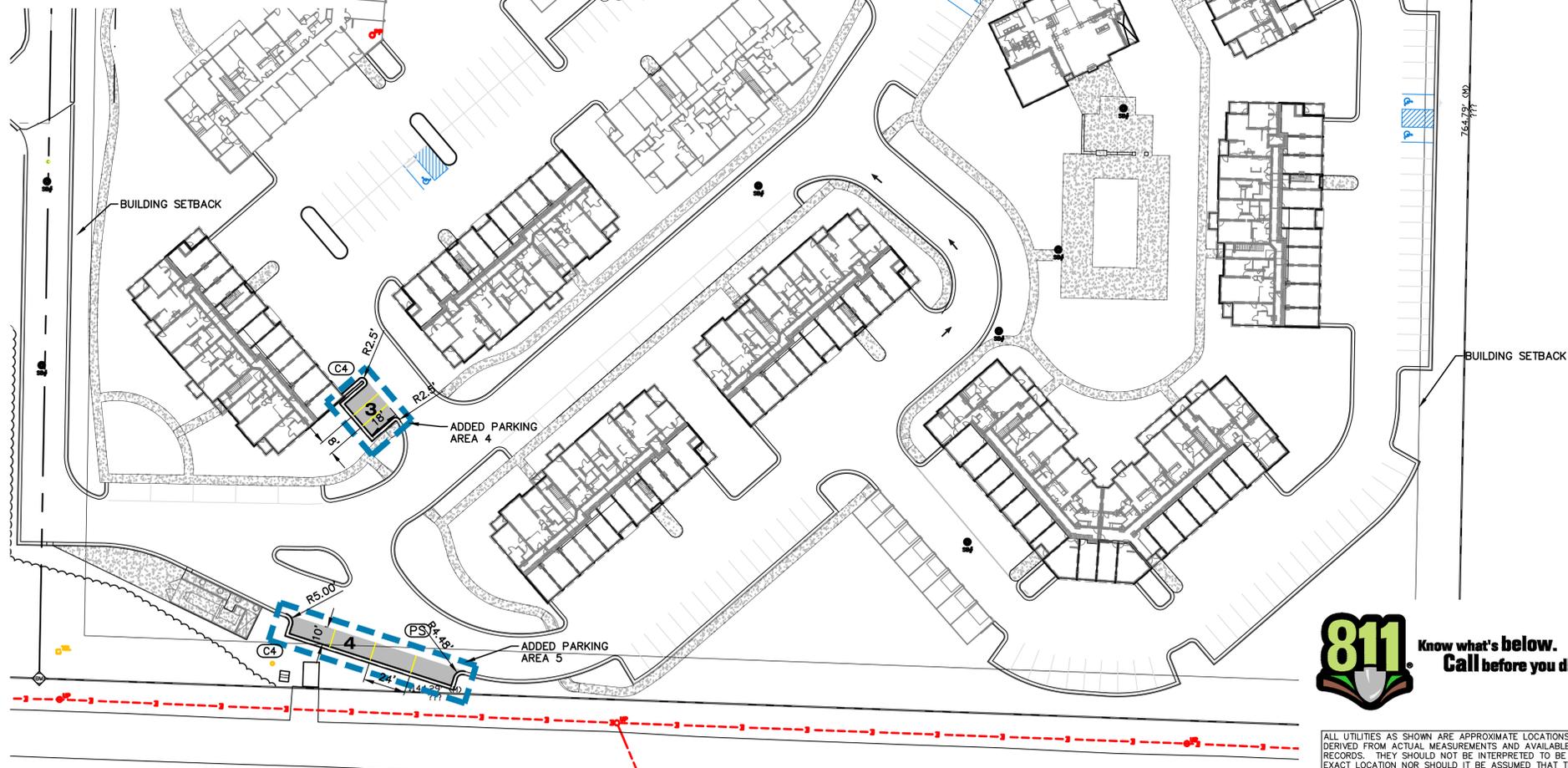
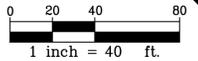
**"C4" INVERTED CURB DETAIL**  
NOT TO SCALE



