

BOUNDARY AND TOPOGRAPHIC SURVEY
 IN THE SOUTHEAST QUARTER OF SECTION 14, TOWNSHIP 2 SOUTH, RANGE 11 WEST, CITY OF KALAMAZOO, KALAMAZOO COUNTY, MICHIGAN

LEGAL DESCRIPTION AS PROVIDED:

CITY OF KALAMAZOO, COUNTY OF KALAMAZOO

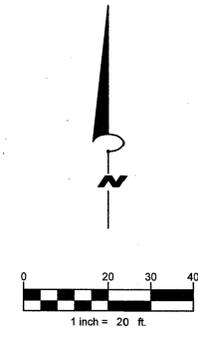
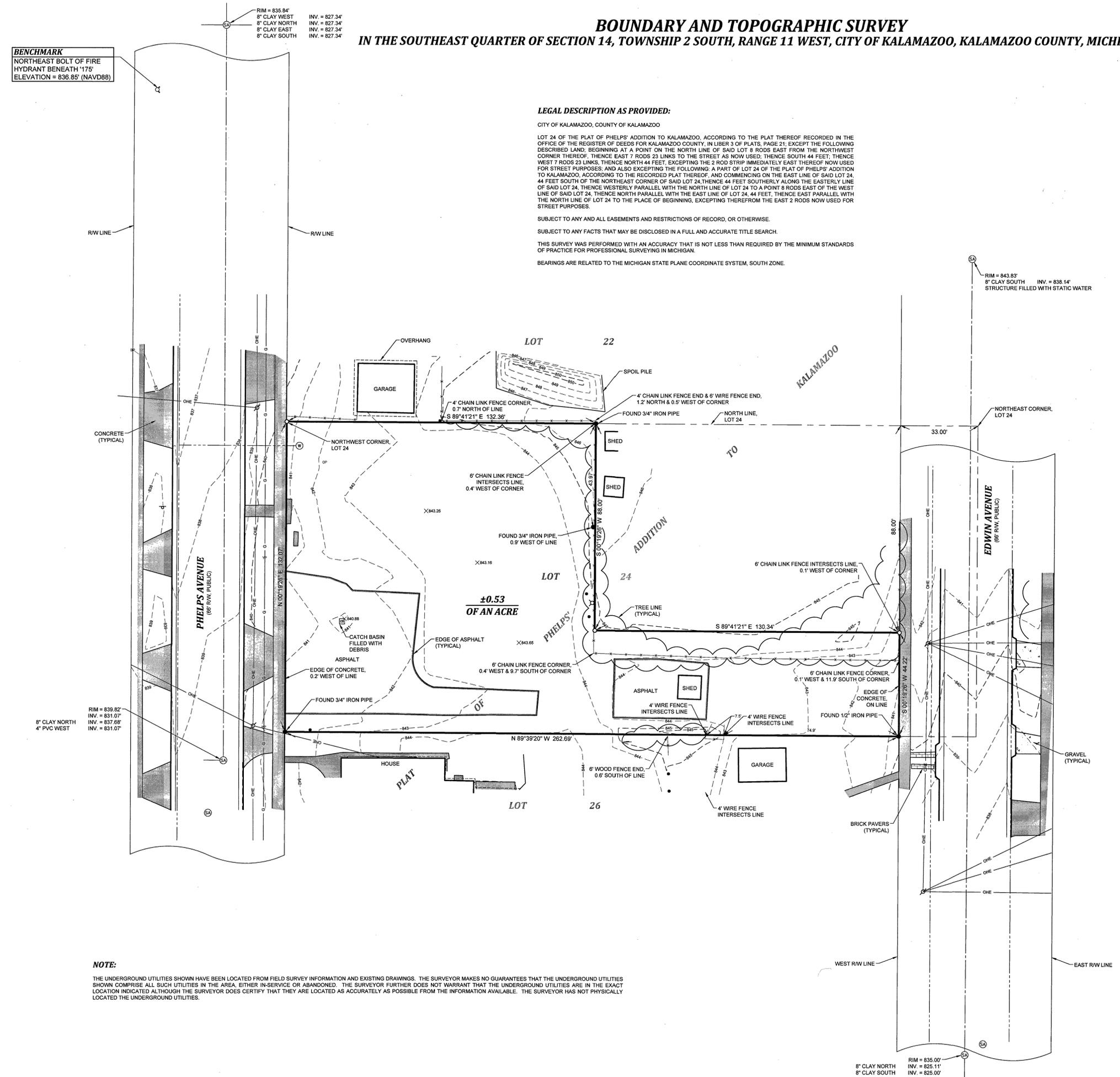
LOT 24 OF THE PLAT OF PHELPS' ADDITION TO KALAMAZOO, ACCORDING TO THE PLAT THEREOF RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS FOR KALAMAZOO COUNTY, IN LIBER 3 OF PLATS, PAGE 21, EXCEPT THE FOLLOWING DESCRIBED LAND, BEGINNING AT A POINT ON THE NORTH LINE OF SAID LOT 8 RODS EAST FROM THE NORTHWEST CORNER THEREOF, THENCE EAST 7 RODS 23 LINKS TO THE STREET AS NOW USED, THENCE SOUTH 44 FEET, THENCE WEST 7 RODS 23 LINKS, THENCE NORTH 44 FEET, EXCEPTING THE 2 ROD STRIP IMMEDIATELY EAST THEREOF NOW USED FOR STREET PURPOSES, AND ALSO EXCEPTING THE FOLLOWING: A PART OF LOT 24 OF THE PLAT OF PHELPS' ADDITION TO KALAMAZOO, ACCORDING TO THE RECORDED PLAT THEREOF, AND COMMENCING ON THE EAST LINE OF SAID LOT 24, 44 FEET SOUTH OF THE NORTHEAST CORNER OF SAID LOT 24, THENCE 44 FEET SOUTHERLY ALONG THE EASTERLY LINE OF SAID LOT 24, THENCE WESTERLY PARALLEL WITH THE NORTH LINE OF LOT 24 TO A POINT 8 RODS EAST OF THE WEST LINE OF SAID LOT 24, THENCE NORTH PARALLEL WITH THE EAST LINE OF LOT 24, 44 FEET, THENCE EAST PARALLEL WITH THE NORTH LINE OF LOT 24 TO THE PLACE OF BEGINNING, EXCEPTING THEREFROM THE EAST 2 RODS NOW USED FOR STREET PURPOSES.

SUBJECT TO ANY AND ALL EASEMENTS AND RESTRICTIONS OF RECORD, OR OTHERWISE.

SUBJECT TO ANY FACTS THAT MAY BE DISCLOSED IN A FULL AND ACCURATE TITLE SEARCH.

THIS SURVEY WAS PERFORMED WITH AN ACCURACY THAT IS NOT LESS THAN REQUIRED BY THE MINIMUM STANDARDS OF PRACTICE FOR PROFESSIONAL SURVEYING IN MICHIGAN.

BEARINGS ARE RELATED TO THE MICHIGAN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE.



8.25.2020
Site Plan Review

LEGEND

- = SET 1/2" REBAR W/ CAP ID #38116
- = FOUND IRON (AS NOTED)
- ⊕ = UTILITY POLE
- ⊖ = YELLOW PAINT
- ⊙ = ORANGE PAINT
- ⊚ = FIRE HYDRANT
- ⊗ = WATER MANHOLE
- ⊞ = CATCH BASIN
- ⊠ = SANITARY MANHOLE
- ⊡ = SIGN
- = POST
- OHE — = OVERHEAD UTILITY LINES
- — — = APPROXIMATE SANITARY SEWER LOCATION
- · — · — = APPROXIMATE WATER LOCATION
- G — = APPROXIMATE BURIED GAS LOCATION
- X = SPOT ELEVATION

NOTE:
 THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

WIGHTMAN

BENTON HARBOR
269.927.0100

KALAMAZOO
269.327.3532

ALLEGAN
269.673.8465

ROYAL OAK
248.791.1371

www.gowightman.com

GARY D. HAHN
PS - 38116

PROJECT ADDRESS:
416 PHELPS AVENUE
 KALAMAZOO, MI 49048

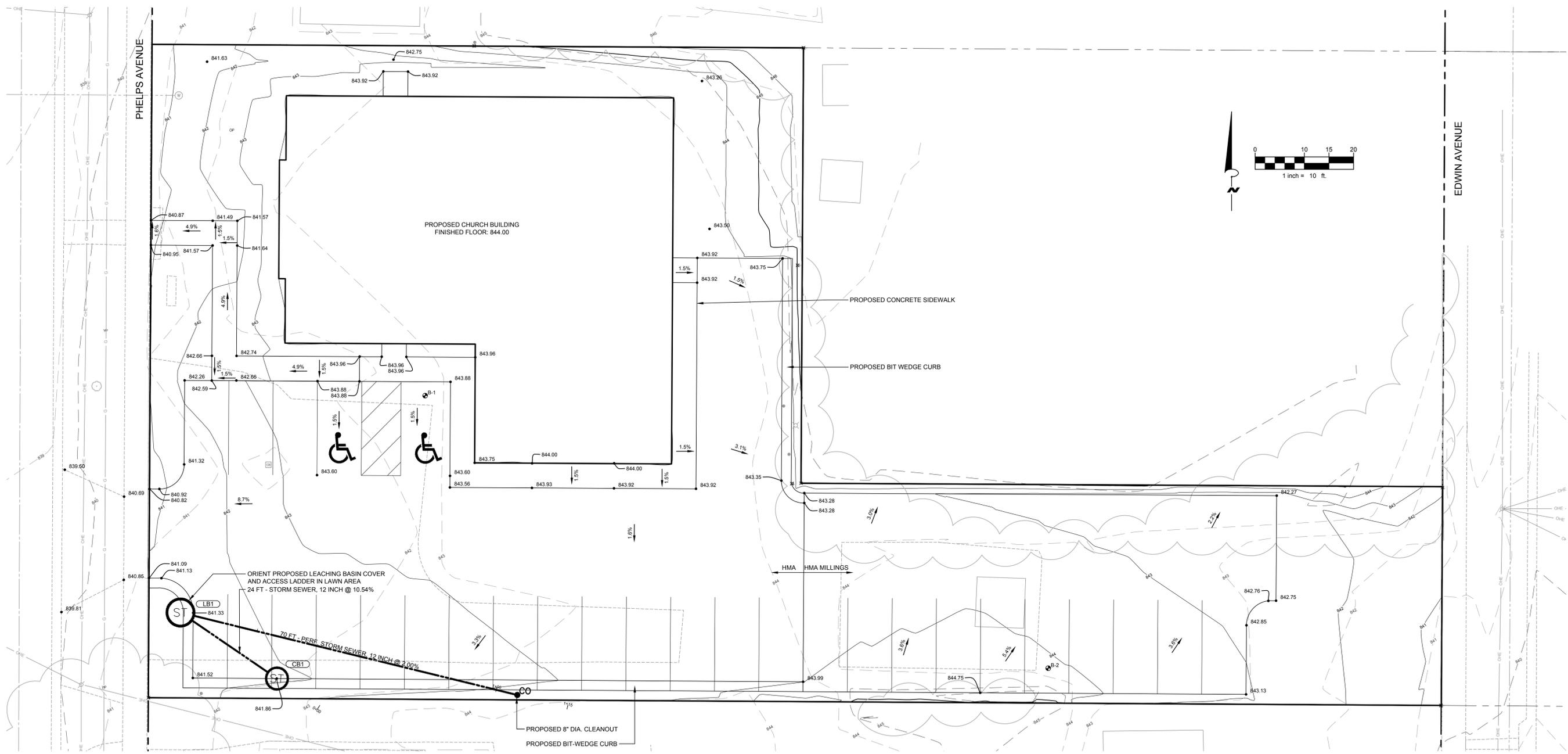
JRB PROPERTIES, LLC
 P.O. BOX 27
 ALLEGAN, MI 49010

REVISIONS

DATE: MARCH 3, 2020
 SCALE: 1" = 20'
 DRAWN BY: ACE
 CHECKED BY: ADS

BOUNDARY AND TOPOGRAPHIC SURVEY

JOB No. 204089
1 OF 1

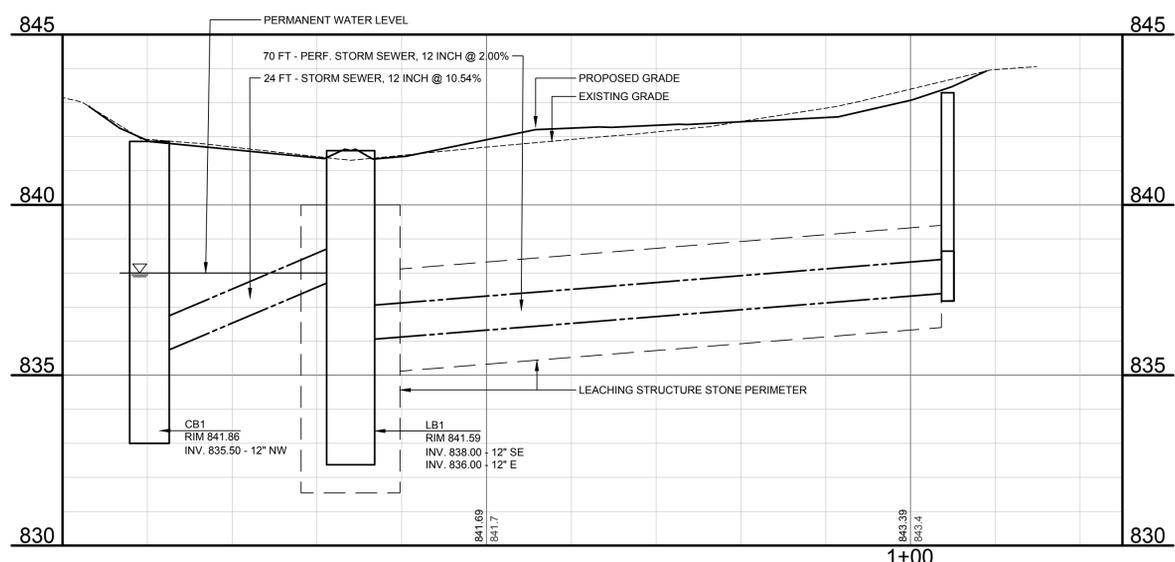


W+
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STATE OF MICHIGAN
PAUL D. SCHRAM
ENGINEER
No. 67420

PROJECT NAME:
416 PHELPS AVENUE
KALAMAZOO, MI 490483

JRB PROPERTIES, LLC
P.O. BOX 27
ALLEGAN, MI 49010

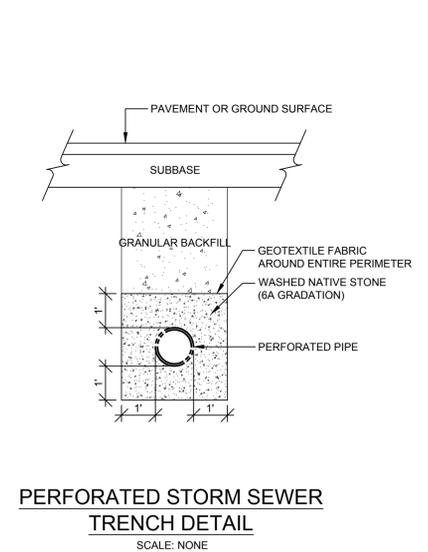
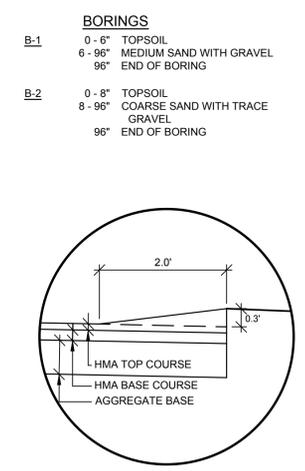


PROPOSED STORM
SCALE: 1" = 10' H, 2" V

STORM SYSTEM VOLUME CALCULATIONS

| LEACHING BASIN | |
|---|---------------|
| NUMBER OF LEACHING BASINS | 1 |
| INNER DIAMETER (FT) | 5.00 |
| OUTER DIAMETER (FT) | 6.00 |
| STONE FILL WIDTH (FT) | 3 |
| OUTER DIAMETER - STONE FILL (FT) | 12.00 |
| STORAGE HEIGHT (FT) | 6.00 |
| STRUCTURE STORAGE (CF) | 117.81 |
| STONE STORAGE (CF) | 167.95 |
| HYDRAULICALLY ENGAGED AREA (SF) | 226.19 |
| TOTAL STORAGE PER STRUCTURE (CF) | 285.76 |

| PERFORATED PIPE IN STONE TRENCH | |
|---------------------------------------|---------------|
| PIPE DIAMETER (FT) | 1.00 |
| PIPE STORAGE / LF (CF) | 0.79 |
| TRENCH WIDTH (FT) | 3.00 |
| DEPTH (FT) | 3.00 |
| PERIMETER WALL AREA (SFT) | 603.00 |
| POROSITY | 0.33 |
| STONE VOLUME / LF (CF) | 8.21 |
| STONE PORE VOLUME / LF (CF) | 2.71 |
| TOTAL VOLUME PER LF TRENCH (CF) | 3.50 |
| TRENCH LENGTH (FT) | 67.00 |
| TOTAL TRENCH VOLUME | 234.25 |
| DRINDOWN TIME (HOURS, I = 0.52 IN/HR) | 14.47 |
| TOTAL STORM VOLUME | 520.01 |



01/8/25/20 PDS
SUBMITTED FOR SITE PLAN REVIEW

REVISIONS

DATE: AUGUST, 2020
SCALE: 1" = 10' H, 2" V

Instructions: Input the areas (ft²) of the site for each type of surface cover.

