

LOCATION MAP
SCALE: 1" = 300'±

TABLE OF LAND USE AND ZONING
PARCEL ID: 06-30-256-001
COMMUNITY COMMERCIAL DISTRICT (CC)

PROPOSED USE	ZONING REQUIREMENT	REQUIRED	PROPOSED
PROVISIONING CENTER - PERMITTED USE			
§ 5.2-1	MINIMUM LOT AREA	5,000 SF (0.11 AC)	57,769 SF (1.33 AC)
§ 5.2-1	MAXIMUM IMPERVIOUS COVERAGE	80% (46,215 SF)	21% (12,319 SF)
§ 5.2-1	MAXIMUM BUILDING HEIGHT	65 FT	18.17 FT
§ 20B	MINIMUM MEDICAL MARIJUANA RESIDENTIAL SETBACK(*)	500 FT	500 FT
§ 5.2-1	MINIMUM MEDICAL MARIJUANA SETBACK(**)	1,000 FT	950.7 FT (***)
§ 5.2-1	MINIMUM FRONT YARD SETBACK	N/A	10.0 FT
§ 5.2-1	MINIMUM SIDE YARD SETBACK	N/A	10.0 FT
§ 5.2-1	MINIMUM REAR YARD SETBACK	25 FT	266.6 FT

(*) MEASURED FROM SURROUNDING RESIDENTIALLY ZONED AREAS
(**) MEASURED FROM EXISTING PROVISIONING CENTERS
(***) VARIANCE GRANTED ADMINISTRATIVELY BY CITY PLANNER

TABLE OF ZONING RELIEF

CODE SECTION	ZONING REQUIREMENT	REQUIRED	PROPOSED
§ 20B	MINIMUM MEDICAL MARIJUANA SETBACK(*)	1,000 FT	950.7 FT (**)
§ 50-6.2.H.1	NFP SLOPE PROTECTION	SLOPES >20% PROTECTED SLOPES	(V)
§ 50-6.2.H.3	NFP SLOPE SETBACK	10 FT SETBACK FROM PROTECTED SLOPES	0 FT (V)
§ 7.4	OFF-PREMISES SIGN	N/A	OFF-PREMISES SIGN (V)

(*) MEASURED FROM EXISTING PROVISIONING CENTERS
(**) VARIANCE GRANTED ADMINISTRATIVELY BY CITY PLANNER
(V) VARIANCE APPROVED 10/14/2019

OFF-STREET PARKING REQUIREMENTS

CODE SECTION	REQUIRED	PROPOSED
§50-7.2-1	RETAIL: 1 SPACE PER 330 SF OF FLOOR AREA (4,000 SF)/(1,330 SF) = 12 SPACES	13 SPACES
§ 50-7.2.A.2.b	MAXIMUM PARKING REQUIREMENT: 110% OF MINIMUM REQUIREMENT (12 SPACES)(1.1) = 13 SPACES	13 SPACES
§50-7.2-3	90° PARKING SPACES: 9 FT X 18 FT W/ 20 FT AISLE (*)	9 FT X 18 FT W/ 22 FT AISLE
§ 50-7.3	BICYCLE PARKING: 1 SPACE PER 7 EMPLOYEES (5 EMPLOYEES)/(17 EMPLOYEES) = 1 SPACE 6 FT X 2 FT W/ 5 FT AISLE	2 SPACES
§ 50-7.4	LOADING REQUIREMENT: 10 FT X 25 FT, 50 FT FROM RESIDENTIALLY ZONED AREAS	PROVIDED

OFF PREMISES SIGNAGE REQUIREMENTS

CODE SECTION	REQUIRED	PROPOSED
§ 7.4-1	MAXIMUM AREA: 300 SF	< 300 SF
§ 7.4-1	MINIMUM DISTANCE BETWEEN OFF PREMISES SIGNS: SAME SIDE OF STREET = 1,000 FT OPPOSITE SIDE OF STREET = 500 FT	PROVIDED
§ 7.4-1	MAXIMUM HEIGHT: 30 FT	< 30 FT
§ 7.3-2	SIGN SETBACK: 2 FT FROM PROPERTY LINE	4 FT

(*) DOUBLE FACED SIGNS PERMITTED. SIDE-BY-SIDE SIGNS PROHIBITED.