**LIGHT DUTY PAVEMENT SECTION**  
NOT TO SCALE

- LEGEND**
- LIGHT DUTY HMA PAVEMENT
  - HEAVY DUTY HMA PAVEMENT
  - CONCRETE SIDEWALK
  - CONCRETE CURB AND GUTTER TYPE VARIES

- SITE LEGEND**
- HMA HMA PAVEMENT
  - C4 C4 CURB AND GUTTER
  - IC INTEGRAL CURB WALK
  - PS PARKING STRIPING



8.11.2020



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ISSUED FOR PREVISIONS: 8/10/20

1	PARKING ADDITION
2	
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**LAYOUT PLAN**  
**PARKWAY FLATS PARKING ADDITION**  
**AMERICAN KENDALL PROPERTY, LLC**

Sheet Title:  
Project:  
Client:  
8/10/20  
Sheet  
**C-2**

**GRADING NOTES**

- MATCH EXISTING GRADES AROUND PERIMETER WITH SLOPES AS SHOWN. MATCH AT 1 ON 3 IF NOT LABELED.
- THE CONTRACTOR SHALL INSTALL PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT AS REQUIRED.
- ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT GRADES AT EDGE OF METAL (EOM) UNLESS OTHERWISE NOTED.
- ALL SOIL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO MASS GRADING.
- ALL EXCAVATION SHALL BE IN ACCORDANCE WITH THE TECHNICAL SPECIFICATIONS AND GEOTECHNICAL REPORT.
- ALL EXISTING ELEVATIONS ARE TO BE VERIFIED AND ACCEPTED AS SHOWN PRIOR TO COMMENCEMENT OF WORK.
- REMOVE AND REPLACE WITH CONTROLLED FILL ANY AREAS THAT HAVE BEEN SOFTENED BY RAINS, FREEZING, CONSTRUCTION EQUIPMENT, ETC.
- ALL REQUIRED FILL FOR THIS PROJECT SHALL BE SELECTED EXCAVATED MATERIAL FROM THE SITE APPROVED BY THE ENGINEER OR CLASS II GRANULAR MATERIAL FROM BORROW AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- ALL GRANULAR FILL UNDER THE INFLUENCE OF THE ROADWAY AND PROCESSED ROAD GRAVEL SHALL BE COMPACTED TO 95% MODIFIED PROCTOR DENSITY.
- ALL COMPACTION SHALL BE ACCOMPLISHED BY PLACING THE FILL IN 12" LOOSE LIFTS AND MECHANICALLY COMPACTING EACH LIFT TO AT LEAST THE SPECIFIED MINIMUM DRY DENSITY. FIELD DENSITY TESTS SHOULD BE PERFORMED ON EACH LIFT AS NECESSARY TO ENSURE THAT ADEQUATE MOISTURE CONDITIONS AND COMPACTION ARE BEING ACHIEVED.
- SITE CONTRACTOR SHALL REMOVE AND STOCKPILE ALL TOPSOIL AND BLACK ORGANIC SOILS ON-SITE TO BE USED IN THE REGRADING OF LANDSCAPE AREAS. THIS MATERIAL IS NOT TO BE USED FOR FILL OR PAVEMENT SUBBASE. REMOVAL OF ANY EXCESS SOIL OFF-SITE SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- CONTRACTOR RESPONSIBLE FOR VERIFYING EARTHWORK CALCULATIONS PRIOR TO COMMENCING WORK. NO EXTRA EARTHWORK WILL BE PAID FOR ONCE EARTHWORK HAS BEGUN. ANY DISCREPANCIES WITH THE EARTHWORK CALCULATIONS SHALL BE REVIEWED WITH THE OWNER AND ENGINEER PRIOR TO CONSTRUCTION.
- IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.

