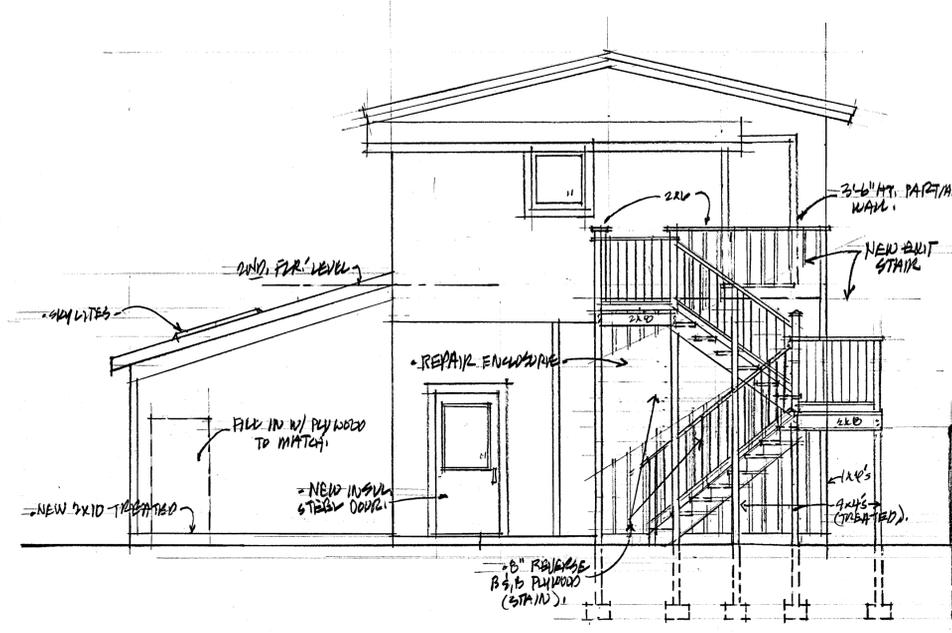
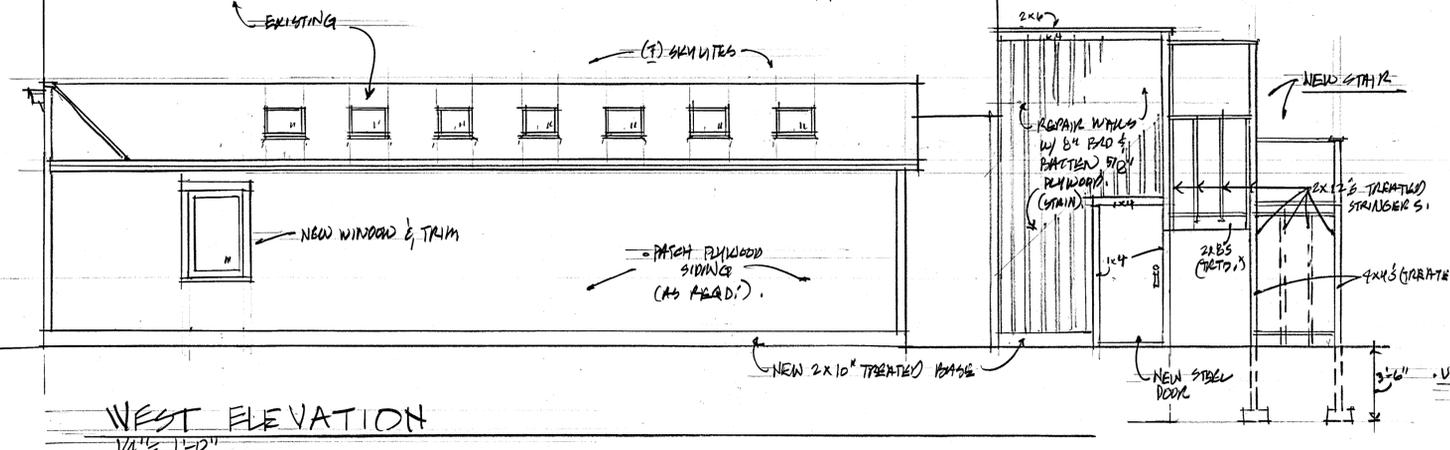


