

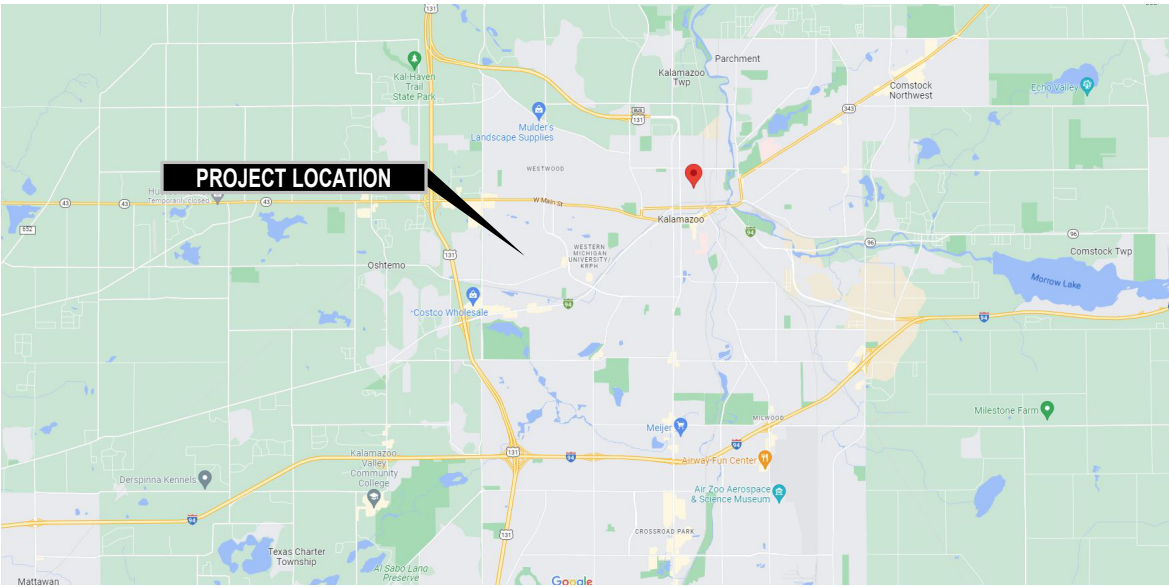
New Facility for:

The Legacy Senior Living

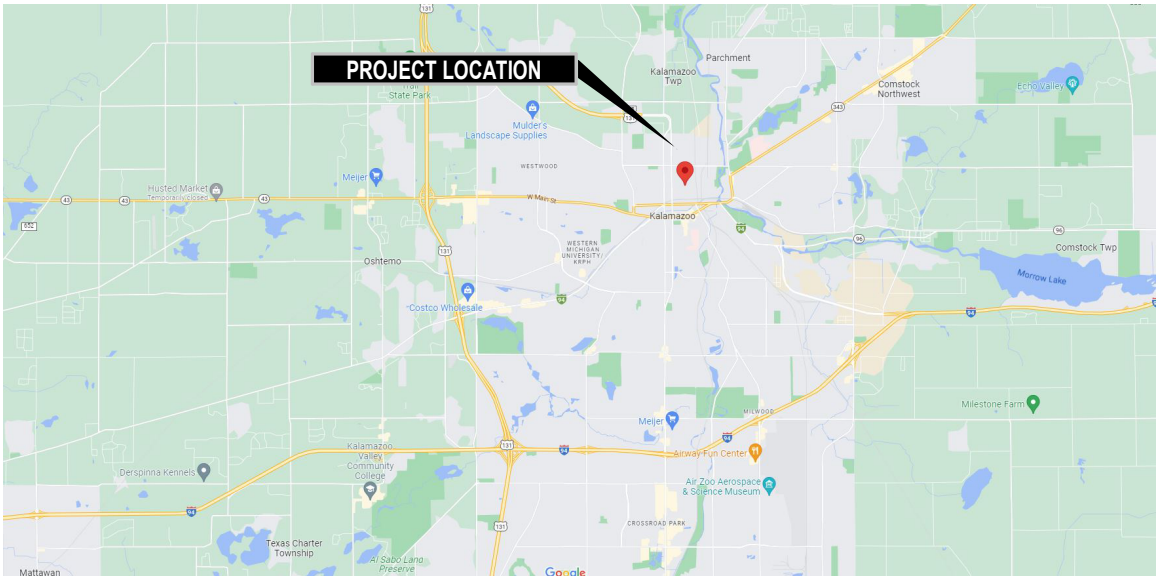
730 N. BURDICK KALAMAZOO, MI. 49007

Full Site Plan Review
Received: 06/23/2023
City of Kalamazoo

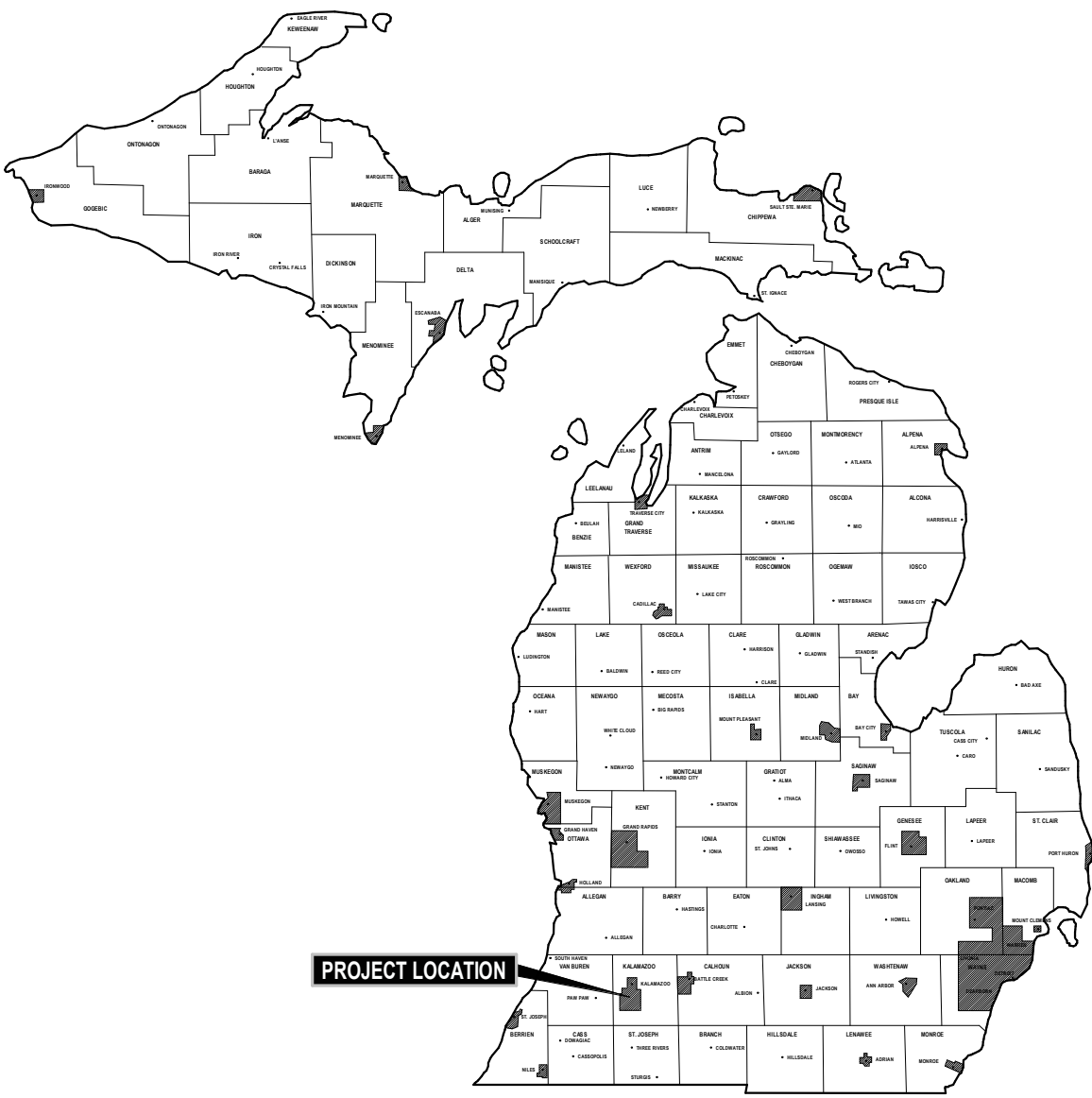
LOCATION MAP · SITE



LOCATION MAP · CITY



LOCATION MAP · MICHIGAN



DESIGN CONCEPT SKETCHES



PROJECT INFORMATION

OWNER:
MT. ZION BAPTIST CHURCH
120 ROBERSON ST.
KALAMAZOO, MI. 49006

BUILDING SITE ADDRESS:
730 N. BURDICK KALAMAZOO, MI. 49007

DEVELOPMENT PARTNER:
HOLLANDER DEVELOPMENT CORPORATION 1105
PORTAGE STREET KALAMAZOO, MI. 49001

PROJECT SCOPE SUMMARY

The Mt Zion Senior House Development, 730 North Burdick, 1.7 acre parcel is a 70 unit, Affordable, Senior, Independent Living, Multi-Family Housing Development is split between the 36 unit North Building, and the 34 unit South Building

The South Building will have (34) units with (32) One-Bedroom and (2) Two-Bedroom Apartments and will include resident Common Amenity spaces specific to those residents in South Building. The South Building will be a concrete slab on grade, wood framed structure, flat roof with areas to accommodate roof top mounted mechanical condensing units.

The two buildings will be supported by commonly shared Site Infrastructure and Site Improvements that include surface parking and carport covered surface parking and outdoor amenity areas.

DRAWING LIST

- CIVIL PLANS**
- 1 SURVEY (BY OTHERS)
 - C100 EXISTING CONDITIONS & DEMOLITION PLAN
 - C200 SITE PLAN
 - C300 GRADING PLAN
 - C400 UTILITY PLAN
 - C500 SOIL EROSION & SEDIMENTATION CONTROL PLAN
 - C600 DETAILS
 - C610 DETAILS
 - C620 DETAILS
 - C630 ENLARGEMENTS
- ELECTRICAL PLANS**
- E001 ELECTRICAL COVER
 - EC100 ELECTRICAL SITE PLAN
 - EC101 SITE PHOTOMETRICS CALCULATION
- LANDSCAPE PLANS**
- L200 OVERALL LANDSCAPE PLAN
 - L210 LANDSCAPE ENLARGEMENTS
 - L220 OVERALL LANDSCAPE PLAN
 - L230 LANDSCAPE ENLARGEMENTS
 - L300 LANDSCAPE DETAILS
- ARCHITECTURAL PLANS**
- A210 FIRST FLOOR PLAN (NORTH)
 - A220 SECOND FLOOR PLAN (NORTH)
 - A230 THIRD FLOOR PLAN (NORTH)
 - A600 EXTERIOR ELEVATIONS (NORTH)
 - A210 FIRST FLOOR PLAN (SOUTH)
 - A220 SECOND FLOOR PLAN (SOUTH)
 - A230 THIRD FLOOR PLAN (SOUTH)
 - A600 EXTERIOR ELEVATIONS (SOUTH)

New Facility for:

The Legacy Senior Living

730 N. BURDICK, KALAMAZOO, MI 49007

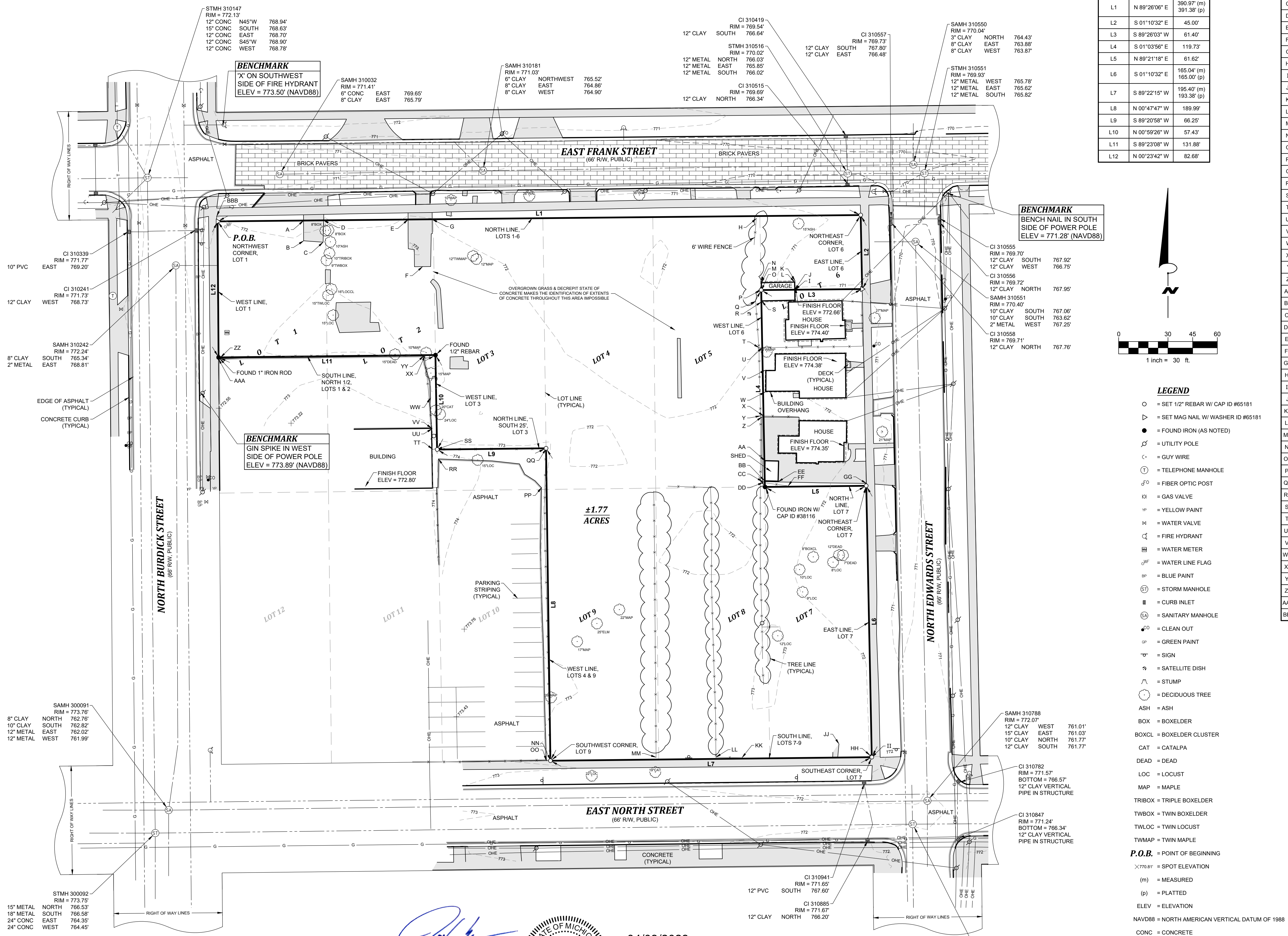
PRELIMINARY
NOT FOR CONSTRUCTION

2023.06.12 100% DESIGN DEVELOPMENT SET
PROJECT COVER SHEET

21100233

G001

BOUNDARY AND TOPOGRAPHIC SURVEY
IN THE NORTHWEST QUARTER OF SECTION 15, TOWNSHIP 2 SOUTH, RANGE 11 WEST, CITY OF KALAMAZOO, KALAMAZOO COUNTY, MICHIGAN



LINE TABLE		
LINE NO.	BEARING	LENGTH
L1	N 89°28'06" E	390.97' (m) 391.38' (p)
L2	S 01°10'32" E	45.00'
L3	S 89°26'03" W	61.40'
L4	S 01°03'56" E	119.73'
L5	N 89°21'18" E	61.62'
L6	S 01°10'32" E	165.04' (m) 165.00' (p)
L7	S 89°22'15" W	195.40' (m) 193.38' (p)
L8	N 00°47'47" W	189.99'
L9	S 89°20'58" W	66.25'
L10	N 00°59'26" W	57.43'
L11	S 89°23'08" W	131.88'
L12	N 00°23'42" W	82.68'

- LEGEND**
- O = SET 1/2" REBAR W/ CAP ID #65181
 - ▷ = SET MAG NAIL W/ WASHER ID #65181
 - = FOUND IRON (AS NOTED)
 - ⊘ = UTILITY POLE
 - = GUY WIRE
 - Ⓢ = TELEPHONE MANHOLE
 - Ⓡ = FIBER OPTIC POST
 - Ⓚ = GAS VALVE
 - Ⓜ = YELLOW PAINT
 - Ⓦ = WATER VALVE
 - Ⓡ = FIRE HYDRANT
 - Ⓜ = WATER METER
 - Ⓡ = WATER LINE FLAG
 - Ⓡ = BLUE PAINT
 - Ⓡ = STORM MANHOLE
 - Ⓡ = CURB INLET
 - Ⓡ = SANITARY MANHOLE
 - Ⓡ = CLEAN OUT
 - Ⓡ = GREEN PAINT
 - Ⓡ = SIGN
 - Ⓡ = SATELLITE DISH
 - Ⓡ = STUMP
 - Ⓡ = DECIDUOUS TREE
 - ASH = ASH
 - BOX = BOXELDER
 - BOXCL = BOXELDER CLUSTER
 - CAT = CATALPA
 - DEAD = DEAD
 - LOC = LOCUST
 - MAP = MAPLE
 - TRIBOX = TRIPLE BOXELDER
 - TWBOX = TWIN BOXELDER
 - TWLOC = TWIN LOCUST
 - TWMAP = TWIN MAPLE

SIGNIFICANT OBSERVATIONS	
A	CONCRETE INTERSECTS LINE, 52.3' EAST OF CORNER
B	CORNER OF CONCRETE, 12.3' SOUTH OF LINE
C	CORNER OF CONCRETE, 13.3' SOUTH OF LINE
D	CONCRETE INTERSECTS LINE, 64.4' EAST OF CORNER
E	CONCRETE INTERSECTS LINE, 15.8' EAST OF CORNER
F	EDGE OF CONCRETE, 28.7' SOUTH OF LINE
G	CONCRETE INTERSECTS LINE, 135.5' EAST OF CORNER
H	6" WIRE FENCE END, 1.4' SOUTH OF LINE
I	GARAGE OVERHANG INTERSECTS LINE, 40.7' WEST OF CORNER
J	GARAGE INTERSECTS LINE, 41.0' WEST OF CORNER
K	GARAGE OVERHANG CORNER, 5.5' NORTH OF LINE
L	GARAGE CORNER, 4.6' NORTH OF LINE
M	GARAGE CORNER, 4.4' NORTH & 0.2' EAST OF CORNER
N	GARAGE OVERHANG CORNER, 5.1' NORTH & 0.2' WEST OF CORNER
O	GARAGE INTERSECTS LINE, 0.2' EAST OF CORNER
P	GARAGE OVERHANG, 0.2' WEST OF LINE
Q	6" WIRE FENCE END, 3.5' WEST OF LINE
R	GARAGE OVERHANG CORNER, 7.3' SOUTH & 0.1' WEST OF CORNER
S	GARAGE CORNER, 6.6' SOUTH & 0.2' EAST OF CORNER
T	6" WIRE FENCE CORNER & 4" CHAIN LINK FENCE END, 35.0' SOUTH & 2.0' WEST OF CORNER
U	6" WIRE FENCE INTERSECTS LINE, 35.0' SOUTH OF LINE
V	BUILDING OVERHANG CORNER, 1.6' EAST OF LINE
W	BUILDING OVERHANG CORNER, 1.2' EAST OF LINE
X	6" WIRE FENCE & 4" CHAIN LINK FENCE END, 43.3' NORTH OF CORNER
Y	4" CHAIN LINK FENCE INTERSECTS LINE, 1.8' WEST OF LINE
Z	CORNER OF CONCRETE, 0.8' WEST OF LINE
AA	SHED CORNER, 0.4' EAST OF LINE
BB	SHED CORNER, 3.7' NORTH & 0.1' WEST OF CORNER
CC	CORNER OF CONCRETE, 3.3' NORTH & 1.4' WEST OF CORNER
DD	4" CHAIN LINK FENCE END, 2.6' NORTH & 1.1' WEST OF CORNER
EE	SHED CORNER, 3.1' NORTH OF LINE
FF	4" CHAIN LINK FENCE END, 0.5' NORTH OF LINE
GG	CORNER OF CONCRETE, 1.4' NORTH & 0.1' EAST OF CORNER
HH	FOUND BURIED T-POST, 0.7' NORTH & 0.5' WEST OF CORNER
II	CORNER OF CONCRETE, 0.1' EAST OF CORNER
JJ	END OF CONCRETE, 8.3' NORTH & 19.8' WEST OF CORNER
KK	4" CHAIN LINK FENCE END, 0.5' NORTH & 78.9' WEST OF CORNER
LL	4" CHAIN LINK FENCE CORNER, 1.0' NORTH & 94.7' WEST OF CORNER
MM	4" CHAIN LINK FENCE END, 1.4' NORTH & 64.3' EAST OF CORNER
NN	6" CHAIN LINK FENCE CORNER, 0.5' NORTH & 0.1' WEST OF CORNER
OO	CORNER OF ASPHALT, 2.4' WEST OF CORNER
PP	CORNER OF ASPHALT, 3.1' WEST OF CORNER
QQ	6" CHAIN LINK FENCE CORNER, 0.3' SOUTH OF CORNER
RR	CORNER OF ASPHALT, 5.7' SOUTH OF LINE
SS	6" CHAIN LINK FENCE INTERSECTS LINE, 0.2' NORTH OF CORNER
TT	6" CHAIN LINK FENCE END, 0.2' NORTH & 2.7' WEST OF CORNER
UU	BUILDING CORNER, 3.1' WEST OF LINE
VV	6" PICKET FENCE END, 2.8' WEST OF LINE
WW	EDGE OF ASPHALT, 3.4' WEST OF LINE
XX	6" PICKET FENCE CORNER, 0.2' SOUTH & 6.4' WEST OF CORNER
YY	CORNER OF ASPHALT, 0.4' SOUTH & 7.1' WEST OF CORNER
ZZ	6" PICKET FENCE END, ON LINE 1.2' EAST OF CORNER
AAA	CORNER OF ASPHALT, ON LINE 0.9' SOUTH OF CORNER
BBB	CORNER OF CONCRETE, 3.2' NORTH & 0.5' WEST OF CORNER

LEGAL DESCRIPTION AS SURVEYED:

THAT PART OF LOTS 1, 2, 3, 4, 5, 6, 7, 8, AND 9, BLOCK 44, T.C. SHELTON'S ADDITION TO KALAMAZOO VILLAGE (NOW CITY), BEING A SUBDIVISION IN SECTION 15, TOWNSHIP 2 SOUTH, RANGE 10 WEST, CITY OF KALAMAZOO, KALAMAZOO COUNTY, MICHIGAN, DESCRIBED AS: BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 1, THENCE NORTH 89° 28' 06" EAST ON THE NORTH LINE OF SAID LOTS 1, 2, 3, 4, 5, AND 6 A DISTANCE OF 390.97 FEET TO THE NORTHEAST CORNER OF SAID LOT 6; THENCE SOUTH 01° 10' 32" EAST ON THE EAST LINE OF SAID LOT 6 A DISTANCE OF 45.00 FEET; THENCE SOUTH 89° 26' 03" WEST 61.40 FEET TO THE WEST LINE OF SAID LOT 6; THENCE SOUTH 01° 03' 56" EAST ON SAID WEST LINE 119.73 FEET TO THE NORTH LINE OF SAID LOT 7; THENCE NORTH 89° 21' 18" EAST ON SAID NORTH LOT LINE 61.62 FEET TO THE NORTHEAST CORNER OF SAID LOT 7; THENCE SOUTH 01° 10' 32" EAST ON THE EAST LINE OF SAID LOT 7 A DISTANCE 165.04 FEET TO THE SOUTHEAST CORNER OF SAID LOT 7; THENCE SOUTH 89° 22' 15" WEST ON SAID LOTS 7, 8, AND 9 A DISTANCE OF 189.99 FEET TO THE NORTH LINE OF THE SOUTH 25 FEET OF SAID LOT 3; THENCE SOUTH 89° 20' 58" WEST ON SAID NORTH LINE 66.25 FEET TO THE WEST LINE OF SAID LOT 3; THENCE NORTH 00° 59' 26" WEST ON THE WEST LINE OF SAID LOT 3 A DISTANCE 57.43 FEET TO THE SOUTH LINE OF THE NORTH HALF OF SAID LOTS 1 AND 2; THENCE SOUTH 89° 23' 08" WEST ON SAID SOUTH LINE 131.88 FEET TO THE WEST LINE OF SAID LOT 1; THENCE NORTH 00° 23' 42" WEST ON SAID WEST LOT LINE 82.68 FEET TO THE POINT OF BEGINNING.

1.77 ACRES MORE OR LESS.

SUBJECT TO ANY AND ALL EASEMENTS AND RESTRICTIONS OF RECORD, OR OTHERWISE.

SUBJECT TO ANY FACTS THAT MAY BE DISCLOSED IN A FULL AND ACCURATE TITLE SEARCH.

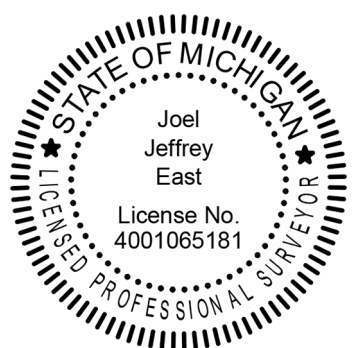
BEARINGS ARE BASED ON THE MICHIGAN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, INTERNATIONAL FEET.

THE RELATIVE POSITIONAL PRECISION OF EACH CORNER IS WITHIN THE LIMITS ACCEPTED BY THE PRACTICE OF PROFESSIONAL SURVEYING IN MICHIGAN.