PRE-DEVELOPMENT CONDITIONS

Simplified Table of Rational Method Runoff Coefficients (C)

| Surface Cover | C | Area of Surface Cover on Site (ft ²) |
|--|------|--|
| Lawns | 0.1 | 9271 |
| Forest | 0.15 | |
| Cultivated Land/Gardens | 0.25 | |
| Meadow | 0.3 | |
| Brick Streets | 0.8 | |
| Asphalt Streets and Parking Lots | 0.9 | 8470 |
| Roofs | 0.9 | 5183 |
| Concrete Streets and Parking Lots | 0.9 | 320 |
| Total Site Size (acres) | | 0.5 |
| Site Peak Flow Rate (Rational Method) (ft ³ /s) | | 0.45 |
| Channel Protection Volume (ft ³) | | 2667 |

POST-DEVELOPMENT CONDITIONS

Simplified Table of Rational Method Runoff Coefficients (C)

| Surface Cover | C | Area of Surface Cover on Site (ft ²) |
|--|------|--|
| Lawns | 0.1 | 6526 |
| Forest | 0.15 | |
| Cultivated Land/Gardens | 0.25 | |
| Meadow | 0.3 | |
| Brick Streets | 0.8 | |
| Asphalt Streets and Parking Lots | 0.9 | 11097 |
| Roofs | 0.9 | 4925 |
| Concrete Streets and Parking Lots | 0.9 | 696 |
| Total Site Size (acres) | | 0.5 |
| Site Peak Flow Rate (Rational Method) (ft ³ /s) | | 0.52 |
| Channel Protection Volume (ft ³) | | 3101 |

DRAWING INDEX:

SURVEY
 C 001 CIVIL SITE PLAN, STORM SEWER INFORMATION
 A-1 SITE PLAN, ZONING MAP, LOT MAP
 A-2 SITE PLAN DETAIL, SITE DETAILS, LEACH BASIN DTL., LIGHTING DTL., U.L. FIRE-BARRIER DTL.

A-3 CODE ANALYSIS, LIFE-SAFETY FLOOR PLAN
A-4 FLOOR PLAN, WINDOW SCHEDULE, FIRE-BARRIER WALL SECTION
A-5 DOOR SCHEDULE, INTERIOR ELVs., BATHROOM DTLs., A.D.A. DTLs.

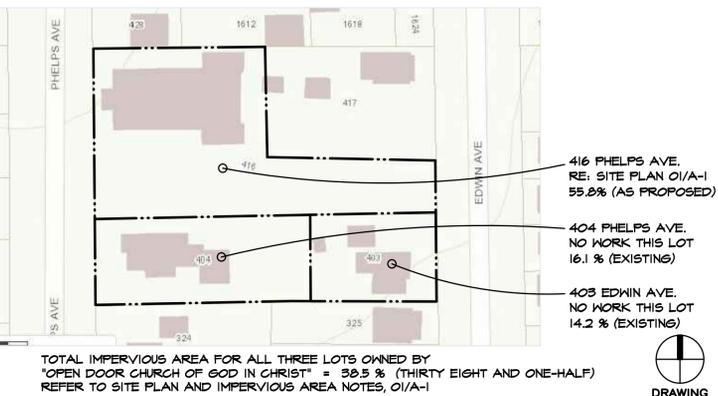
A-6 INTERIOR ELVs., CABINET DTLs.
A-7 SOUTH AND WEST ELEVATIONS
A-8 NORTH AND EAST ELEVATIONS
A-9 BUILDING SECTIONS, ROOF PLAN
A-10 WALL SECTIONS

S-1 FOUNDATION PLAN, FOUNDATION DETAILS
S-2 PLATFORM FRAMING PLAN AND SECTIONS, CONSTRUCTION AND STRUCTURAL NOTES

CONTACT INFORMATION:
OWNER: GREATER OPEN DOOR MINISTRIES CHURCH OF GOD IN CHRIST
 PASTOR BLAIR McCLAIN
 416 PHELPS AVENUE, KALAMAZOO, MICHIGAN 49048
 ph. 269-861-2540 email: cogicopendoor@gmail.com

CONTRACTOR: JRB PROPERTIES MANAGEMENT L.L.C.
 JEFF BROWN
 1964 LAKEBROOK LANE, ALLEGAN, MICHIGAN 49010
 ph. 616-262-5376 email: jrb.enterprises@charter.net

ARCHITECT: WSH ARCHITECTURE P.L.L.C.
 W. SETH HOUGH
 2041 30th STREET, ALLEGAN, MICHIGAN 49010
 ph. 269-650-8866 email: wshough@gmail.com



LOT MAP

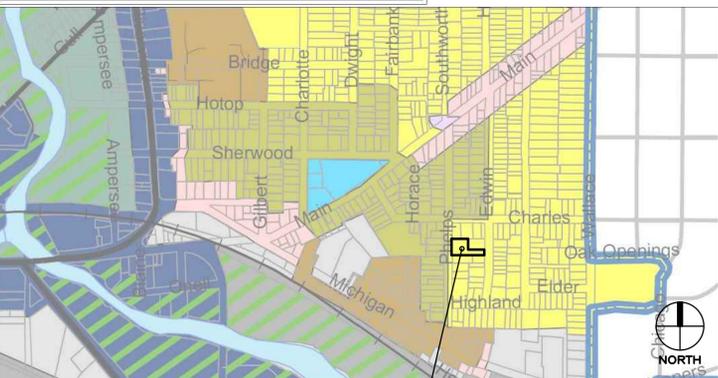
N.T.S.

03

Legend

| | | |
|-----------------------|--------|-------------------------|
| City Limits | CO | RMU |
| Primary Roads | IC | RS-5 |
| Rail | LW-1 | RS-7 |
| Surface Water | LW-2 | Natural Feature Overlay |
| | M-1 | County Streets |
| | M-2 | |
| Zone Districts | NODE | |
| CBTR | PUD | |
| CC | RD-19 | |
| CCBD | RM-15 | |
| CMU | RM-15C | |
| CN-1 | RM-24 | |
| | RM-36 | |

ZONING:
 PROJECT PROPERTY IS ZONED "RS-5" RESIDENTIAL.
 PROJECT WILL REQUIRE SPECIAL USE APPROVAL.
 FRONT YARD MINIMUM SETBACK: 25'
 REAR YARD MINIMUM SETBACK: 25'
 SIDE YARD MINIMUM SETBACK: 5'
 MAXIMUM IMPERVIOUS COVERAGE: 45% OF LOT AREA
 MAXIMUM HEIGHT OF BUILDING: 35'



ZONING MAP

N.T.S.

02

EXISTING FIRE HYDRANT, (CLOSEST HYDRANT TO SITE) AT SW CORNER OF INTERSECTION OF PHELPS AVE. AND CHARLES AVE., APPROX. 155' FROM NORTHWEST CORNER OF SITE

EXISTING POWER POLE AND OVERHEAD LOCATION, NEW OVERHEAD TO BLDG.

EXISTING SANITARY SEWER LINE LOCATION INTO SITE, CONTRACTOR TO VERIFY EXIST. LINE AND LATERAL CONDITION, AND CLEAN / RE-USE EXISTING 4" LINE AS FOUND POSSIBLE; INSTALL 2"-WAY CLEAN-OUT AT R.O.W. LINE. NOTE: WORK IN R.O.W. REQUIRES R.O.W. PERMIT

EXISTING 4" SAN. SEWER ON SITE, ELEV. = 857.1; VERIFY REQ'D SAN. SEWER / WATER LINES SEPARATED BY MIN. 3' VERT. OR 10' HORIZ.

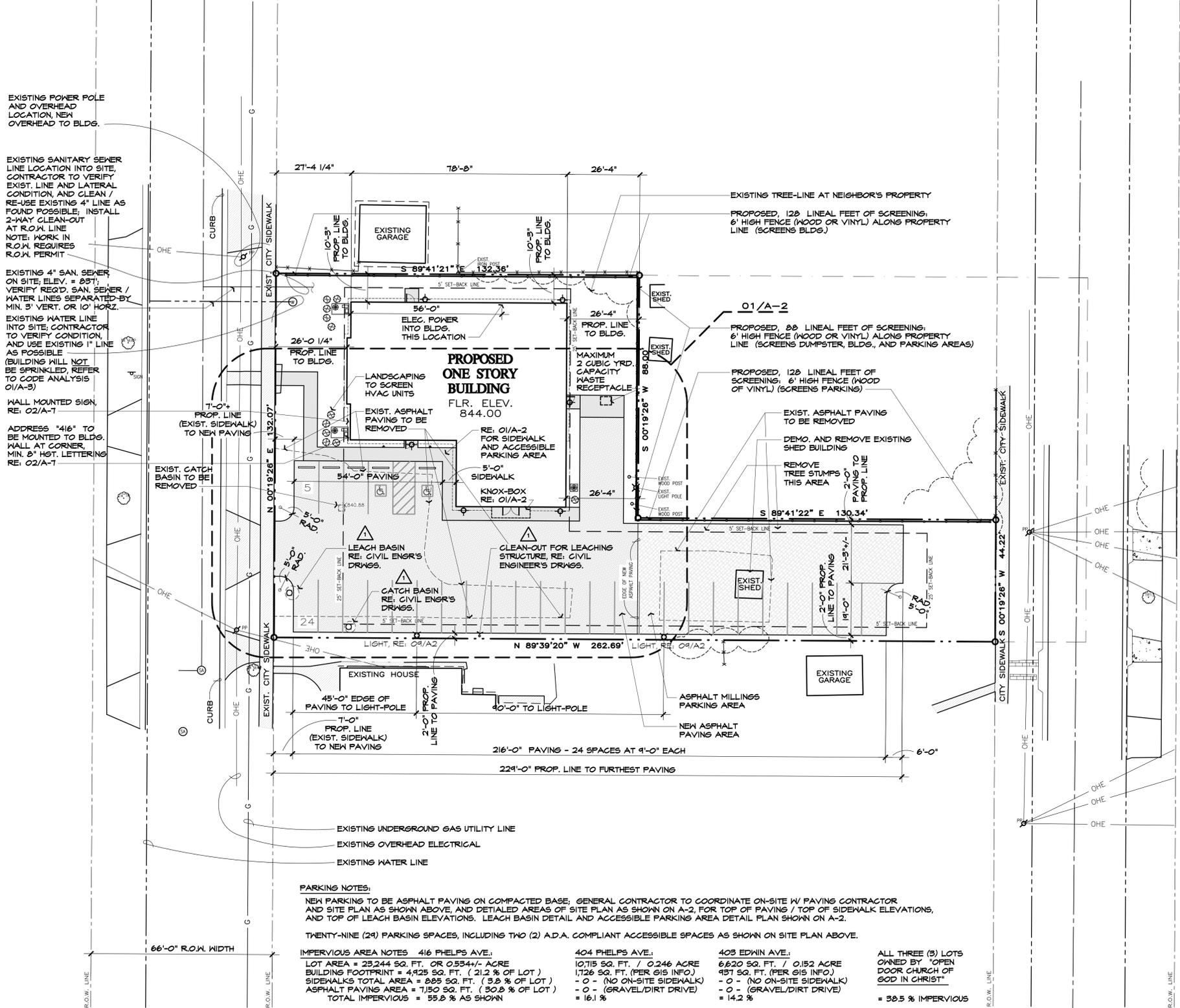
EXISTING WATER LINE INTO SITE, CONTRACTOR TO VERIFY CONDITION, AND USE EXISTING 1" LINE AS POSSIBLE (BUILDING WILL NOT BE SPRINKLED, REFER TO CODE ANALYSIS 01/A-3)

WALL MOUNTED SIGN, RE: 02/A-7
 ADDRESS "416" TO BE MOUNTED TO BLDG. WALL AT CORNER, MIN. 8" HGT. LETTERING RE: 02/A-7

LEGEND:

| | |
|-----|---------------------------------|
| G | EXISTING UNDERGROUND GAS |
| OHE | EXISTING OVERHEAD UTILITY LINES |
| ⊙ | EXISTING WATER MANHOLE |
| ⊕ | EXISTING POWER POLE |
| ⊗ | EXISTING SANITARY MANHOLE |

REFER TO SURVEY FOR ADDITIONAL INFORMATION / LEGEND



PARKING NOTES:

NEW PARKING TO BE ASPHALT PAVING ON COMPACTED BASE. GENERAL CONTRACTOR TO COORDINATE ON-SITE W/ PAVING CONTRACTOR AND SITE PLAN AS SHOWN ABOVE, AND DETAILED AREAS OF SITE PLAN AS SHOWN ON A-2, FOR TOP OF PAVING / TOP OF SIDEWALK ELEVATIONS, AND TOP OF LEACH BASIN ELEVATIONS. LEACH BASIN DETAIL AND ACCESSIBLE PARKING AREA DETAIL PLAN SHOWN ON A-2.

TWENTY-NINE (29) PARKING SPACES, INCLUDING TWO (2) A.D.A. COMPLIANT ACCESSIBLE SPACES AS SHOWN ON SITE PLAN ABOVE.

| | | | |
|--|--|--|---|
| IMPERVIOUS AREA NOTES 416 PHELPS AVE: LOT AREA = 25,244 SQ. FT. OR 0.534+/- ACRE BUILDING FOOTPRINT = 4,925 SQ. FT. (21.2% OF LOT) SIDEWALKS TOTAL AREA = 885 SQ. FT. (3.5% OF LOT) ASPHALT PAVING AREA = 7,150 SQ. FT. (28.3% OF LOT) TOTAL IMPERVIOUS = 55.8% AS SHOWN | 404 PHELPS AVE: 10,715 SQ. FT. / 0.246 ACRE 1,726 SQ. FT. (PER GIS INFO.) - 0 - (NO ON-SITE SIDEWALK) - 0 - (GRAVEL/DIRT DRIVE) = 16.1% | 403 EDWIN AVE: 6,620 SQ. FT. / 0.152 ACRE 837 SQ. FT. (PER GIS INFO.) - 0 - (NO ON-SITE SIDEWALK) - 0 - (GRAVEL/DIRT DRIVE) = 14.2% | ALL THREE (3) LOTS OWNED BY "OPEN DOOR CHURCH OF GOD IN CHRIST" = 38.5% IMPERVIOUS |
|--|--|--|---|

NOTE: "OPEN DOOR CHURCH OF GOD IN CHRIST", PARCEL# 06-14-406-001, (ADDRESS 416 PHELPS AVENUE) AS SHOWN ON SITE PLAN ABOVE, ALSO OWNS PARCEL# 06-14-406-002, (ADDRESS 404 PHELPS AVENUE) DIRECTLY SOUTH OF THE PROPERTY SHOWN ON THE SITE PLAN ABOVE, AND ALSO OWNS PARCEL# 06-14-406-003, (ADDRESS 403 EDWIN AVENUE) DIRECTLY SOUTH OF THE PROPERTY SHOWN ON THE SITE PLAN ABOVE, FRONTING ON EDWIN AVENUE. THE THREE LOTS ARE LISTED ON THE GIS MAP AS SEPARATE PARCELS. COUNTING THE TOTAL AREA AND TOTAL IMPERVIOUS AREA OF ALL THREE LOTS TOGETHER, IMPERVIOUS AREA = 38.5% (TOTAL AREA OF 3 LOTS = 40,574 SQ. FT. OR 0.932 ACRE, TOTAL IMPERVIOUS AREA = 15,623 SQ. FT., REFER TO LOT MAP, 03/A-1 ABOVE, LEFT)

SITE PLAN

1" = 20'



REVISIONS

| NO | DATE | DESCRIPTION |
|--------|------|---|
| 012020 | | FOR CONTRACTOR / OWNER REVIEW |
| 012420 | | CONTRACTOR / OWNER REVIEW & SPECIAL USE ZONING APPROVAL |
| 042720 | | FOR CONTRACTOR / OWNER REVIEW |
| 070920 | | SITE PLAN REVIEW AND PERMITTING |
| 070920 | | SITE PLAN REVIEW AND PERMITTING NOTES, UGHS, 06% A003 |
| 082420 | | SITE PLAN REVIEW AND PERMITTING W/ REV. FOR ONE DRAWING |