**SESC NOTES**

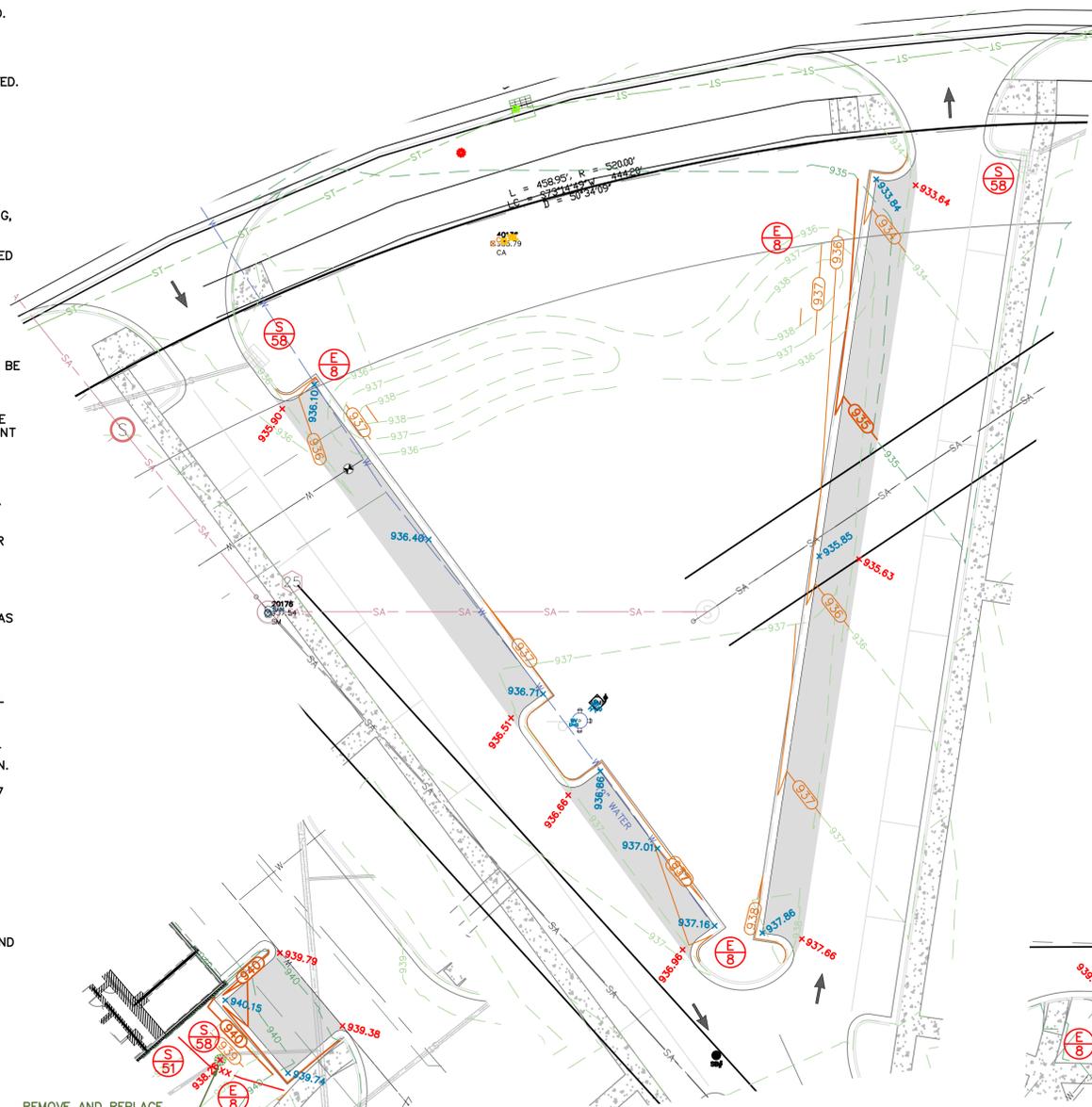
- AVOID UNNECESSARY DISTURBING OR REMOVING EXISTING VEGETATED TOPSOIL OR EARTH COVER. THESE AREAS ACT AS SEDIMENT FILTERS.
- CONTRACTOR SHALL APPLY FOR AND COMPLY WITH THE SOIL EROSION CONTROL PERMIT FROM THE CITY OF KALAMAZOO AT ALL TIMES.
- ALL TEMPORARY SOIL EROSION PROTECTION SHALL REMAIN IN PLACE UNTIL REMOVAL IS REQUIRED FOR FINAL CLEANUP AND APPROVAL.
- CONTRACTOR TO PROVIDE STRAW BALE DAMS OR SILT FENCES ACROSS ALL DITCHES, SWALES, AND ROUGH CUT ROADS WHICH EXIST FROM THE SITE TO ELIMINATE SEDIMENT RUNOFF. PROVIDE STRAW BALE DAMS, SILT FENCES OR INSTALL FILTER FABRIC UNDER INLETS AT ALL STORM SEWER STRUCTURES DURING CONSTRUCTION.
- ALL SOIL PILES SHALL BE SURROUNDED BY SILT FENCE IF ALLOWED TO REMAIN IN PLACE FOR MORE THAN 7 DAYS. TOPSOIL PILES SHALL BE SEEDED IF ALLOWED TO REMAIN IN PLACE FOR MORE THAN 20 DAYS. SPOIL PILES SHALL NOT BE PLACED WITHIN 50' FROM ANY TEMPORARY OR PERMANENT WATERCOURSE.
- THE CONTRACTOR SHALL COMPLY WITH THE WEEKLY RECOMMENDATIONS OF THE CERTIFIED STORM WATER OPERATOR.
- ALL INLETS IN PAVED AREAS SHALL HAVE SILT SAVER SEDIMENTATION REDUCERS DURING CONSTRUCTION.
- CLEAN ADJACENT ROADWAYS WHEN NECESSARY.
- FINAL LANDSCAPING SHALL CONSIST OF MIN. 3" TOPSOIL, 200#/ACRE CLASS A SEEDING, 2T/ACRE MULCH AND 240#/ ACRE CHEMICAL FERTILIZER NUTRIENT.
- COORDINATE TOPSOIL STOCKPILE WITH OWNER.
- PLACE TRACK MATS AT THE ENTRANCE TO REDUCE MATERIAL TRACKED OFF SITE.
- COORDINATE THE CLEARING LIMITS WITH THE OWNER PRIOR TO COMMENCING WORK.
- IT IS THE INTENT FOR THE EARTHWORK TO BALANCE AND THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THAT THE EARTHWORK SHOWN BALANCES PRIOR TO BEGINNING WORK.