NOTE:

THE UNDERGROUND UTILITIES SHOWN, HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

JOEL J. EAST PS - 4001065181
jeast@gowightman.com



04/03/2023
DATE

WIGHTMAN

1670 LINCOLN RD.
ALLEGAN, MI. 49010
269.673.8465

www.gowightman.com

PROJECT ADDRESS:
730 NORTH BURDICK STREET
KALAMAZOO, MI

HOLLANDER DEVELOPMENT CORP.
1822 WEST MILHAM, SUITE 1C
PORTAGE, MI 49024

1. INVERT EDITS
04-03-2023 ACE

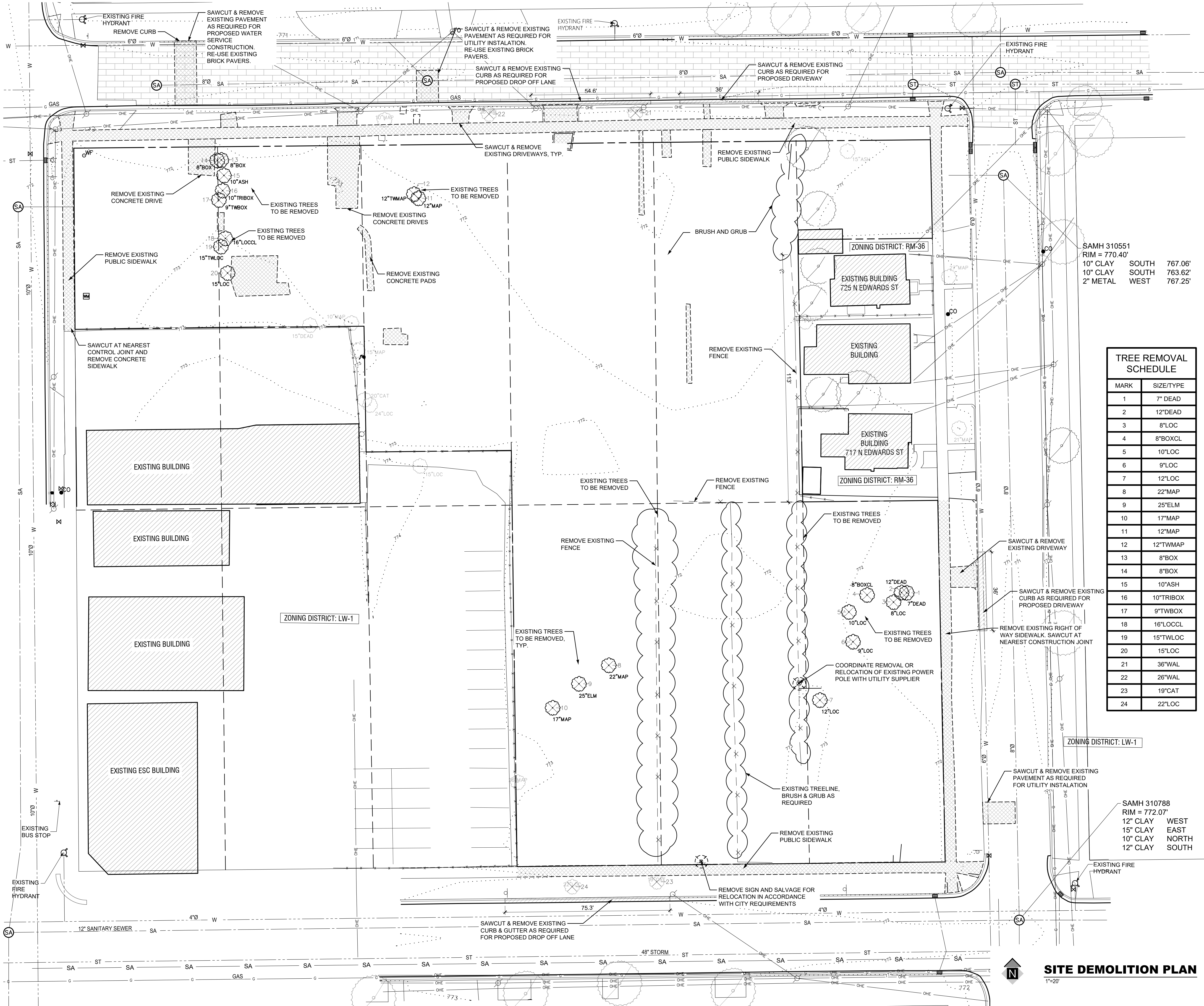
REVISIONS

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DATE: JUNE 1, 2022
SCALE: 1" = 30'
DRAWN BY: ACE
CHECKED BY: GDH

BOUNDARY AND TOPOGRAPHIC SURVEY

JOB No. 224112
1 OF 1



DEMOLITION NOTES:

- UTILITIES & CONSTRUCTION TO COMPLY WITH REQUIREMENTS OF LOCAL AND STATE AUTHORITIES HAVING JURISDICTION.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS.
- HOOK-UP AND TIE IN TO EXISTING UTILITIES TO MEET LOCAL REQUIREMENTS FOR EACH UTILITY INVOLVED: WATER, SEWER, STORM, GAS, ELECTRIC, PHONE, ETC.
- CONNECTIONS TO EXISTING MANHOLES: CUT A HOLE IN THE EXISTING MANHOLE ADEQUATE TO RECEIVE THE NEW PIPE. ANY REINFORCING STEEL SHALL BE BENT OUT OF THE WAY. AFTER THE NEW PIPE IS IN PLACE, THE REINFORCING STEEL SHALL BE BENT BACK INTO THE VOID AROUND THE NEW PIPE AND THE VOID SHALL BE FILLED WITH CEMENT GROUT. PROVIDE FLEXIBLE SEALS AT PIPE CONNECTIONS TO NEW MANHOLES.
- VERIFY EXISTING SITE CONDITIONS.
- FURNISH ALL EQUIPMENT, MATERIALS, LABOR AND SERVICES NECESSARY TO COMPLETE ALL SITE DEMOLITION REQUIRED.
- NOTATIONS ARE MADE IN VARIOUS PLACES ON THE DRAWINGS TO CALL ATTENTION TO DEMOLITION WHICH IS REQUIRED; HOWEVER, THESE DRAWINGS ARE NOT INTENDED TO SHOW EACH AND EVERY ITEM TO BE REMOVED. THE CONTRACTOR AND THE SUBCONTRACTORS FOR THE VARIOUS TRADES SHALL REMOVE THE MATERIALS RELATED TO THEIR RESPECTIVE TRADES AS REQUIRED TO PERMIT THE CONSTRUCTION OF THE NEW WORK AS SHOWN.
- PROTECT ALL EXISTING WORK WHICH IS TO REMAIN AND RESTORE IN AN APPROVED MANNER ANY SUCH WORK WHICH BECOMES DAMAGED.
- RUBBISH AND DEBRIS RESULTING FROM THE WORK SHALL BE REMOVED IMMEDIATELY FROM THE SITE BY THE CONTRACTOR.
- FIELD VERIFY ALL DIMENSIONS.
- CONTRACTOR SHALL OBTAIN A RIGHT OF WAY PERMIT FROM THE CITY OF KALAMAZOO PRIOR TO START OF WORK WITHIN RIGHT-OF-WAY.
- CONTRACTOR SHALL PREPARE A TRAFFIC CONTROL AND CONSTRUCTION PHASING PLAN AS REQUIRED BY THE CITY OF KALAMAZOO TO PERFORM RIGHT OF WAY WORK AND STREET SCAPE IMPROVEMENTS AS PROPOSED.

TREE REMOVAL SCHEDULE

MARK	SIZE/TYPE
1	7" DEAD
2	12" DEAD
3	8" LOC
4	8" BOXCL
5	10" LOC
6	9" LOC
7	12" LOC
8	22" MAP
9	25" ELM
10	17" MAP
11	12" MAP
12	12" TW MAP
13	8" BOX
14	8" BOX
15	10" ASH
16	10" TRIBOX
17	9" TWBOX
18	16" LOCCL
19	15" TWLOC
20	15" LOC
21	36" WAL
22	26" WAL
23	19" CAT
24	22" LOC

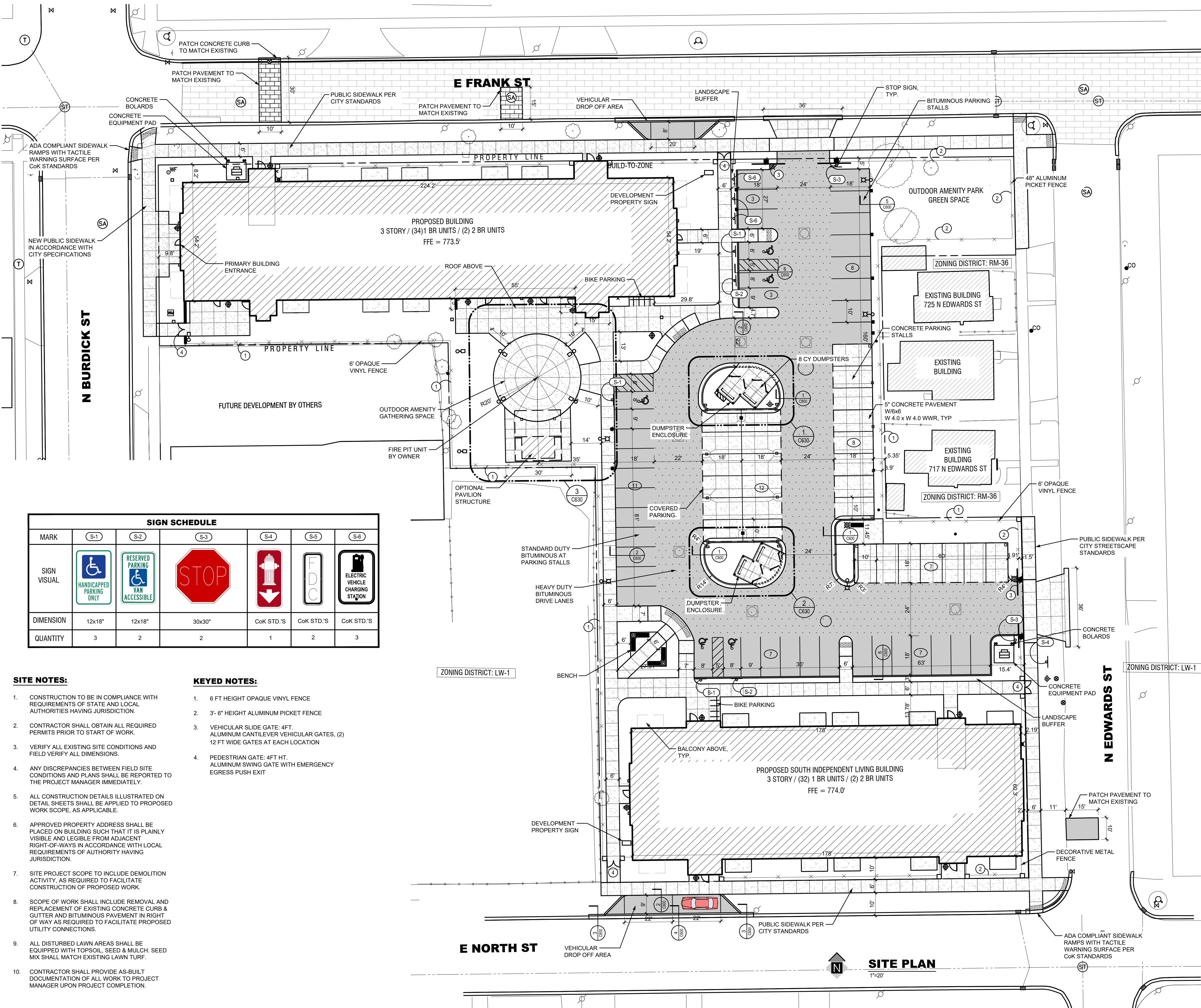
LEGEND:

- PROPERTY LINE
- BUILDING SETBACK
- RIGHT OF WAY (ROW)
- DEMO PAVEMENT
- EXISTING TREE LINE
- FENCE TO BE REMOVED
- EXISTING FENCE
- ITEMS TO BE REMOVED
- EXISTING SANITARY MANHOLE
- EXISTING CURB INLET
- EXISTING CATCH BASIN
- EXISTING STORM MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING ELECTRIC METER
- EXISTING GAS METER
- EXISTING HANDHOLE
- EXISTING SIGN
- EXISTING DECIDUOUS TREE
- EXISTING EVERGREEN TREE
- TREE REMOVAL

SITE DEMOLITION PLAN

1"=20'

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Printed Mon, 6/12/2023 at 5:27pm by magrathm



SITE DATA:

ZONING:	LW-1 LIVE WORK 1	(0.981 ACRES)
	RM-36	(0.775 ACRES)
LOT TYPE DEVELOPMENT STANDARD: FLEX		
TOTAL DEVELOPMENT PROPERTY: 1.756 ACRES		
76,491.36 SF		
DIMENSIONAL STANDARDS:		
MAX. BUILDING HEIGHT:	3 STORIES	
MAX. IMPERVIOUS COVER:	75%	
MAX. SEMI-PERVIOUS COVER:	15%	
SIDE YARD SETBACK:	0 FT	
REAR YARD SETBACK:	N/A	
BUILD TO ZONE:	0-10FT	
FRONT LOT LINE COVERAGE:	70%	

PROPOSED SENIOR INDEPENDENT LIVING UNITS:

NORTH BUILDING:	36 UNITS
SOUTH BUILDING:	34 UNITS
TOTAL 1 BR APARTMENTS:	70

OFF-STREET PARKING REQUIREMENTS:

0.5 PER DWELLING UNIT	
NORTH BUILDING:	18 SPACES
SOUTH BUILDING:	17 SPACES
MINIMUM REQUIRED:	35 SPACES
MAXIMUM ALLOWABLE:	38.5 SPACES

PROPOSED OFF-STREET PARKING:

TOTAL PARKING SPACES:	66 SPACES
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PROPOSED DEVELOPMENT AREAS:

NORTH BUILDING FOOTPRINT:	TBD
SOUTH BUILDING FOOTPRINT:	TBD
TOTAL BUILDING COVER:	TBD
TOTAL PAVEMENT COVER:	TBD
TOTAL PROPOSED IMPERVIOUS:	TBD
ENCROACHING PROPERTY IMPERVIOUS:	103 SF
TOTAL IMPERVIOUS COVER:	56,803.5 SF (74.3%)
TOTAL SEMI-IMPERVIOUS COVER:	0 SF (0%)

PROPOSED FRONT LOT LINE COVERAGE:

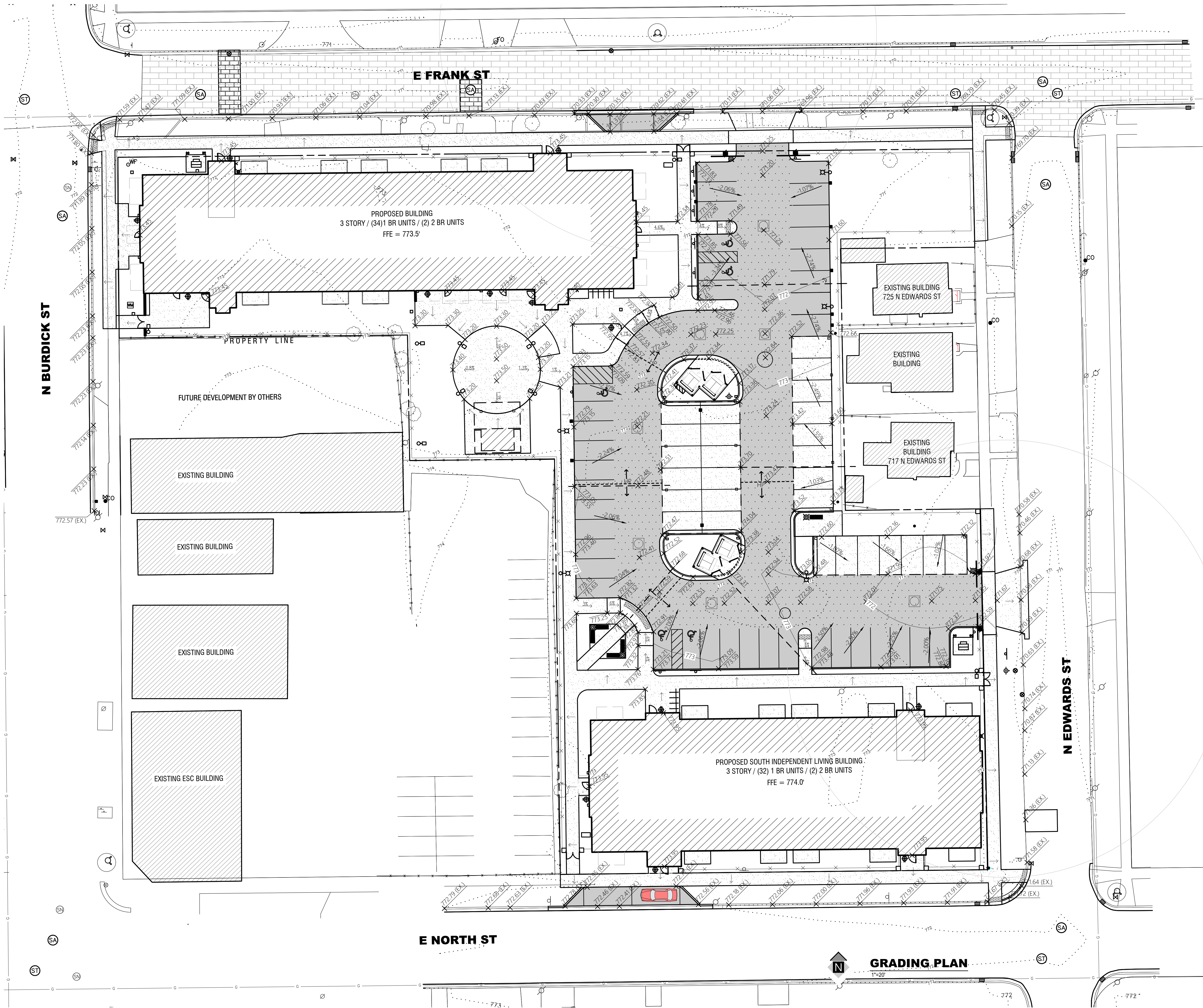
SOUTH BUILDING (NORTH STREET ADDRESS)	
N EDWARDS STREET:	N/A
E NORTH STREET (PRIMARY FACADE):	80.8%
NORTH BUILDING (BURDICK STREET ADDRESS)	
E FRANK STREET:	N/A
N BURDICK STREET (PRIMARY FACADE):	77.4%

LEGEND:

	PROPERTY LINE
	PROPERTY LINE OTHERS
	BUILDING SETBACK
	RIGHT OF WAY (R.O.W.)
	NEW CONCRETE
	NEW BITUMINOUS
	HEAVY DUTY BITUMINOUS
	EXISTING GATE VALVE
	EXISTING HYDRANT
	HYDRANT
	GATE VALVE
	MANHOLE / CATCH BASIN
	EXISTING CATCH BASIN / MANHOLE
	NEW SIGN
	EXISTING SIGN
	NEW LIGHT POLE
	EXISTING LIGHT POLE
	EXISTING TREE
	EXISTING EVERGREEN
	PROPOSED DECIDUOUS TREE
	PLANTING
	SHRUB
	EXISTING FENCE
	NEW FENCE

PRELIMINARY
NOT FOR CONSTRUCTION

C:\Users\jdw\OneDrive\Documents & Settings\jdw\21100233.MXD The Legacy Senior Living\Project Files\Civil 3D\Zoning_C300.dwg last saved 6-12-2023
Plotted Mon, 6-12-2023 at 6:26pm by galloway



GRADING NOTES:

1. VERIFY LOCATIONS OF ALL BELOW GRADE UTILITIES PRIOR TO BEGINNING WORK. CALL 'MISS DIG' 72 HOURS BEFORE YOU DIG AT 1-800-482-7171.
2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL REQUIRED EARTHWORK VOLUMES BASED ON PROPOSED FINISH GRADES. IF FILL IS REQUIRED, THE CONTRACTOR SHALL INCLUDE THE REQUIRED VOLUME OF IMPORTED CLASS II SAND IN THE BASE BID PROPOSAL. IF EXCESS SOILS NEED TO BE SPOILED, THE CONTRACTOR SHALL INCLUDE TRANSPORT AND DISPOSAL OF SURPLUS SOILS OFF SITE IN THE BASE BID PROPOSAL. NO CONTRACT COST ADJUSTMENTS WILL BE CONSIDERED FOR EARTHWORK REQUIRED TO BALANCE THE SITE.
3. CONCRETE SLABS AT EXTERIOR DOORS SHALL BE FLUSH WITH FINISH FLOOR ELEVATION AND SLOPES AT EXTERIOR STOOPS SHALL NOT EXCEED 2% IN ALL DIRECTIONS, TYPICAL.
4. ALL EXCAVATION AND TRENCHING SHALL BE PERFORMED BY AN EXCAVATION COMPETENT PERSON AND SHALL BE IN COMPLIANCE WITH OSHA STANDARDS AND GUIDELINES.
5. ENSURE GRADING ACTIVITY PROMOTES POSITIVE DRAINAGE AWAY FROM PROPOSED FACILITIES, TYPICAL.
6. STRIP AND STOCKPILE EXISTING TOPSOIL ON SITE FOR FUTURE USE. SURROUND WITH SILT FENCE.
7. FURNISH & INSTALL TOPSOIL, SEED AND MULCH TO ALL DISTURBED GRADES NOT PROPOSED TO HAVE OTHER FINISH TREATMENT. TOPSOIL, SEED AND MULCH AS SOON AS FINISH GRADES ARE ACHIEVED.
8. FURNISH & INSTALL NORTH AMERICAN GREEN EROSION CONTROL BLANKET SC150 TO ALL SITE AREAS WITH FINISH SLOPES GREATER THAN 1:5, TYPICAL. IN ALL CASES SEED SHALL BE APPLIED PRIOR TO MULCH OR EROSION CONTROL BLANKET APPLICATION.

LEGEND:

- PROPERTY LINE
- BUILDING SETBACK
- RIGHT OF WAY (ROW)
- PROPOSED FENCE
- NEW CONCRETE
- NEW BITUMINOUS
- HEAVY DUTY BITUMINOUS
- GRADE BREAK
- EXISTING SPOT ELEVATION
- SPOT ELEVATION
- MATCH EXISTING ELEVATION
- EXISTING CONTOUR
- CONTOUR
- SILT FENCE
- DRAINAGE FLOW DIRECTION
- POWER POLE
- PROPOSED PIER-MOUNTED LIGHT
- PROPOSED BOLLARD
- LIGHT/PARKING LOT LIGHT
- EXISTING CURB INLET
- EXISTING CATCH BASIN
- EXISTING STORM MANHOLE
- PROPOSED CATCH BASIN/MANHOLE
- EXISTING WATER VALVE
- EXISTING ELECTRIC METER
- EXISTING GAS METER
- EXISTING HANDHOLE
- EXISTING SIGN
- PROPOSED SIGN
- ADA PARKING STALL

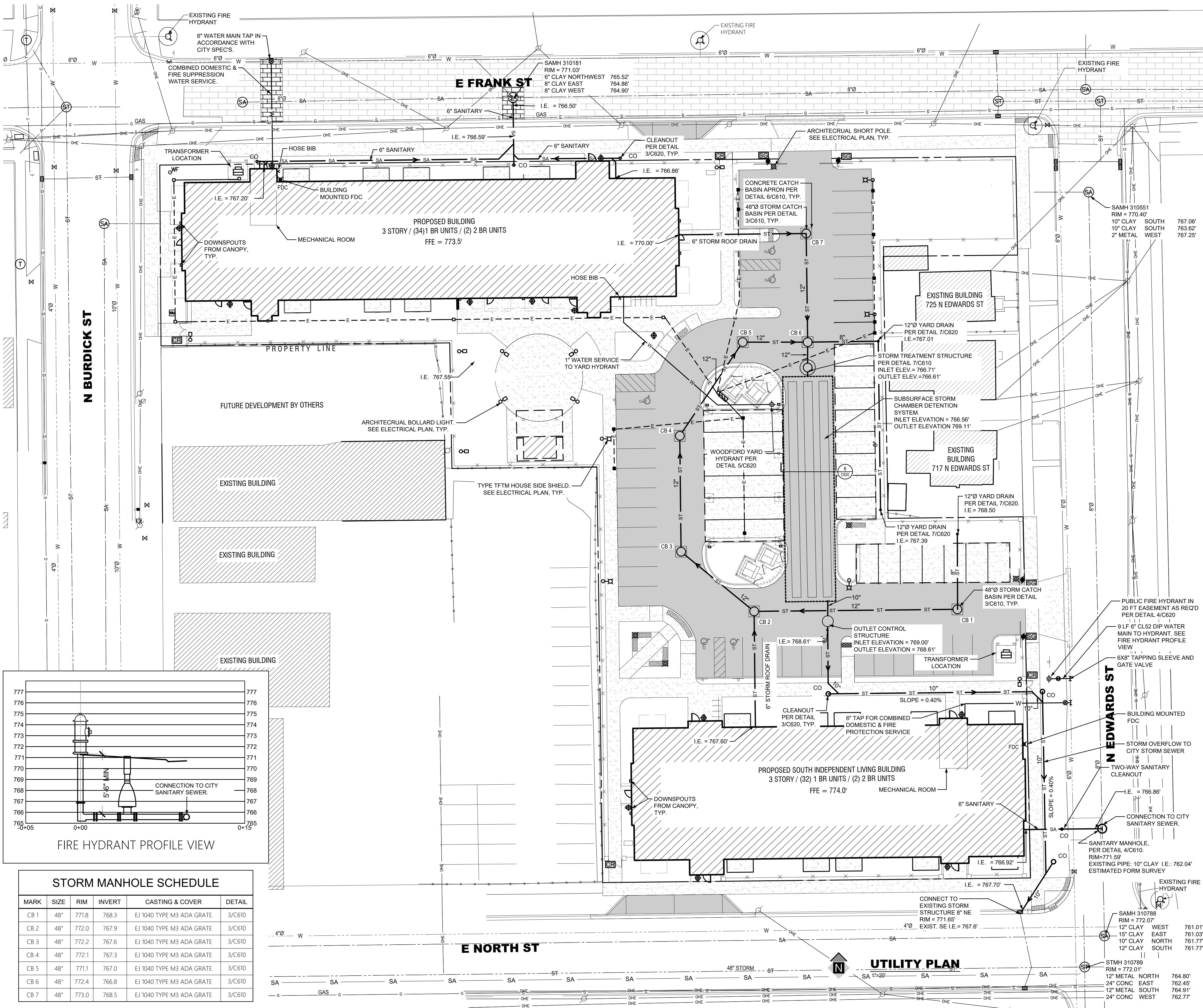


New Facility for:
The Legacy Senior Living
730 N. BURDRICK, KALAMAZOO, MI 49007

PRELIMINARY
NOT FOR CONSTRUCTION

2023.06.12 100% DESIGN DEVELOPMENT SET
GRADING PLAN

21100233
C300



UTILITY NOTES:

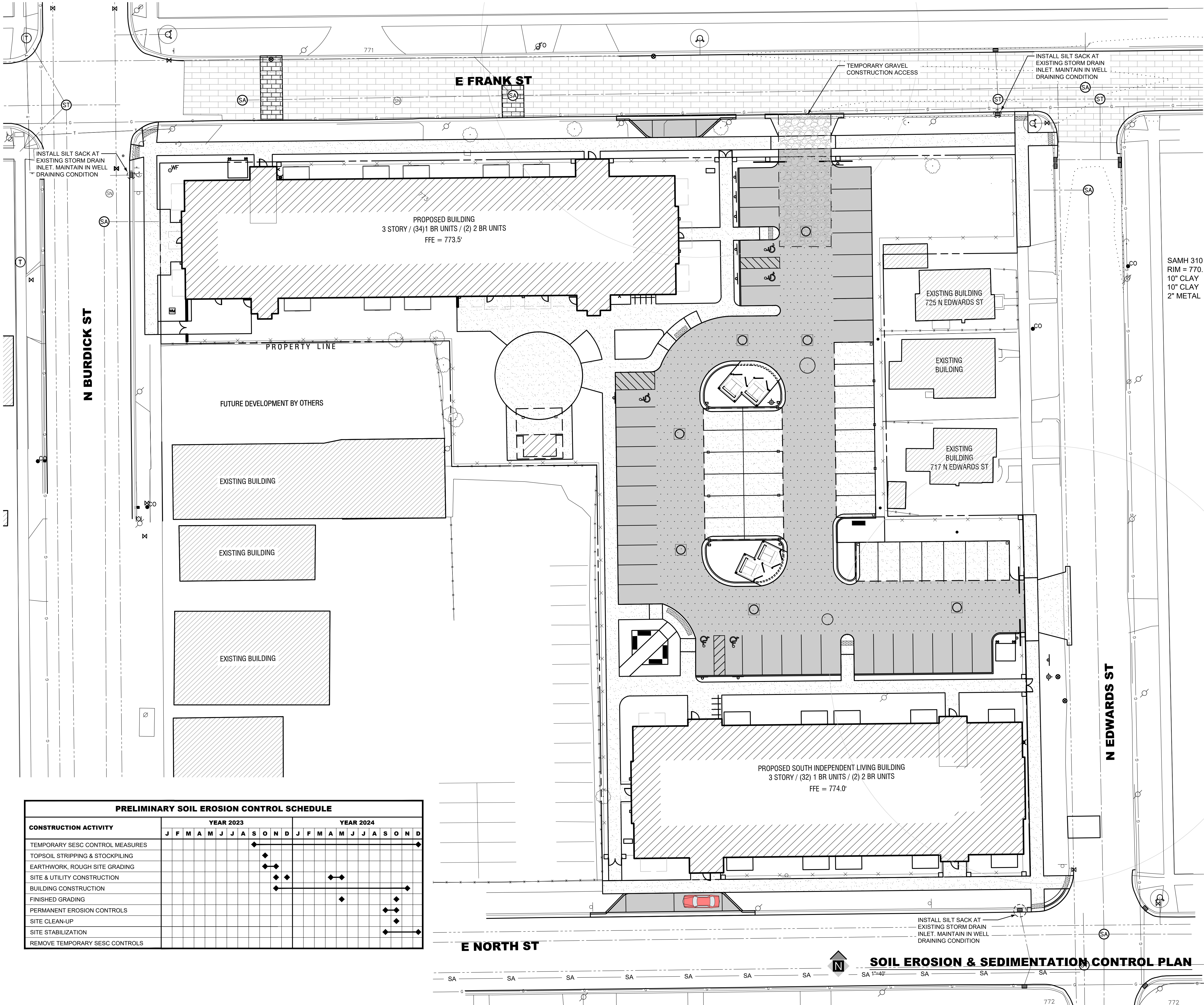
- UTILITIES & CONSTRUCTION TO COMPLY WITH REQUIREMENTS OF LOCAL AND STATE AUTHORITIES HAVING JURISDICTION.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES.
- EGLE PART 399 PERMIT SHALL BE OBTAINED PRIOR TO START OF PUBLIC WATER MAIN AND HYDRANT WORK. COORDINATE REQUIREMENTS WITH CITY OF KALAMAZOO.
- UTILITIES SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM AVAILABLE RECORDS. PUBLIC UTILITY LOCATIONS ARE SUBJECT TO CHANGE. SHALL NOT BE INTERPRETED AS EXACT OR ASSUMED TO BE THE ONLY UTILITIES IN THEIR RESPECTIVE AREAS.
- NOTE TO CONTRACTOR: CALL THE "MISS DIG" SYSTEM THREE FULL WORKING DAYS BEFORE YOU DIG TO SCHEDULE UNDERGROUND UTILITY MARKING. CALL TOLL FREE AT 1-800-428-7171, AVAILABLE 24 HRS PER DAY 7 DAYS PER WEEK.
- HOOK-UP AND TIE IN TO EXISTING UTILITIES TO MEET LOCAL REQUIREMENTS FOR EACH UTILITY INVOLVED: WATER, SEWER, STORM, GAS, ELECTRIC, PHONE, ETC.
- CONNECTIONS TO EXISTING MANHOLES: CUT HOLE IN EXISTING MANHOLE ADEQUATE TO RECEIVE PROPOSED PIPE SIZE AND BEND ANY REINFORCING STEEL OUT OF THE WAY. AFTER THE NEW PIPE IS IN PLACE, THE REINFORCING STEEL SHALL BE BENT BACK INTO THE VOID AROUND THE NEW PIPE & THE VOID SHALL BE FILLED WITH CEMENT GROUT. PROVIDE FLEXIBLE RUBBER BOOT(S) OR SEAL(S) AT PIPE CONNECTIONS TO NEW AND EXISTING MANHOLES.
- ALL STORM SEWER PIPE SHALL BE ADS N-12 ST IB PIPE PER ASTM F2648, SMOOTH LINED HDPE TYPE OR APPROVED EQUIVALENT. TYPICAL FOR ALL SIZES OF PROPOSED STORM PIPING, UNLESS NOTED OTHERWISE.
- PROPOSED DEVELOPMENTS SHALL BE IN COMPLIANCE WITH ENVIRONMENTAL REPORTS FOR SUBJECT PROPERTIES.
- COORDINATE SCHEDULE FOR RIGHT OF WAY AND RELATED TRAFFIC MANAGEMENT PLANS WITH CITY OF KALAMAZOO.
- WATER WORK SHALL CONFORM TO THE CITY OF KALAMAZOO STANDARD SPECIFICATIONS FOR WATER MAIN AND SERVICE INSTALLATION, 2021.
- TOTAL PROJECTED DEVELOPMENT SANITARY FLOWS ARE SUMMARIZED AS FOLLOWS:
A. TOTAL REL'S: 31
B. TOTAL AVERAGE DAILY FLOW: 9,245 GPD
C. TOTAL MAXIMUM DAILY FLOW: 18,490.22 GPD
- UTILITY CONNECTIONS AT BUILDINGS SHALL BE CONSIDERED 5 FT OUTSIDE OF BUILDING WALL. COORDINATE FINAL INVERTS AT BUILDING PENETRATIONS WITH PLUMBING / MECHANICAL CONTRACTOR.
- WATER SERVICE TO BE DUCTILE IRON PIPE (D.I.P.) CL52. MAINTAIN 5 FT COVER ON PIPE AT ALL TIMES. PRESSURE TEST AND DISINFECT WATER SERVICE.
- SANITARY SEWER PIPE TO BE PVC CONFORMING TO ASTM D3033 OR ASTM D3212. MINIMUM WALL THICKNESS TO BE SDR-26. JOINTS SHALL BE OF THE ELASTOMERIC GASKET PUSH-ON TYPE CONFORMING TO ASTM D3212.
- ALL COMPONENTS OF WATER MAIN CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE CITY OF KALAMAZOO STANDARD SPECIFICATIONS FOR WATER MAIN AND SERVICE INSTALLATION 2021.
- CONTRACTOR RESPONSIBLE FOR HIRING OF PROFESSIONAL SURVEYOR TO SURVEY AS-BUILT LOCATION OF WATER MAIN AND WRITE LEGAL DESCRIPTION AND GENERATE RECORD DOCUMENTS FOR PUBLIC WATER MAIN EASEMENT. WATER MAIN EASEMENT SHALL BE ISSUED TO THE CITY OF KALAMAZOO FOR APPROVAL AND RECORDS.

LEGEND:

- PROPERTY LINE
- BUILDING SETBACK
- RIGHT OF WAY (ROW)
- PROPOSED FENCE
- NEW CONCRETE
- NEW BITUMINOUS
- EXISTING SANITARY/STORM MANHOLE
- EXISTING CURB INLET
- CLEANOUT
- GATE VALVE / EXISTING GATE VALVE
- NEW HYDRANT / EXISTING HYDRANT
- BUILDING MOUNTED FIRE DEPARTMENT CONNECTION
- MANHOLE / CATCH BASIN
- NEW SIGN / EXISTING SIGN
- NEW LIGHT POLE / EXISTING POWER POLE
- DOWNSPOUT
- SANITARY
- EXISTING SANITARY
- STORM
- EXISTING STORM
- WATER MAIN
- EXISTING WATER MAIN
- EXISTING GAS
- EXISTING ELECTRIC OVERHEAD
- ELECTRIC UNDERGROUND
- UTILITY PAD-MOUNTED TRANSFORMER
- 400A PANEL FROM NORTH BUILDING DISTRIBUTION PANEL
- DECORATIVE LIGHT POLE POST TOP LED FIXTURE
- ELECTRIC CHAMBER
- CONDUIT FOR CARD READER / POWER CIRCUIT AND DATA TO SLIDE GATE

PRELIMINARY
NOT FOR CONSTRUCTION

PRELIMINARY SOIL EROSION CONTROL SCHEDULE																												
CONSTRUCTION ACTIVITY	YEAR 2023												YEAR 2024															
	J	F	M	A	M	J	J	A	S	O	N	D	J	F	M	A	M	J	J	A	S	O	N	D				
TEMPORARY SESC CONTROL MEASURES																												
TOPSOIL STRIPPING & STOCKPILING																												
EARTHWORK, ROUGH SITE GRADING																												
SITE & UTILITY CONSTRUCTION																												
BUILDING CONSTRUCTION																												
FINISHED GRADING																												
PERMANENT EROSION CONTROLS																												
SITE CLEAN-UP																												
SITE STABILIZATION																												
REMOVE TEMPORARY SESC CONTROLS																												



SOIL EROSION CONTROL NOTES:

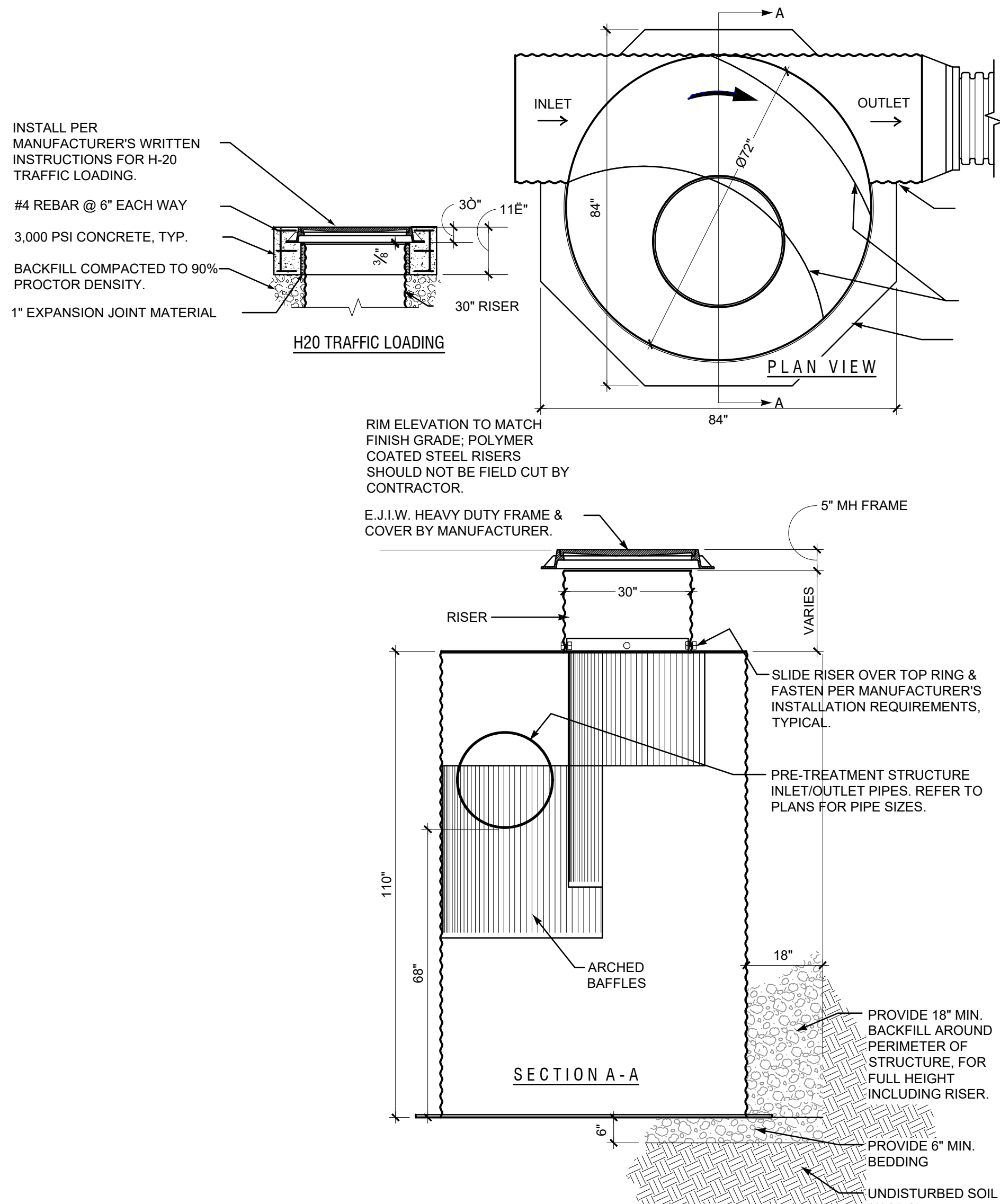
- ALL WORK WILL COMPLY WITH THE LATEST PROVISIONS OF THE SOIL EROSION AND SEDIMENTATION CONTROL ACT (PA 347 OF 1972 AS AMENDED).
- PROVIDE TEMPORARY SILT FENCING AND INLET PROTECTION AT ALL SITE CATCH BASINS AND TRENCH DRAINS. PROVIDE SEED & MULCH TO ALL DISTURBED LAWN AREAS, AND PROVIDE ALL OTHER SOIL EROSION CONTROL MEASURES AS REQUIRED.
- CONTRACTOR SHALL FURNISH & INSTALL SILT FENCE AT LOCATIONS SHOWN ON PLAN & MAINTAIN IN WORKING CONDITION UNTIL VEGETATION IS ESTABLISHED ON SITE.
- AVOID UNNECESSARY REMOVAL OF VEGETATED TOPSOIL OR EARTH COVER.
- CLEAN ADJACENT ROADWAYS AND DRIVES AS NECESSARY THROUGHOUT THE CONSTRUCTION PERIOD AND UPON COMPLETION OF CONSTRUCTION ACTIVITY.
- NOTE TO CONTRACTOR: CALL 'MISS DIG' THREE FULL WORKING DAYS BEFORE YOU DIG TOLL FREE AT 1-800-428-7171 FOR UTILITIES LOCATION ON THE GROUND.
- CONTRACTORS SHALL INSPECT SOIL EROSION CONTROL MEASURES WITHIN 24 HOURS OF PRECIPITATION EVENT; CHECK INLET FILTERS FOR BUILD UP OF SILT & DEBRIS. REMOVE DEBRIS OR REPLACE GEOTEXTILE AS REQUIRED TO PROMOTE FLOW THROUGH INLET GRATES AT ALL TIMES.
- CONTRACTOR SHALL OBTAIN SOIL EROSION CONTROL PERMIT FROM CITY OF KALAMAZOO PRIOR TO START OF WORK.
- ALL EROSION CONTROL MEASURES ARE TO BE ADEQUATELY MAINTAINED AND REPAIRED AND/OR ADJUSTED TO ASSURE COMPLIANCE WITH EROSION CONTROL STANDARDS AND REQUIREMENTS OF PERMITS THROUGHOUT DURATION OF CONTRACT TO CERTIFICATE OF OCCUPANCY.

SAMH 310
RIM = 770.
10" CLAY
10" CLAY
2" METAL

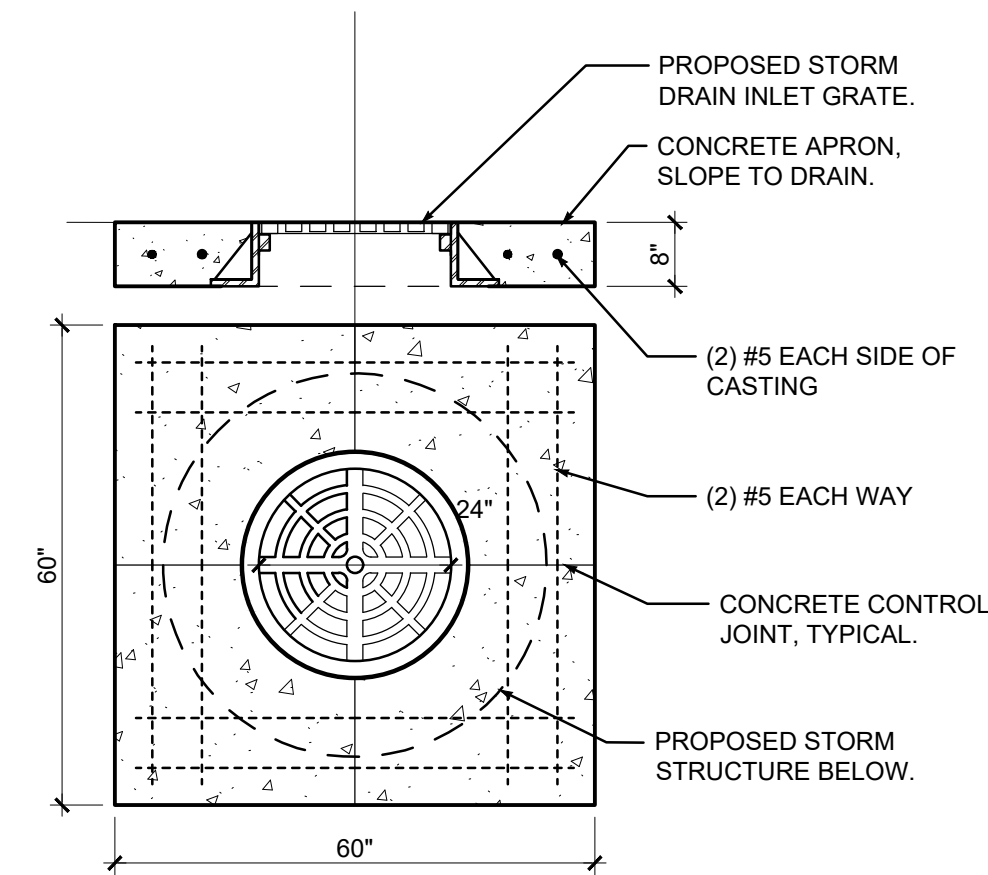
LEGEND:

- PROPERTY LINE
- BUILDING SETBACK
- RIGHT OF WAY (ROW)
- PROPOSED FENCE
- NEW CONCRETE
- NEW BITUMINOUS
- HEAVY DUTY BITUMINOUS
- GRADE BREAK
- EXISTING SPOT ELEVATION
- SPOT ELEVATION
- MATCH EXISTING ELEVATION
- EXISTING CONTOUR
- CONTOUR
- SILT FENCE
- DRAINAGE FLOW DIRECTION
- POWER POLE
- PROPOSED PIER-MOUNTED LIGHT
- PROPOSED BOLLARD LIGHT/PARKING LOT LIGHT
- EXISTING CURB INLET
- EXISTING CATCH BASIN
- EXISTING STORM MANHOLE
- PROPOSED CATCH BASIN/MANHOLE
- EXISTING WATER VALVE
- EXISTING ELECTRIC METER
- EXISTING GAS METER
- EXISTING HANDHOLE
- EXISTING SIGN
- PROPOSED SIGN
- ADA PARKING STALL

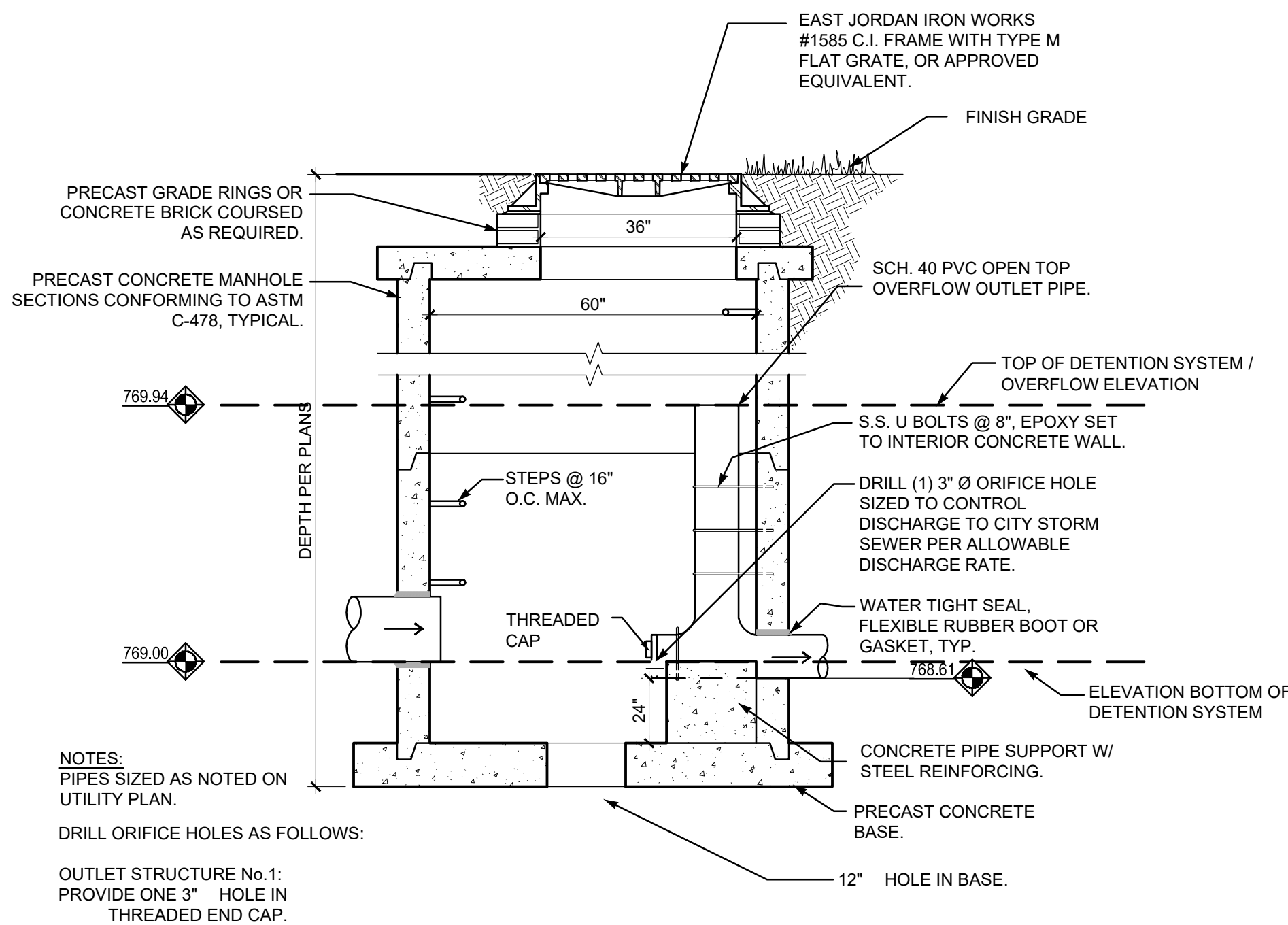
C:\Users\magrath\OneDrive\Documents\BYCE & Associates, Inc\21100233 Mt. Zion The Legacy Senior Living\Project Files\Civil\3D\ML_2101_01\06C610.dwg last saved 6-12-2023
Plotted Mon, 6-12-2023 at 3:47pm by magrathmo



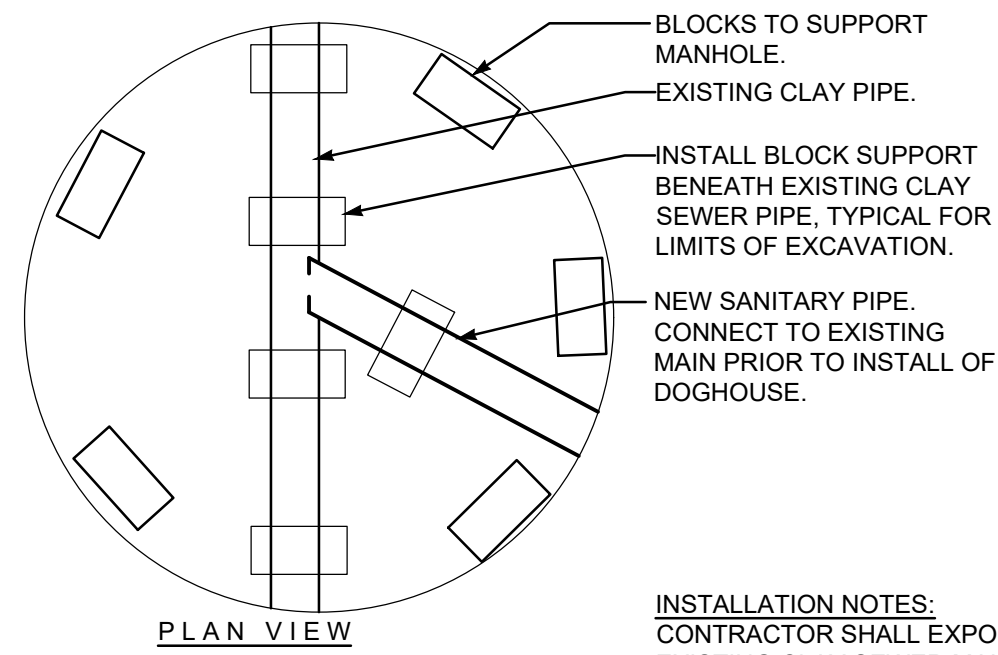
7 STORM TREATMENT STRUCTURE
C610 1/2"=1'-0"



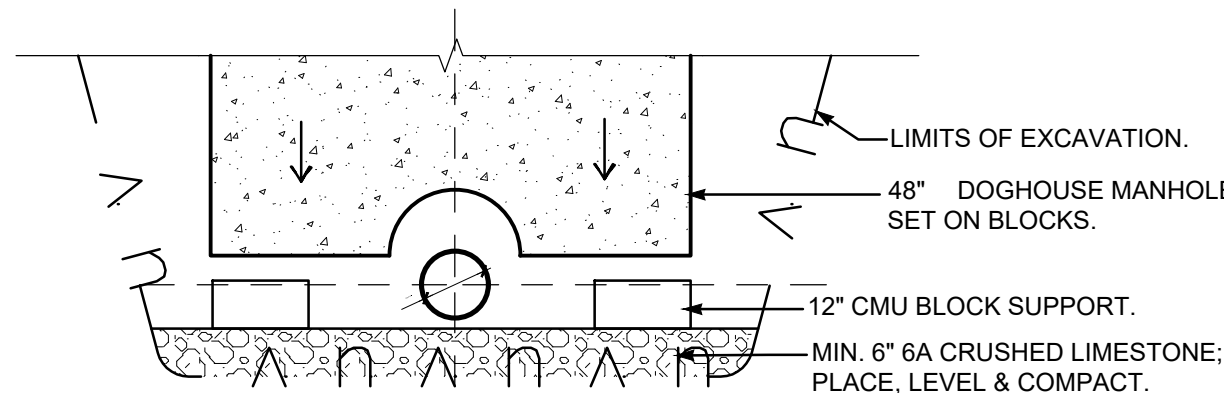
6 CONCRETE APRON
C610 1/2"=1'-0"