NOT FOR CONSTRUCTION

GREATER OPEN DOOR
 SANCTUARY / FELLOWSHIP HALL
 416 PHELPS AVENUE, KALAMAZOO, MICHIGAN 49048



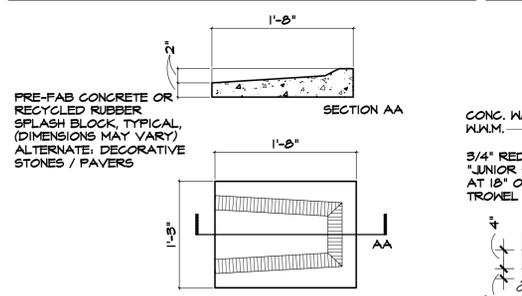
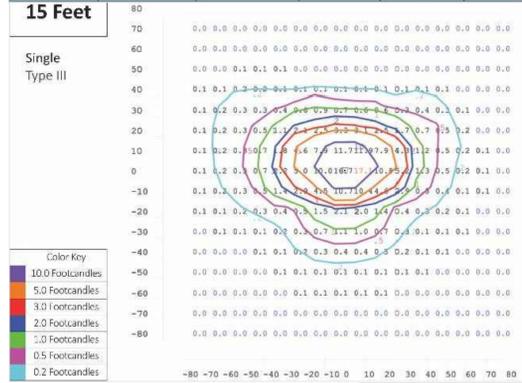
WSH ARCHITECTURE
 1718 HUMBLE PLACE DRIVE
 HUMBLE, TX 77338
 PH. 281-713-4870
 2041 30TH ST.
 ALLEGAN, MI 49010
 PH. 269-686-8806

A-1
 OF
 10
 DATE 07-09-2020

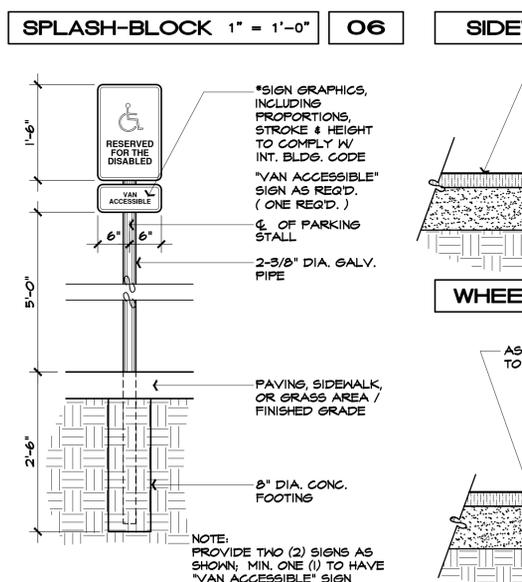
- Best-in-class, commercial grade outdoor LED area light has a die-cast aluminum housing that is powder coated
- Easily replaces any 400 watt metal halide or high pressure sodium light
- Designed for outdoor uses such as parking and street lighting
- IP66 rating allows light to endure severe weather conditions for many years
- Includes heavy duty 8.125H x 7.5L inch pole mount arm
- Suitable for wet locations
- 345 or 480 volt options available
- Quick and easy installation
- Hardware included, requires 7/32 inch (5.5 mm) Allen wrench

Product Specifications:

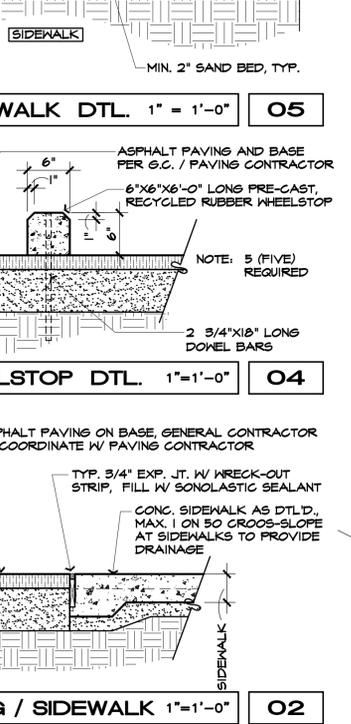
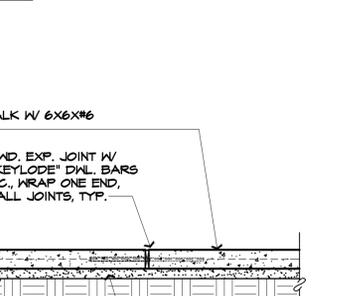
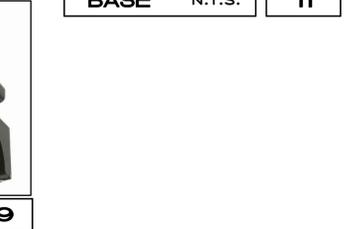
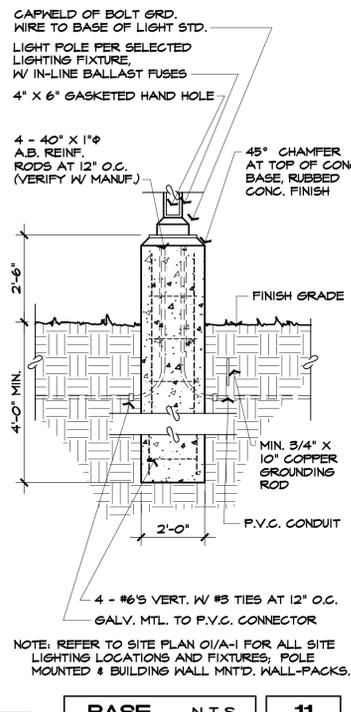
| | | | | | |
|-------------------|----------------------|---------------------|----------------------|-----------------|-------------|
| Manufacturer | Energy Light | Lumens | 20,250 | Input Voltage | 120-277V |
| Color Temperature | 5000K, 4000K, 3000K | CRI | 80 | Color | Dark Bronze |
| DLC Listed | Yes | UL Rated | Yes | Type | Area Light |
| Power | 150 Watts | Power Factor | 0.98 | Lumens per Watt | 135 |
| Dimmable | Yes | LED Driver | Sosen | LED chips | Lumiled |
| Rated Hours | 100,000 Hours - LM70 | Ambient Temperature | -20° to 130°F | EPA Rating | 0.78 |
| Warranty | 5 Year | Dimensions (LxWxH) | 17 x 12 x 3.5 inches | Weight | 8.35 lbs. |



NOTE: REFER TO SITE PLAN, FLOOR PLAN, AND BUILDING ELEVATIONS FOR DOWN-SPOUT LOCATIONS; SPLASH-BLK. AT EACH DOWNSPUT, TYPICAL UNLESS D.S. IS DIRECTLY TIED INTO DRAIN TILE OR LOCATED AT A SIDEWALK. TEN (10) DOWNSPOUTS TOTAL; SEVEN (7) SPLASH-BLOCKS



PAVING / SIDEWALK 1" = 1'-0" **02**

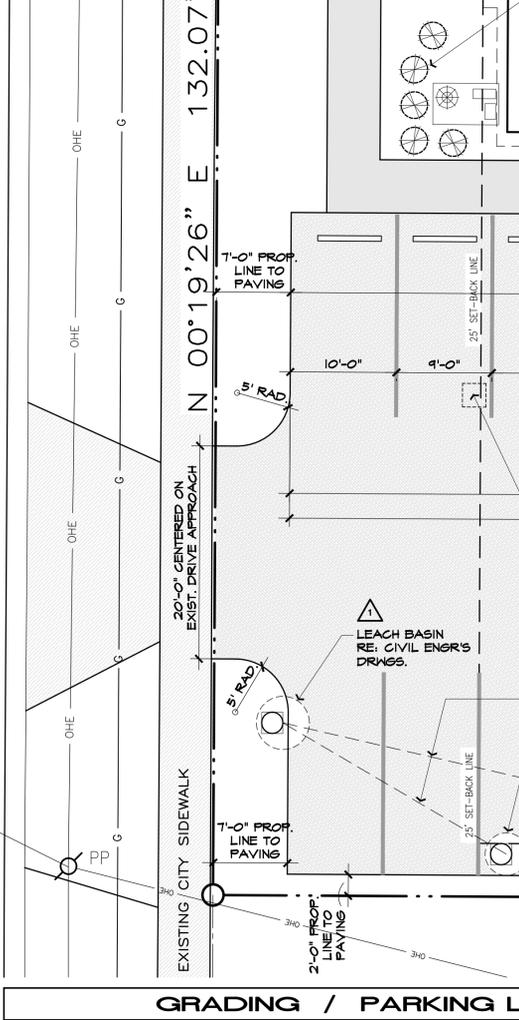
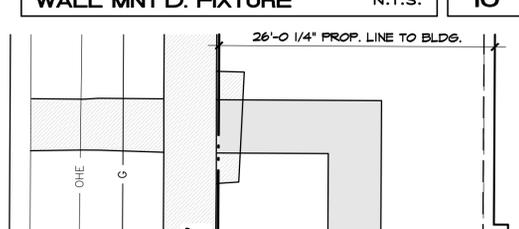


Features:

- Includes wall mount bracket for easy installation
- Wall pack can be dark sky friendly when mounted parallel to the ground
- Wide light distribution
- IP65 rated for wet locations
- Dark bronze cast aluminum alloy housing

Product Specifications:

| | | | | | |
|---------------------|---------------------------|-------------------|-------------|-----------------|--------|
| Input Voltage | 120-277V | Color Temperature | 5000K | CRI | >80 |
| Lumens | 3,750 | Power | 30 Watts | Lumens Per Watt | 125 |
| Amps | 0.25 - 120V / 0.11 - 277V | Dimmable | No | Rated Hours | 50,000 |
| DLC Listed | Yes, Premium | UL Rated | Yes | Warranty | 5 Year |
| Dimensions (inches) | 7.44L x 7.13W x 1.69D | Color | Dark Bronze | Weight (lbs.) | 2.43 |

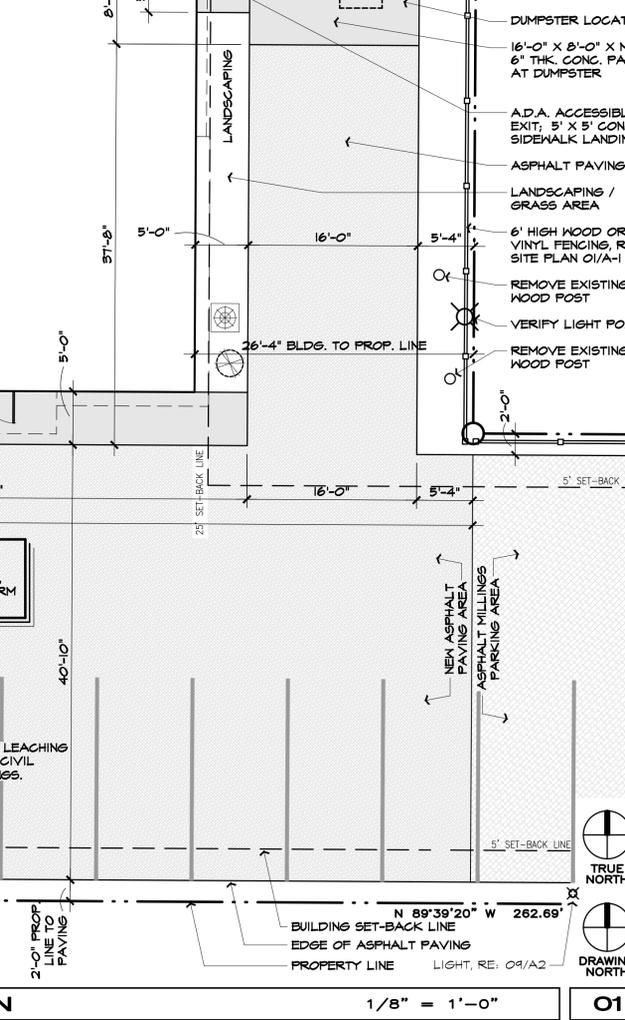
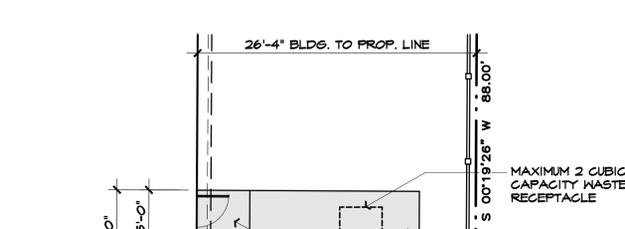
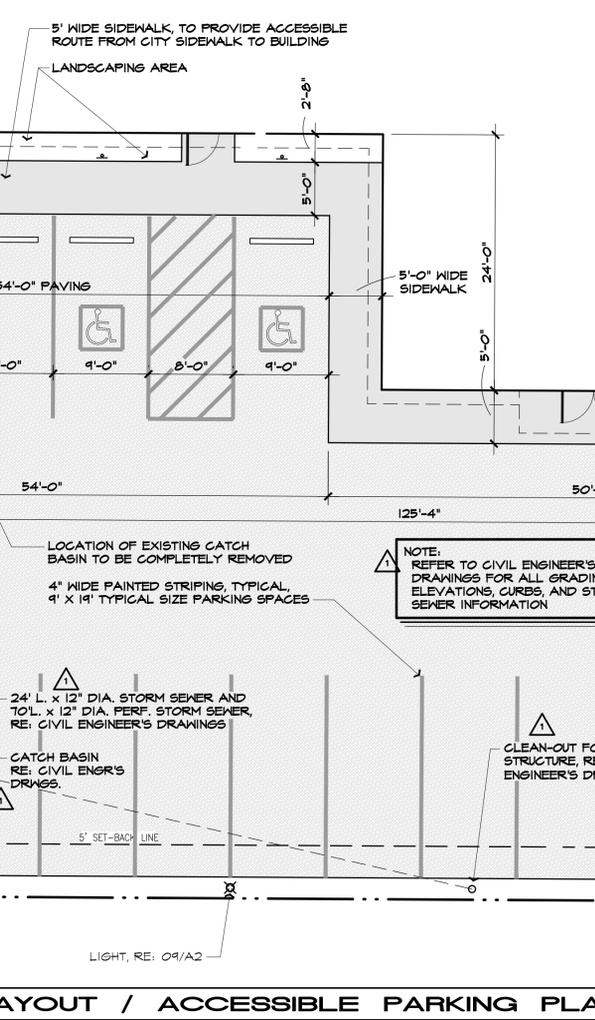


FIRE RESISTANCE RATINGS - ANSUL 263 (BXUV)

Design No. U301

| | | | |
|---------------------|------|---------------|---------|
| Bearing Wall Rating | 2 HR | Finish Rating | 60 Min. |
|---------------------|------|---------------|---------|

1. Nalheite - Exposed or covered with joint finisher.
2. Joints - Exposed or covered with joint finisher. As an alternate, nominal 3/32 in. thick gypsum veneer plaster may be applied to the entire surface of classified member (boarded) joints and/or members.
3. Nails - 6d cement coated nails 1-7/8 in. long, 0.0195 in. shank diam. 14 in. diam. studs, and 6d cement coated nails 2-3/8 in. long, 0.113 in. shank diam. 802 in. diam. studs.
4. Gypsum Board - 5/8 in. thick, two layers applied either horizontally or vertically, inner layer attached to studs with the 1-7/8 in. nails spaced 16" o.c. Outer layer attached to studs over inner layer with the 2-3/8 in. long nails spaced 16" o.c. Vertical joints located over studs. All joints in two layers staggered with joints in base layer. Joints of each layer offset with joints of base layer on opposite side.
When used in walls other than 48 in., gypsum board to be installed horizontally. When Steel Framing Members* (Item 4) are used, base layer attached to framing channels with 1 in. long Type 3 single head steel screws spaced max. 24 in. o.c. Base layer attached with 1.58 in. long Type 3 single head steel screws spaced max. 12 in. o.c.
AMERICAN GYPSUM CO. - Types AG-C, AGX-1, AGX-C, BELUNG NEW BUILDING MATERIALS CO. LTD. - Type D80-1, CERTIFIED GYPSUM, INC. - Types 1, FRIC, EG80, ProFlex Type C or ProFlex Type X, CERTIFIED GYPSUM CANADA, INC. - ProFlex Type C, ProFlex Type X, ProFlex Type X-Resistant, CANADIAN GYPSUM COMPANY - Types AR, C, P-AR, P-X1, P-X2, P-C-AR, SCX, S-X1, W-X1, W-X2, GYP GYPSUM CORP. - SUB OF GEORGIA PACIFIC CORP. - Types 5, 6, C, DAP, DO, DA, D80, D85, D87B, LAFARGE NORTH AMERICA, INC. - Types LGFC-C, LGFC-L, LGFC-LA, LGFC-LA, LGFC-LA, LGFC-LA, NATIONAL GYPSUM CO. - Types FBK, FBK-C, FBK-G, FBW-3, FBW-C, FBW-G, PACIFIC GYPSUM, DIV OF PACIFIC COAST BUILDING PRODUCTS INC. - Types PG-2, PG-3, PG-3W, PG-4, PG-4W, PG-5W, PG-5W, PG-6, PG-6C, TEMPLELAND FOREST PRODUCTS CORP. - Type T0-C, BAW GYPSUM INDUSTRIES (BARABUR) CO. LTD. - Type S2-4, STANDARD GYPSUM L.L.C. - Types S2C, S2-C or S2-C-4, UNITED STATES GYPSUM CO. - Types AR, C, FBK-C, P-AR, P-X1, P-X2, P-C-AR, SCX, S-X1, W-X1, W-X2, USE MEXICO S.A. DE C.V. - Types AR, C, P-AR, P-X1, P-X2, P-C-AR, SCX, S-X1, W-X1, W-X2, 4A. Gypsum Board* - (As an alternate to Item 4) - Nom. 3/4 in. thick, installed as described in Item 4.
CANADIAN GYPSUM COMPANY - Types AR, P-AR, UNITED STATES GYPSUM CO. - Types AR, P-AR, USE MEXICO S.A. DE C.V. - Types AR, P-AR, 4B. Gypsum Board* - (As an alternate to Items 4 and 4A) - 5/8 in. thick, 2 in. wide, square and groove edge, applied horizontally as the outer layer to one side of the assembly. Secured as described in Item 4. Joint covering (Item 2) not required.
CANADIAN GYPSUM COMPANY - Types S2K, UNITED STATES GYPSUM CO. - Types S2K, USE MEXICO S.A. DE C.V. - Types S2K, 5. Milled Plaster* - Not shown, "Colocal" Solid vinyl siding mechanically secured over the outer layer to framing members in accordance with manufacturer's recommended installation details.
ASSOCIATED MATERIALS INC - ALSIE, DIV OF CENTER BUILDING PRODUCTS LTD
HEARTLAND BUILDING PRODUCTS INC - VITEC CORP.
NEBRASKA PLASTICS INC - 6. Steel Framing Members* (Optional, Not shown)* - Framing channels and resilient sound isolation as described below.
A. Framing Channels - Formed No. 25 MSB galv. steel, 2.38 in. wide by 7/8 in. deep, spaced 24 in. o.c. perpendicular to studs. Channels secured to studs as described in Item 8. Ends of adjoining channels are overlapped 6 in. and fastened together with double strand of No. 18 SWG galv. steel wire near each end of overlap. As an alternate, ends of adjoining channels may be overlapped 6 in. and secured together with two self-tapping #8 framing screws, min. 7/8 in. long at the midpoint of the overlap, with one screw on each flange of the channel. Wallboard attached to framing channels as described in Item 4.
B. Steel Framing Members* - Traditional insulation (R) used to attach framing channels (Item 6A) to studs. Clips spaced 48 in. o.c. and secured to studs with No. 8 x 2-1/2 in. coarse thread screw through the center groove. Framing channels are friction fitted into clips.
PAC INTERNATIONAL INC - Type FB3C-1.
*Bearing the UL Classification Mark