WALL SIGNAGE REQUIREMENTS

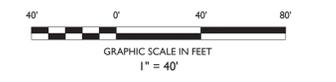
CODE SECTION	REQUIRED	PROPOSED
§ 7.3-2	MAXIMUM AREA: 2 SF PER 1 FT WALL LENGTH NOT TO EXCEED 200 SF WEST: (80 FT)(2 SF/1 FT) = 160 SF NORTH: (50 FT)(2 SF/1 FT) = 100 SF	WEST: <160 SF NORTH: <100 SF

SYMBOL DESCRIPTION

	PROPERTY LINE
	SETBACK LINE
	PROPOSED CONCRETE CURB & GUTTER
	PROPOSED FLUSH CURB
	PROPOSED SIGNS / BOLLARDS
	PROPOSED BUILDING
	PROPOSED CONCRETE
	PROPOSED RETAINING WALL
	PROPOSED CHAINLINK FENCE
	PROPOSED GUIDERAIL
	PROPOSED BUILDING DOORS
	PROPOSED GATE
	PROPOSED BIKE RACK

- GENERAL NOTES**
- THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC PRIOR TO THE START OF CONSTRUCTION.
 - THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
 - ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
 - THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
 - THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
 - THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
 - THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTOR'S EXPENSE.
 - THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
 - THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
 - THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
 - THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION AND DEMOLITION ACTIVITIES.
 - SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.
 - PAVING PERMIT FROM CITY OF KALAMAZOO IS REQUIRED FOR AND PRIOR TO PAVING OF VEHICLE AND MANEUVERING AREAS IN PRIVATE RIGHT OF WAY AND ON PARCEL.

KNOX KEY SWITCH SHALL BE PROVIDED AT GATE. COORDINATE WITH CITY OF KALAMAZOO FIRE MARSHALL.



REVISED PER SITE PLAN REVIEW	ECM	DESCRIPTION
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02/03/2020	ECM	NATURAL FEATURES PROTECTION SUBMISSION FOR CLIENT REVIEW
12/04/2019	ENR/C	REVISION FOR ZONING BOARD OF APPEALS
11/27/2019	ENR/C	NATURAL FEATURES PROTECTION SUBMISSION
09/12/2019	ENR/C	REVISION PER NFP ORDINANCE
06/05/2019	ECM	REVISION FOR CLIENT REVIEW
02/14/2019	KTH	ISSUE

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Phone 248.247.1115

SITE DEVELOPMENT PLANS

3825 STADIUM DRIVE

PROPOSED PROVISIONING CENTER

PARCEL ID: 06-30-256-001
3825 STADIUM DRIVE
THE CITY OF KALAMAZOO
KALAMAZOO COUNTY, MICHIGAN

STATE OF MICHIGAN
JONATHAN REID
REGISTERED PROFESSIONAL ENGINEER
No. 68027
REID COOKKEY REID ENGINEERS
1000 S. WESTLAND AVENUE, SUITE 200
ANN ARBOR, MI 48106