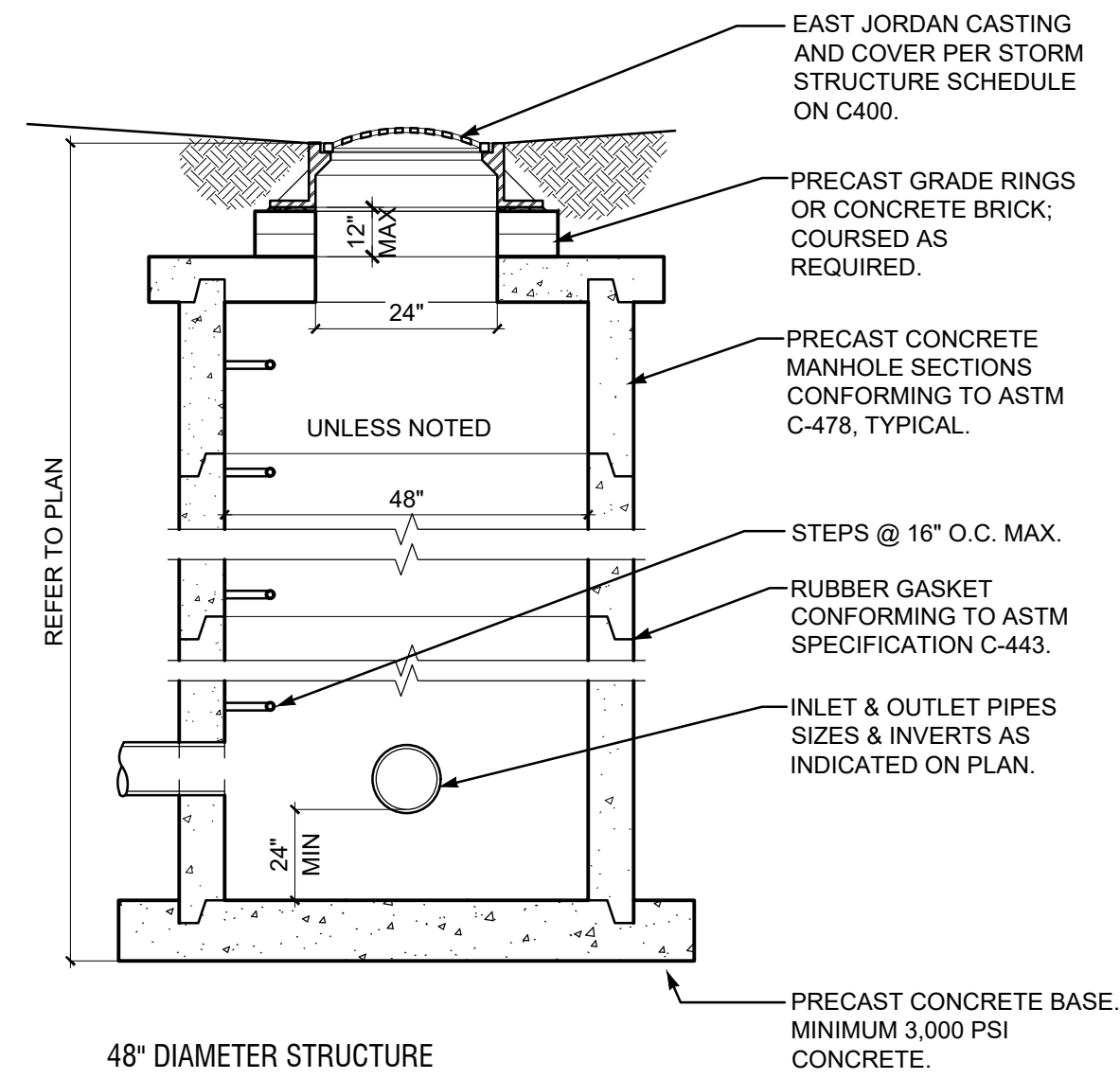
5 OUTLET STRUCTURE
C610 1/2"=1'-0"



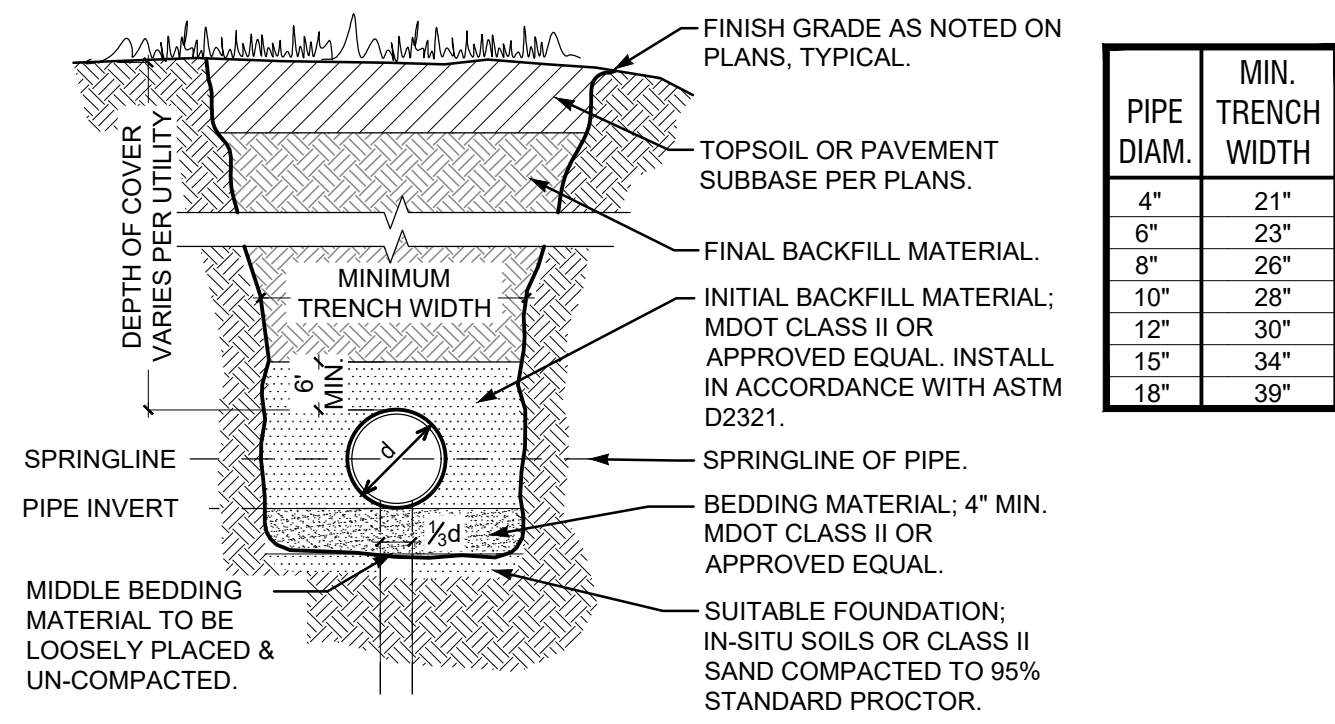
NOTES:
SANITARY MANHOLE CONSTRUCTION AND ALL ASSOCIATED SANITARY SEWER WORK SHALL BE IN COMPLIANCE WITH THE CITY OF KALAMAZOO STANDARD SPECIFICATIONS FOR WASTEWATER SEWER INSTALLATION.
PROVIDE CITY OF KALAMAZOO STANDARD MANHOLE TYPE IV (SA-3-A) OR DOGHOUSE MANHOLE TYPE.



4 SANITARY MANHOLE
C610 1/2"=1'-0"

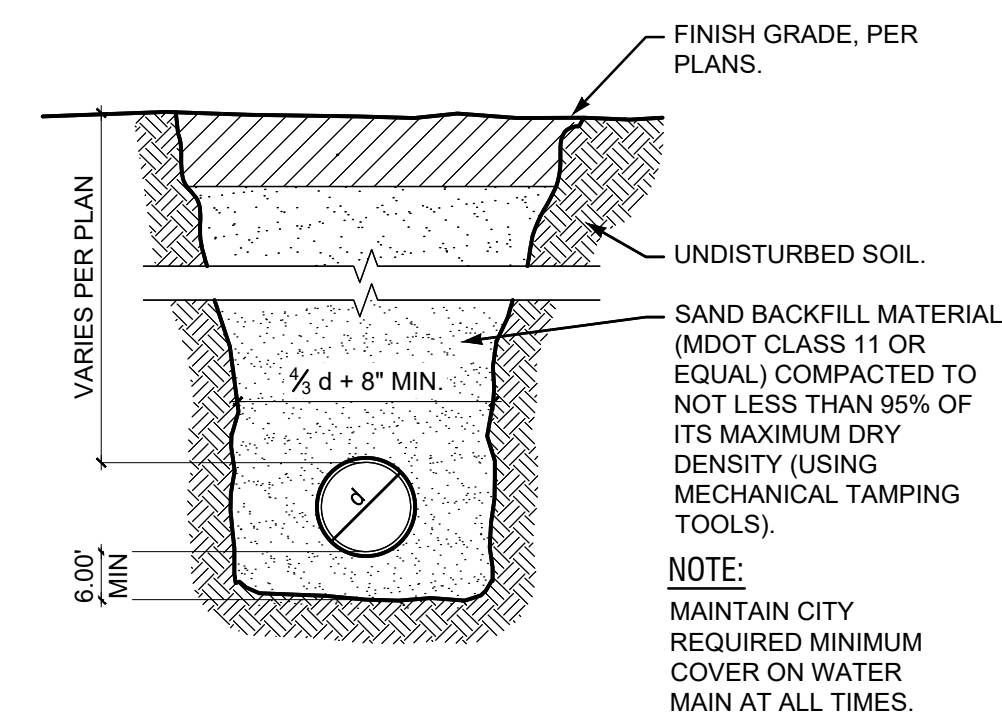


3 STORM CATCH BASIN
C610 1/2"=1'-0"

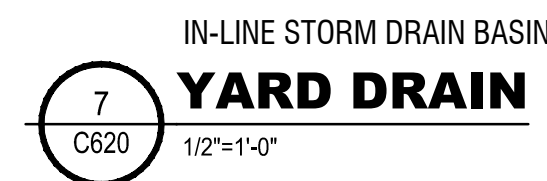


PIPE DIAM.	MIN. TRENCH WIDTH
4"	21"
6"	23"
8"	26"
10"	28"
12"	30"
15"	34"
18"	39"

2 STORM PIPE TRENCH
C610 1/2"=1'-0"

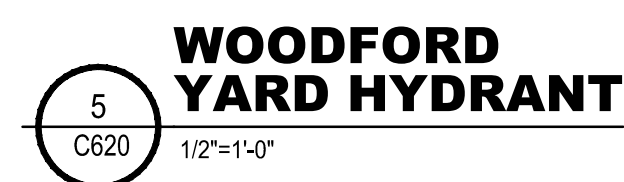


1 UTILITY TRENCH
C610 1/2"=1'-0"

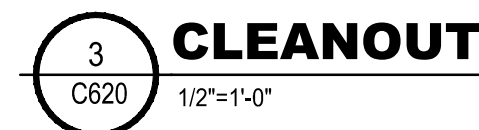


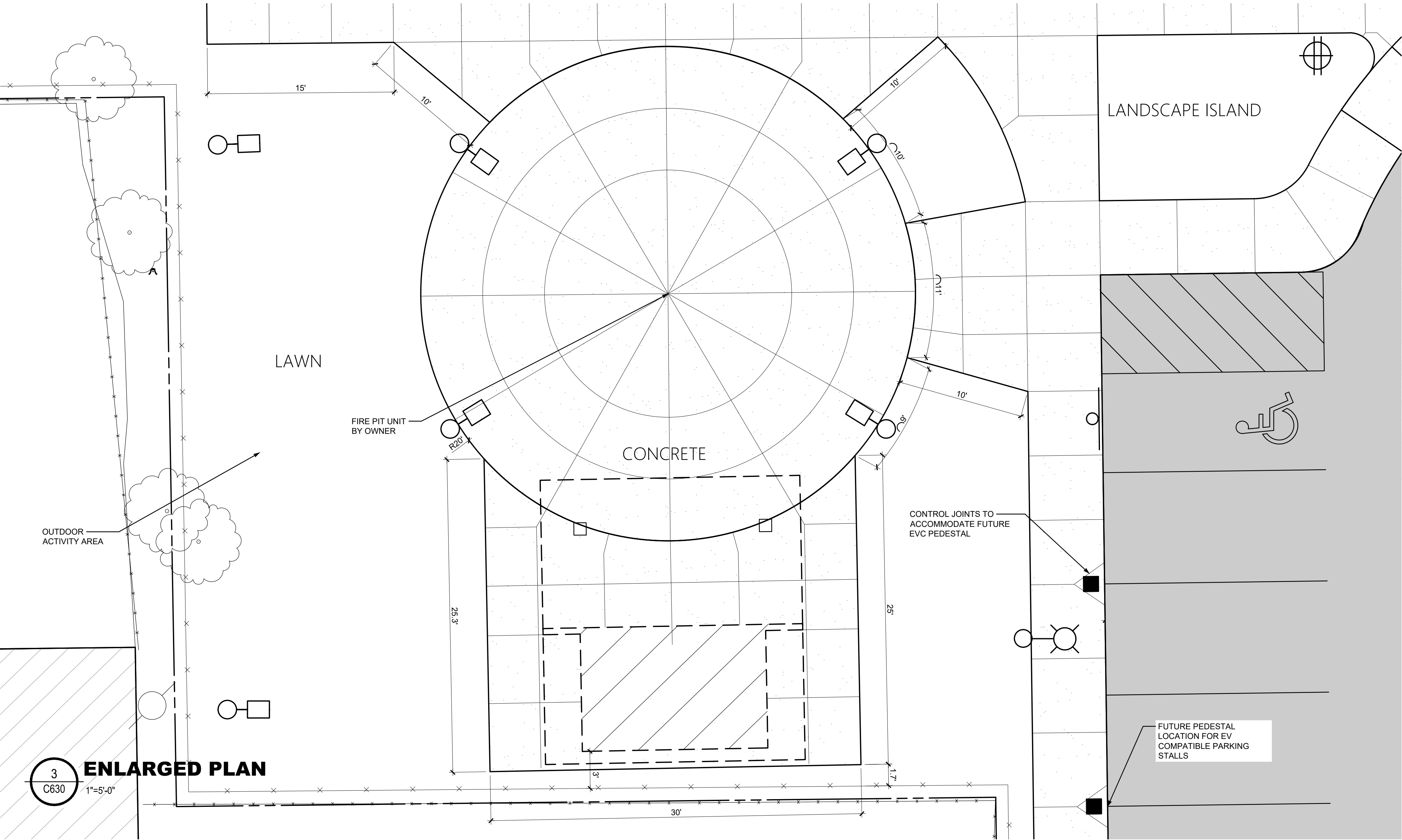
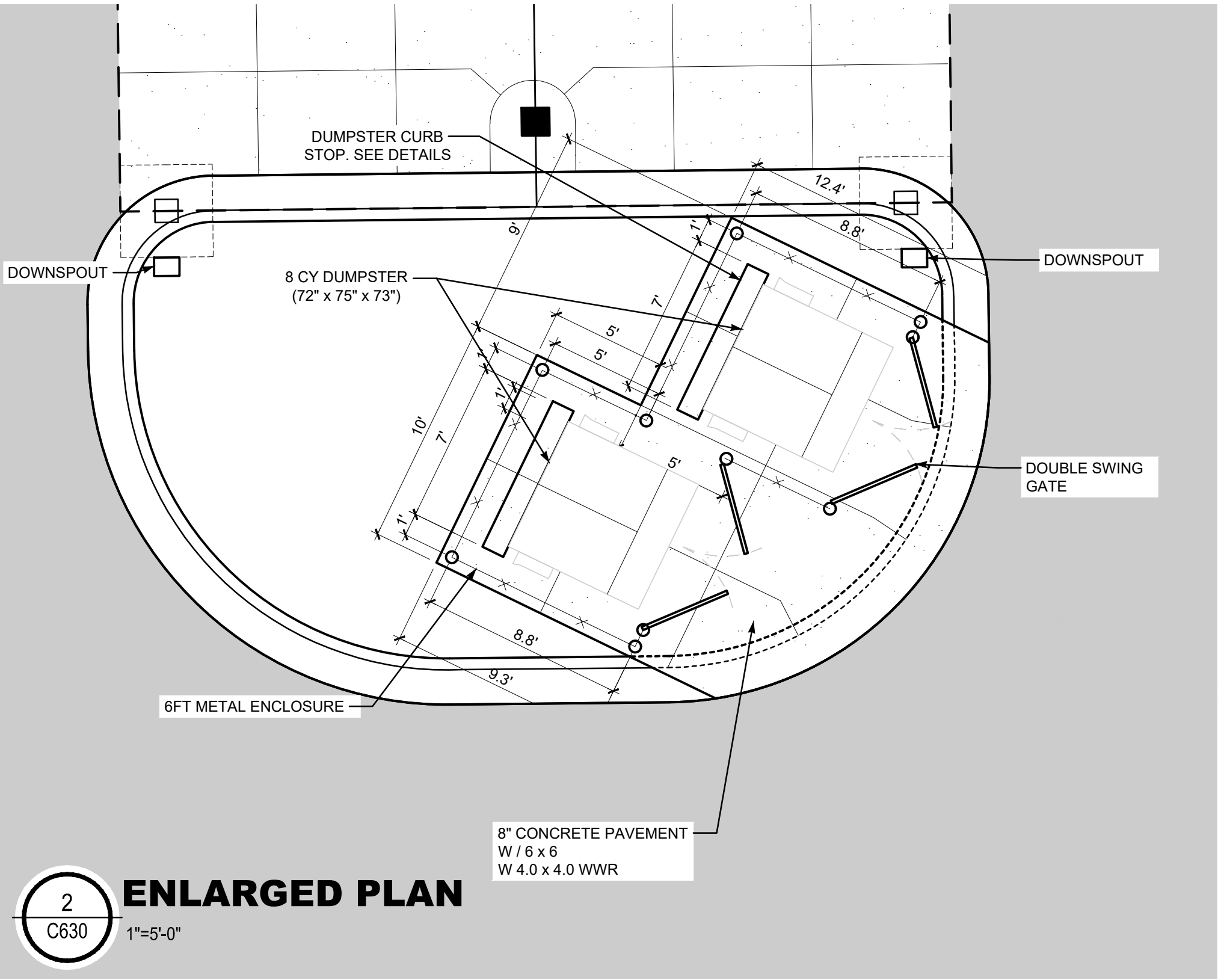
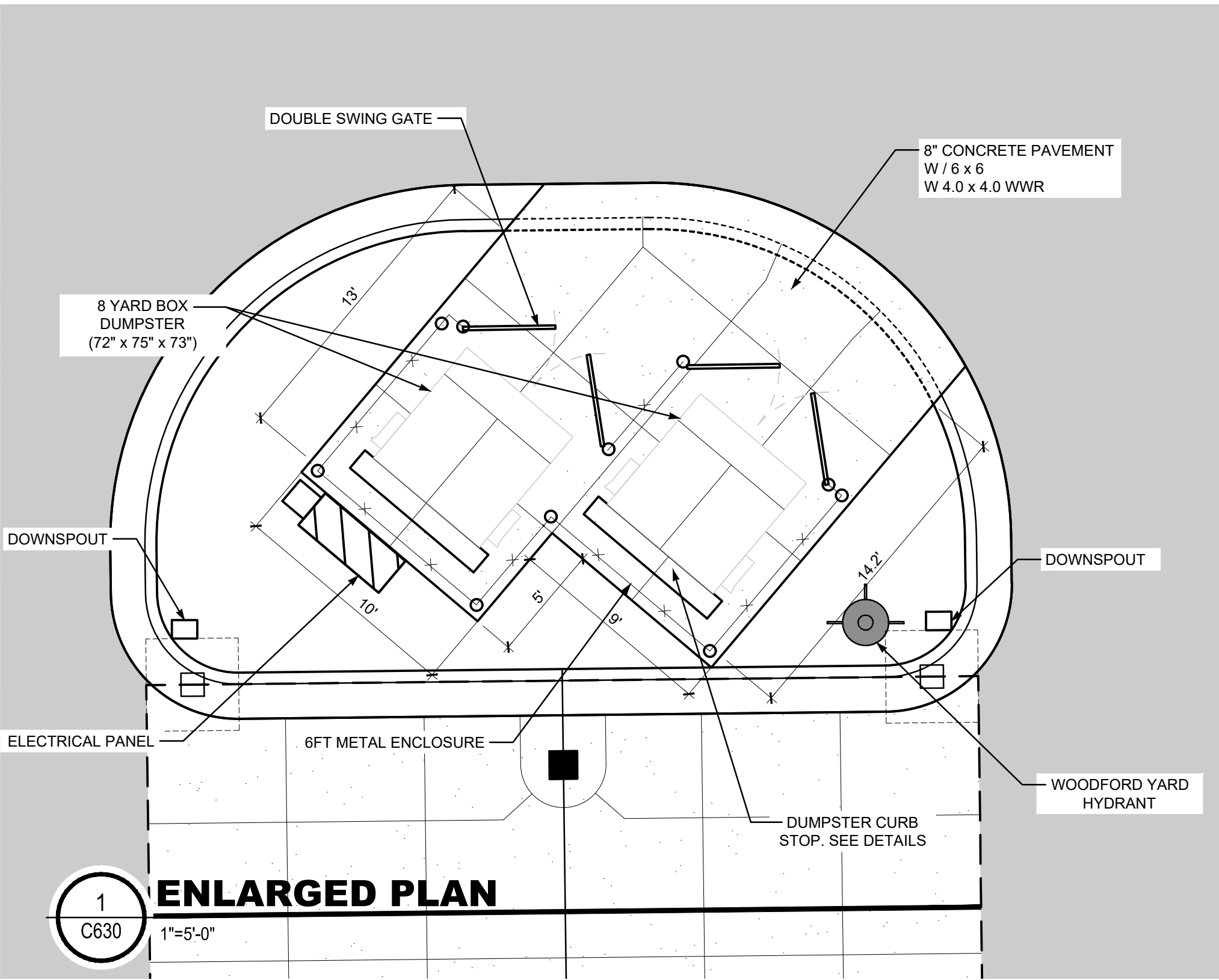
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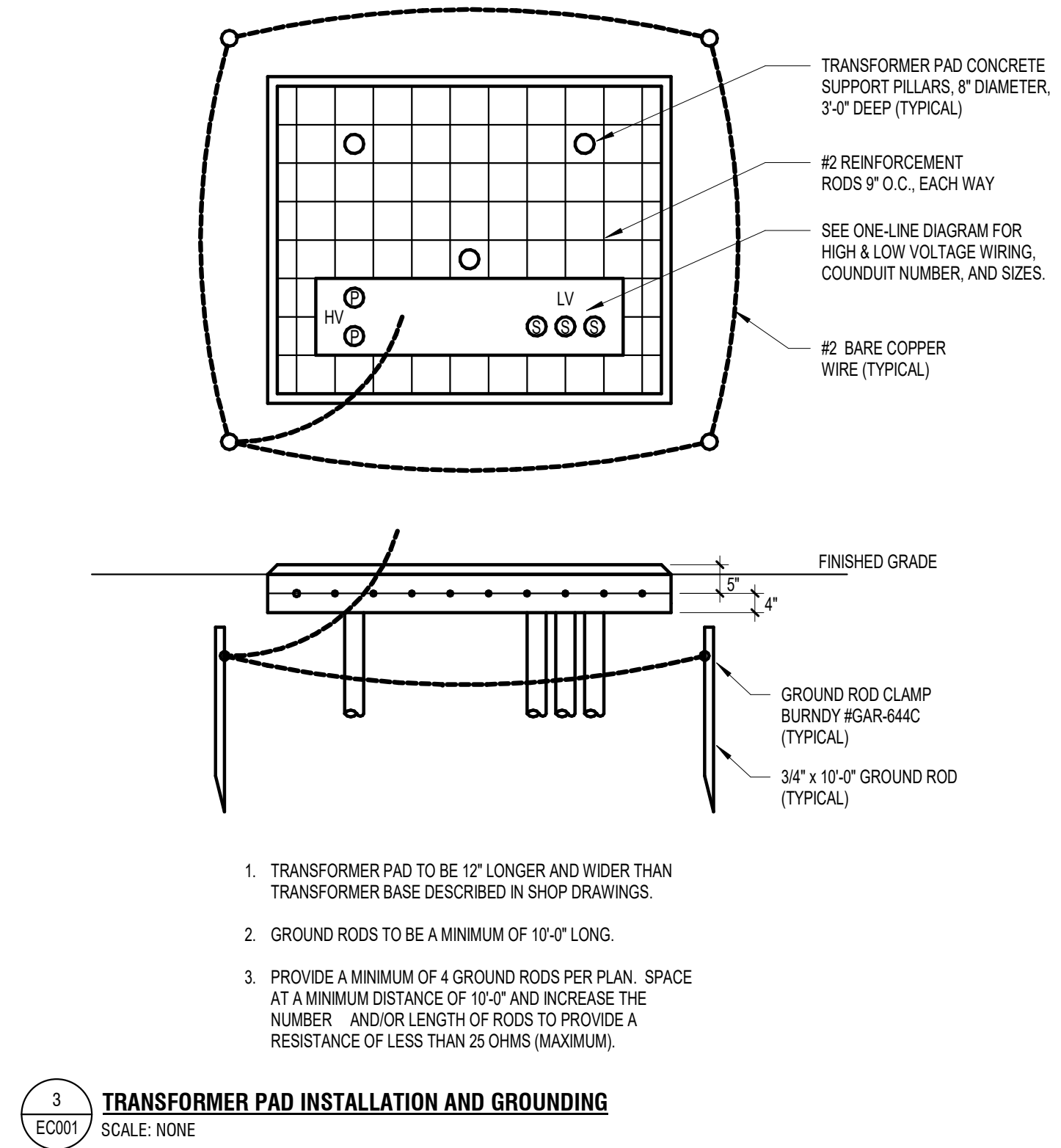
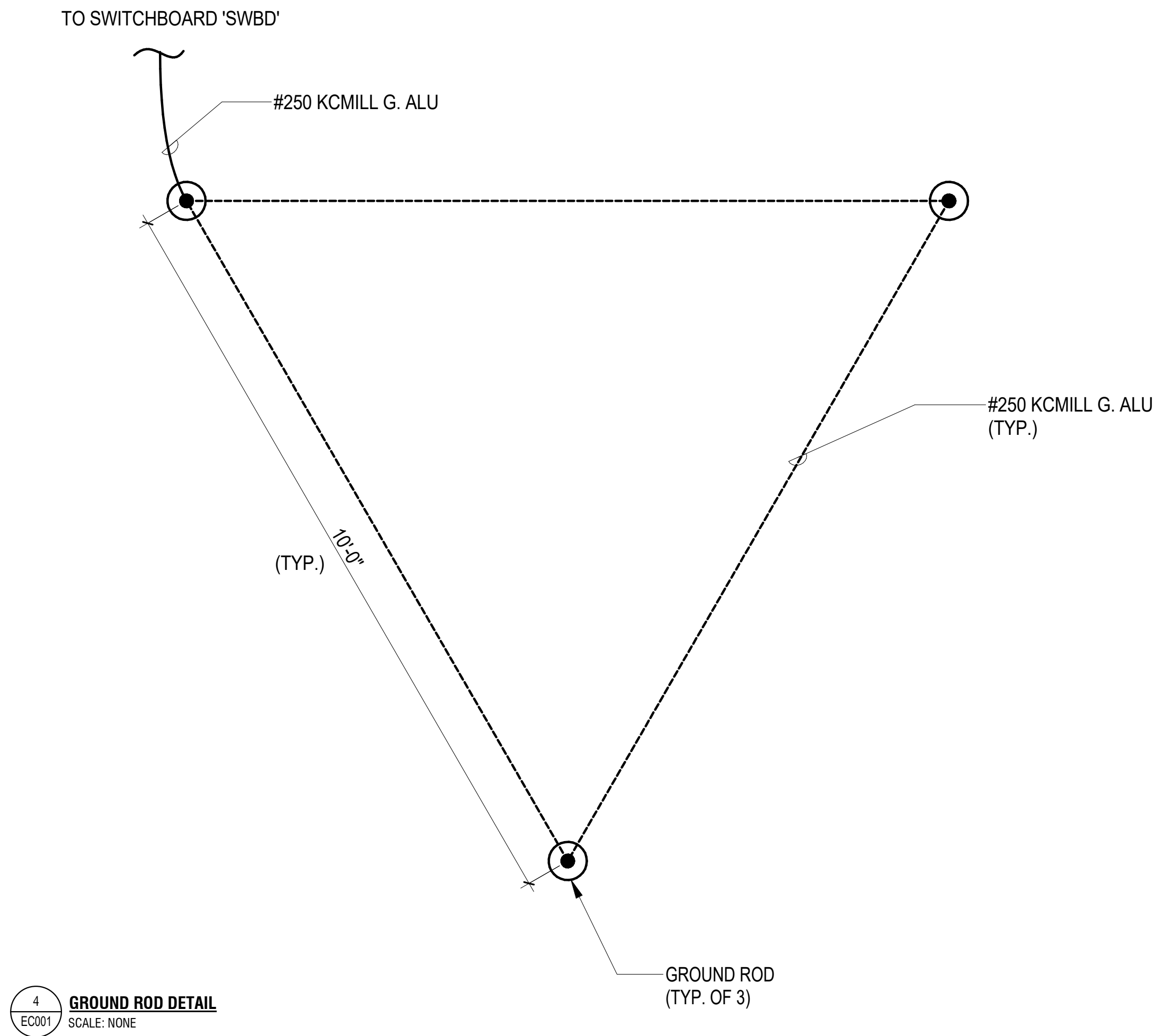
SUBSURFACE STORMWATER SYSTEM







