

KALAMAZOO COUNTY LAND BANK AUTHORITY EAST MAIN COMMERCIAL CORRIDOR BUILDING C

KALAMAZOO, MICHIGAN

**Site Plan Review
City of Kalamazoo
06-10-2022**

OWNER/CLIENT:

KALAMAZOO COUNTY LAND BANK AUTHORITY
1523 RIVERVIEW DRIVE
KALAMAZOO, MICHIGAN 49004
269-216-9667 TELE

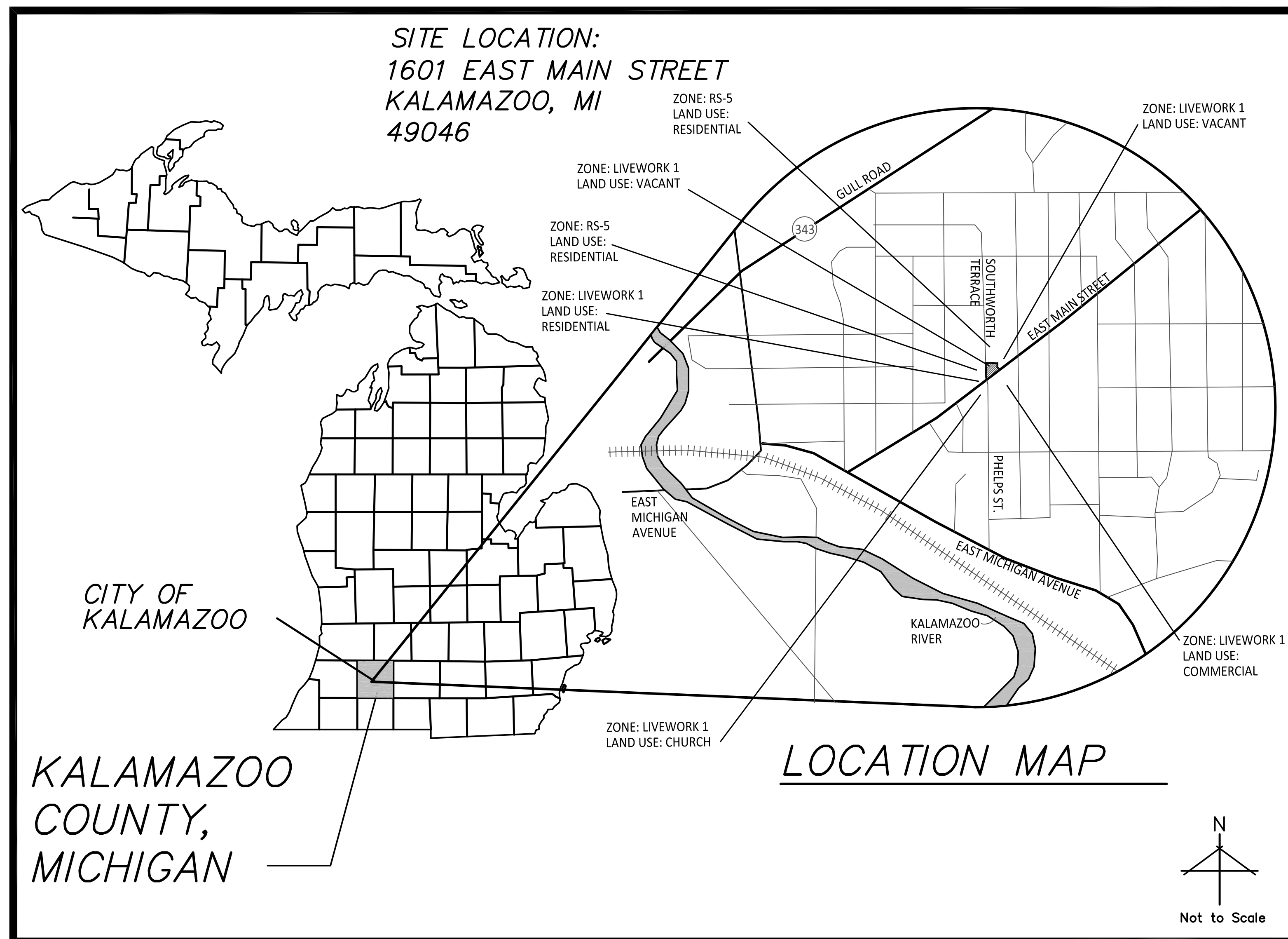
ARCHITECT:

INFORM ARCHITECTURE
401 EAST MICHIGAN AVENUE, SUITE 100
KALAMAZOO, MICHIGAN 49007
269-270-3331 TELE

LANDSCAPE ARCHITECT:

O'BOYLE COWELL BLALOCK
& ASSOCIATES, INC.
350 EAST MICHIGAN AVENUE, SUITE #415
KALAMAZOO, MICHIGAN 49007
269-381-3357 TELE
269-381-2944 FAX

LOCATION MAP



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SITE PLAN REVIEW NOTES

- Project Address: 1601 East Main Street, Kalamazoo, Michigan 490048.
- Property Identification Number: 06-14-255-030
- Proposed Use : Mixed Use - Commercial and Residential
- Property Owner: Kalamazoo County Land Bank Authority
- Project Zoning: LW-1, Live Work 1
- Legal Description: Commencing on the west line of HAZARDS SUBDIVISION OF SECTION 14, Liber 5 of Plats Page 21, at its intersection with the north line of East Main Street; thence North 94.6ft along said west line; thence West 114ft to the east line of Southworth Terrace; thence South 186ft along the east line of Southworth Terrace to the north line of East Main St; thence Northeasterly 143.6ft along the north line of East Main Street to the west line of HAZARDS SUBDIVISION OF SECTION 14 and the point of beginning.
- Front Yard Setback: 0'-0" Rear Yard Setback: 10'-0" Side Yard Setback: 0'-0"
- Existing Off Street Parking Spaces: 0 spaces
- Parking Spaces Required: Thirteen (13) parking spaces
- Proposed Off-Street Parking Spaces : Thirteen (13) parking spaces
- Gross Overall Site Area: 16,057 sf (0.37 acres)
- Gross Area of Earth Change: 16,057 sf (0.37 acres)
- Gross Area of Building: (5,545) sf (0.13 acres)
- Gross Usable Floor Area by Type:
 - 1st Floor: (5,545) sf, (0.13 acres), Residential
 - 1st Floor: (1,790) sf, (0.04 acres), Commercial/Retail/Office
 - 2nd Floor: (3,755) sf (0.09 acres), Residential
- Existing Impervious Area: 0 sf (0 acres)
- Proposed Impervious Area : 11,786 sf (0.27 acres)
- Existing Area of Open Space : 16,057 sf (0.37 acres)
- Proposed Area of Open Space: 3,951 sf (0.09 acres)
- Parcel is not located within a National or Local Historic Register District.
- Number of Residential Units by Type: Six (6) R-2 Type Units
- This project site is located in the Eastside Neighborhood
- This project is located within 10-Year Time of Capture Wellhead Protection Zoning.
- This project is identified as "Neighborhood Edge" and "Neighborhood Node" on the 2025 Future Land Use Plan.
- This project is not located within a Natural Features Protection Overlay District.
- Area of Regulated Wetlands: 0 sf (0.0 acres)
- Estimated Number of Vehicle Trips per Day: Per the ITE Trip Generation (10th Edition) formula for Land Use Code: 220 (Multi-Family Housing Low-Rise): 6 Dwelling Units x 0.56 multiplier for weekday totals = 3.36 vehicle trips per day.
Estimated Number of Vehicle Trips per Day: Per the ITE Trip Generation (10th Edition) formula for Land Use Code: 936 (Coffee Shops without a Drive Through Window): 1,000 SF GFA x 36.31 multiplier for weekday totals: 1.79 x 36.31 = 64.99 vehicle trips per day.
- Number of Bike Racks Required and Provided: Four (4) Bicycle Spaces are required and two (2) Bicycle Racks will be provided.

NOTES:

- Except where other wise indicated on the plans or in the proposal and supplemental specifications or special provisions contained herein, all materials and workmanship shall be in accordance with Michigan Department of Transportation Standard Specifications for Construction, 1996 Edition.
- Call Miss Dig, 1-800-482-7171 three working days, excluding Saturday, Sunday and holidays, before starting your project.

For Review Only -
Not For Construction

HARD COPY IS INTENDED TO BE 24"x36" WHEN PLOTTED. SCALE(S) INDICATED AND GRAPHIC QUALITY MAY NOT BE ACCURATE FOR ANY OTHER SIZES.

Issued For:	Date
PRE-SPR	09-03-21
ZBA SUBMITTAL	12/16/21
FINAL SPR SUBMITTAL	06/10/22

Project:

**East Main
Commercial
Corridor**

Kalamazoo, Michigan

Sheet Title

**1601 East Main St.
Cover Sheet**

Job No.