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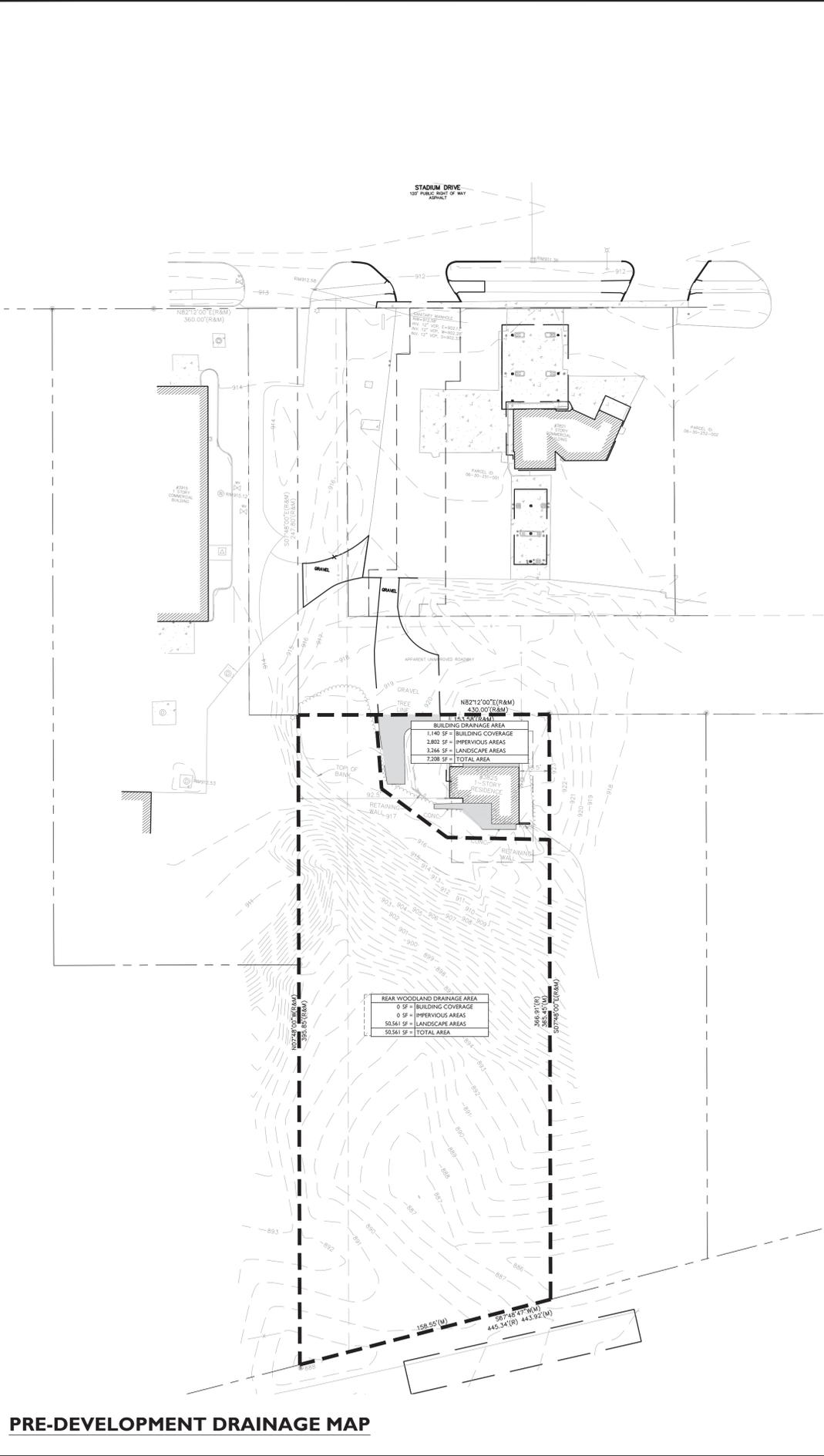
SCALE: 1" = 40' PROJECT ID: M-18413

TITLE:

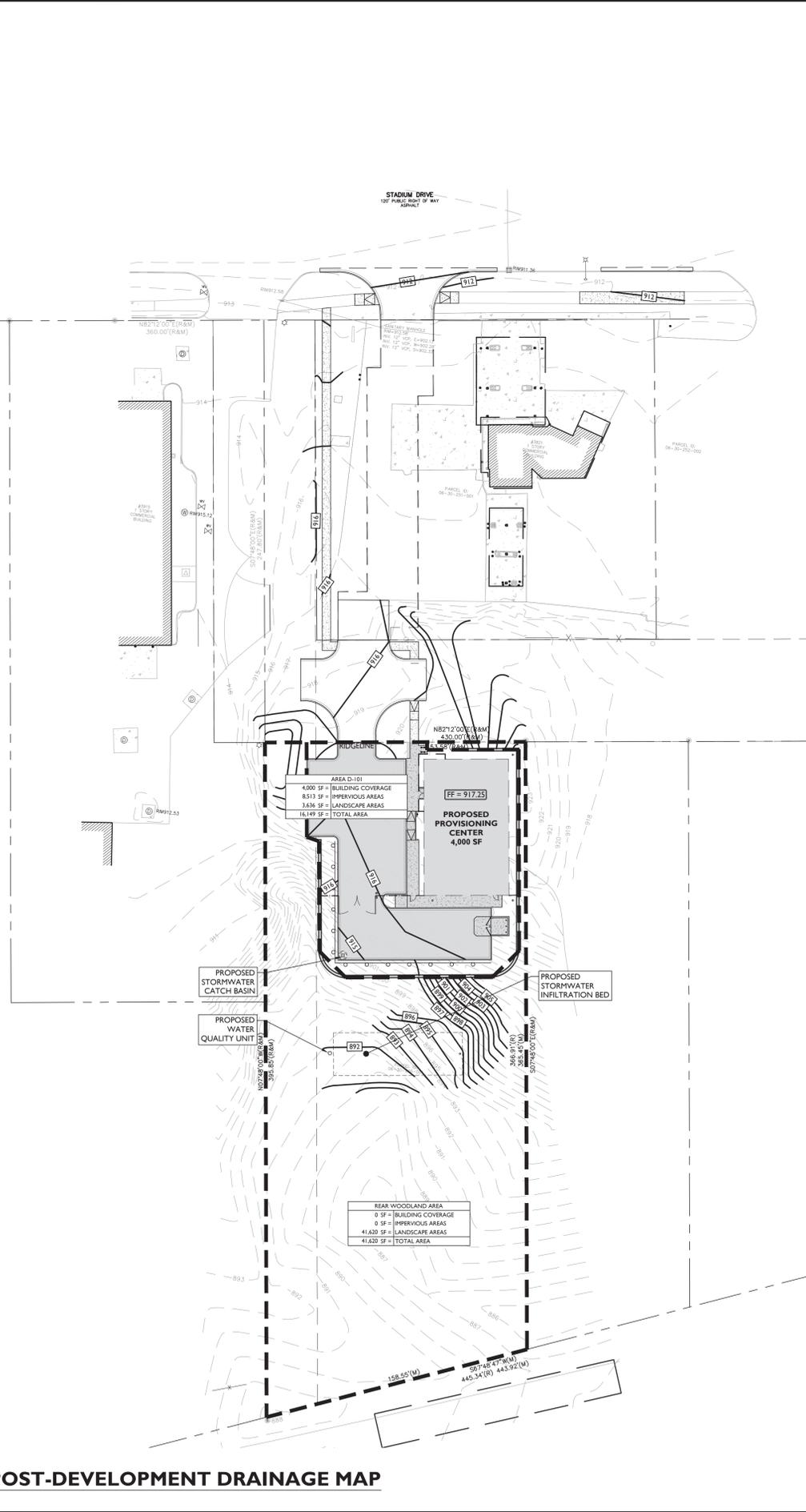
SITE PLAN

DRAWING:

C-3



PRE-DEVELOPMENT DRAINAGE MAP



POST-DEVELOPMENT DRAINAGE MAP

SYMBOL DESCRIPTION

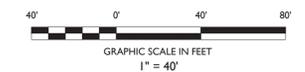
IMPERVIOUS AREA

IMPERVIOUS COVERAGE SUMMARY

LANDCOVER	PRE-DEVELOPMENT	POST-DEVELOPMENT
BUILDING / ROOF	1,140 SF	4,000 SF
PAVEMENT / HARDSCAPE*	2,862 SF	8,674 SF
GREENSPACE	53,827 SF	45,098 SF
SUBTOTALS	57,769 SF	57,769 SF

* IMPERVIOUS COVERAGE DIFFERENCE:
(12,674 SF - 3,942 SF) / 57,769 SF = 15.1% INCREASE

- GRADING NOTES**
- ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DE-WATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DE-WATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.
 - THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES, INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES, TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOILS.
 - PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONEFIELD ENGINEERING & DESIGN, LLC. FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.
 - THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL, COUNTY, STATE AND/OR UTILITY AUTHORITY REGULATIONS.
 - MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:
 - CURB GUTTER: 0.50%
 - CONCRETE SURFACES: 1.00%
 - ASPHALT SURFACES: 1.00%
 - A MINIMUM SLOPE OF 1.00% SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF THIS CONDITION CANNOT BE MET. FOR PROJECTS WHERE BASEMENTS ARE PROPOSED, THE DEVELOPER IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED WITHIN THE BASEMENT AREA, SPECIAL CONSTRUCTION METHODS SHALL BE UTILIZED AND REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL. IF SUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED DIRECTLY TO THE PUBLIC STORM SEWER SYSTEM WITH APPROVAL FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.