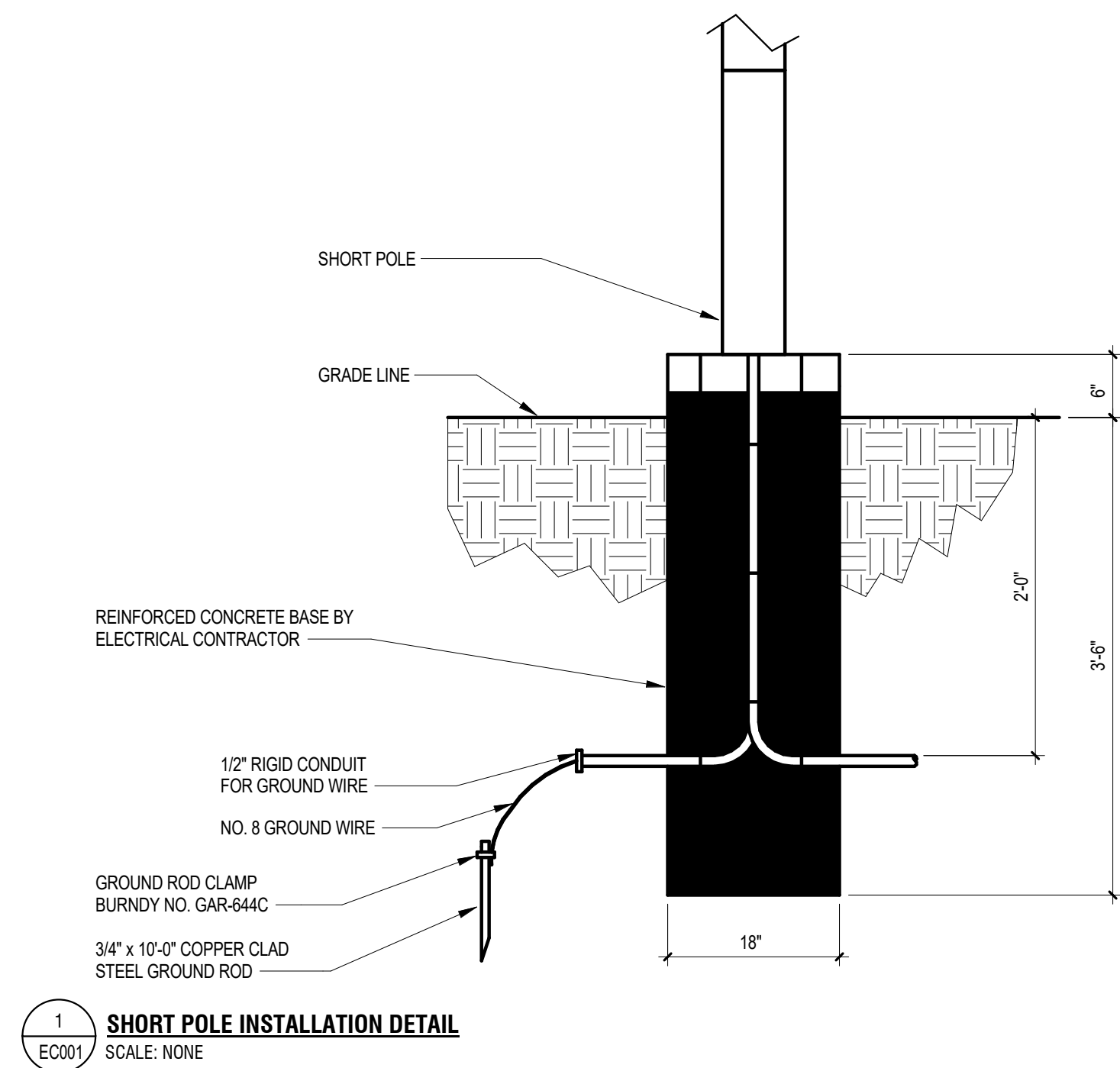
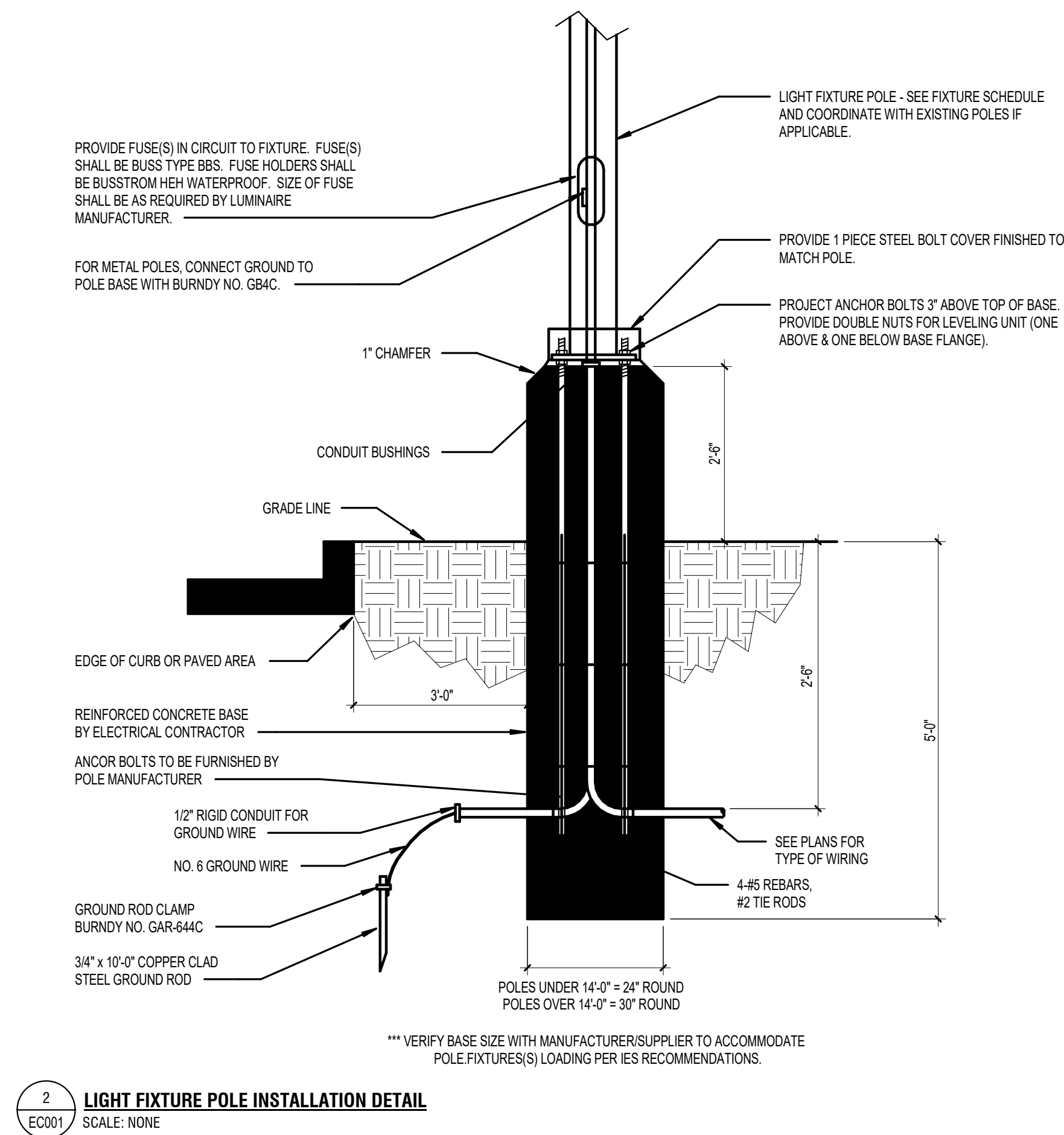
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- Diagram illustrating the components and dimensions of a hand-operated valve assembly installed in a trench:
- Components:** HANDLE & SCREW, TOP, STIRRUP, TEE, SLIDE, STOCK, GRADE, 3/4" OPERATING PIPE, OUTER CASING, VALVE.
 - Dimensions:**
 - Total height from top to valve: 24"
 - Depth of bury from top to grade: 18"
 - Depth of bury from grade to valve: 5 MIN.

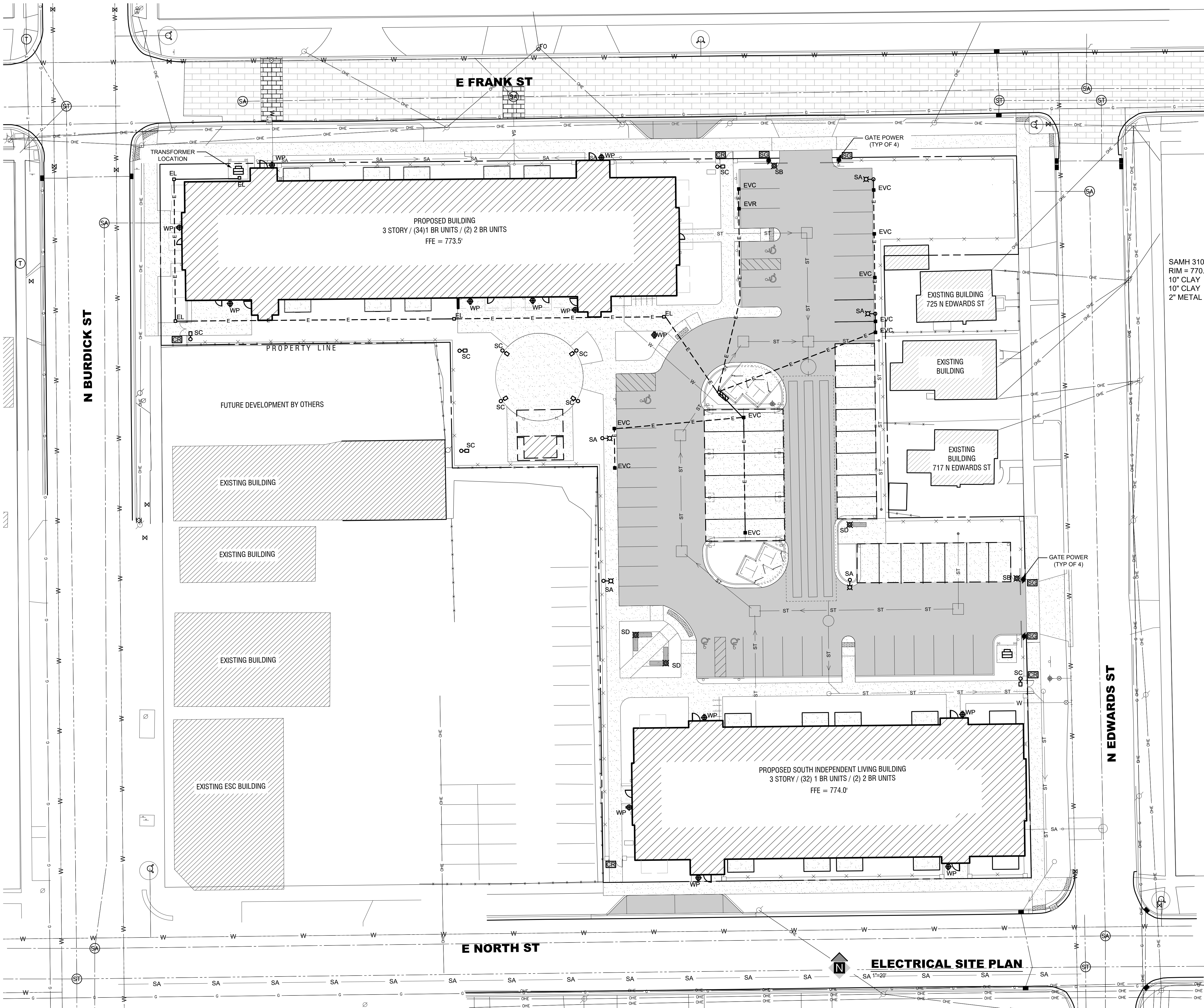






SITE LIGHT FIXTURE SCHEDULE						
MARK	SYMBOL	SOURCE		MANUFACTURER	MTG.	REMARKS
		WATTS	TYPE			
SA		122 W	LED	LITHONIA: #DSX1 POLE #LITHONIA: RSS-18-4B-DM19AD-DBLXD	18' POLE 2" BASE	TYPE TFTM WITH HOUSE SIDE SHIELD.
SB		38 W	LED	LITHONIA: #RADPT POLE #LITHONIA: RSS-9-4B-DM19AD-DBLXD	9' POLE 6" BASE	ARCHITECTURAL SHORT POLE.
SC		122 W	LED	LITHONIA: #RADB LED	BOLLARD	ARCHITECTURAL BOLLARD LIGHT
SD		5 W	LED	LANDSCAPEFORMS: #BM-CSA-AG1U-LBLK	BOLLARD	SITE LIGHT. POWER BOLLARD TO HAVE A TWO GANG BOX ONE WITH POWER RECEPTACLE ONE TO BE USB CHARGING STATION. BOLLARD IS TO HAVE AN CURRENT LIGHT.





ELECTRICAL NOTES:

1. UTILITIES & CONSTRUCTION TO COMPLY WITH REQUIREMENTS OF LOCAL AND STATE AUTHORITIES HAVING JURISDICTION.
2. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES.
3. UTILITIES SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM AVAILABLE RECORDS. PUBLIC UTILITY LOCATIONS ARE SUBJECT TO CHANGE, SHALL NOT BE INTERPRETED AS EXACT OR ASSUMED TO BE THE ONLY UTILITIES IN THEIR RESPECTIVE AREAS.
4. NOTE TO CONTRACTOR: CALL THE "MISS DIG" SYSTEM THREE FULL WORKING DAYS BEFORE YOU DIG TO SCHEDULE UNDERGROUND UTILITY MARKING. CALL TOLL FREE AT 1-800-428-7171, AVAILABLE 24 HRS PER DAY 7 DAYS PER WEEK.
5. HOOK-UP AND TIE IN TO EXISTING UTILITIES TO MEET LOCAL REQUIREMENTS FOR EACH UTILITY INVOLVED: WATER, SEWER, STORM, GAS, ELECTRIC, PHONE, ETC.
6. PROPOSED DEVELOPMENTS SHALL BE IN COMPLIANCE WITH ENVIRONMENTAL REPORTS FOR SUBJECT PROPERTIES.
7. COORDINATE SCHEDULE FOR RIGHT OF WAY WORK AND RELATED TRAFFIC MANAGEMENT PLANS WITH CITY OF KALAMAZOO.

SAMH 310:
RIM = 770.0
10" CLAY
10" CLAY
2" METAL

LEGEND:

- - - E - - - ELECTRICAL CONDUIT
- EL UTILITY PAD-MOUNTED TRANSFORMER
- EVC ELECTRIC CHAMBER
- EVR EV CAPABLE - 2" CONDUIT TO JUNCTION BOX FOR EV CHARGING STATION
- SG EV READY - 2" CONDUIT AND 40A, 2P CIRCUIT TO JUNCTION BOX FOR EV CHARGING STATION
- CR POWER CIRCUIT AND DATA TO SLIDE GATE
- SA CONDUIT FOR CARD READER / ELECTRIC STRIKE ON PEDESTRIAN GATE
- SB 400A PANEL FROM NORTH BUILDING DISTRIBUTION PANEL
- SC LIGHT POLE, LED FIXTURE, 2" CONCRETE POLE BASE
- SD DECORATIVE LIGHT POLE POST TOP LED FIXTURE, 6" CONCRETE POLE BASE
- WP ARCHITECTURAL BOLLARD LIGHT
- WP SITE LIGHT POWER BOLLARD TO HAVE A TWO GANG BOX. BOLLARD IS TO HAVE AN ACCENT LIGHT.
- WP GFCI RECEPTABLE, WP= WEATHERPROOF IN-USE COVER

BYCE
ENGINEERS & ARCHITECTS
306 S. KALAMAZOO MALL
KALAMAZOO, MI 49007
CORPORATE@BYCE.COM
WWW.BYCE.COM
TEL: 269-381-6170
FAX: 269-381-6176

OCBA
LANDSCAPE
ARCHITECTS

HOLLANDER
DEVELOPMENT

FREDERICK
CONSTRUCTION

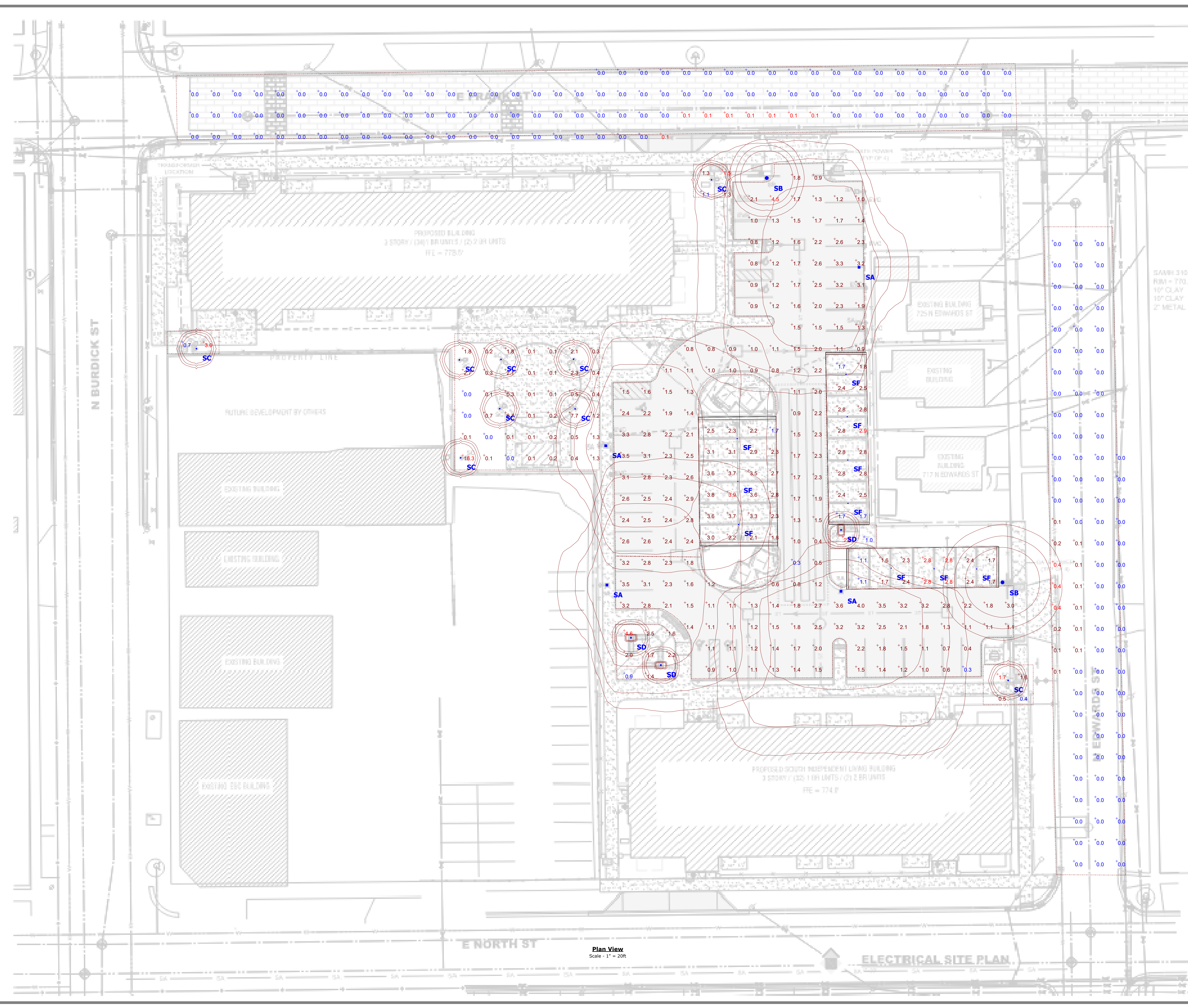
MZBC
MI ZON SENIOR LIVING

New Facility for:
The Legacy Senior Living
730 N. BURDRICK, KALAMAZOO, MI 49007

PRELIMINARY
NOT FOR CONSTRUCTION

2023.06.12 100% DESIGN DEVELOPMENT SET
ELECTRICAL SITE PLAN

21100233
EC100

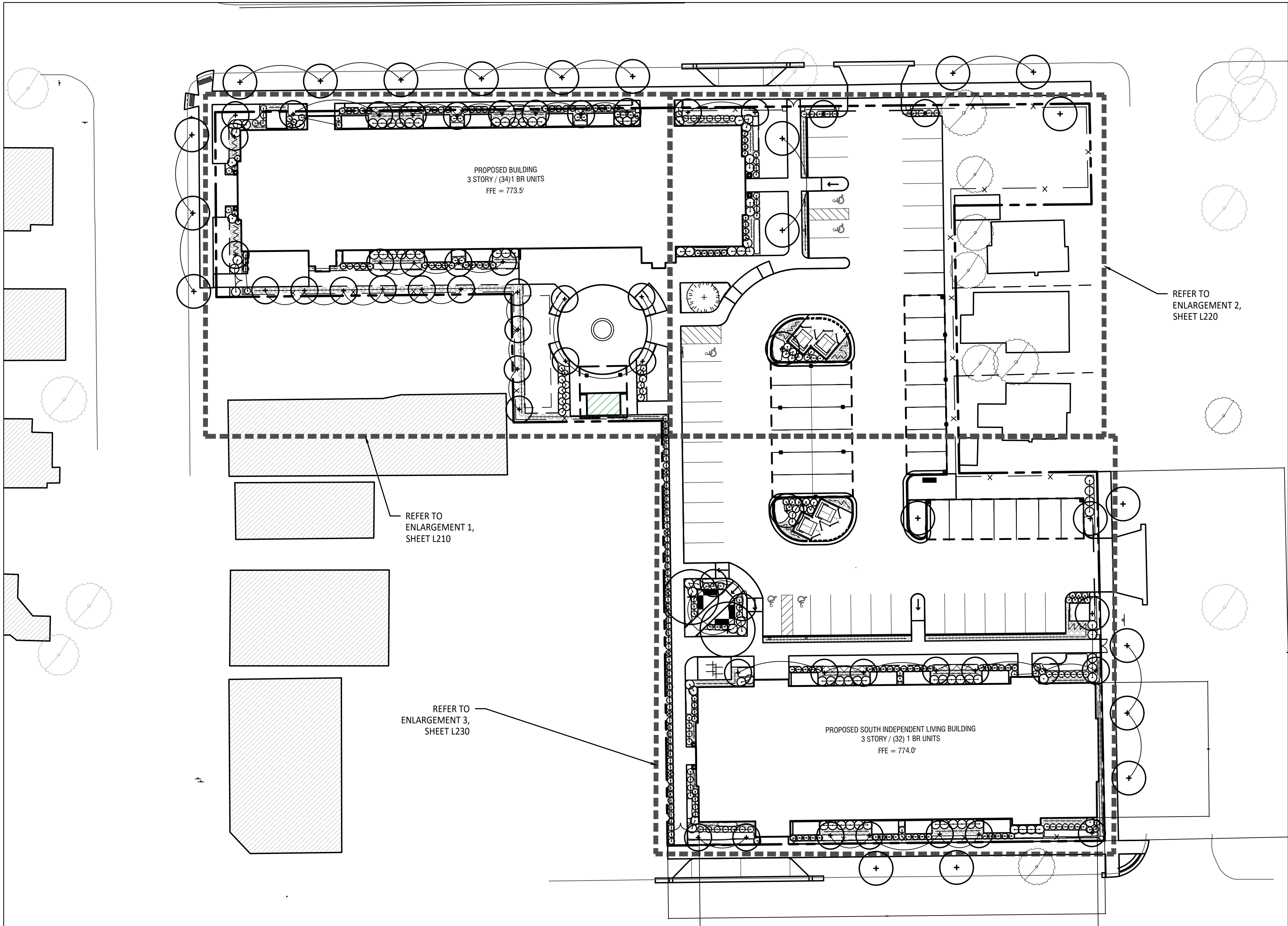


Plan View
Scale - 1" = 20'

ELECTRICAL SITE PLAN

Symbol	Label	Quantity	Manufacturer	Coloring Number	Description	Number	Quantity	Unit	Notes
SA	SA	1	SA	SA	SA	SA	SA	SA	SA
SB	SB	1	SB	SB	SB	SB	SB	SB	SB
SC	SC	1	SC	SC	SC	SC	SC	SC	SC
SD	SD	1	SD	SD	SD	SD	SD	SD	SD
SF	SF	1	SF	SF	SF	SF	SF	SF	SF