REVISIONS

| NO | DATE | DESCRIPTION |
|--------|------|--|
| 070920 | | SITE PLAN REVIEW AND PERMITTING |
| 070920 | | SITE PLAN REVIEW AND PERMITTING NOTES, 09% ADD |
| 082420 | | SITE PLAN REVIEW AND PERMITTING W/ REV. PER CM. DMR. |

NOT FOR CONSTRUCTION

GREATER OPEN DOOR
 SANCTUARY / FELLOWSHIP HALL
 416 PHELPS AVENUE, KALAMAZOO, MICHIGAN 490048



WSH ARCHITECTURE
 1718 HUMBLE PLACE DRIVE
 HUMBLE, TX 77338
 PH. 281-713-4870
 2041 30TH ST.
 ALLEGAN, MI 49010
 PH. 269-686-8806

A-2
 OF
 10
 DATE 07-09-2020

PROJECT DESCRIPTION / LOCATION:

NEW CONSTRUCTION, CHURCH BUILDING WITH SANCTUARY, FELLOWSHIP HALL, WARMING KITCHEN, AND ACCESSORY OFFICES AND STORAGE; LOCATION: 416 PHELPS AVENUE, CITY OF KALAMAZOO, MICHIGAN

APPLICABLE CODES / ORDINANCES:

MICHIGAN BUILDING CODE, 2015 EDITION
 MICHIGAN BARRIER FREE AND A.D.A. GUIDELINES
 MICHIGAN PLUMBING CODE, 2015
 MICHIGAN MECHANICAL CODE, 2015
 NATIONAL ELECTRICAL CODE, NFPA 70, 2017
 ENERGY CONSERVATION CODE, 2015
 CITY OF KALAMAZOO ORDINANCES

OCCUPANCY AND CONSTRUCTION TYPE:

OCCUPANCY TYPE: "A-3" RELIGIOUS WORSHIP (CHURCH) AND ACCESSORY SPACES [503.4]

CONSTRUCTION TYPE: V.B. (FIVE - B) [602.5 / TABLE 601]

EXTERIOR WALLS: WOOD STUD FRAMED WALLS
 FLOOR STRUCTURE: CONCRETE SLAB ON GRADE
 ROOF STRUCTURE: WOOD TRUSS FRAMING
 INTERIOR PARTITIONS: WOOD STUD PARTITIONS
 INTERIOR FINISHES AT ALL AREAS TO BE CLASS 'C' OR BETTER.
 FLAME SPREAD INDEX = 76 - 200
 SMOKE DEVELOPED INDEX = 0 - 450

ALLOWABLE / PROPOSED BUILDING AREA:

ALLOWABLE AREA "A-3" OCCUPANCY, TYPE "FIVE-B" CONSTRUCTION, NON-SPRINKLED BUILDING:
 6,000 SQ. FT. ALLOWABLE TABULAR AREA, [TABLE 506.2]
 + ALLOWABLE CLEAR FRONTAGE INCREASES [506.3]

PROPOSED BUILDING AREA:

ENCLOSED BUILDING AREA = 4,926 SQ. FT.
 OVERHANGS / ENTRY CANOPY AREA = 410 SQ. FT.
 TOTAL BUILDING AREA (INCLUDING OVERHANGS) = 5,336 SQ. FT.

ALLOWABLE / PROPOSED BUILDING HEIGHT:

ALLOWABLE PER KALAMAZOO ZONING ORDINANCE = 35'
 ALLOWABLE PER BUILDING CODE = 40' [TABLE 504.3]

PROPOSED BUILDING HEIGHT = 28'

(BUILDING HEIGHT FROM FIN. FLR. TO RIDGE = 25'-7")

OCCUPANT LOAD:

| ROOM / AREA DESCRIPTION: | SQ. FT. / SQ. FT. PER OCCUPANT | OCC. LOAD |
|---|-------------------------------------|-----------|
| SANCTUARY SEATING FLOOR (W/OUT FIXED SEATS) | 1,834 NET SQ. FT. @ 7 N.S.F./OCC. | 262 |
| PLATFORM AREA | 494 NET SQ. FT. @ 15 N.S.F./OCC. | 33 |
| PLATFORM STORAGE AREAS | 196 GROSS SQ. FT. @ 300 G.S.F./OCC. | 1 |
| FIRE AREA #1 OCCUPANT LOAD = 296 | | |
| (FIRE AREA #1 GROSS FLOOR AREA ENCLOSED) = 2,616 SQ. FT.) | | |

FELLOWSHIP HALL AREA (TABLES AND CHAIRS)

| | | |
|---|-------------------------------------|---|
| 887 NET SQ. FT. @ 15 N.S.F./OCC. | 59 | |
| 154 GROSS SQ. FT. @ 300 G.S.F./OCC. | 1 | |
| 171 GROSS SQ. FT. @ 200 G.S.F./OCC. | 1 | |
| ACCESS. BUSINESS AREAS / OFFICES / USHER'S RM. | 447 GROSS SQ. FT. @ 150 G.S.F./OCC. | 3 |
| FIRE AREA #2 OCCUPANT LOAD = 64 | | |
| (FIRE AREA #2 GROSS FLOOR AREA ENCLOSED) = 2,310 SQ. FT.) | | |
| BUILDING TOTAL OCCUPANT LOAD = 360 | | |

EGRESS:

NUMBER OF REQUIRED EXITS: TWO (2) [TABLE 1006.3.1]
 NUMBER OF EXITS PROVIDED: FOUR (4) [REFER TO FLOOR PLAN]

FIRE RATED ASSEMBLIES / SPRINKLER SYSTEM:

BUILDING IS TO BE NON-SPRINKLED
 BUILDING AREA IS ALLOWABLE AS NON-SPRINKLED [TABLE 506.3]

AUTOMATIC SPRINKLER SYSTEM IS NOT REQUIRED [903, 903.2.1.3]

STANDPIPE SYSTEM IS NOT REQUIRED [903, 903.3, 903.3.2]

PORTABLE FIRE EXTINGUISHERS REQUIRED [906, 906.1(2), TABLE 906.3(1)]

PORTABLE EXTINGUISHERS W/IN 30' OF KITCHEN, AND THROUGHOUT BUILDING W/ MAXIMUM TRAVEL DISTANCE TO EXTINGUISHER OF 75'

MANUAL FIRE ALARM ONLY REQUIRED IF FIRE-AREA OCCUPANT LOAD EXCEEDS 300

50 MANUAL FIRE ALARM IS NOT REQUIRED. [907.2.1]

NOTE: CONTRACTOR TO VERIFY W/ LOCAL BUILDING OFFICIAL / FIRE MARSHAL

2-HOUR FIRE BARRIER TO BE USED TO CREATE SEPARATE FIRE-AREAS [707, 707.3.10]

FIRE BARRIER TO BE CONTINUOUS FROM FLOOR TO UNDERSIDE OF ROOF SHEATHING [707.5]

SUPPORTING STRUCTURE TO BE RATED / PROTECTED SAME AS FIRE BARRIER [707.5.1]

EXIT / EGRESS:

[1003, 1006, 1017]

NUMBER OF REQUIRED EXITS FROM BUILDING = MINIMUM OF TWO (2) [TABLE 1006.3.2]

NUMBER OF BUILDING EXITS PROVIDED = FOUR (4)

NUMBER OF EXITS FROM A ROOM / SPACE IF OCC. LOAD OVER 49, OR OCC. LOAD IS OVER 30 AND THE COMMON PATH OF EGRESS TRAVEL EXCEEDS 75' = MINIMUM OF TWO (2) [TABLE 1006.2.1]

NUMBER OF EXITS PROVIDED FROM SANCTUARY = THREE (3)

NUMBER OF EXITS PROVIDED FROM FELLOWSHIP HALL = TWO (2)

ALLOWABLE EXIT ACCESS TRAVEL DISTANCE = 200' [TABLE 1017.2, 1029.7]

MEANS OF EGRESS WIDTH FOR ALL EGRESS COMPONENTS EXCEPT ASSEMBLY ROOMS AND STAIRS:

MINIMUM WIDTH = 0.2" / OCCUPANT SERVED [1005.3.2]

ASSEMBLY ROOM / AREA REGULATIONS:

[1029, 1004]

MEANS OF EGRESS WIDTH FOR ASSEMBLY ROOMS: [1029.9.1]

42" MIN. WIDTH REQUIRED FOR AISLES SERVING SEATING ON BOTH SIDES OF THE AISLES

36" MIN. WIDTH REQUIRED FOR AISLES SERVING SEATING ON BOTH SIDES, BUT OCCUPANT LOAD OF LESS THAN 50

36" MIN. WIDTH REQUIRED FOR AISLES SERVING SEATING ON ONLY ONE SIDE OF AISLE

MAXIMUM COMMON PATH OF EGRESS TRAVEL (POINT AT WHICH THERE IS CHOICE OF MORE THAN ONE PATH TO AN EXIT OR EXIT ACCESS) = 30' [1029.8]

MAIN EXIT: THE MAIN EXIT SHALL HAVE THE CAPACITY TO ACCOMMODATE THE GREATER OF EITHER ONE-HALF OF THE BUILDING OCCUPANT LOAD, OR THE TOTAL REQUIRED CAPACITY OF ALL MEANS OF EGRESS LEADING TO THAT EXIT: [1029.9]

TOTAL BLDG. OCC. LOAD = 360 X'S 0.2"/OCC. = 72'; ONE-HALF = 36" MIN. REQ'D.

TOTAL REQ'D. CAPACITY OF MEANS OF EGRESS TO MAIN EXIT = 50 X'S 0.2"/OCC. = LESS THAN 36" WIDTH REQUIRED

EACH ROOM / AREA USED AS AN ASSEMBLY AREA SHALL HAVE THE OCCUPANCY LOAD FOR THAT SPACE POSTED BY THE MAIN DOOR FOR THAT AREA: [1004.3]

FOR ADDITIONAL EGRESS INFORMATION REFER TO LIFE-SAFETY FLOOR PLAN.

MINIMUM PLUMBING FIXTURES:

[TABLE 2902.1, 1109]

OCCUPANT TOTAL = 360

ASSUME 50% MEN / 50% WOMEN = 180 MEN, 180 WOMEN

REQUIRED FIXTURES (PER 'A-3' WORSHIP SPACE):

WOMEN: 3 TOILETS, 1 SINKS, 2 TOILETS * 0 TOILET / SINK, 1 URINALS NOT REQ'D.

MEN: 3 TOILETS, 1 URINALS, 1 SINKS

FAMILY/ASST'D. USE: 0 TOILET / SINK, NOT REQ'D.

OTHER: 1 SERVICE SINK, 1 H/C ACCESSIBLE, DOUBLE SPOUT DRINKING FOUNTAIN [1109.5.1 EXCEPT #1]

* IN MEN'S ROOMS, URINALS MAY BE SUBSTITUTED FOR UP TO 67% OF THE REQUIRED TOILETS

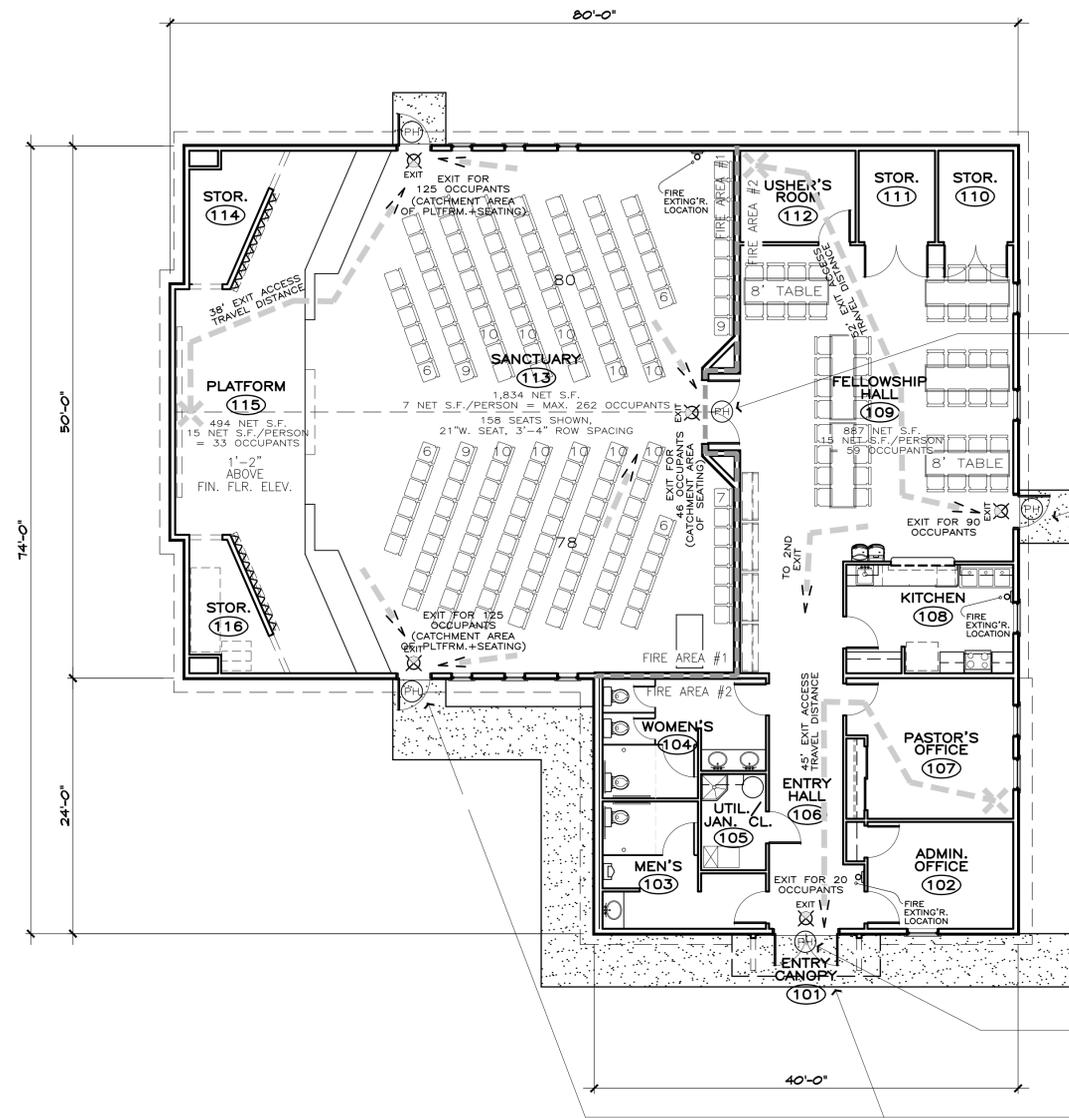
PROVIDED FIXTURES:

WOMEN: 3 TOILETS, 2 SINKS

MEN: 1 TOILETS, 1 URINALS, 1 SINKS

FAMILY/ASST'D. USE: 0 TOILET / SINK, NOT REQ'D.