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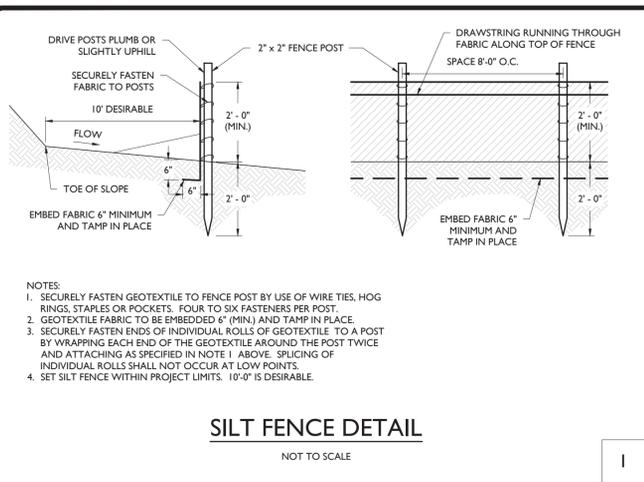
SCALE: 1" = 40' PROJECT ID: M-18413

TITLE:

DRAINAGE PLAN

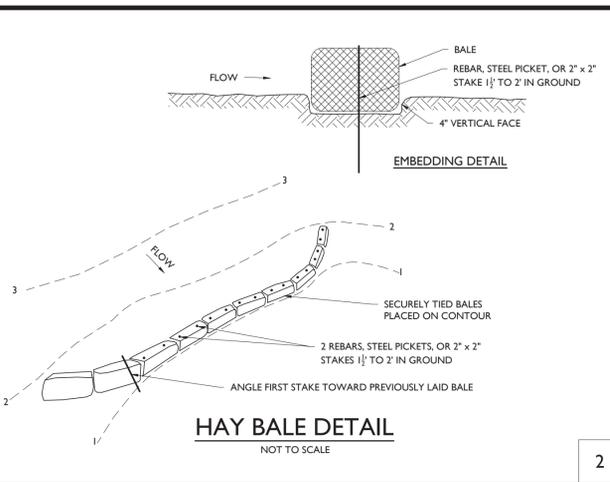
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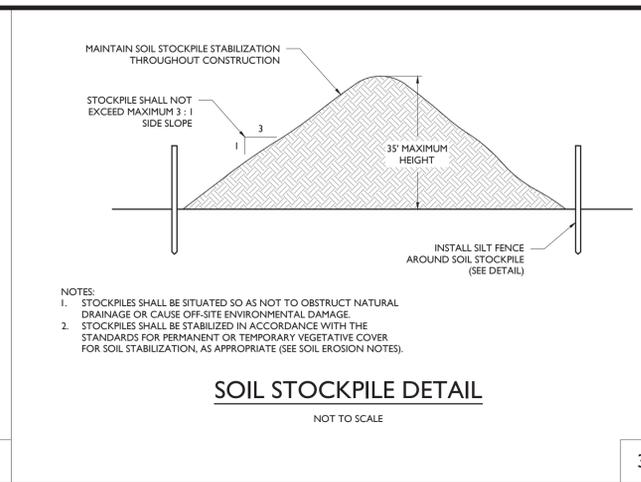
SILT FENCE DETAIL
NOT TO SCALE