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Circular Path	+	1.3 fc	16.3 fc	0.0 fc	N/A	N/A
North Building Exit	+	1.8 fc	3.0 fc	0.7 fc	4.3:1	2.6:1
Overhead Parking 1	+	2.9 fc	3.9 fc	1.7 fc	2.3:1	1.7:1
Overhead Parking 2	+	2.5 fc	2.9 fc	1.7 fc	1.7:1	1.5:1
Overhead Parking 3	+	2.1 fc	2.8 fc	1.1 fc	2.5:1	1.9:1
Parking Lot	+	1.8 fc	4.5 fc	0.3 fc	15.0:1	6.0:1
Sidewalk Light	+	1.1 fc	1.7 fc	0.4 fc	4.3:1	2.8:1
Sidewalk Light	+	1.3 fc	1.5 fc	1.1 fc	1.4:1	1.2:1
Sitting Area	+	1.9 fc	2.8 fc	1.0 fc	2.8:1	1.9:1
Sitting Area	+	2.3 fc	4.6 fc	0.9 fc	5.1:1	2.6:1
Street East	+	0.0 fc	0.4 fc	0.0 fc	N/A	N/A
Street North	+	0.0 fc	0.1 fc	0.0 fc	N/A	N/A



1 Overall Landscape Plan
1" = 30'

EAST FRANK STREET (NORTH - NORTH BUILDING)			
	REQUIRED	PROVIDED	
FRONT YARD SB - TREE	1/35 LF		11
FRONT YARD SB - SHRUB	1/25 LF		15
ROW - FOUNDATION PLANTING	1/5 LF		49
NORTH BURDICKS STREET (WEST - NORTH BUILDING)			
FRONT YARD SB - TREE	1/35 LF		2
FRONT YARD SB - SHRUB	1/25 LF		3
ROW - FOUNDATION PLANTING	1/5 LF		11
EAST NORTH STREET (SOUTH - SOUTH BUILDING)			
FRONT YARD SB - TREE	1/35 LF		6
FRONT YARD SB - SHRUB	1/25 LF		8
ROW - FOUNDATION PLANTING	1/5 LF		36
NORTH EDWARDS STREET (EAST - SOUTH BUILDING)			
FRONT YARD SB - TREE	1/35 LF		4
FRONT YARD SB - SHRUB	1/25 LF		7
ROW - FOUNDATION PLANTING	1/5 LF		16
PARKING LOT			
TREES	1/300 SF	9 (INCLUDES 2 EXISTING)	

LANDSCAPE NOTES:

1. SURVEY OF EXISTING CONDITIONS PROVIDED BY WIGHTMAN, 1670 LINCOLN RD., ALLEGAN, MI, 49010: 269-673-8465.
2. CALL "MISS DIG" AND VERIFY ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING WORK. 72 HOURS BEFORE YOU DIG CALL "MISS DIG" AT 1-800-482-7171. ANY UTILITIES DISTURBED BY CONSTRUCTION SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE.
3. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHOULD BE REPORTED TO THE CONSTRUCTION MANAGER IMMEDIATELY FOR RESOLUTION.
4. IN AREAS OF NEW TURF PLACE 4" MINIMUM TOPSOIL, FINE GRADE & ESTABLISH TURF WITHIN SEED LIMIT LINES.
5. PLACE SHREDDED HARDWOOD MULCH TO A 3" DEPTH IN ALL TREE & SHRUB BEDS & TO A 2" DEPTH IN ALL GROUND COVER BEDS.
6. UNLESS OTHERWISE NOTED, TOPSOIL, FINE GRADE AND SEED ALL DISTURBED AREAS WITHIN THE SEEDING LIMIT SHOWN AND AREAS DISTURBED BY CONSTRUCTION.
7. REPAIR AND RESTORE ANY DAMAGE OUTSIDE OF LIMIT OF WORK LINE TO ORIGINAL CONDITION.
8. SEE SHEET L200 FOR PLANT LISTS.
9. PROTECT ALL TREES AND EXISTING FEATURES TO REMAIN AS SPECIFIED.
10. ALL TOPSOIL AND EXCESS FILL MATERIAL SHALL BE STOCKPILED ON SITE SEPARATELY FOR LATER RE-USE. LOCATE STOCKPILES IN AREAS AS DIRECTED BY CONSTRUCTION MANAGER AND PROTECT FROM EFFECTS OF EROSION.
11. ALL NURSERY STOCK SHALL BE TRUE TO TYPE AND NAME. ALL STOCK SHALL BE FIRST CLASS QUALITY WITH WELL DEVELOPED BRANCH SYSTEMS AND VIGOROUS HEALTHY ROOT SYSTEMS. ALL STOCK SHALL BE WELL FORMED AND THE TRUNKS OF TREES SHALL BE UNIFORM AND STRAIGHT.
12. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR IRRIGATION SCHEDULING FOR THE ENTIRE MAINTENANCE PERIOD UNLESS OTHERWISE NOTED.
13. SEE IRRIGATION PLANS SHEETS IRR. FOR DETAILED IRRIGATION DESIGN.
14. CONTRACTOR RESPONSIBLE TO LOCATE SITE LIGHTING SERVICES. CONTRACTOR RESPONSIBLE TO NOTIFY CONSTRUCTION MANAGER IF DAMAGE TO LIGHTING ELECTRICAL DISTRIBUTION OCCURS.
15. ALL AREAS OF TREE CLEARING SHALL BE STAKED FOR ARCHITECTS APPROVAL PRIOR TO CLEARING.
16. UNLESS OTHERWISE SPECIFIED, ALL PERENNIALS, GRASSES AND GROUNDCOVERS SHALL BE GROWN IN THEIR CONTAINER FOR ONE YEAR PRIOR TO INSTALLATION.

PROPOSED FEATURES LEGEND:

SYMBOL	DESCRIPTION	DETAIL
	PROPOSED DECIDUOUS TREE	2/ L300
	PROPOSED EVERGREEN TREE	3/ L300
	PROPOSED SHRUB	4/ L300
	PROPOSED GRASSES	5/ L300
	PROPOSED GROUNDCOVER AND/OR PERENNIALS	5/ L300
	RAIN GARDEN MIX	SEE SPECS.
	PROPOSED BED LINE/ METAL EDGING	7/ L300
	LIMIT OF WORK	
	PROPERTY LINE	
	ENLARGEMENT LIMIT LINE	
	PLANT TAG- REFERS TO TYPE AND NUMBER OF PLANTINGS TO BE PROVIDED AND MAINTAINED BY CONTRACTOR.	

PLANT LIST:

	SYM.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	SPACING	STATUS	QTY.
ORNAMENTAL	AL	Amelanchier laevis	Smooth Serviceberry	2" CAL.	B&B	PER PLANS	NATIVE	35
DECIDUOUS TREES	PAM	Platanus x acerifolia 'Morton Circle'	Exclamation London Planetree	2" CAL.	B&B	PER PLANS	NATIVE	19
EVERGREEN	TO	Thuja occidentalis 'Degroot's Spire'	Degroot's Spire Arborvitae	8-10' HT.	B&B	PER PLANS	NON-NATIVE	64
EVERGREEN	PG	Picea glauca 'Densata'	Black Hills Spruce	10-12' HT.	B&B	PER PLANS	NATIVAR	1
DECIDUOUS TREE	GT	Gleditsia triacanthos 'Suncole'	Sunburst Honeylocust	2" CAL.	B&B	PER PLANS	NATIVE	5
DECIDUOUS TREE	QR	Quercus robur 'Regal Prince'	Regal Prince Oak	2" CAL.	B&B	PER PLANS	NON-NATIVE	16
SHRUBS	IC	Ilex crenata 'Sky Pencil'	Sky Pencil Holly	#3	CONT.	3' O.C.	NON-NATIVE	99
	IG	Ilex glabra 'Shamrock'	Shamrock Inkberry	#3	CONT.	3' O.C.	NON-NATIVE	57
	IV	Itea virginica 'Sweetspire'	Scentlandia Sweetspire	#3	CONT.	4' O.C.	NATIVAR	64
	HAA	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	#3	CONT.	5' O.C.	NON-NATIVE	58
	BM	Buxus microphylla 'Wintergreen'	Wintergreen Boxwood	#3	CONT.	4' O.C.	NON-NATIVE	61
GRASSES	CA	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	#1	CONT.	36" O.C.	NATIVAR	257
	SH	Sporobolus heterolepis	Prairie Dropseed	#1	CONT.	24" O.C.	NATIVAR	109
PERENNIALS	AV	Anemone virginiana	Thimbleweed	#1	CONT.	12" O.C.	NATIVE	1178
	AF	Athyrium filix-femina	Lady Fern	#1	CONT.	36" O.C.	NATIVE	27
	LS	Liatris spicata	Blazing Star	#1	CONT.	24" O.C.	NATIVE	261
VINES	HA	Hydrangea anomala 'Petiolaris'	Climbing Hydrangea	#3	CONT.	PER PLANS	NON-NATIVE	3
	DV	Dioscorea villosa	Wild Yam	#1	CONT.	12" O.C.	NATIVE	32

Senior Housing Development for:
Mt. Zion Baptist Church
720 N. Burdick Street · Kalamazoo, Michigan



350 East Michigan Avenue Suite #415
Kalamazoo Michigan 49007
Phone (269) 381-3357
Fax (269) 381-2944

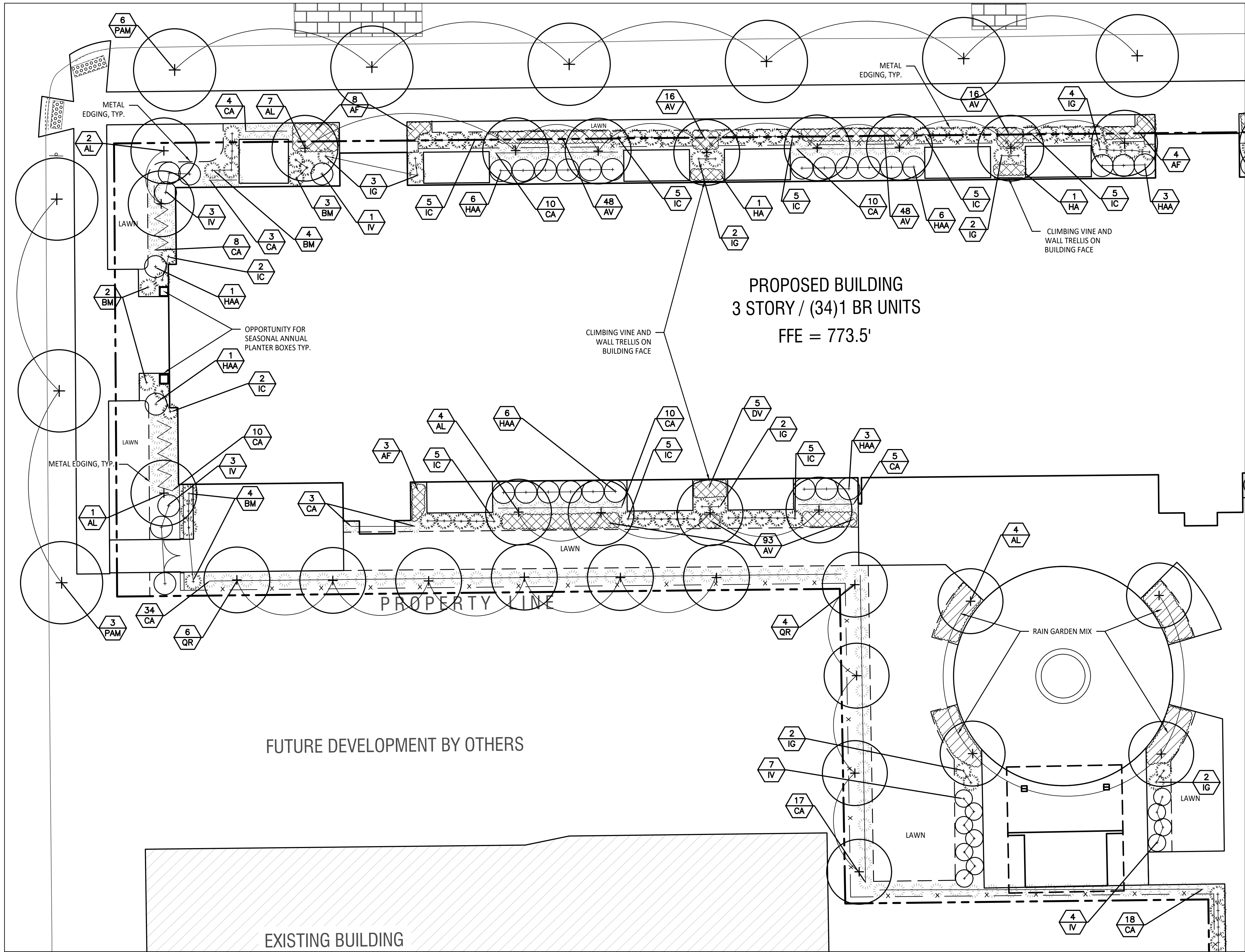
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21100233

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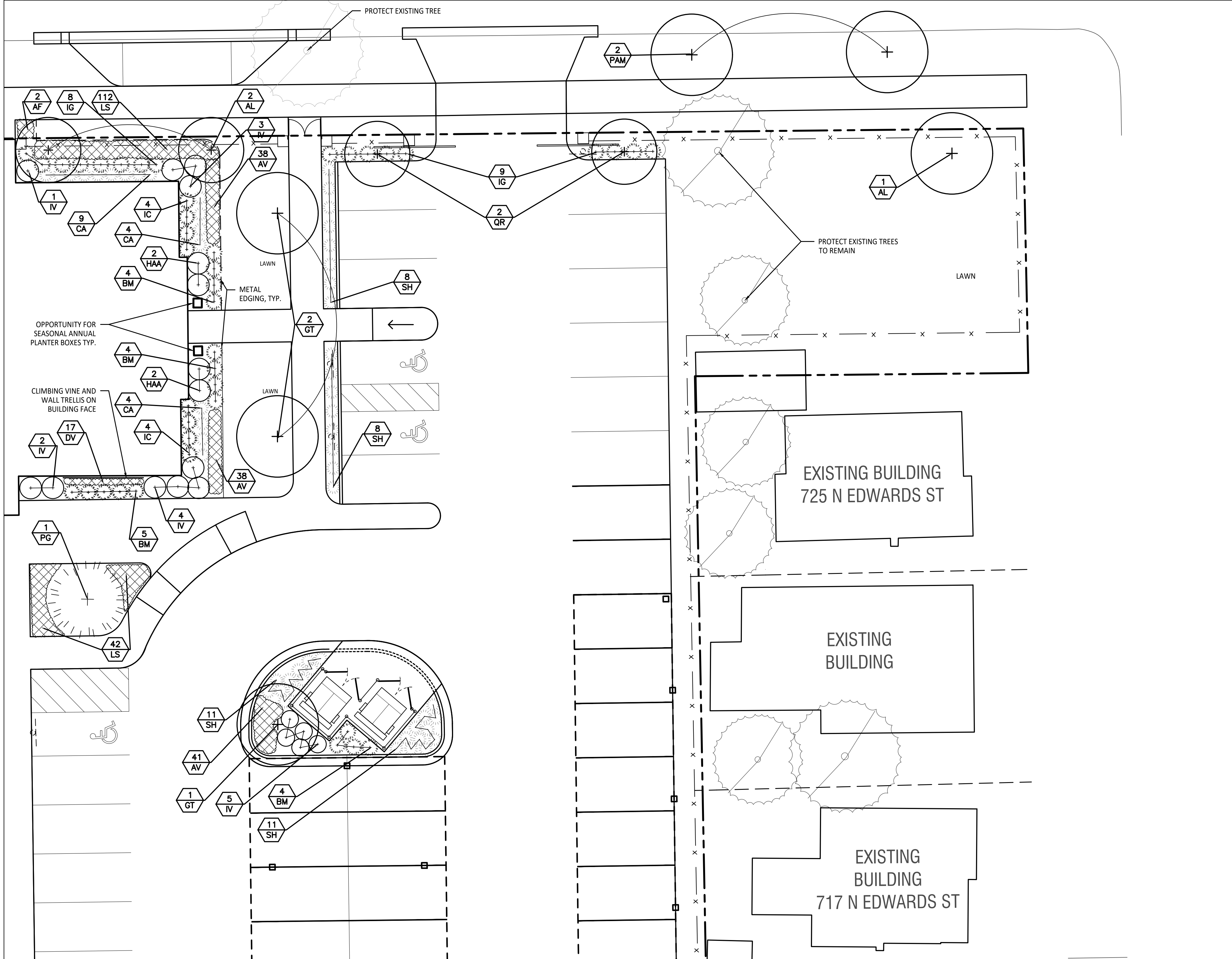
OVERALL LANDSCAPE PLAN



- LANDSCAPE NOTES:**
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 3. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHOULD BE REPORTED TO THE CONSTRUCTION MANAGER IMMEDIATELY FOR RESOLUTION.
 4. IN AREAS OF NEW TURF PLACE 4" MINIMUM TOPSOIL, FINE GRADE & ESTABLISH TURF WITHIN SEED LIMIT LINES.
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 6. UNLESS OTHERWISE NOTED, TOPSOIL, FINE GRADE AND SEED ALL DISTURBED AREAS WITHIN THE SEEDING LIMIT SHOWN AND AREAS DISTURBED BY CONSTRUCTION.
 7. REPAIR AND RESTORE ANY DAMAGE OUTSIDE OF LIMIT OF WORK LINE TO ORIGINAL CONDITION.
 8. SEE SHEET L200 FOR PLANT LISTS.
 9. PROTECT ALL TREES AND EXISTING FEATURES TO REMAIN AS SPECIFIED.
 10. ALL TOPSOIL AND EXCESS FILL MATERIAL SHALL BE STOCKPILED ON SITE SEPARATELY FOR LATER RE-USE. LOCATE STOCKPILES IN AREAS AS DIRECTED BY CONSTRUCTION MANAGER AND PROTECT FROM EFFECTS OF EROSION.
 11. ALL NURSERY STOCK SHALL BE TRUE TO TYPE AND NAME. ALL STOCK SHALL BE FIRST CLASS QUALITY WITH WELL DEVELOPED BRANCH SYSTEMS AND VIGOROUS HEALTHY ROOT SYSTEMS. ALL STOCK SHALL BE WELL FORMED AND THE TRUNKS OF TREES SHALL BE UNIFORM AND STRAIGHT.
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 16. UNLESS OTHERWISE SPECIFIED, ALL PERENNIALS, GRASSES AND GROUNDCOVERS SHALL BE GROWN IN THEIR CONTAINER FOR ONE YEAR PRIOR TO INSTALLATION.

PROPOSED FEATURES LEGEND:

SYMBOL	DESCRIPTION	DETAIL
	PROPOSED DECIDUOUS TREE	2/ L300
	PROPOSED EVERGREEN TREE	3/ L300
	PROPOSED SHRUB	4/ L300
	PROPOSED GRASSES	5/ L300
	PROPOSED GROUNDCOVER AND/OR PERENNIALS	5/ L300
	RAIN GARDEN MIX	SEE SPECS.
	PROPOSED BED LINE/ METAL EDGING	7/ L300
	LIMIT OF WORK	
	PROPERTY LINE	
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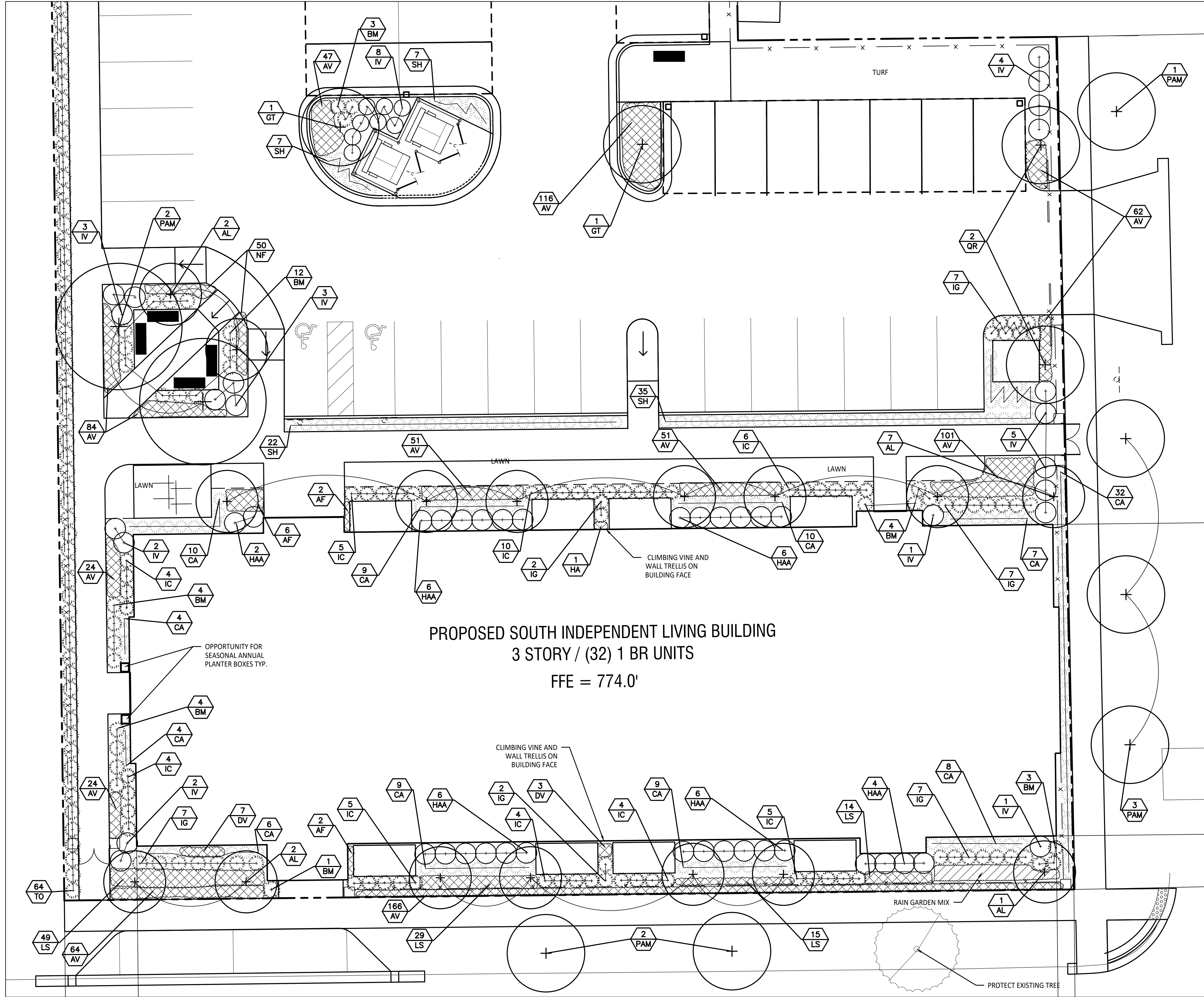


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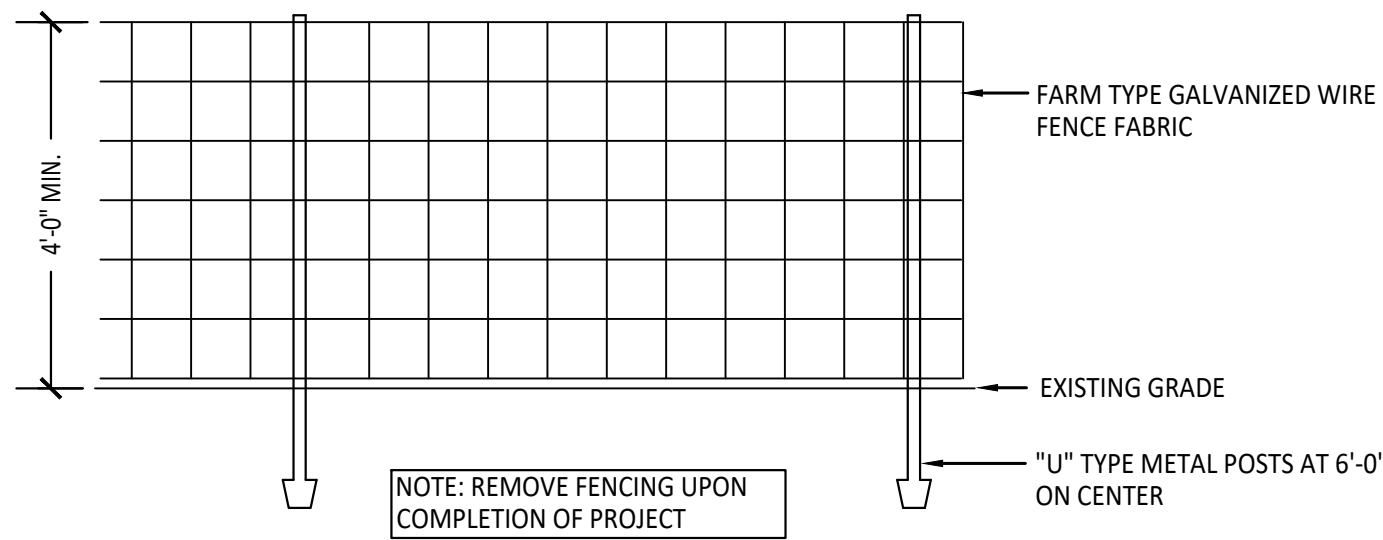
3 Landscape Enlargement
1" = 10'