OTHER: 1 SERVICE SINK, 1 H/C ACCESSIBLE, DOUBLE SPOUT DRINKING FOUNTAIN [1109.5.1 EXCEPT #1]



RECOMMENDED FIRE EXIT HARDWARE (PANIC HARDWARE FOR FIRE-RATED ASSEMBLY) THIS DOOR. RE: 01/A-5 DOOR SCHEDULE AND DOOR NOTE #5

5' X 5' CONC. LANDINGS AT EXIT DOOR, A.D.A. COMPLIANT THRESHOLD / LANDING

EXIT OCCUPANT LOADS:

FIRE AREA #1 TOTAL OCCUPANT LOAD = 296

THREE EXITS PROVIDED (MIN. TWO REQ'D);

125 OCCUPANTS (MAX. 170 CAPACITY) THIS LOCATION

46 OCCUPANTS (MAX. 300+ CAPACITY)

FIRE AREA #2 TOTAL OCCUPANT LOAD = 110

64 OCCUPANTS IN FIRE AREA #2 + 46 OCCUPANTS

EXITING THROUGH AREA FROM FIRE AREA #1

TWO EXITS PROVIDED (MIN. TWO REQ'D);

90 OCCUPANTS (MAX. 170 CAPACITY) THIS LOCATION

20 OCCUPANTS (MAX. 300+ CAPACITY)

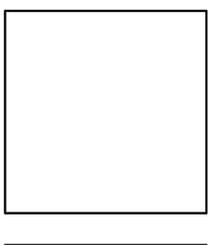
RECOMMENDED PANIC HARDWARE THIS DOOR. RE: 01/A-5 DOOR SCHEDULE AND DOOR NOTE #2

5' WIDE CONC. SIDEWALK LANDINGS AT EXIT DOOR, A.D.A. COMPLIANT THRESHOLD / LANDING

NOTES:

- THE ONLY SPECIAL FIRE-RATED ASSEMBLY REQUIRED IS THE 2-HOUR RATED FIRE-BARRIER, SEPARATING THE BUILDING INTO TWO SEPARATE FIRE AREAS; AS NOTED / SHOWN ON PLANS.
- MAXIMUM ACTUAL EXIT ACCESS TRAVEL DISTANCES FROM EACH AREA (SANCTUARY, FELLOWSHIP HALL, OFFICE AREA) ARE NOTED ON PLAN ABOVE.
- EXIT SIGNS / EGRESS ILLUMINATION TO BE AS SHOWN ON PLAN ABOVE AND PER CODE AND APPROVAL OF FIRE MARSHAL / BUILDING CODE OFFICIAL. ALSO REFER TO ELECTRICAL LIGHTING PLAN. EXIT SIGNS / EMERGENCY LIGHTING SHOWN THIS:
- PORTABLE FIRE EXTINGUISHERS AS SHOWN ON PLAN ABOVE. SHOWN THIS: THREE (3) TOTAL, ONE (1) IN KITCHEN
- MECHANICAL ENGINEER / SUB-CONTRACTOR RESPONSIBLE FOR DETERMINING CODE REQUIREMENTS FOR ANY DUCT DETECTORS / INDICATORS / EQUIPMENT REQUIRED FOR COMPLIANCE W/ BUILDING CODE AND FIRE CODE.
- EXIT DOORS WITH PANIC HARDWARE (REFER TO DOOR SCHEDULE, SHEET A-5) DOOR #5 1", 11, 15", 16, AND 17) SHOWN THIS:
- FOR FURTHER INFORMATION, REFER TO CODE ANALYSIS, 01/A-3, AND TO HARRIS COUNTY FIRE CODE REVIEW SHEET.

| REVISIONS | | |
|-----------|------|---------------------------------|
| NO | DATE | DESCRIPTION |
| 070920 | | SITE PLAN REVIEW AND PERMITTING |



GREATER OPEN DOOR
 SANCTUARY / FELLOWSHIP HALL
 416 PHELPS AVENUE, KALAMAZOO, MICHIGAN 490048



WSH ARCHITECTURE
 1718 HUMBLE PLACE DRIVE
 HUMBLE, TX 77338
 PH. 281-713-4870
 2041 30TH ST.
 ALLEGAN, MI 49010
 PH. 269-686-8806

A-3

OF

10

DASHED LINE INDICATES RIDGE OF ROOF. HIGHEST POINT OF WALL AT BOTTOM OF SHEATHING AT RIDGE

2X6 BLOCKING / PLATE AT BOTTOM OF ROOF SHEATHING. RE. U.L. DETAIL ON SHEET A-2; FIRE-CALULKING AS REQUIRED

ROOF TRUSSES AT 24" O.C., TYP. SPACING. SCISSOR TRUSSES W/ 4" ON - 12" CEILING SLOPE

NOTE: RUN 2 LAYERS 5/8" THK. TYPE "X" GYP. BD., EACH SIDE OF STUDS, CONTINUOUS FROM SLAB TO BOTTOM OF ROOF SHEATHING, STAGGER JOINTS, TYP. RE: U.L. DESIGN # U 301 AS SHOWN ON SHEET A-2; FIRE-BARRIER BETWEEN ROOF TRUSSES AS SHOWN

ROOF TRUSSES AT 24" O.C., TYP. SPACING, FLAT BOTTOM CHORD, CEILING AT 10'

CEILING HEIGHT VARIES, MAX. 18'-5 1/2" AT CENTER OF CATHEDRAL CEILING 10'-0" TO FIRE-BLOCKING WHERE WALL HGT. EXCEEDS 20'

U.L. DESIGN # U 301 2-HOUR RATED FIRE-BARRIER TO SEPARATE BUILDING INTO TWO FIRE AREAS REFER TO U.L. DESIGN # U 301 AS SHOWN, SHEET A-2, FOR ADDITIONAL INFORMATION

FLAT CEILING AT USHER'S ROOM / FELLOWSHIP HALL 2X6'S AT 16" O.C., 2X6'S AT 12" O.C. WHERE OVERALL WALL HEIGHT EXCEEDS 20'

5/8" 2X6 STUDS 1 1/4" 2-LAYERS 5/8" THK. GYP. BD.

TR'D. 2X6 BOT. PLATE, RAM-SET AT MAX. 2'-8" O.C.

BASEBOARD

COORD. W/ OWNER FOR FINISH FLOORING SELECTION

CONC. SLAB ON 10 MIL P.E. VAPOR BARRIER, RE. FOUNDATION PLAN AND DTL'S.

FIRE - BARRIER 1/2" = 1'-0" O3

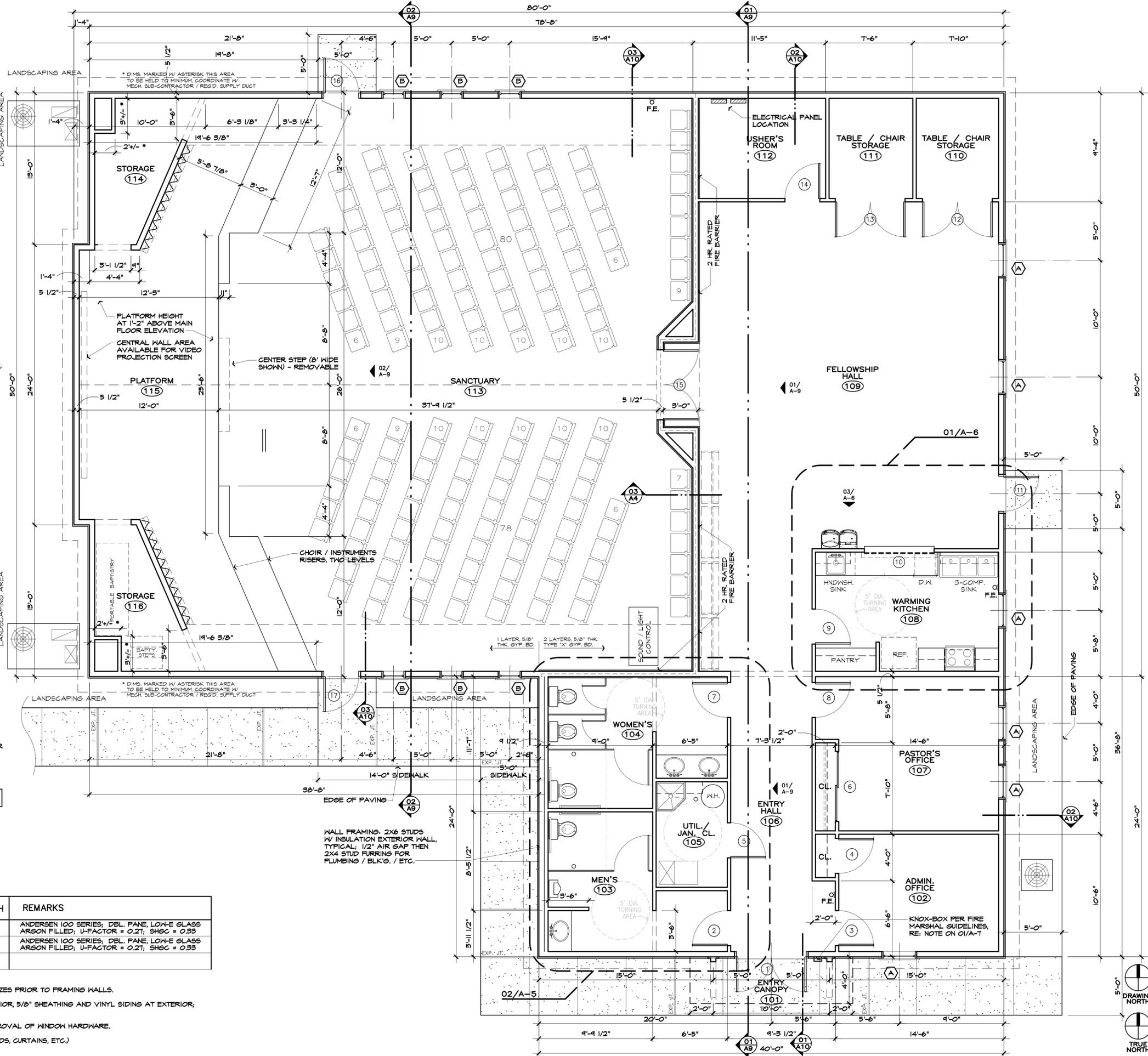
| WIN. MARK | WINDOW | | FRAME/SASH | REMARKS |
|-----------|---------------|-------------------------|--------------------|---|
| | R.O. (W.X.H.) | UNIT SIZE | | |
| (A) | 3'-0" X 4'-0" | 2'-11 1/2" X 3'-11 1/2" | VINYL / VINYL GLAD | ANDERSEN 100 SERIES; DBL. PANE LOW-E GLASS ARGON FILLED; U-FACTOR = 0.27; SHGC = 0.33 |
| (B) | 2'-0" X 5'-0" | 1'-11 1/2" X 4'-11 1/2" | FIXED | ANDERSEN 100 SERIES; DBL. PANE LOW-E GLASS ARGON FILLED; U-FACTOR = 0.27; SHGC = 0.33 |

DOOR NOTES:

- WINDOWS LISTED ARE "ANDERSEN 100 SERIES"; VERIFY ROUGH OPENING SIZES PRIOR TO FRAMING WALLS.
- ALL EXTERIOR WALLS ARE FRAMED W/ 2X6 STUDS, 5/8" GYP. BD. AT INTERIOR, 5/8" SHEATHING AND VINYL SIDING AT EXTERIOR; COORDINATE / SPECIFY JAMB DEPTH WHEN ORDERING WINDOWS.
- GENERAL CONTRACTOR TO COORDINATE W/ OWNER FOR SELECTION / APPROVAL OF WINDOW HARDWARE.
- OWNER TO SUPPLY / BE RESPONSIBLE FOR ANY WINDOW TREATMENTS (BLINDS, CURTAINS, ETC.)

WINDOW SCHEDULE

O2



FLOOR PLAN

1/4" = 1'-0"

O1

| REVISIONS | | |
|-----------|------|---|
| NO | DATE | DESCRIPTION |
| 012020 | | FOR CONTRACTOR / OWNER REVIEW |
| 012420 | | CONTRACTOR / OWNER REVIEW & SPECIAL USE ZONING APPROVAL |
| 060120 | | FOR CONTRACTOR / OWNER REVIEW |
| 070920 | | SITE PLAN REVIEW AND PERMITTING |
| 070920 | | SITE PLAN REVIEW AND PERMITTING KNOX-BOX NOTE ADDED |