1



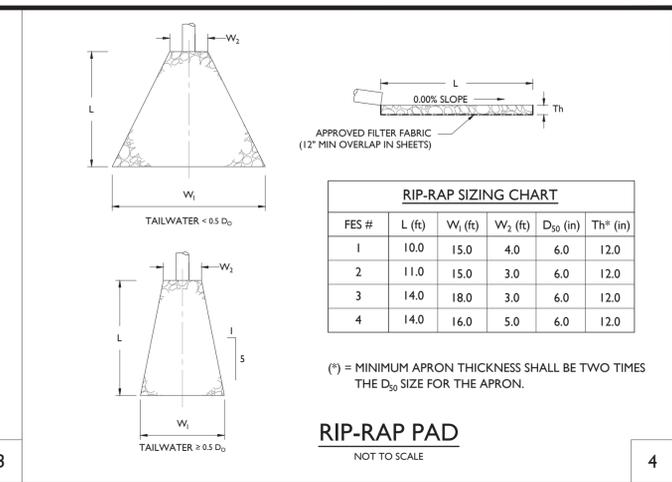
HAY BALE DETAIL
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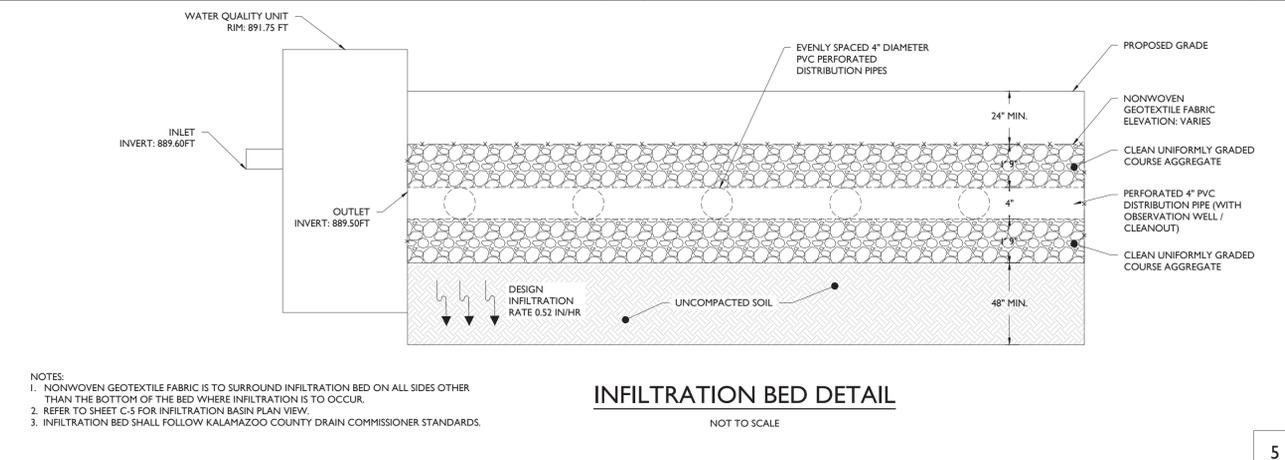
SOIL STOCKPILE DETAIL
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3



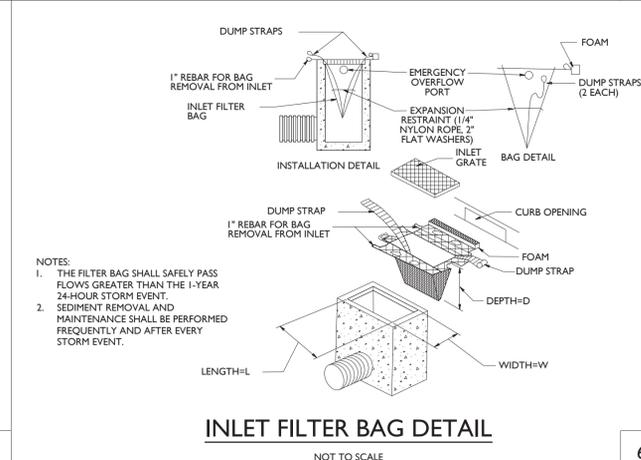
RIP-RAP PAD
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4