Site Plan Review
Received
9.23.2020

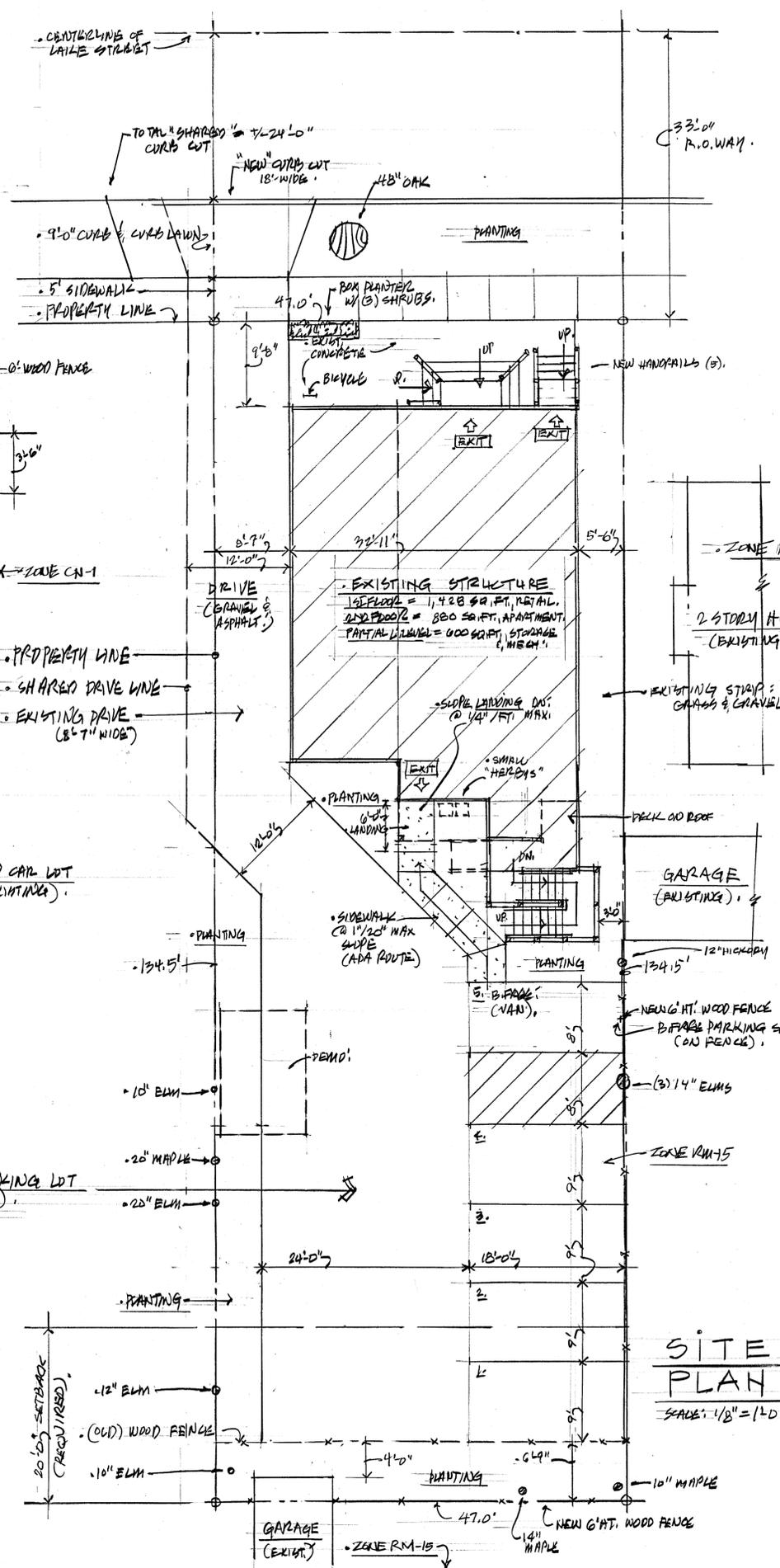
NELSON
 BRECH
 NAVE, AIA,
 ARCHITECT
 KALAMAZOO
 MI 49007



SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



WEST ELEVATION
 SCALE: 1/4" = 1'-0"



SITE PLAN
 SCALE: 1/8" = 1'-0"

Owner: J & J Investments, LLC, Jackie Mitchell, Member
 1015 Egleston Ave., Kalamazoo MI 49001
 (269)-492-2668
 Applicant: Nelson Brech Nave, AIA, Architect
 100 N. Edwards St., Kalamazoo MI 49007
 (269)-343-0040 & 207-3063
 Project: 1116 Lake St., Kalamazoo MI 49001
 Tax ID: #06-23-304-147
 Legal Description: 27622 Kalamazoo Land & Improvement Company's Addition
 Lot 147 Exce 19 ft. & Exce 22 ft. of S. 41 ft.
 Size of Lot: 6,321.5 sq. ft. or .148 acre (14.8% of 1 acre).
 Size of Building: 1st Floor = 1,428 sq. ft., Retail
 2nd floor = 880 sq. ft., Residential
 Level = 600 sq. ft. (low head room)
 Impenetrable surfaces = 28.7% of the Site.
 71.3 % of Site is grass and gravel.