NOT FOR CONSTRUCTION

GREATER OPEN DOOR
SANCTUARY / FELLOWSHIP HALL
 416 PHELPS AVENUE, KALAMAZOO, MICHIGAN 490048

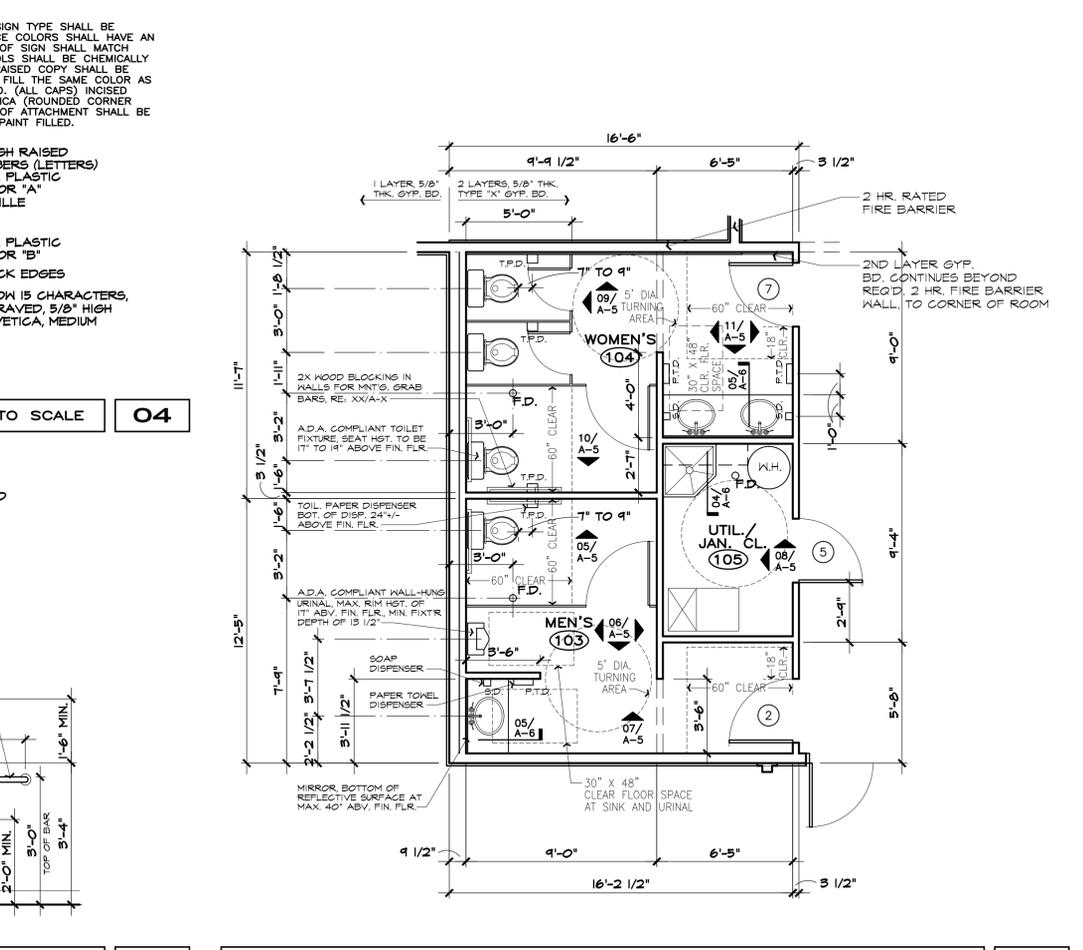
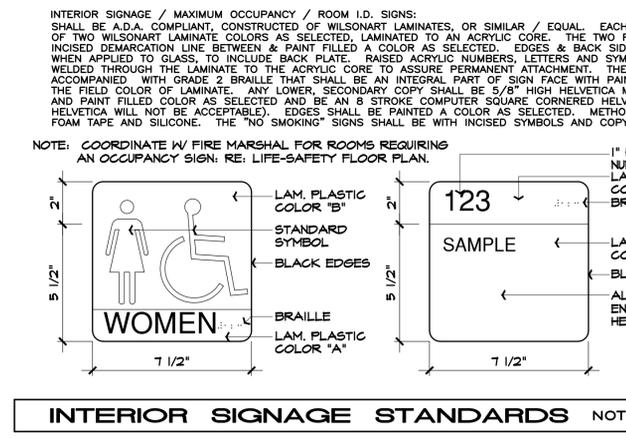
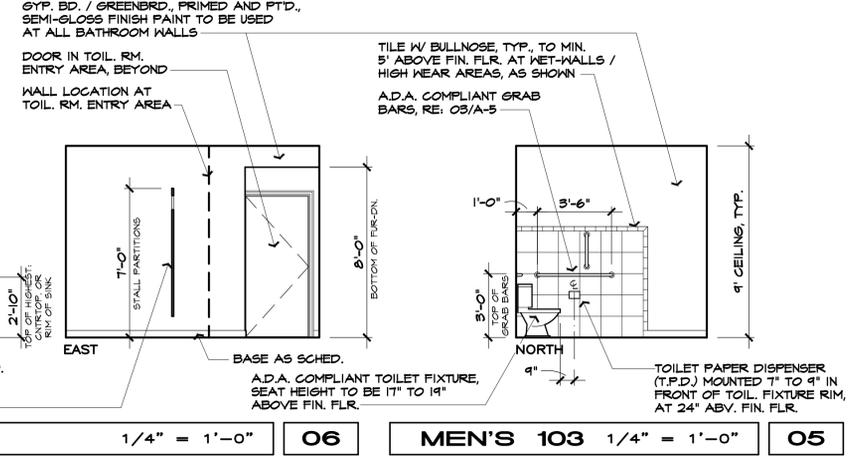
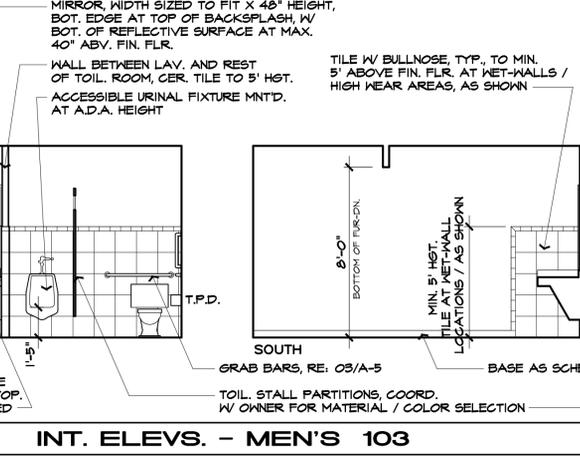
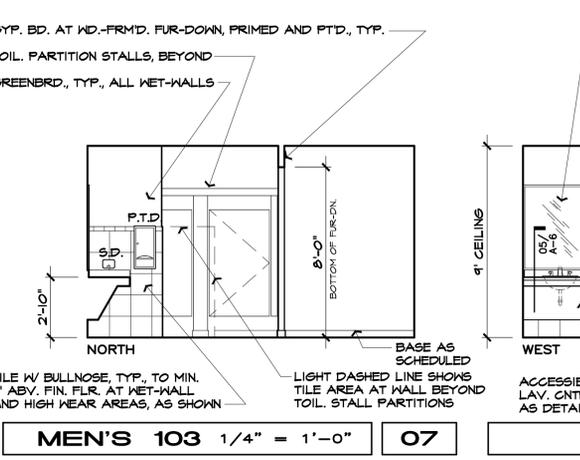
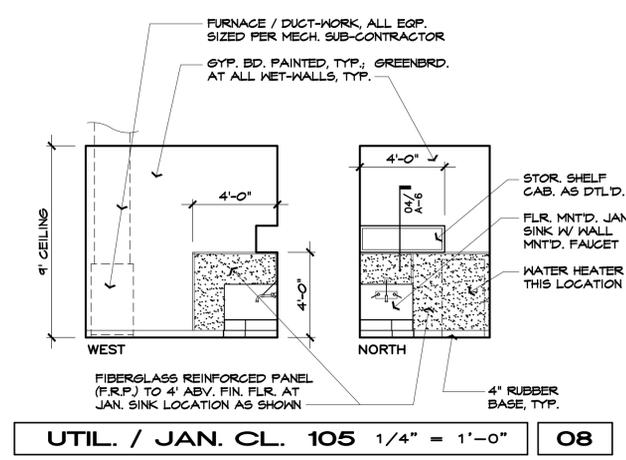
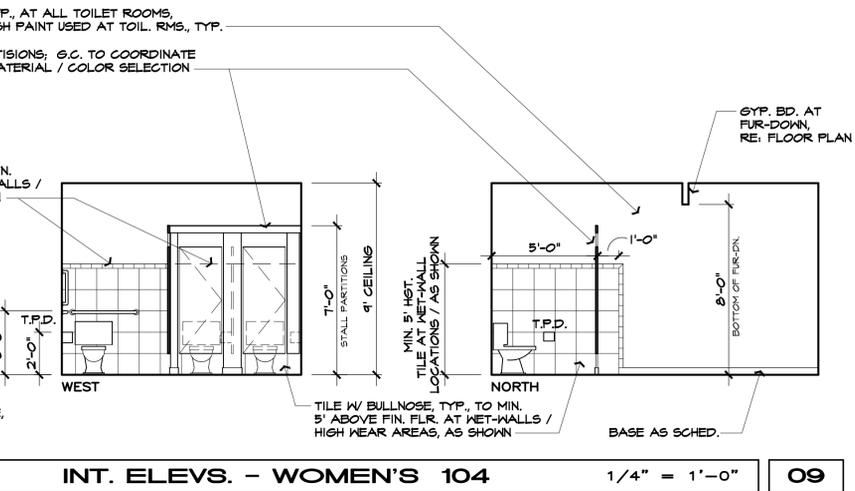
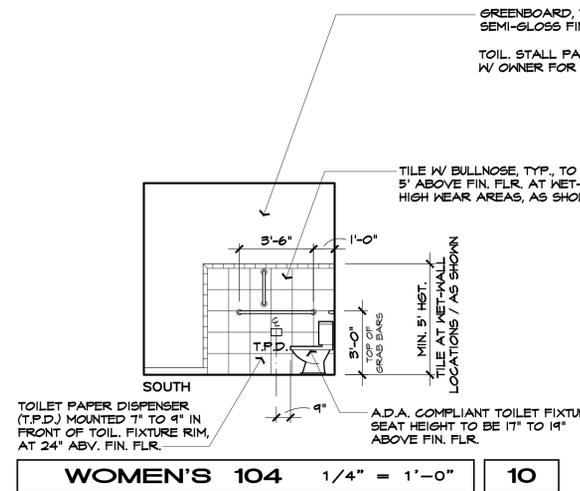
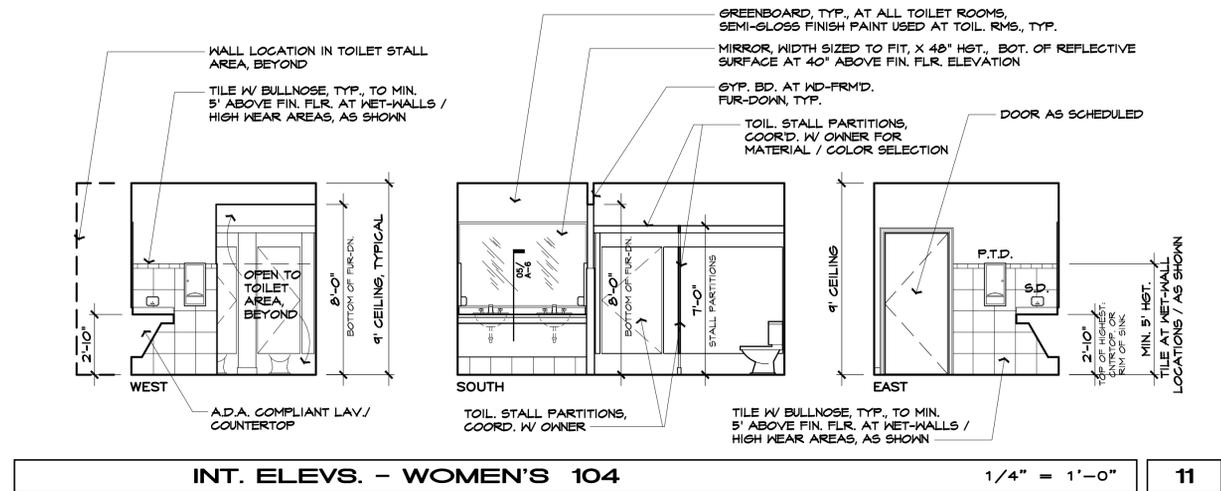


WSH
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A-4
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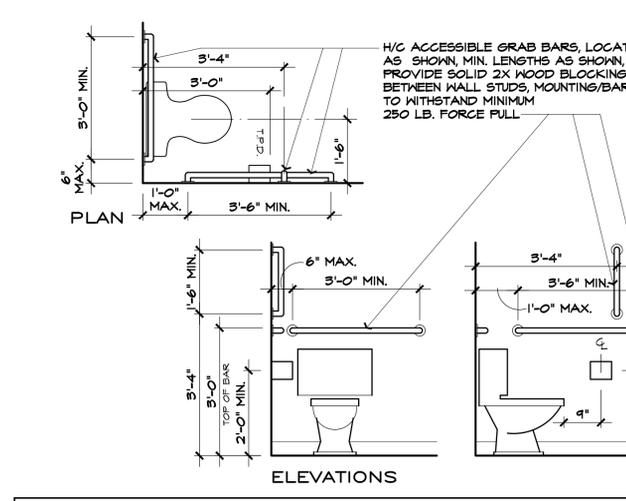
| REVISIONS | | |
|-----------|------|---------------------------------|
| NO | DATE | DESCRIPTION |
| 070920 | | SITE PLAN REVIEW AND PERMITTING |

NOT FOR CONSTRUCTION



| DR. NO. | SIZE | DOOR DESCRIPTION | THRSHLD. MATERIAL | FRAME MATERIAL | REMARKS |
|---------|-------------------|--|--|--|--|
| 1 | 2 - 3'-0" X 8'-0" | FULL-GLASS (TEMP-SAFETY GLASS), VINYL OR METAL GLAD | ALUM. A.D.A. COMPLIANT | WOOD FRM. / CSNG. AZEK TRIM | WEATHER-STRIPPING & SNEEP, CLOSERS, PANIC HARDWARE ** RE: BLDG. ELEVATIONS |
| 2 | 3'-0" X 6'-8" | INTERIOR SWING DOOR | FLRS. TRANSITION STRIP (CARPET/TILE) | WOOD FRAME / CASING | PUSH - FULL HARDWARE, CLOSER |
| 3 | 3'-0" X 6'-8" | INTERIOR SWING DOOR | NONE | . | KEYED LOCK |
| 4 | 3'-0" X 6'-8" | INTERIOR SWING DOOR | NONE | . | KEYED LOCK |
| 5 | 3'-0" X 6'-8" | INTERIOR SWING DOOR | FLRS. TRANSITION STRIP (CARPET/SEALED CONC.) | . | KEYED LOCK, CLOSER |
| 6 | 2 - 3'-0" X 6'-8" | BI-PASS SLIDERS | NONE | . | BI-PASS HRDWR. |
| 7 | 3'-0" X 6'-8" | INTERIOR SWING DOOR | FLRS. TRANSITION STRIP (CARPET/TILE) | . | PUSH - FULL HARDWARE, CLOSER |
| 8 | 3'-0" X 6'-8" | INTERIOR SWING DOOR | NONE | . | KEYED LOCK |
| 9 | 3'-0" X 6'-8" | INTERIOR SWING DOOR | FLRS. TRANSITION STRIP (CARPET/TILE) | . | KEYED LOCK |
| 10 | 6'-0" X 5'-0" | OVERHEAD COILING CNTRTOP. DOOR | NONE | ALUM. JAMB TRACKS, ALUM. MTL. OIL HOUSING | LOCK |
| 11 | 3'-0" X 6'-8" | HOLLOW METAL FLUSH W/ VIEW LITE, EXTERIOR DOOR W/ INSULATED CORE | ALUM. A.D.A. COMPLIANT | HOL. MTL. FRAME, EXTR. AZEK / INTR. HD. TRIM | WEATHER-STRIPPING & SNEEP, CLOSERS, PANIC HARDWARE, RE: BLDG. ELEVATIONS |
| 12 | 2 - 3'-0" X 6'-8" | PAIR - INTERIOR SWING DOORS | NONE | WOOD FRAME / CASING | PASSAGE HARDWARE |
| 13 | 2 - 3'-0" X 6'-8" | PAIR - INTERIOR SWING DOORS | NONE | . | PASSAGE HARDWARE |
| 14 | 3'-0" X 6'-8" | INTERIOR SWING DOOR | NONE | . | KEYED LOCK |
| 15 | 2 - 3'-0" X 6'-8" | PAIR - INTERIOR SWING DOORS, 1 1/2 HOUR (90 MIN) RATED W/ MAX. 100 SQ. INCH VISION PANEL (24" X 48" GLAZING) | NONE | HOL. MTL. FRAME, EXTR. AZEK / INTR. HD. TRIM | FRAME / DOOR / ENTIRE ASSEMBLY TO BE 90 MIN RATED, DOOR FRAME ASSEMBLY TO BE PROPERLY LABELED, CLOSERS *** |
| 16 | 3'-0" X 6'-8" | HOLLOW METAL FLUSH W/ VIEW LITE, EXTERIOR DOOR W/ INSULATED CORE | ALUM. A.D.A. COMPLIANT | HOL. MTL. FRAME, EXTR. AZEK / INTR. HD. TRIM | WEATHER-STRIPPING & SNEEP, CLOSERS, PANIC HARDWARE, RE: BLDG. ELEVATIONS |
| 17 | 3'-0" X 6'-8" | HOLLOW METAL FLUSH W/ VIEW LITE, EXTERIOR DOOR W/ INSULATED CORE | ALUM. A.D.A. COMPLIANT | HOL. MTL. FRAME, EXTR. AZEK / INTR. HD. TRIM | WEATHER-STRIPPING & SNEEP, CLOSERS, PANIC HARDWARE, RE: BLDG. ELEVATIONS |

- DOOR NOTES:
- * DOOR NO. 1 - VERIFY DOOR HEIGHT W/ SELECTED MANUFACTURER'S / SUPPLIER'S STANDARD HEIGHT, EITHER 7'-10" OR 8'-0".
 - ** DOOR NO. 1 - PROVIDE EITHER PANIC HARDWARE THIS DOOR, OR LOCK / LATCH ASSEMBLY IS ALLOWED PER CODE SECTION 10104.13 NO.2. 2.1 - LOCKING DEVICE IS READILY DISTINGUISHABLE. 2.2 - THIS DOOR TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED* SIGN IN LETTERS 1" HIGH ON CONTRASTING BACKGROUND IS POSTED ON THE EGRESS SIDE OF THE DOOR, AND 2.3 - THE USE OF KEY OPERATED LOCKING DEVICE IS REVOCABLE BY THE BUILDING OFFICIAL FOR DUE CAUSE.
 - *** DOOR NO. 15 - FIRE EXIT HARDWARE (PANIC HARDWARE RATED FOR USE ON A FIRE RATED DOOR ASSEMBLY) IS NOT REQUIRED AT THIS DOOR PER OCCUPANT LOAD CALCULATIONS / EGRESS CATCHMENT AREA. REFER TO LIFE-SAFETY FLOOR PLAN. VERIFY W/ LOCAL BUILDING OFFICIAL / INSPECTOR. ALTHOUGH FIRE EXIT HARDWARE IS NOT REQUIRED, IT IS RECOMMENDED. IN ANY CASE, DOORS TO HAVE AUTOMATIC CLOSERS; * DOOR / ASSEMBLY TO BE RATED 1 1/2 HOURS (90 MINUTE).
 - DOOR HARDWARE: DOOR HANDLES / HARDWARE AT ALL INTERIOR DOORS SHALL BE OF A LEVER-SET / LEVER OPERATED TYPE OF HANDLE (NO KNOBS REQUIRING TIGHT GRASPING AND/OR TWISTING MOTION TO OPERATE) TO MEET A.D.A. REQUIREMENTS.
 - CONTRACTOR TO COORDINATE W/ OWNER FOR SELECTION OF COLOR / FINISH OF DOOR HARDWARE.
 - DOOR NO. 1 - U-FACTOR OF 0.35 AND SHGC OF 0.21 (ANDERSEN DBL. PANE INSULATED GLASS, OUT-SWING DOORS), OR EQUAL / BETTER (EQUAL OR LOWER U-FACTOR) PER CONTRACTOR SELECTION.
 - DOORS NO. 11, 16, AND 17 - U-FACTOR OF 0.31 (STEELCRAFT L16 SERIES, HOLLOW METAL DOOR W/ FLOYSTYRENE INSULATION) OR EQUAL / BETTER (EQUAL OR LOWER U-FACTOR) PER CONTRACTOR SELECTION.