**SOIL EROSION AND SEDIMENTATION CONTROL MEASURES**

E8	PERMANENT SEEDING		Stabilization method utilized on sites where earth change has been completed (final grading attained).
S51	SILT FENCE		Use adjacent to critical areas, to prevent sediment laden sheet flow from entering these areas.
S53	STABILIZED CONSTRUCTION ACCESS		Used at every point where construction traffic enters or leaves a construction site.
S58	INLET PROTECTION FABRIC DROP		Use at stormwater inlets, especially at construction sites.

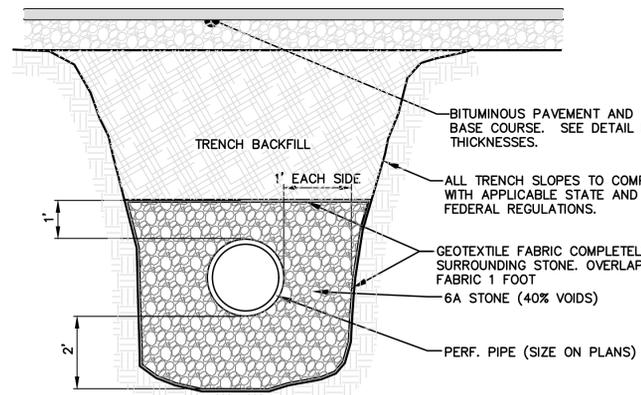
**GRADING PLAN LEGEND**

- PROPOSED CONTOUR 5-FT
- PROPOSED CONTOUR NORMAL
- EXISTING CONTOUR 5-FT
- EXISTING CONTOUR NORMAL
- PROPOSED SPOT GRADE
- PROPOSED SPOT GRADES: TOP AND BOTTOM OF CURB/WALL
- EXISTING SPOT GRADE
- PROPOSED SURFACE SLOPE
- PROPOSED SILT FENCE
- PROPOSED GRADED SWALE
- SOIL EROSION MEASURE
- SEDIMENT CONTROL MEASURE



REMOVE AND REPLACE EXISTING NYLOPLAST DRAIN. PROPOSED RIM = 938.26 INV. 8" SW = 934.17 INV. 8" NE = 934.17

**PARKING AREA 4**  
SCALE: 1" = 20'

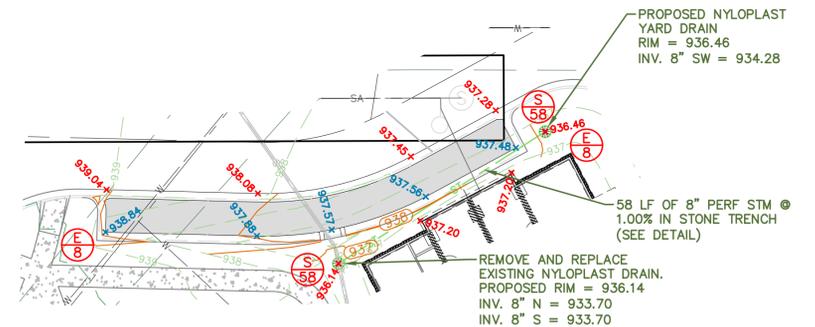


**STONE TRENCH DETAIL**  
NO SCALE

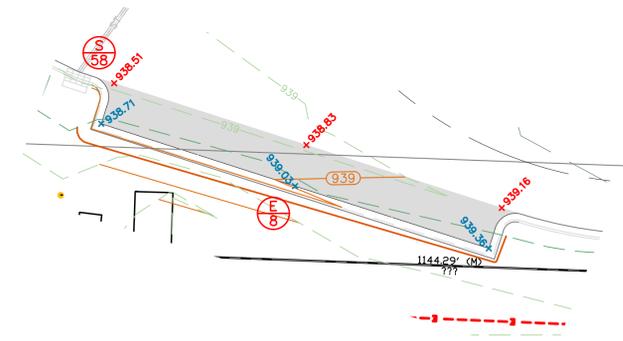
VOLUMES PROVIDED BELOW ASSUME 40% VOIDS IN STONE

PIPE SIZE	VOLUME /LFT
8"	4.12 CFT
12"	5.27 CFT
18"	7.36 CFT
24"	9.87 CFT
36"	16.24 CFT

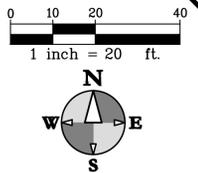
**PARKING AREA 2**  
SCALE: 1" = 20'



**PARKING AREA 3**  
SCALE: 1" = 20'



**PARKING AREA 5**  
SCALE: 1" = 20'



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**SITE GRADING AND SESC**  
**PARKWAY FLATS PARKING ADDITION**  
**AMERICAN KENDALL PROPERTY, LLC**

Sheet Title:  
Project:  
Client:

8/10/20

Sheet

**C-3**

**811** Know what's below. Call before you dig.

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