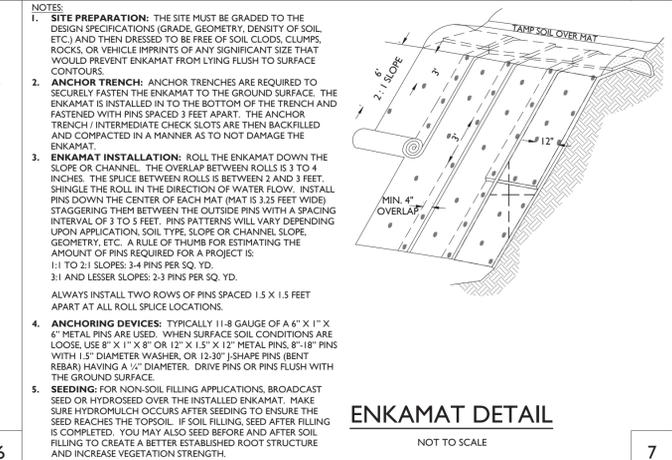
INFILTRATION BED DETAIL
NOT TO SCALE

5



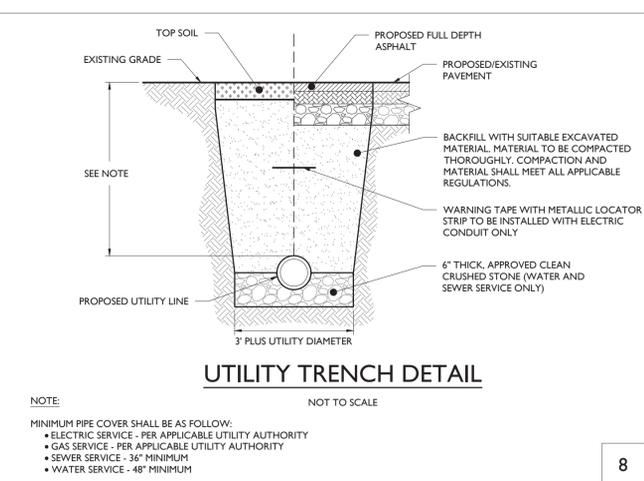
INLET FILTER BAG DETAIL
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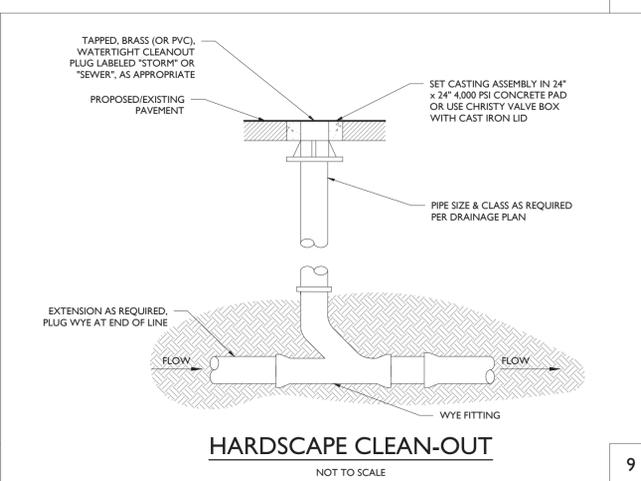
ENKAMAT DETAIL
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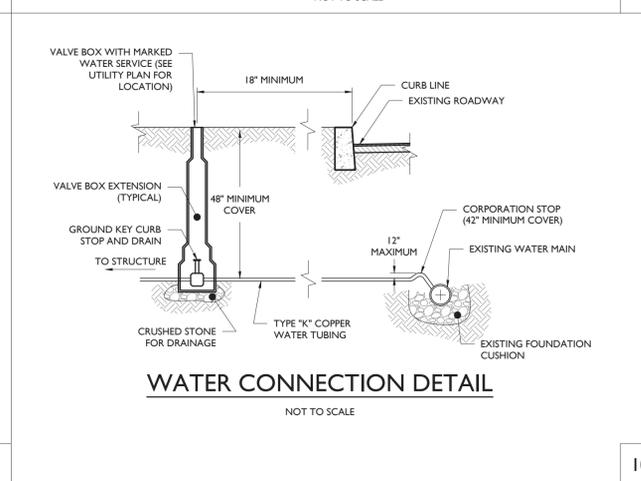
UTILITY TRENCH DETAIL
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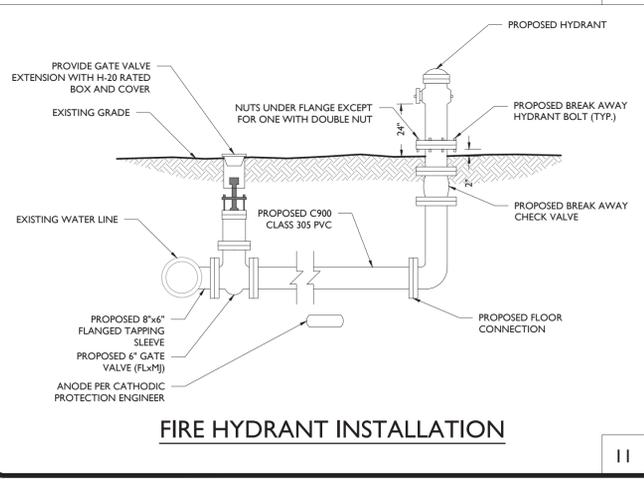
HARDSCAPE CLEAN-OUT
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9