GREATER OPEN DOOR
 SANCTUARY / FELLOWSHIP HALL
 416 PHELPS AVENUE, KALAMAZOO, MICHIGAN 490048



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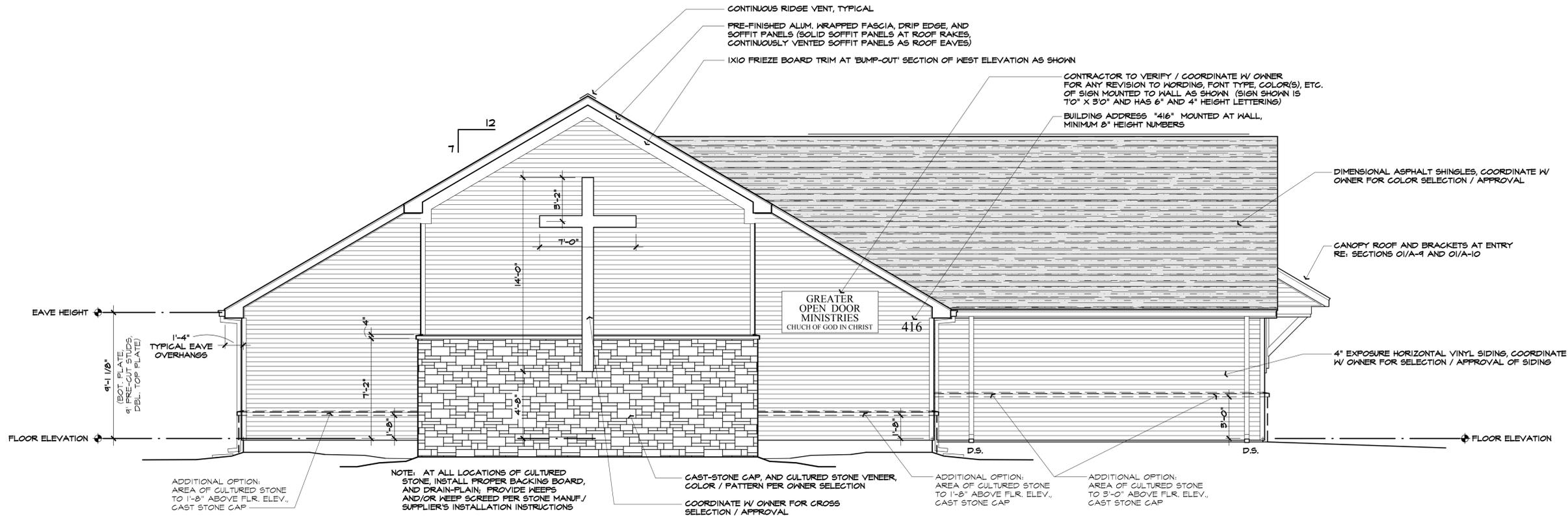
A-5

OF 10

DATE 07-09-2020

| REVISIONS | | |
|-----------|------|--|
| NO | DATE | DESCRIPTION |
| 012420 | | CONTRACTOR / OWNER REVIEW & SPECIAL USE ZONING APPROVAL |
| 060120 | | FOR CONTRACTOR / OWNER REVIEW |
| 070920 | | SITE PLAN REVIEW AND PERMITTING |
| 070920 | | SITE PLAN REVIEW AND PERMITTING KNOX-BOX, SIGN/ADDRESS ADD |

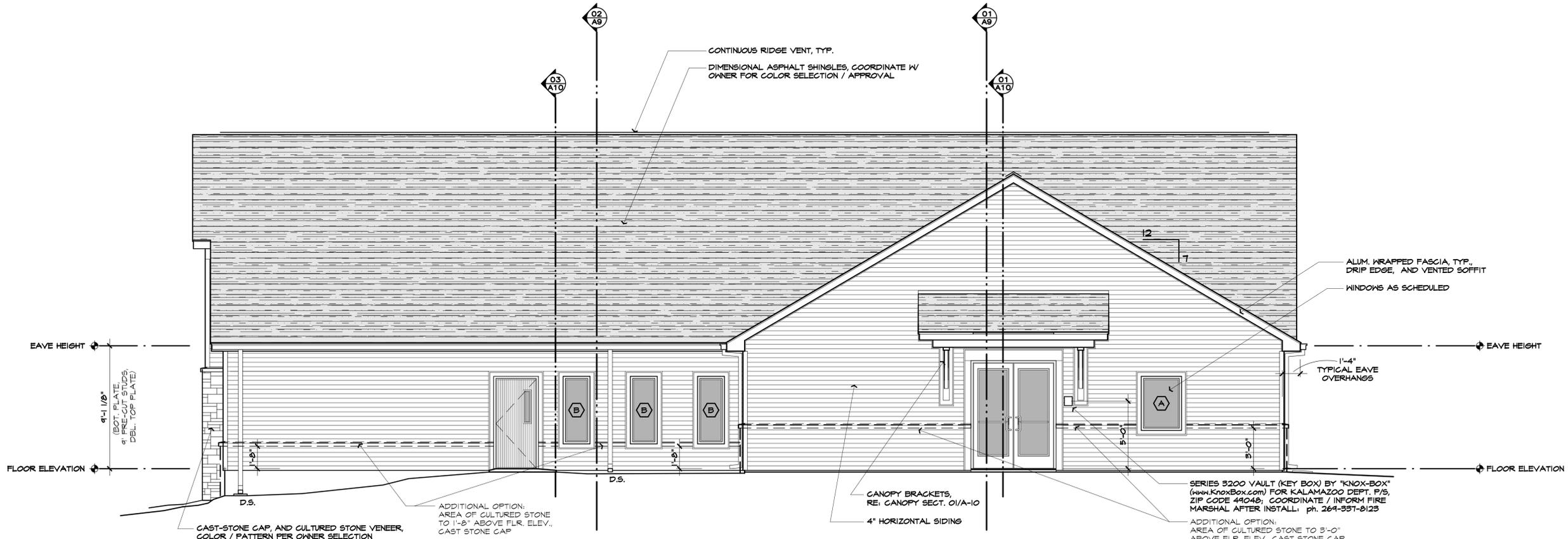
NOT FOR CONSTRUCTION



WEST ELEVATION

1/4" = 1'-0"

02



SOUTH ELEVATION

1/4" = 1'-0"

01

GREATER OPEN DOOR
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 416 PHELPS AVENUE, KALAMAZOO, MICHIGAN 490048

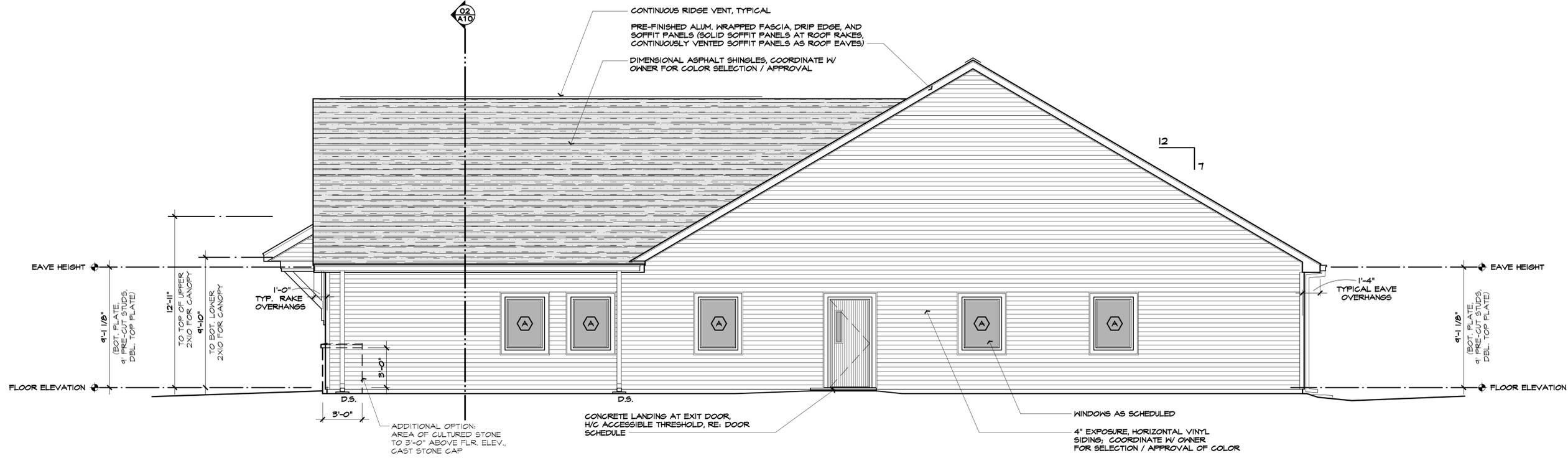


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A-7
 OF
 10
 DATE 07-09-2020

| REVISIONS | | |
|-----------|------|---|
| NO | DATE | DESCRIPTION |
| 012420 | | CONTRACTOR / OWNER REVIEW & SPECIAL USE ZONING APPROVAL |
| 060120 | | FOR CONTRACTOR / OWNER REVIEW |
| 070920 | | SITE PLAN REVIEW AND PERMITTING |

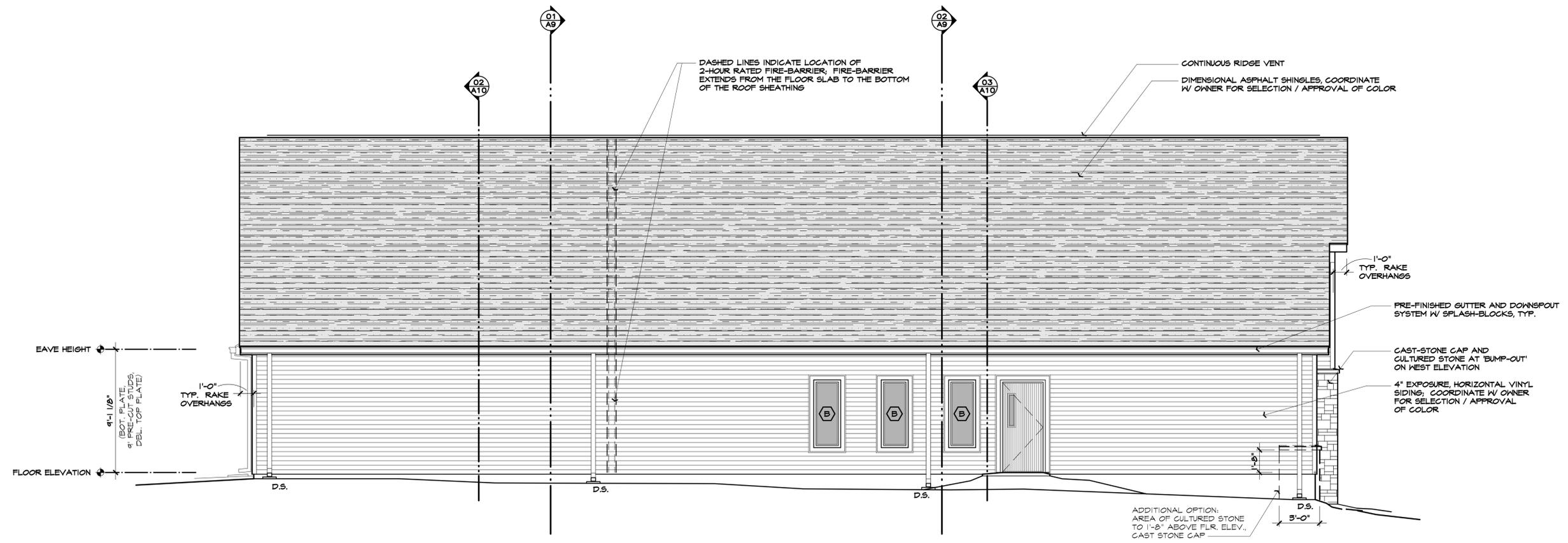
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EAST ELEVATION

1/4" = 1'-0"

02



NORTH ELEVATION

1/4" = 1'-0"

01

GREATER OPEN DOOR
 SANCTUARY / FELLOWSHIP HALL
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A-8
 OF
 10

DATE 07-09-2020

| REVISIONS | | |
|-----------|------|---------------------------------|
| NO | DATE | DESCRIPTION |
| 062220 | | SITE PLAN REVIEW AND PERMITTING |
| 070920 | | SITE PLAN REVIEW AND PERMITTING |

NOT FOR CONSTRUCTION

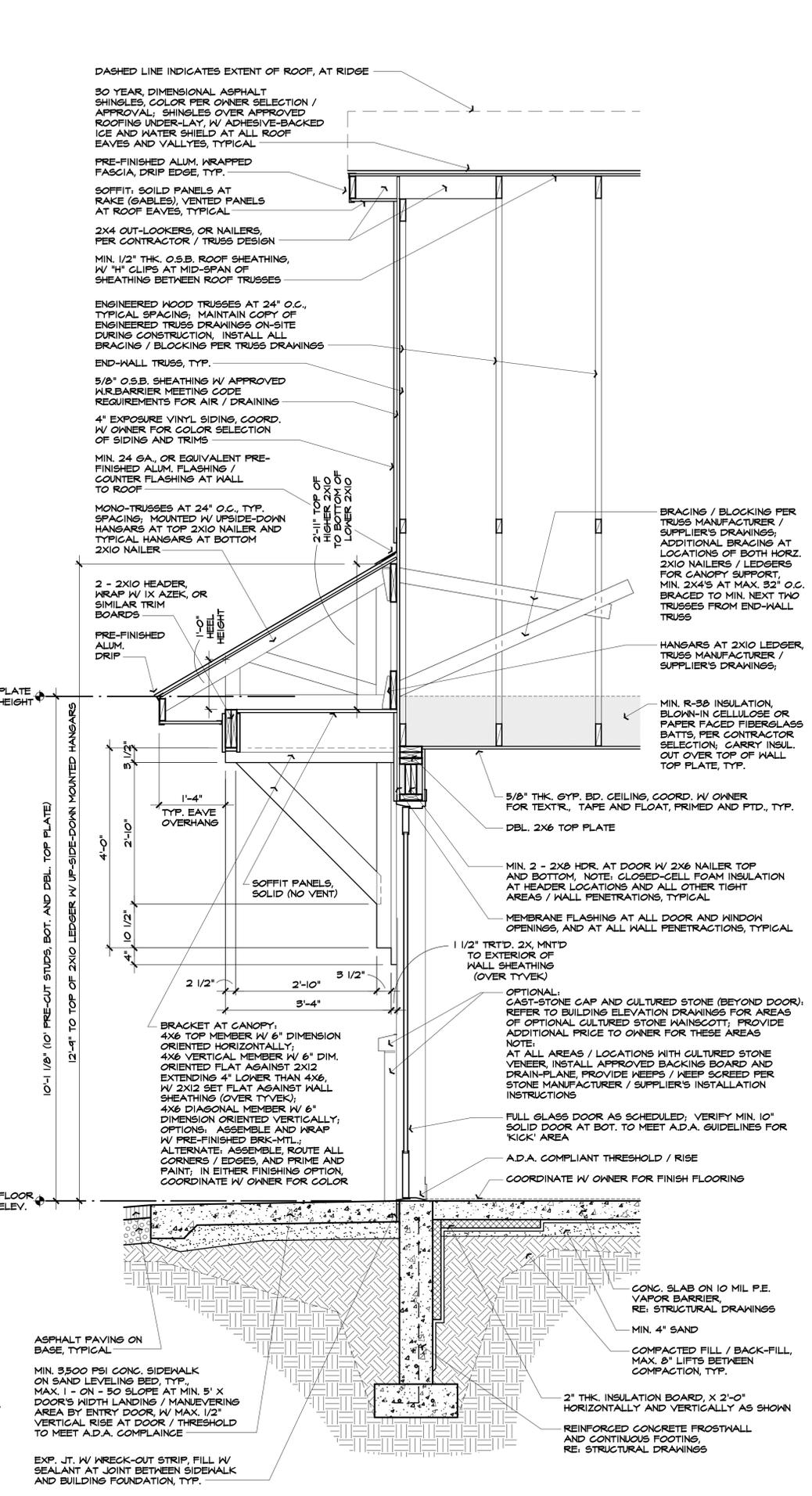
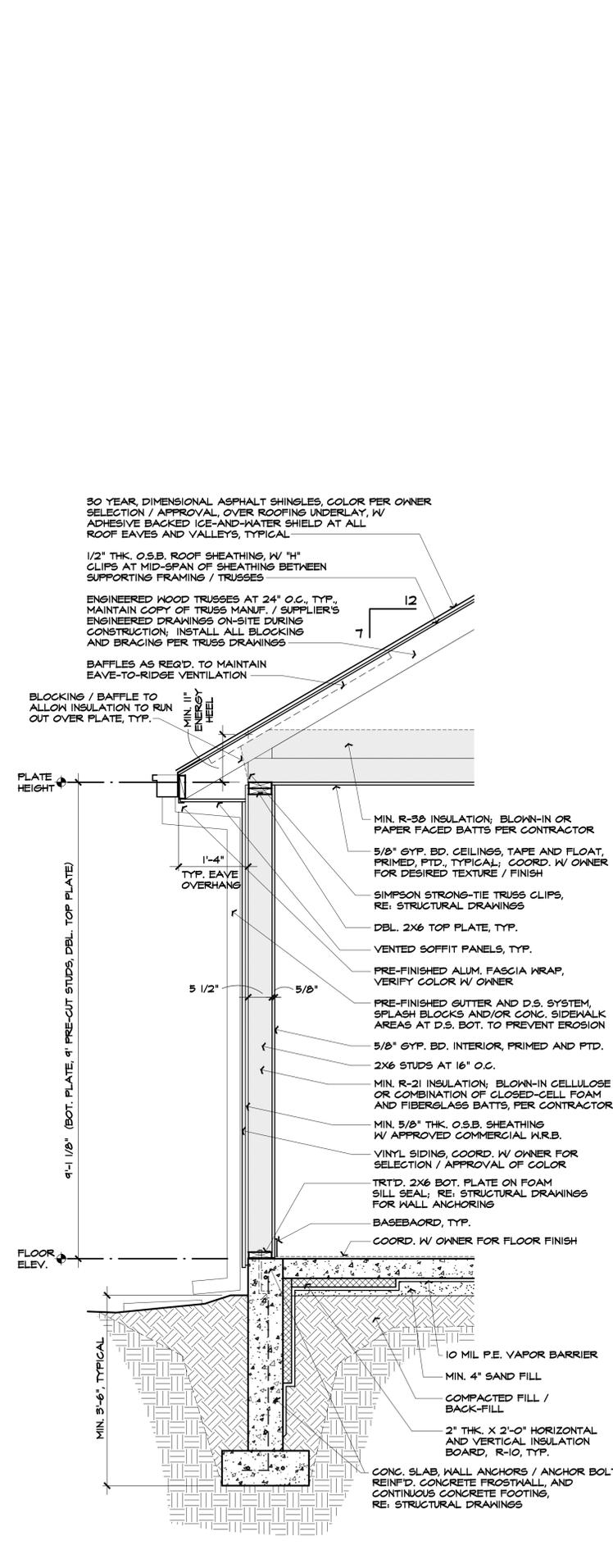
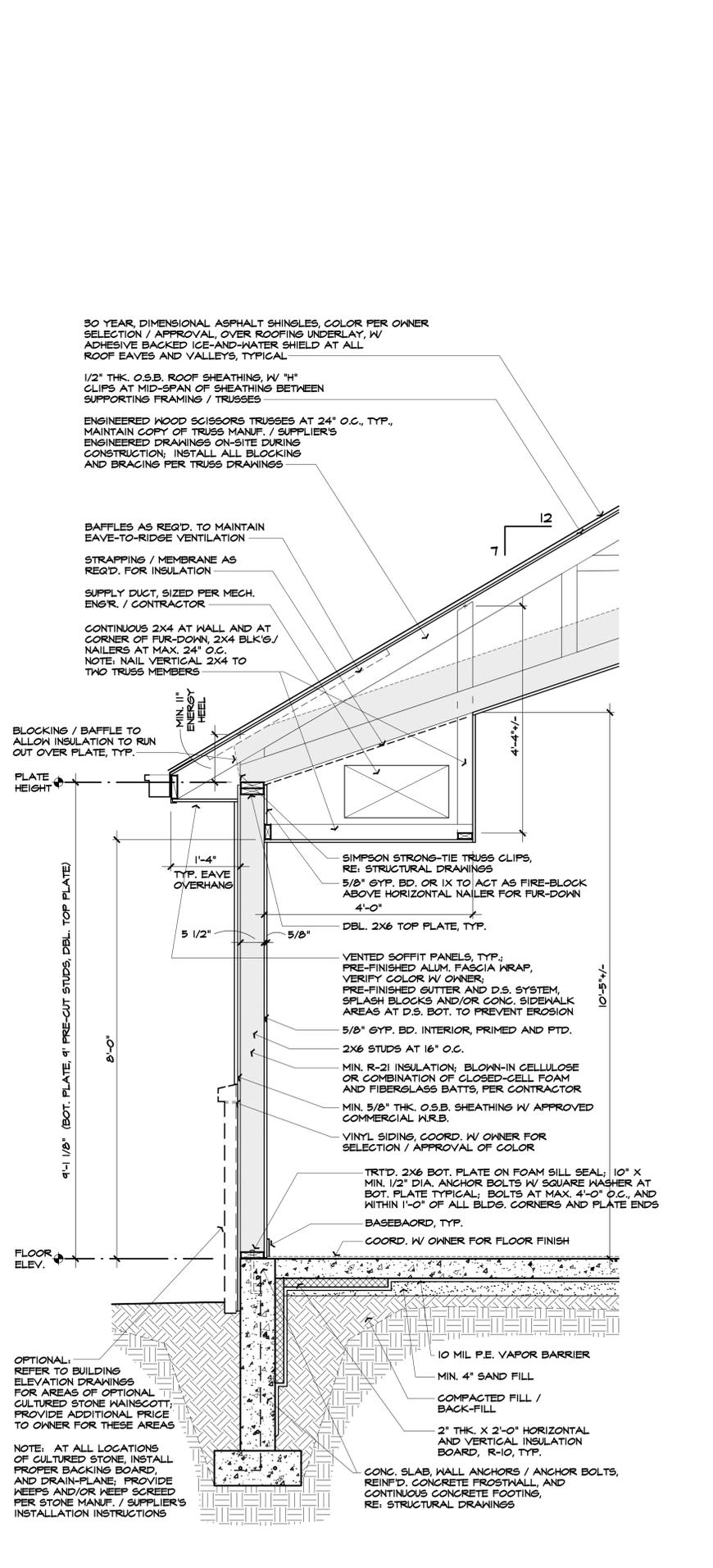
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OF
10