RENOVATE AND REMODEL THIS BUILDING
 1116 LAKE STREET, KALAMAZOO, MICHIGAN 49001
 OWNER: J AND J PROPERTY INVESTING

18% PERVIOUS.
 GRAVEL PARKING

7-27-20
 #10.26.18 A-1

NELSON BREECH NAVE, AIA, ARCHITECT

Architecture, Planning, Interiors, Project Management, Design, & Antiques.

Location: The Edwards Block + 100 N. Edwards Street + Kalamazoo, Michigan 49007

(269) 343-0040, (c) 269-207-3063, (fax) 343-1259, (e) nave-aia@mindspring.com

SITE DATA

PROPERTY ADDRESS:

1116 LAKE STREET, KALAMAZOO, MICHIGAN 49001

LEGAL DESCRIPTION:

27622 KALAMAZOO LAND & IMPROVEMENT COMPANY'S ADDITION LOT
147 EXCE 19 FT. & EXCE 22 FT. OF S 41 FT.

PRESENT ZONING:

RM-36 WITH SPECIAL USE PERMIT
ADJACENT ZONING = CN-1 (WEST) AND RM-15 (EAST & SOUTH).

SOIL TYPE CLASSIFICATION:

GW = SANDY LOAM.

SETBACKS:

FRONT = 9'-8" EXISTING
EAST SIDE = 5'-6" EXISTING
WEST SIDE = 8'-6" EXISTING
REAR = 20'-0" REQUIRED,

BUILDING CODE = MICHIGAN 2015 EXISTING BUILDING CODE,
LEVEL #2: ALTERATIONS.

OCCUPANCY USE GROUP = GROUND FLOOR = B (BUSINESS)
2ND FLOOR = R-3 (RESIDENTIAL)

BUILDING CONSTRUCTION TYPE = 5B, NON-SPRINKLED

PARKING REQUIREMENTS:

5 OFF STREET PLACES REQUIRED BY ZONING OFFICIAL AND PROVIDED,
INCLUDING 1 B-FREE PARKING, PLUS 1 BICYCLE PARKING.
THE PARKING LOT IS EXISTING GRAVEL.

2.

ALL STORM WATER IS TO REMAIN ON SITE.

ANY FLOOR DRAINS ARE TO BE CONNECTED TO THE SANITARY SEWER.

ALL APPROPRIATE PERMITS ARE TO BE OBTAINED FROM THE CITY OF KALAMAZOO PRIOR TO ANY WORK COMMENCING.

KNOX BOX: A KNOX BOX IS REQUIRED BY THE POLICE AND FIRE. IT SHOULD BE PURCHASED AND INSTALLED BETWEEN THE 2 FRONT DOORS AT +/- 6'-0" ABOVE THE FLOOR (ON THE EXTERIOR). A KEY TO EACH OF THE TWO SPACES SHALL BE PLACED INSIDE AND LOCKED BY A PARTICPATING PUBLIC SERVICE OFFICER. THIS KNOX BOX IS THE ONE ON-LINE MADE SPECIFICALLY FOR KALAMAZOO PUBLIC SAFETY. THE OWNER CAN PURCHASE IT ON-LINE.

ADDRESS: REFER TO THE WEST ELEVATION. SUPPLY AND INSTALL 4 ADDRESS NUMBERS 12" HIGH (AS SHOWN).

TREE INVENTORY (existing):

TOTAL TREES ON SITE = 11

TREES IN CURB LAWN = 1

TREES OVER 10" (10 in rear lot):

48" OAK (in curb lawn), 20" Maple, 12" Elm, 12" Elm, 12" Hickory,

(3) 14" Elms, & 14" Maple

BOLLARD REQUIREMENT:

EXISTING AT GAS METER ON EAST SIDE OF BUILDING BETWEEN IT AND THE HOUSE NEXT DOOR.

ELECTRIC IS OVERHEAD.

BUILDING PROTECTION REQUIREMENT:

THE CORNER OF THE BUILDING (SWEST) IS PROTECTED (EXISTING).

SITE LIGHTING:

LED LIGHTING WILL BE ATTACHED TO THE BUILDING DIRECTING LIGHT TO THE PARKING LOT. IT WILL BE DIRECTED DOWN THE SOUTH ONLY.

FIRE HYDRANTS:

ONE AT EACH INTERESECTION DIRECTLY WEST AND EAST OF THE SITE (1/2 BLOCK EACH).

NELSON BREECH NAVE, AIA, ARCHITECT