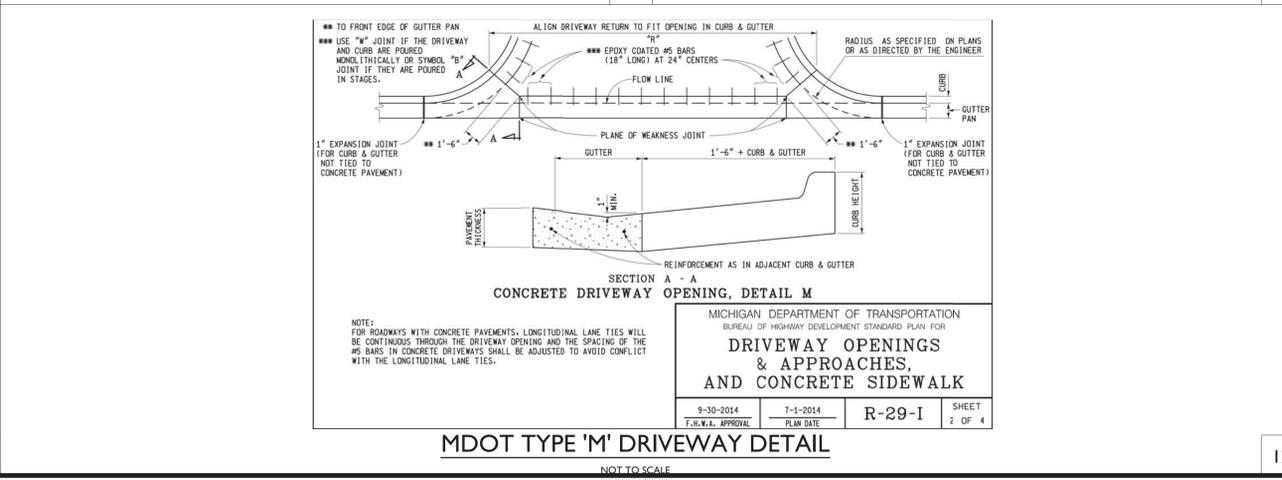
WATER CONNECTION DETAIL
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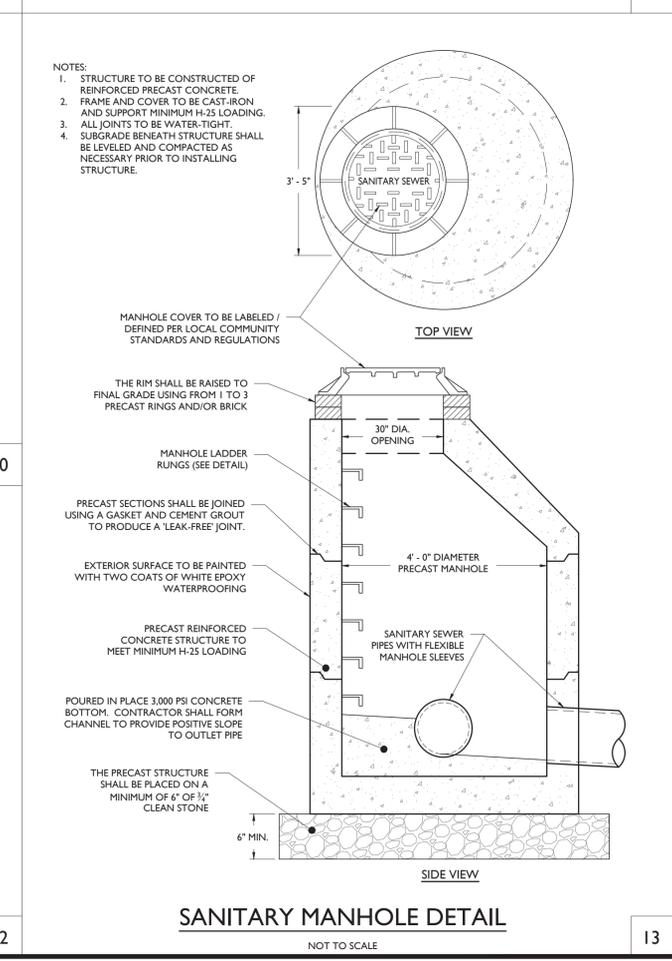
FIRE HYDRANT INSTALLATION

11



MDOT TYPE 'M' DRIVEWAY DETAIL
NOT TO SCALE

12



SANITARY MANHOLE DETAIL
NOT TO SCALE

13

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KALAMAZOO COUNTY, MICHIGAN

STATE OF MICHIGAN

JOYTHAN REID
REGISTERED PROFESSIONAL ENGINEER
No. 10526

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SCALE: AS SHOWN PROJECT ID: M-18413

TITLE: **CONSTRUCTION DETAILS**

DRAWING: **C-13**

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