| REVISIONS | | |
|-----------|------|---------------------------------|
| NO | DATE | DESCRIPTION |
| 070920 | | SITE PLAN REVIEW AND PERMITTING |

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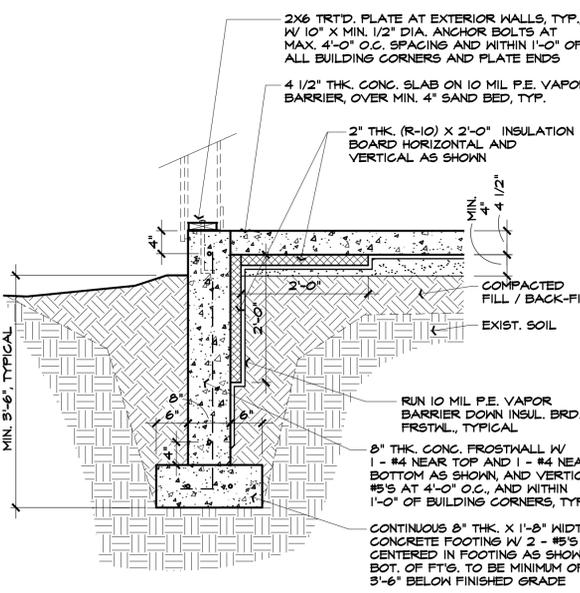
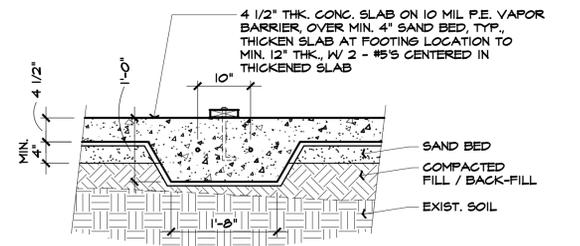
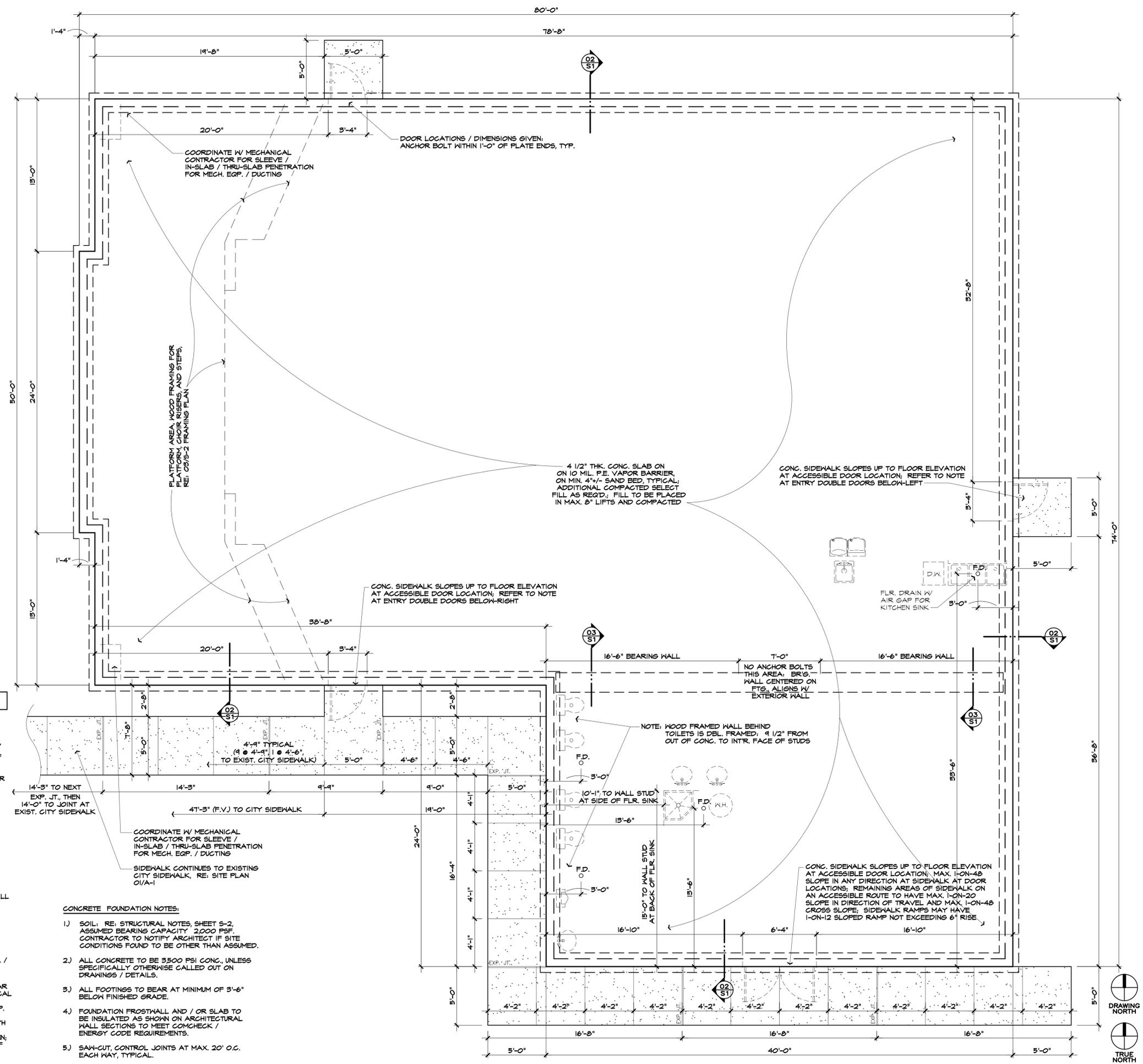
GREATER OPEN DOOR
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S-1

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2

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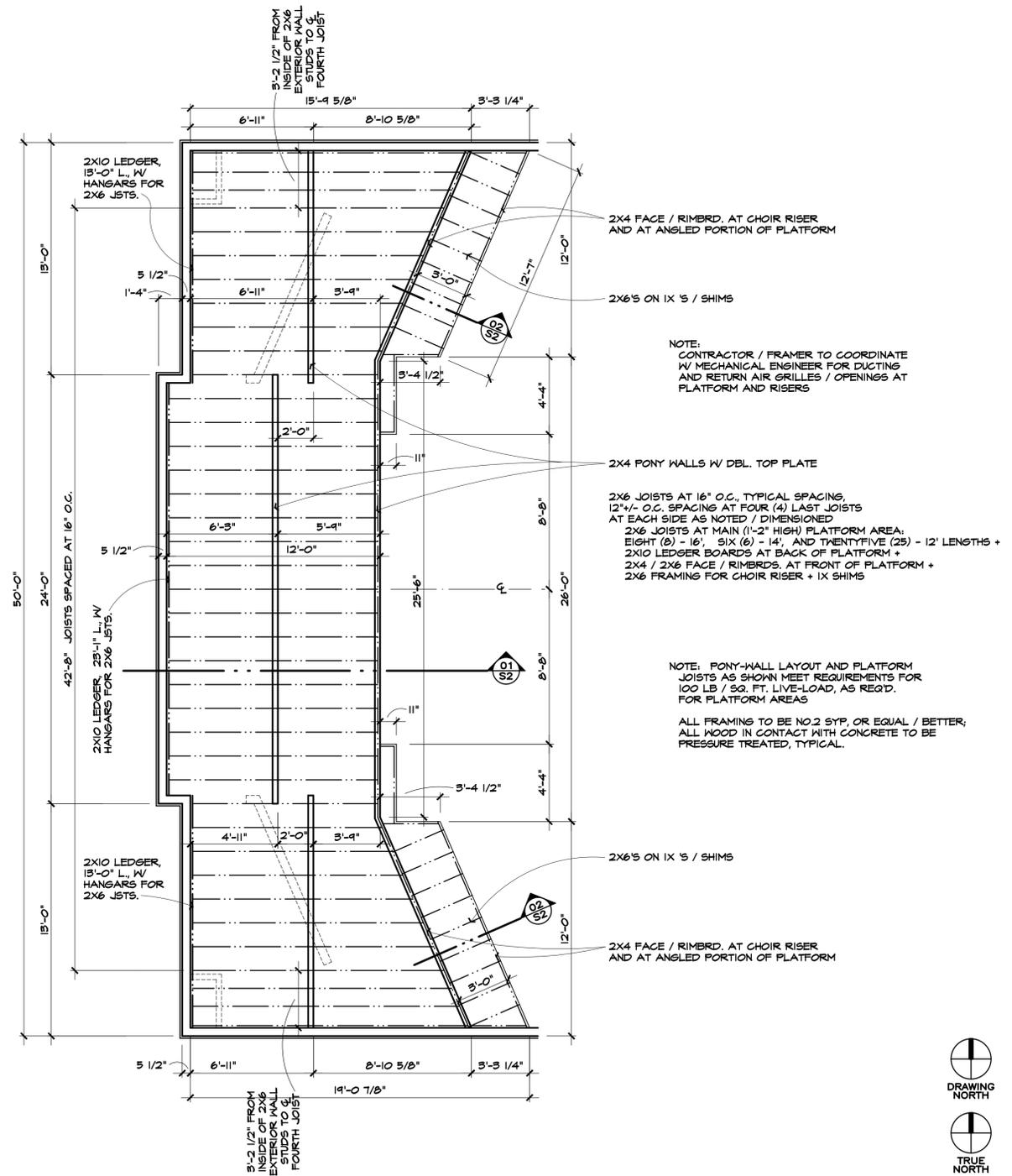


FOUNDATION PLAN 1/4" = 1'-0" 01

| REVISIONS | | |
|-----------|------|---------------------------------|
| NO | DATE | DESCRIPTION |
| 070920 | | SITE PLAN REVIEW AND PERMITTING |

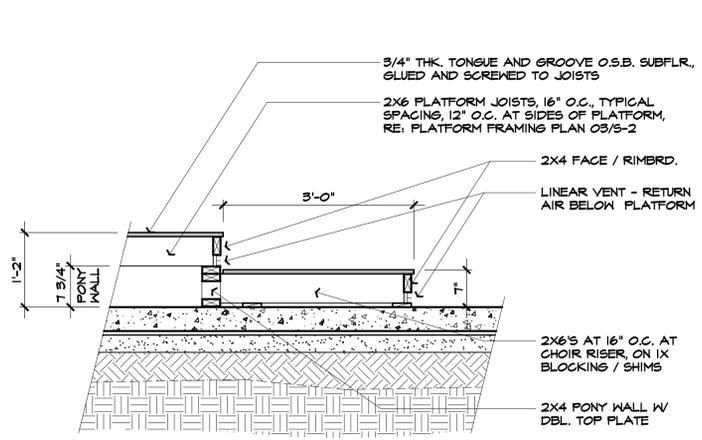
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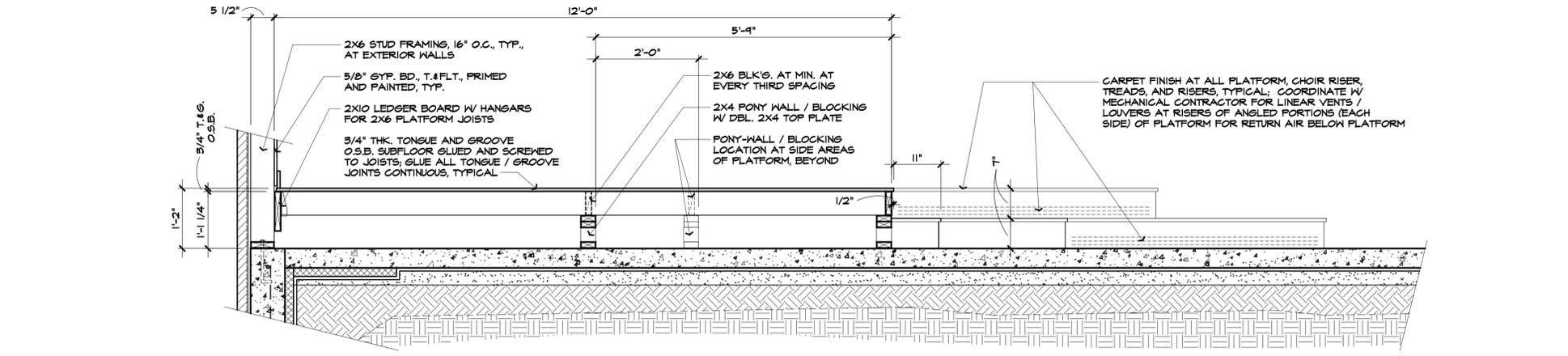


CONSTRUCTION / STRUCTURAL NOTES 04

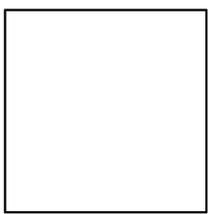
PLATFORM FRAMING PLAN 1/4" = 1'-0" 03



PLTFRM. / CHOIR RISER 3/4" = 1'-0" 02



PLATFORM SECTION 3/4" = 1'-0" 01



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