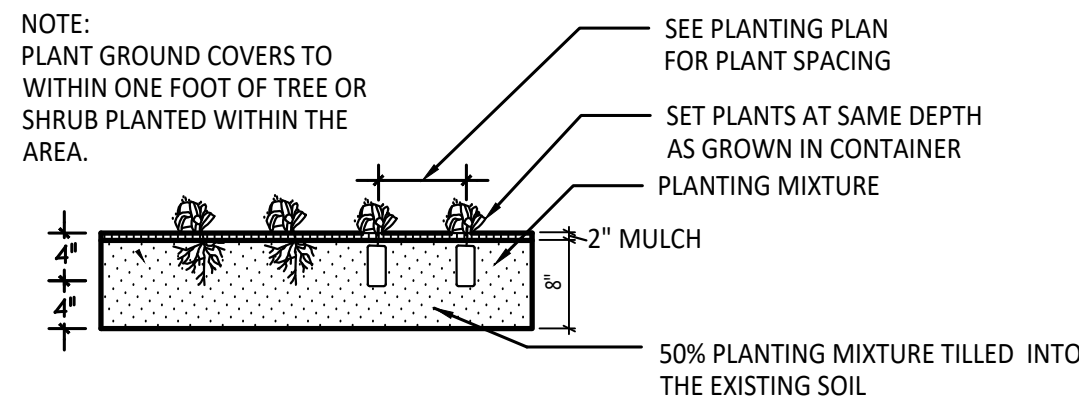
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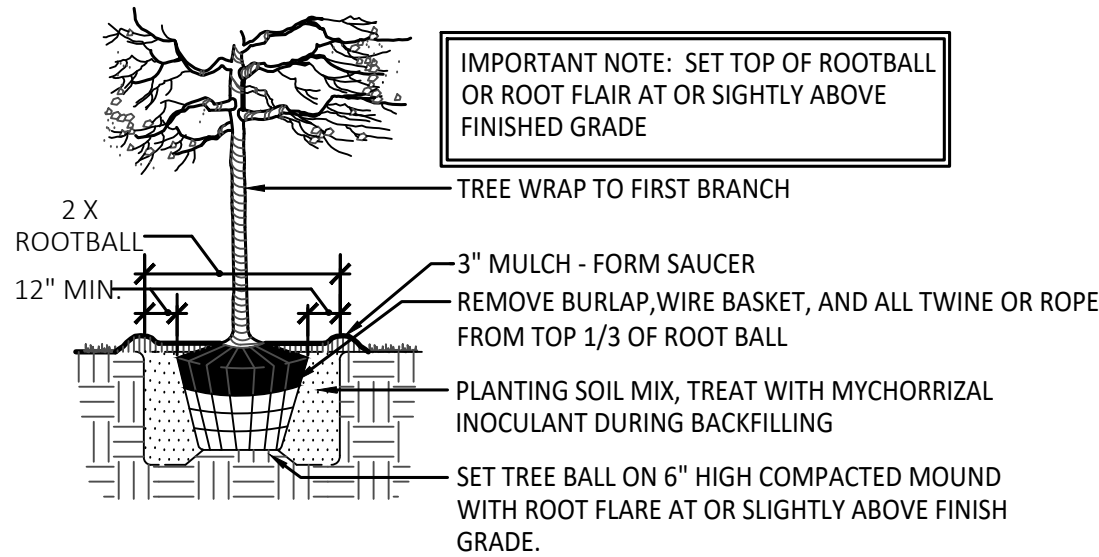
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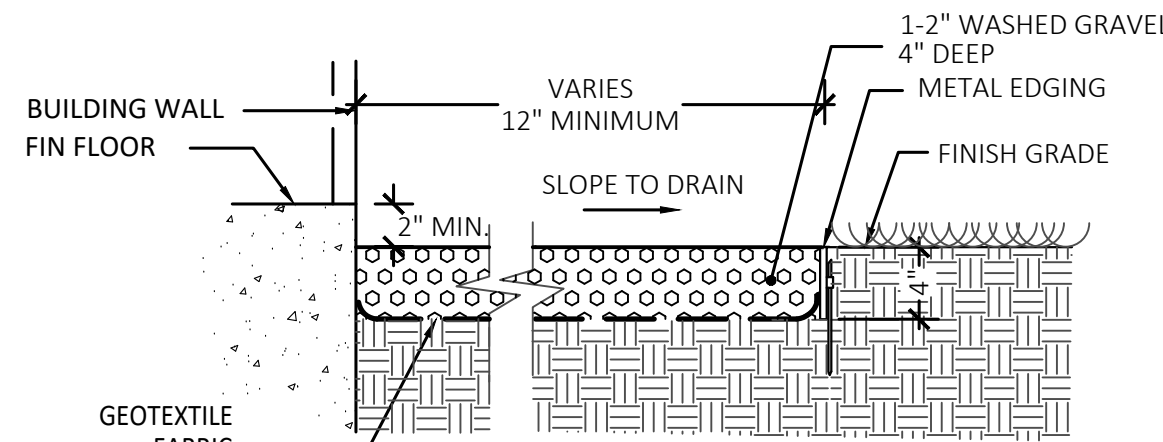
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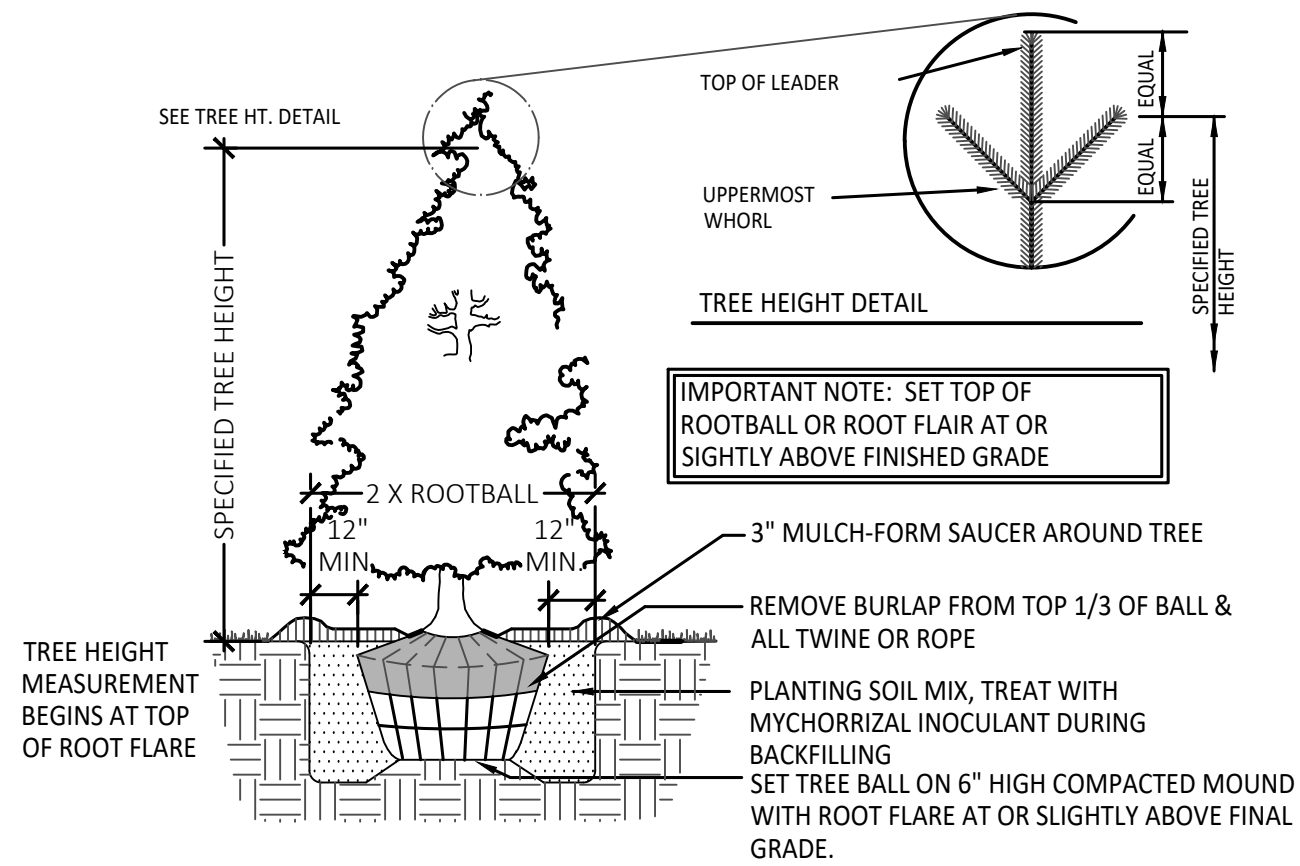
5 Grasses + Perennial Planting Detail
Not To Scale



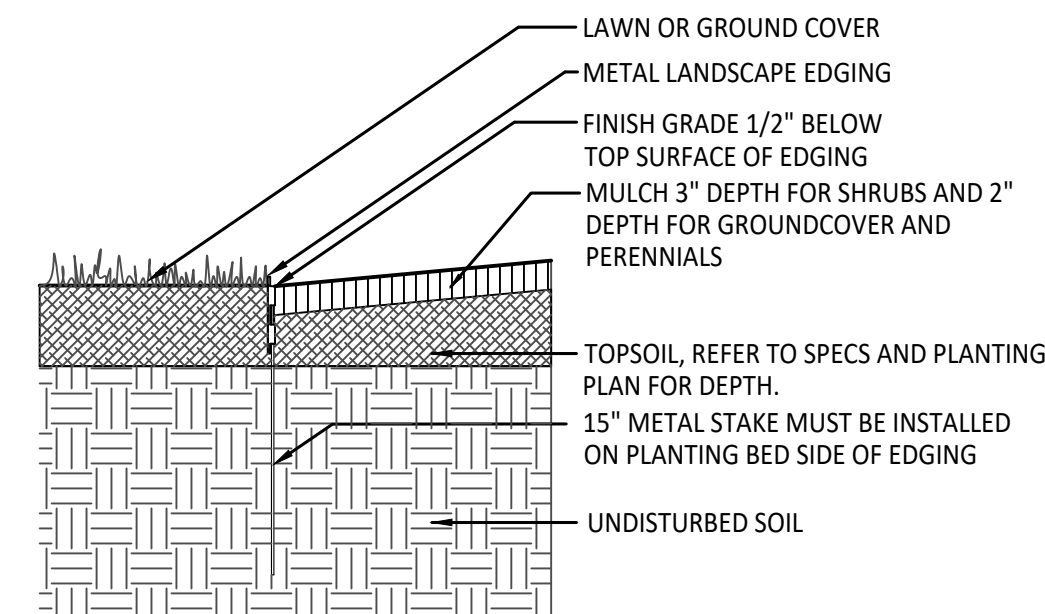
2 Tree Planting Detail
Not To Scale



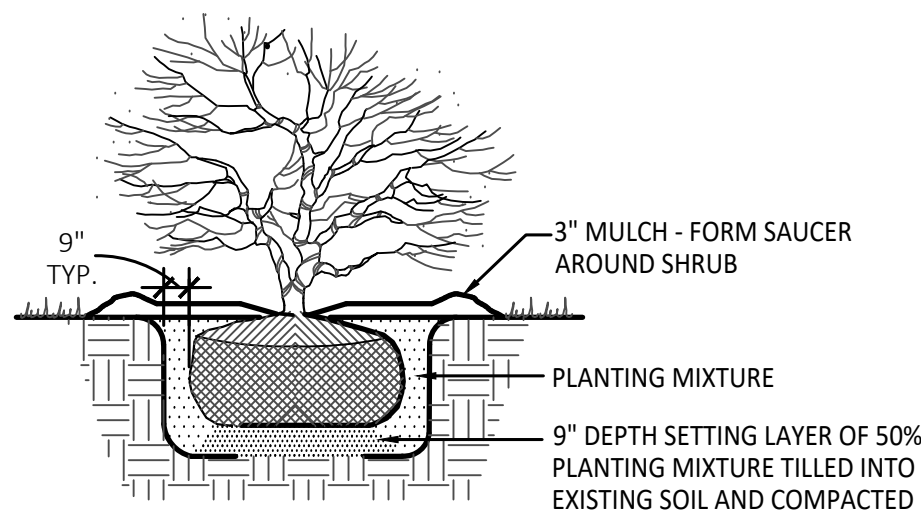
6 Gravel Mulch Detail
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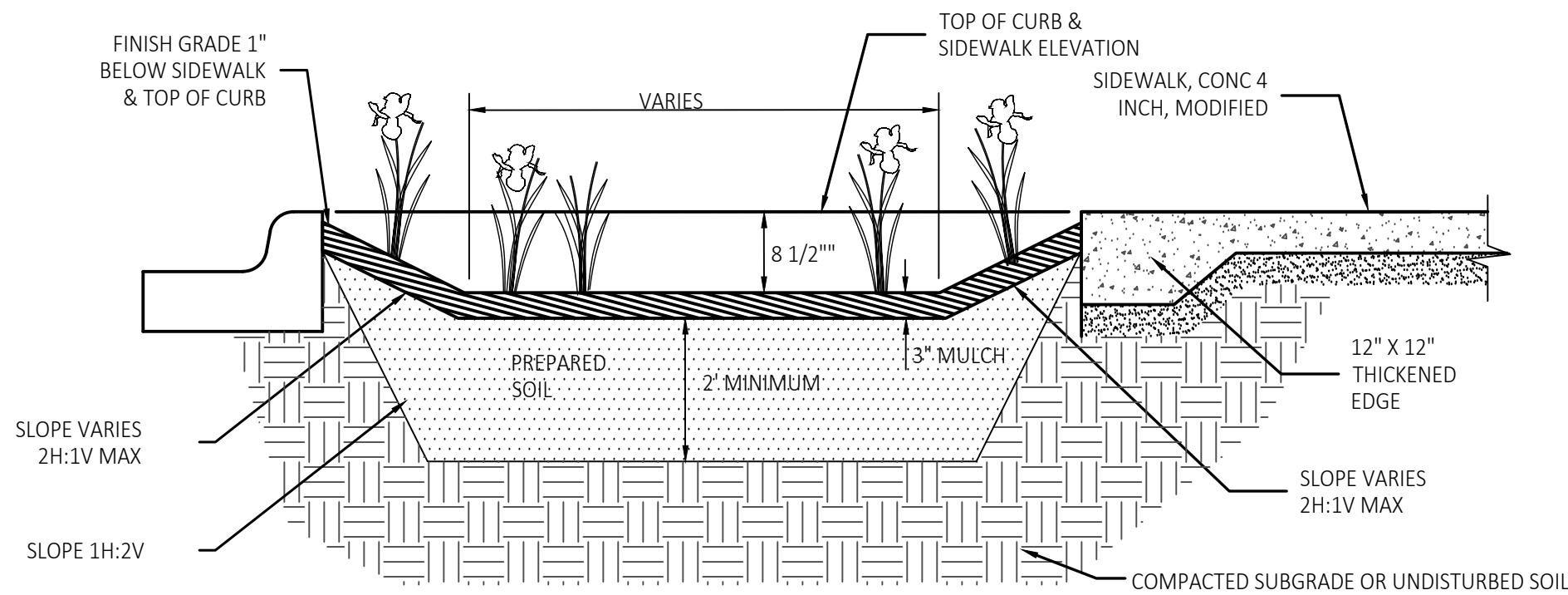
3 Evergreen Planting Detail
Not To Scale



7 Metal Edging Detail
Not To Scale
NOTE: METAL EDGING TO BE INSTALLED ON ALL PLANTING BED AND GRAVEL MULCH EDGES.



4 Shrub Planting Detail
Not To Scale



8 Rain Garden - Section Detail
NTS

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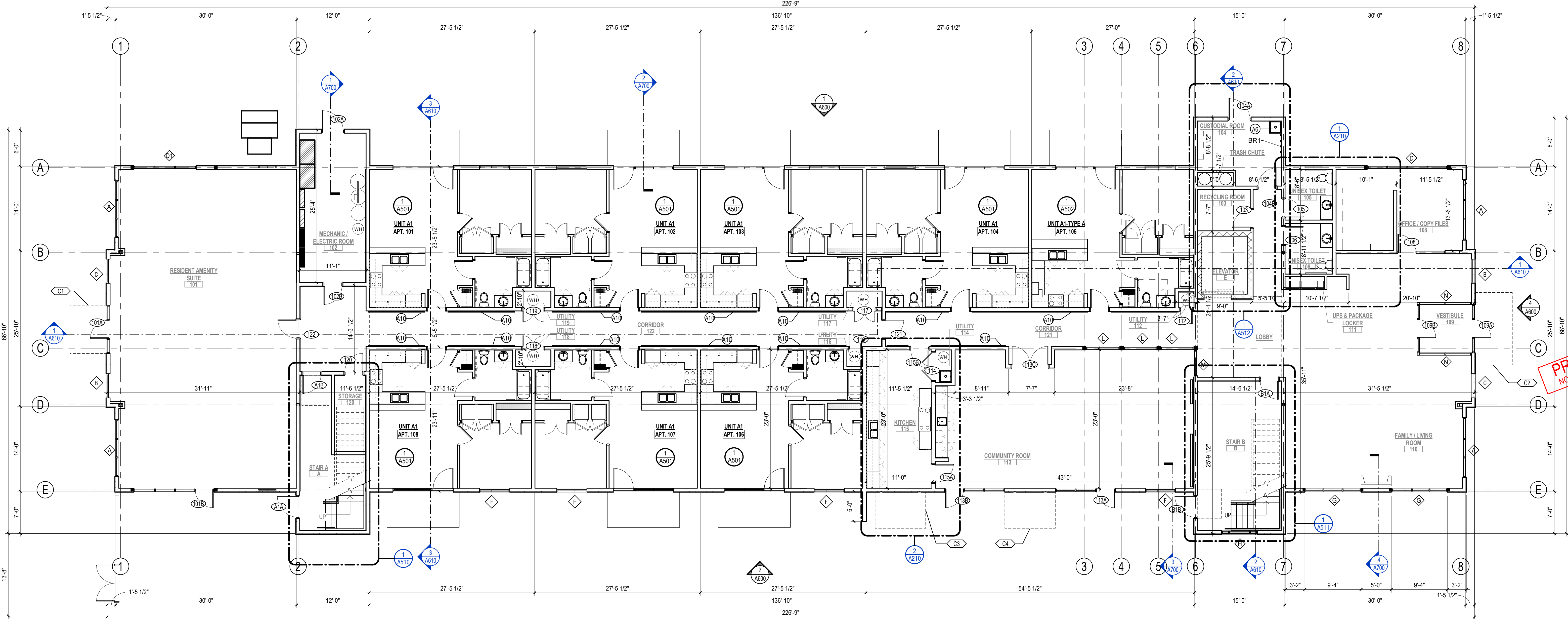
2023.06.12 100% DESIGN DEVELOPMENT SET
2023.06.02 SITE PLAN REVIEW

21100233

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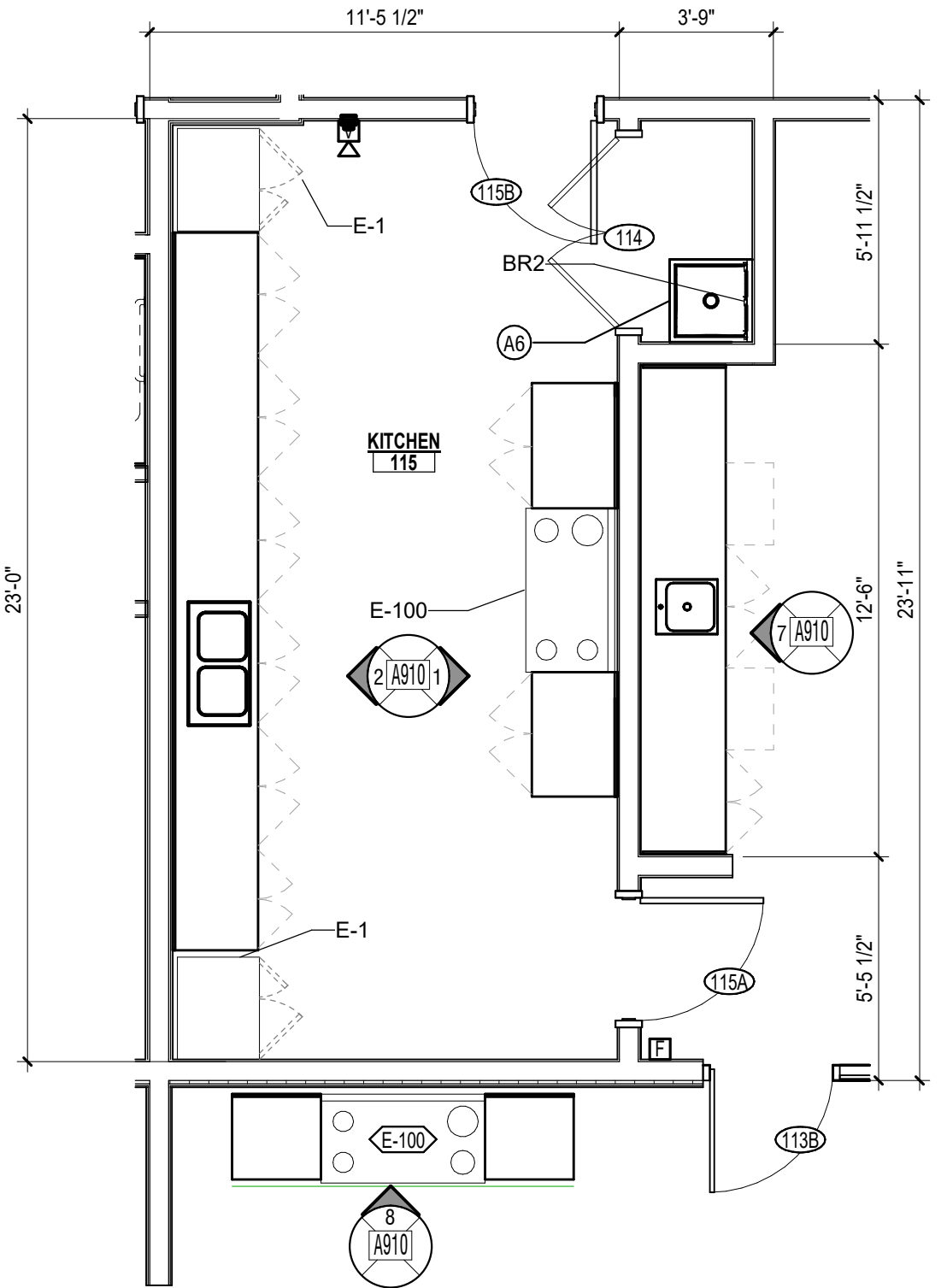
LANDSCAPE DETAILS

Autodesk Docs/21100233 M_Zon The Legacy Senior Living 21100233 A_23_ The Legacy Senior Living, North.mxd
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Plotted: 12/6/2023 18:46:21

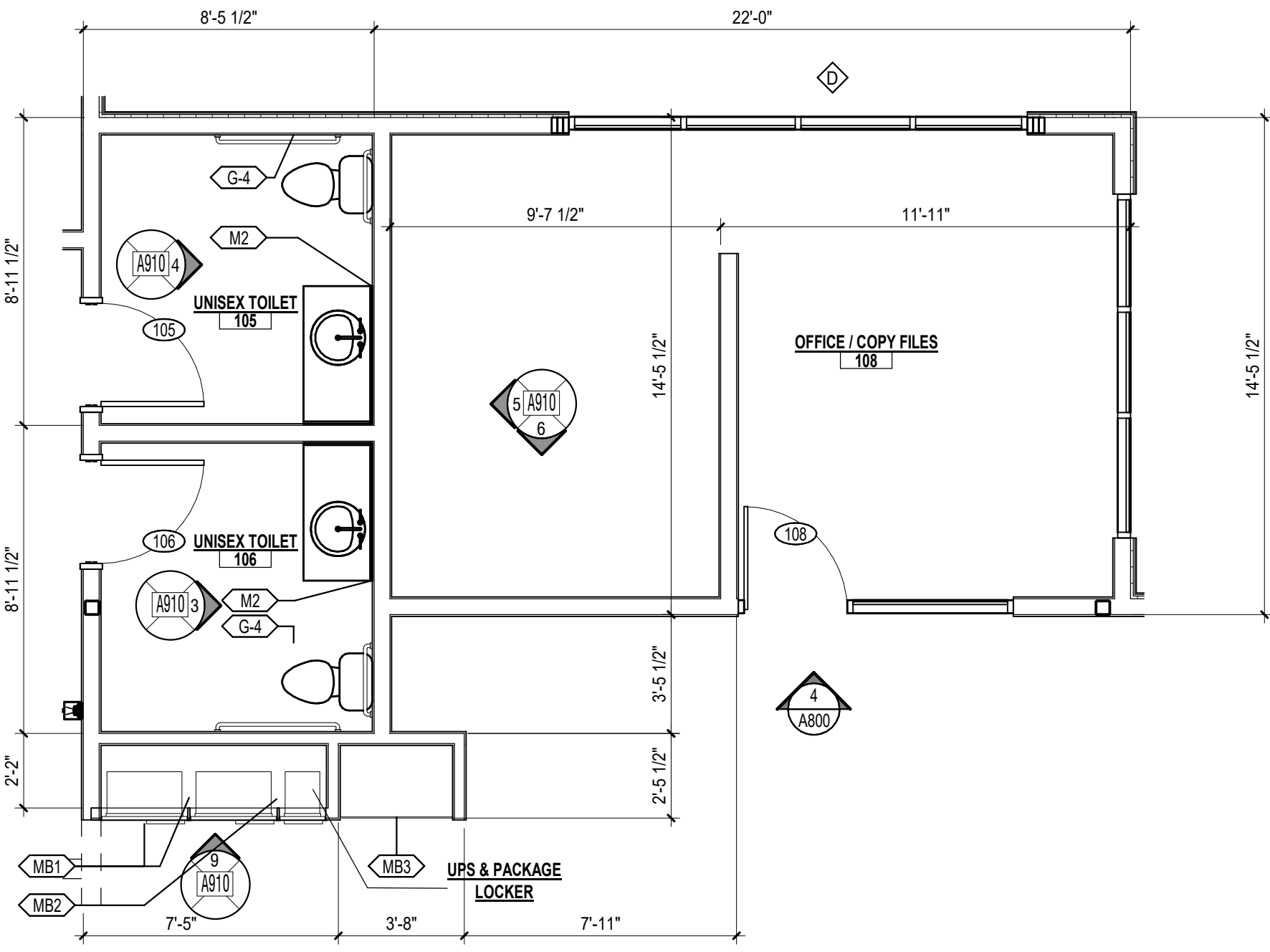


FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

2 KITCHEN & GRILL STATION - COMMUNITY ROOM - FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 KITCHEN AT COMMUNITY ROOM - FLOOR PLAN
SCALE: 1/4" = 1'-0"



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- PROVIDE BLOCKING IN WALL FOR FUTURE GRAB BARS IN ALL RESIDENTIAL BATHROOMS.

ARCHITECTURAL KEYNOTES

- A6 PROVIDE MOP SINK
A10 PROVIDE NEW METAL HANDRAILS

New Facility for:
The Legacy Senior Living North
730 N. BURDICK, KALAMAZOO, MI 49007

PRELIMINARY
NOT FOR CONSTRUCTION

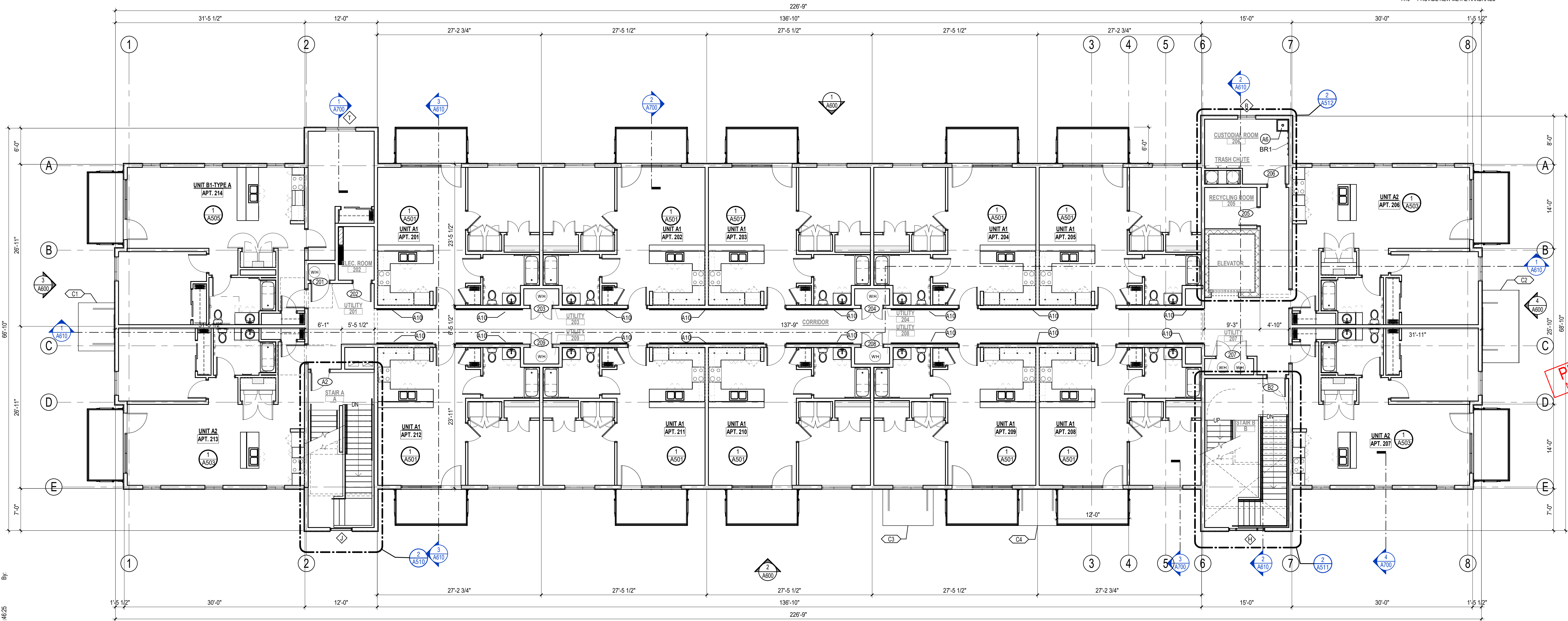
2023.06.12 100% DESIGN DEVELOPMENT SET
FIRST FLOOR PLAN

21100233

LEGACY NORTH

A210

Autodesk Docs/21100233 M_Zon The Legacy Senior Living North
By: 12/6/2023 18:46:25
Plotted: 12/6/2023 18:46:25



SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

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New Facility for:
The Legacy Senior Living North
730 N. BURDICK, KALAMAZOO, MI 49007

PRELIMINARY
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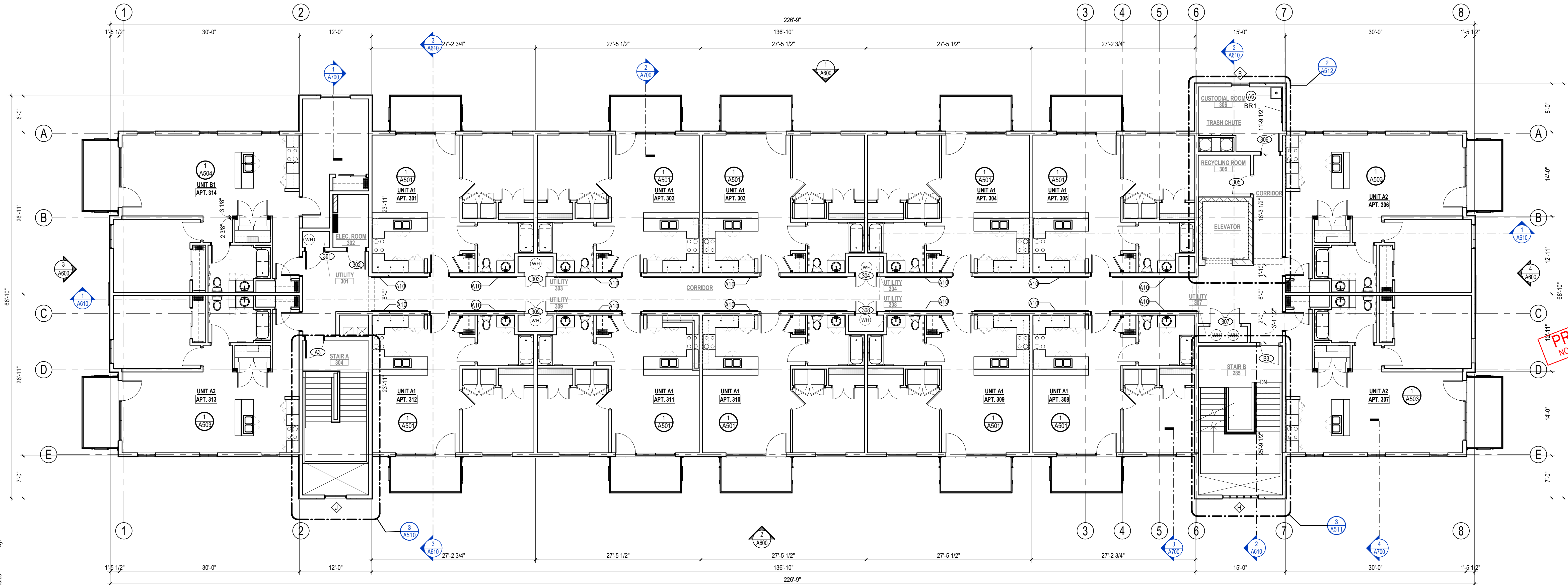
2023.06.12 100% DESIGN DEVELOPMENT SET
SECOND FLOOR PLAN

21100233

LEGACY NORTH

A220





THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"

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ARCHITECTURAL KEYNOTES

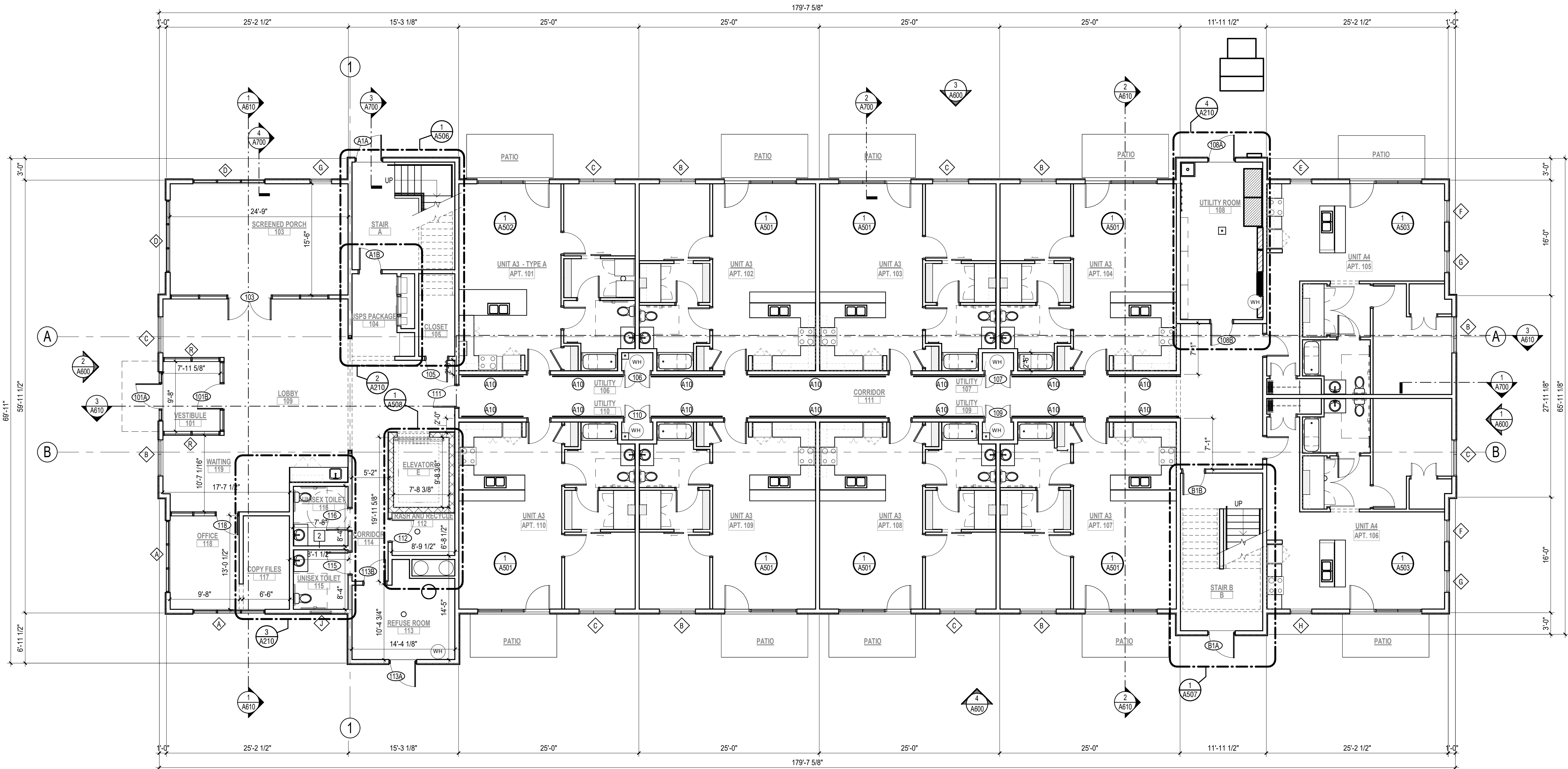
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A10 PROVIDE NEW METAL HANDRAILS

PRELIMINARY
NOT FOR CONSTRUCTION

Autodesk Docs/21100233.M_Zon The Legacy Senior Living/21100233.A_23_The Legacy Senior Living_North.rvt
By: 12/6/2023 18:47:28
Plotted:



PRELIMINARY
NOT FOR CONSTRUCTION



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

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8. PROVIDE BLOCKING IN WALL FOR FUTURE GRAB BARS IN ALL RESIDENTIAL BATHROOMS.

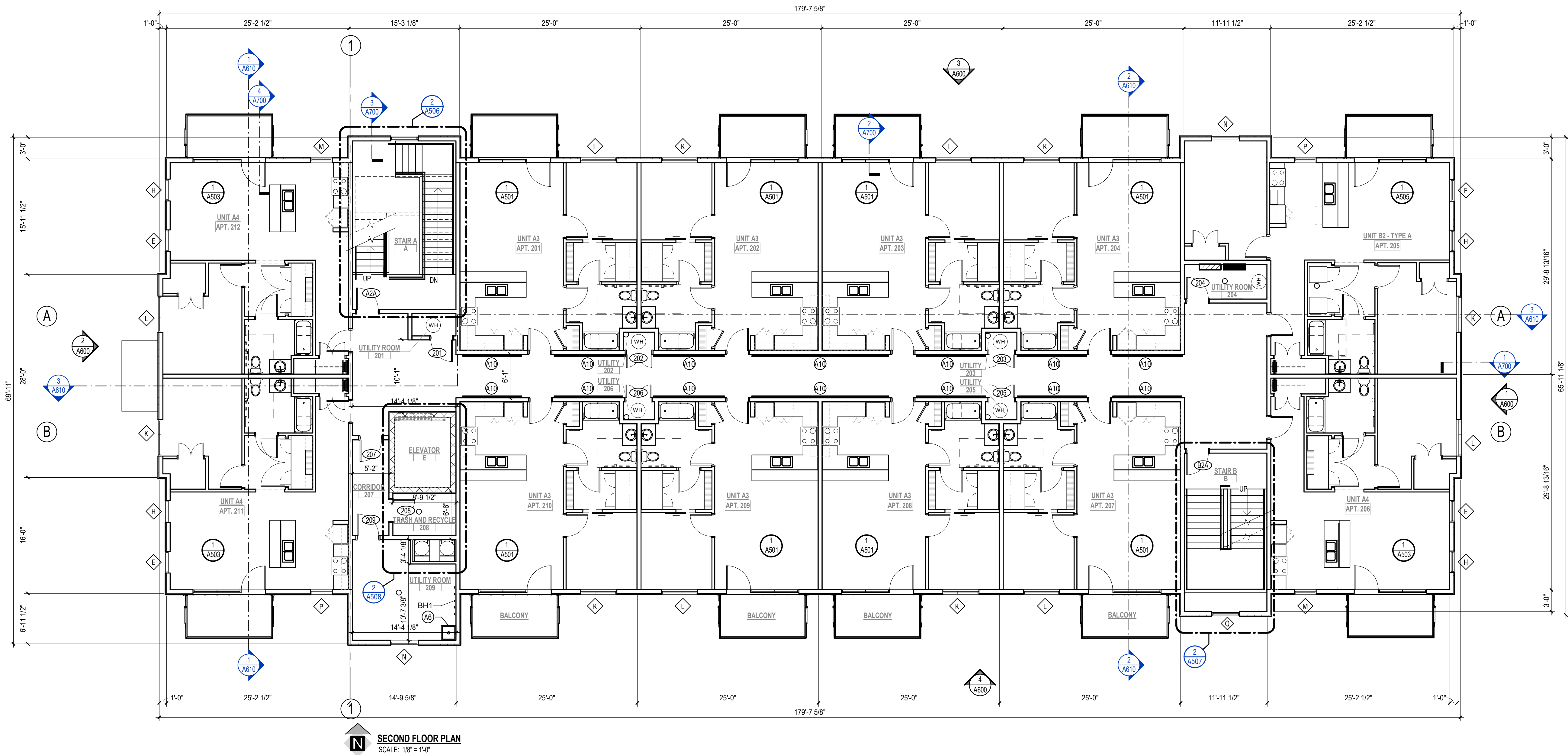
ARCHITECTURAL KEYNOTES

A6	PROVIDE MOP SINK
A10	PROVIDE NEW METAL HANDRAILS

New Facility for:
The Legacy Senior Living South
730 N. BURDICK KALAMAZOO, MI. 49007

PRELIMINARY
NOT FOR CONSTRUCTION

Autodesk Docs/21100233 M_Zon The Legacy Senior Living/21100233 A_23_ The Legacy Senior Living_South.rvt
Plotted: 14/06/2023 10:26:55 p.m. By:



ARCHITECTURAL GENERAL NOTES:

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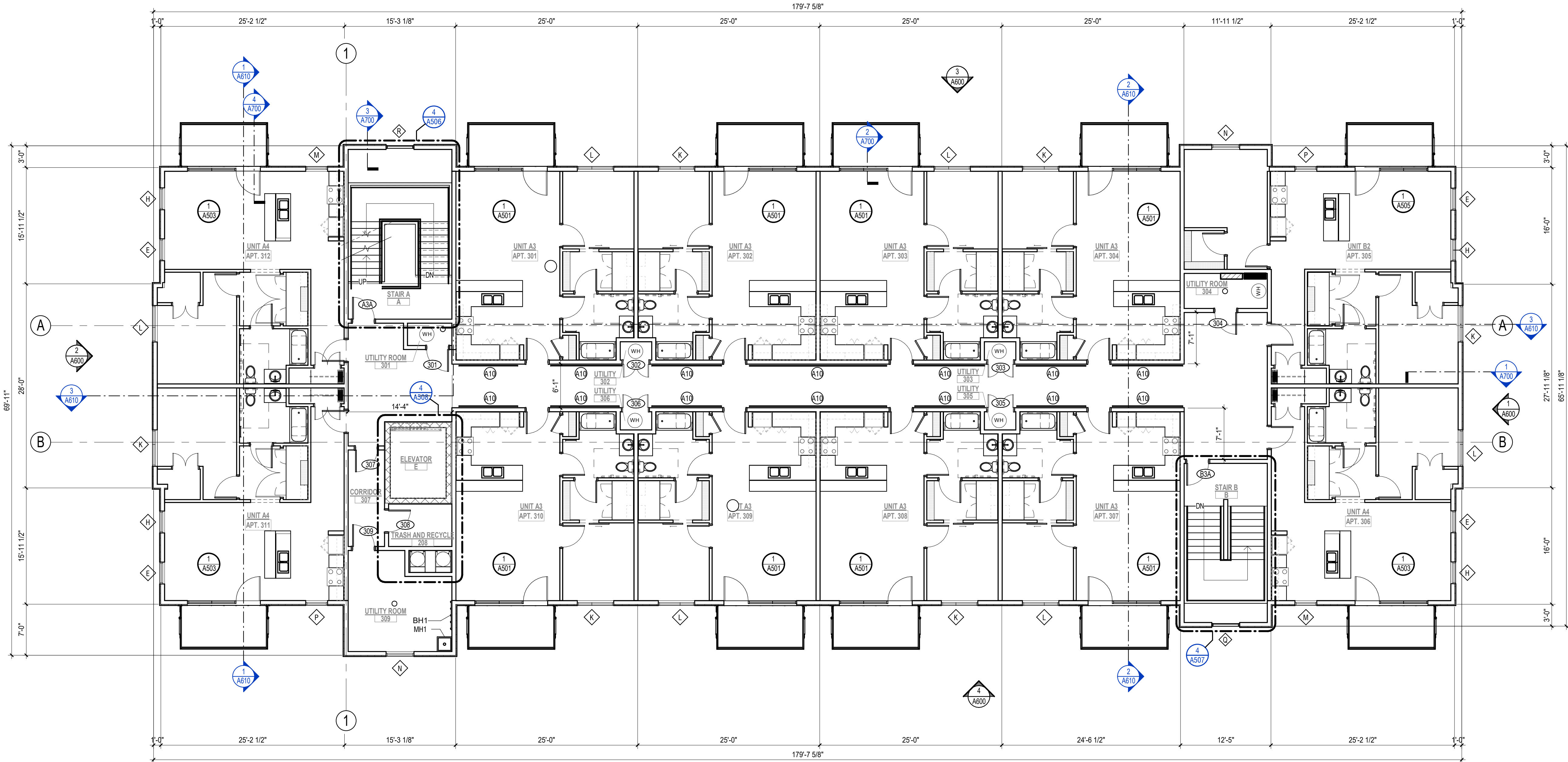
2023.05.12 100% DESIGN DEVELOPMENT SET
SECOND FLOOR PLAN

LEGACY SOUTH

21100233

A220

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THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"

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THIRD FLOOR PLAN

21100233

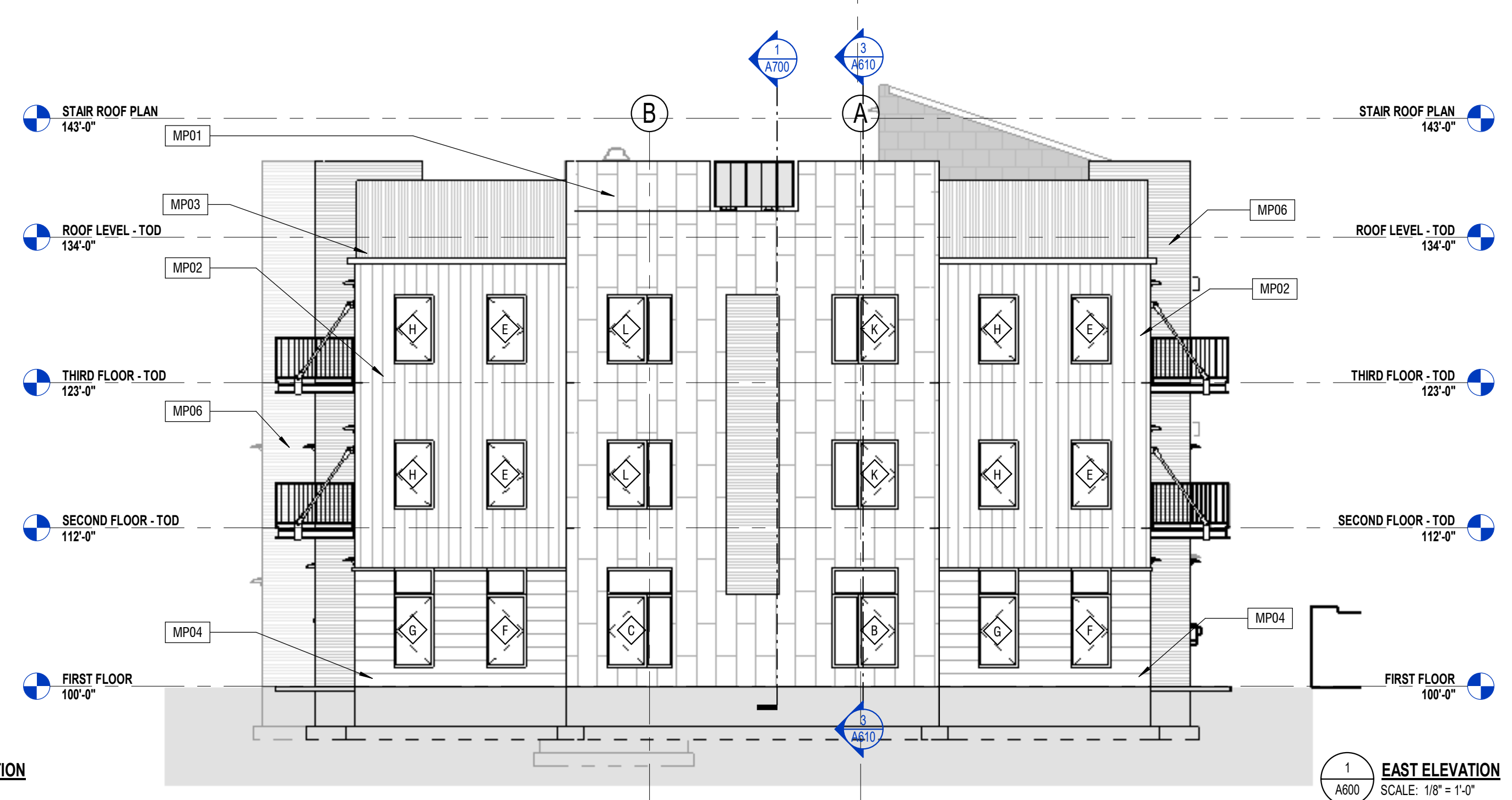
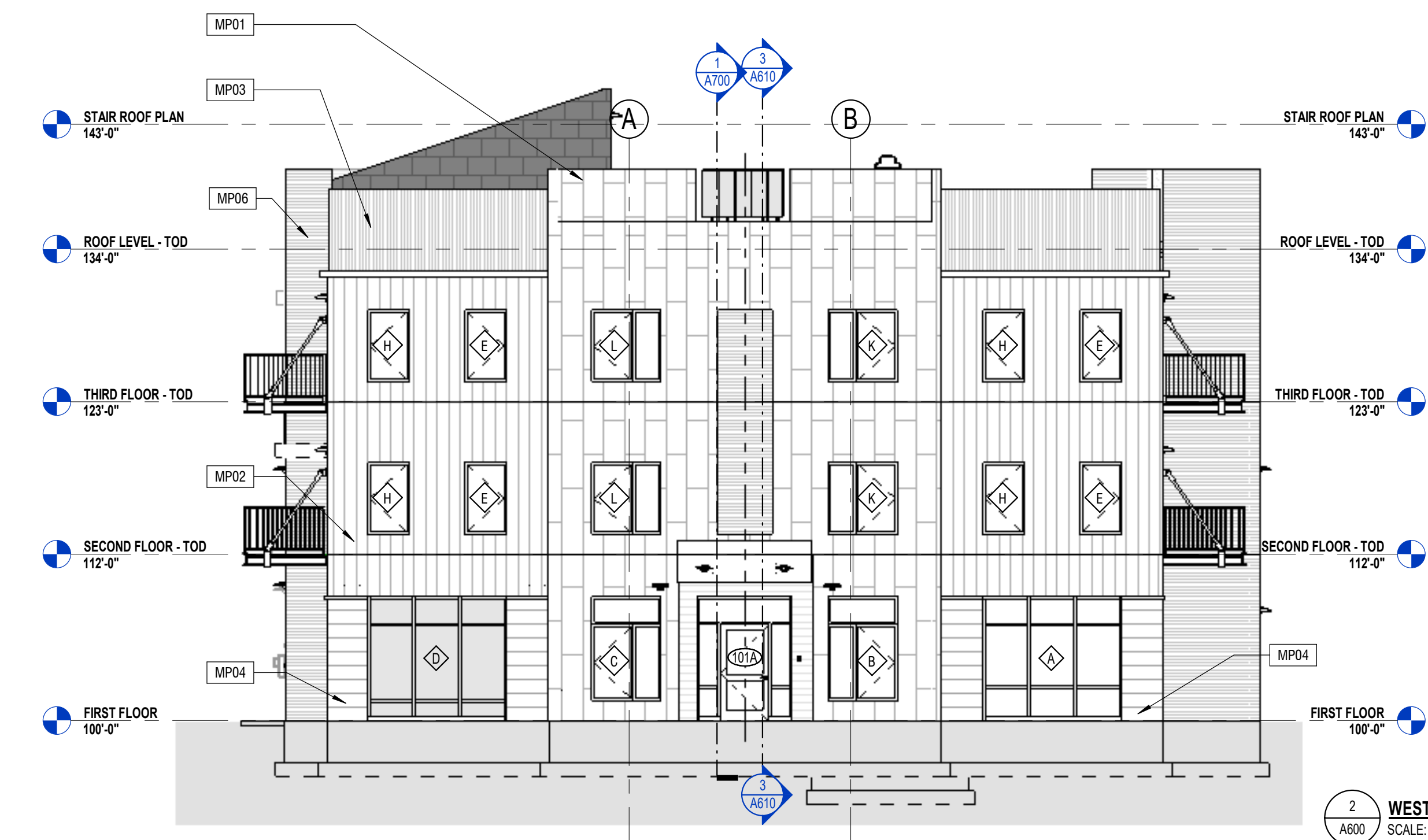
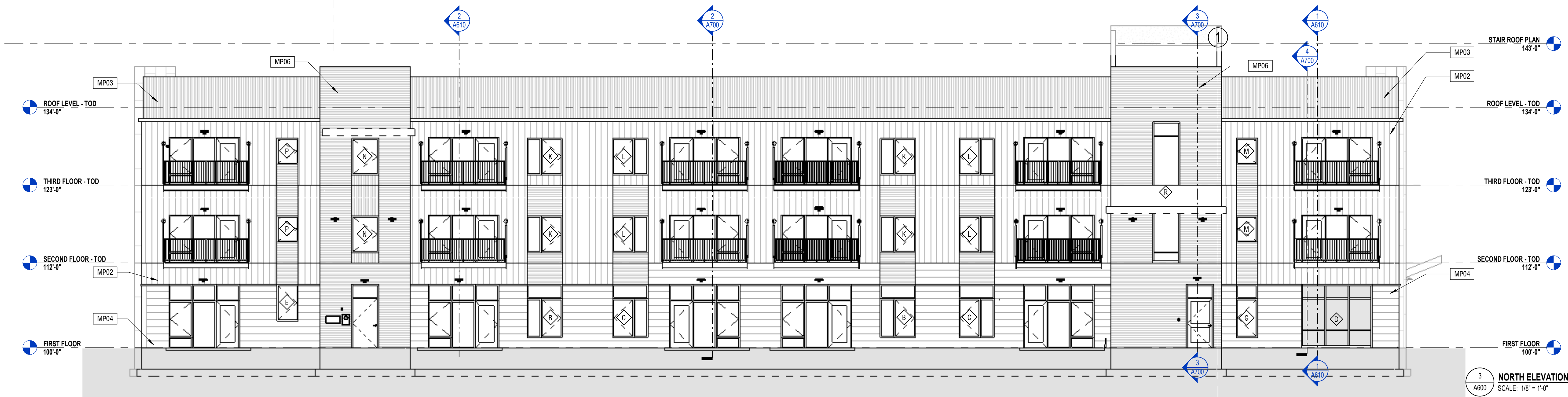
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LEGACY SOUTH

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EXTERIOR MATERIALS LEGEND	
MP01	
MP02	MATERIAL - METAL PANEL MANUFACTURER: ATAS PANEL SERIES: VERSA - SEAM
MP03	MATERIAL - METAL PANEL MANUFACTURER: ATAS PANEL SERIES: METAFOR
MP04	MATERIAL - METAL PANEL MANUFACTURER: ATAS PANEL SERIES: VERSA - LOK 12"x36"
MP05	MATERIAL - METAL PANEL MANUFACTURER: ATAS PANEL SERIES: VERSA - LOK 16"x36"
MP06	MATERIAL - METAL PANEL MANUFACTURER: ATAS PANEL SERIES: VERSA - LOK 16"x36"



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EXTERIOR ELEVATIONS

21100233

A600

LEGACY SOUTH