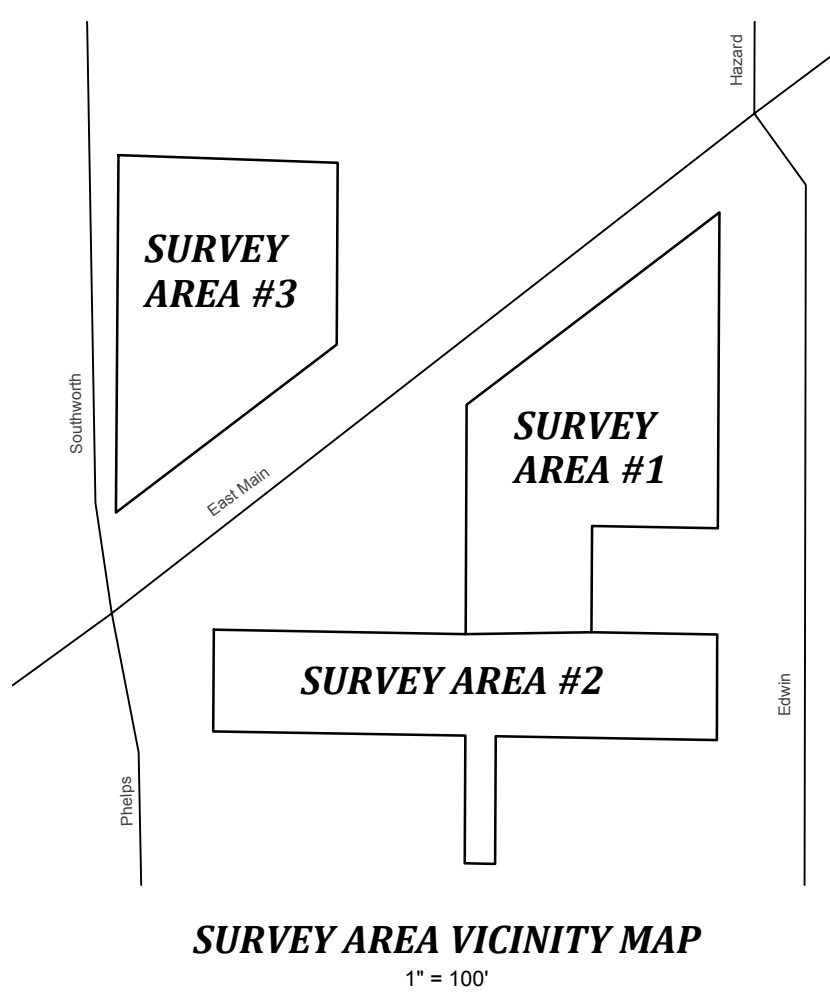
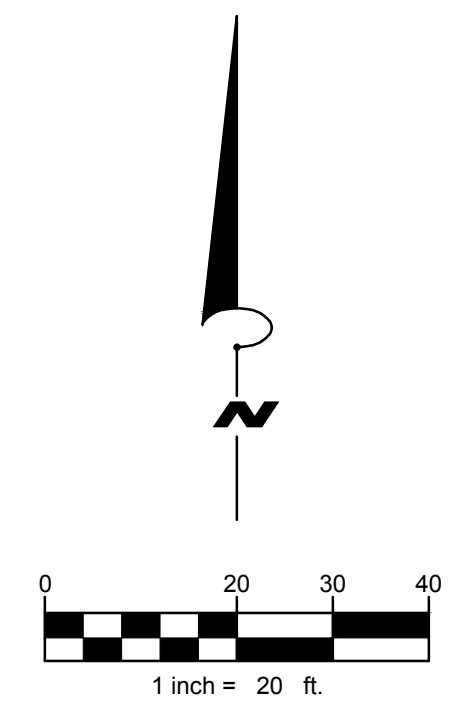
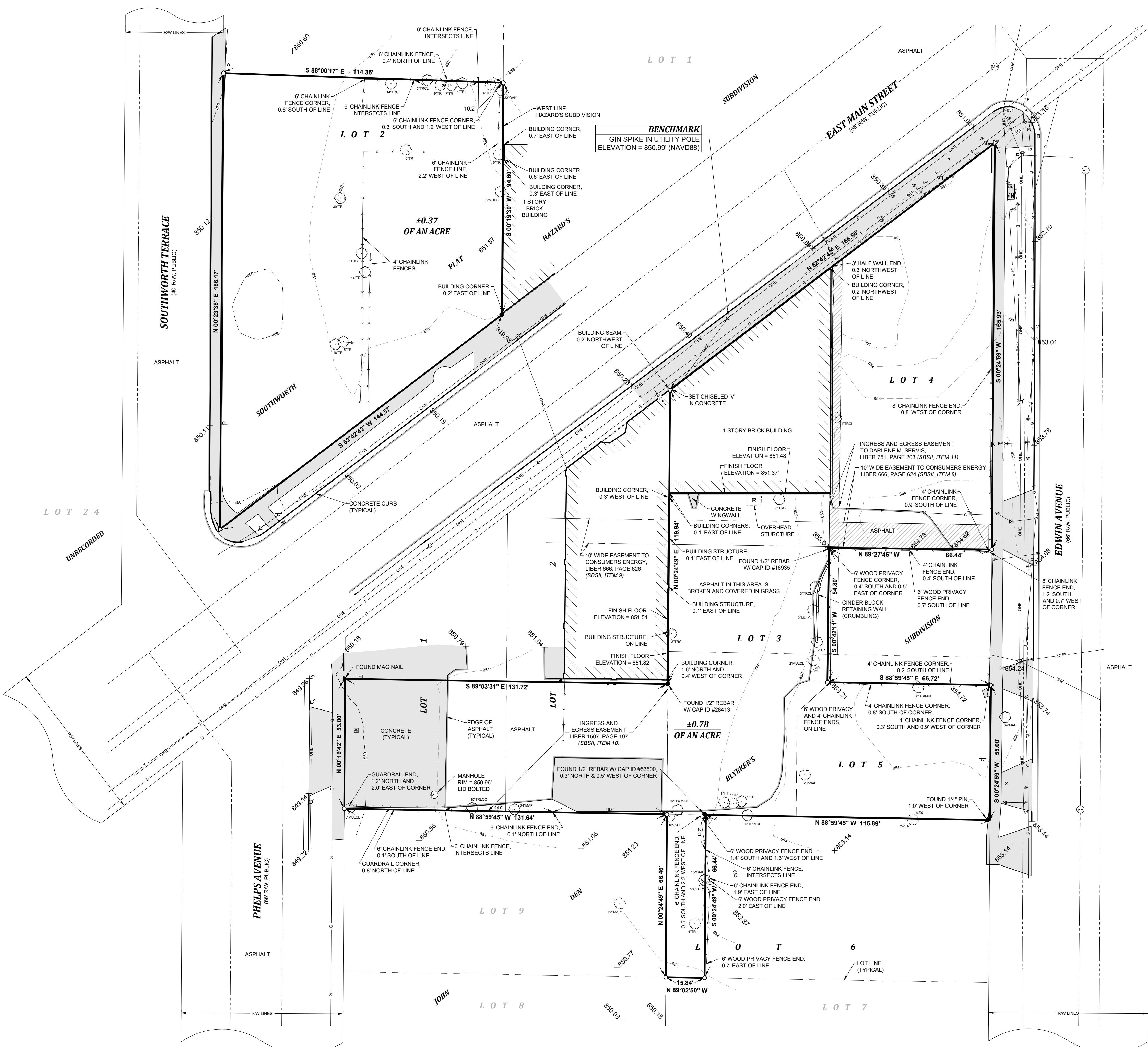
Sheet No.

21906

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BOUNDARY AND TOPOGRAPHIC SURVEY

IN THE NORTHEAST QUARTER OF SECTION 14, TOWNSHIP 2 SOUTH, RANGE 11 WEST, CITY OF KALAMAZOO, KALAMAZOO COUNTY, MICHIGAN



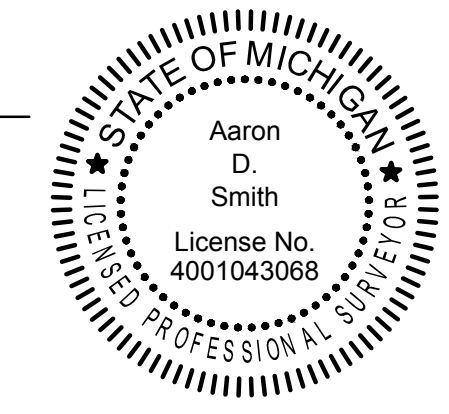
LEGAL DESCRIPTION PER EXHIBIT "A", COMMITMENT FOR TITLE INSURANCE PREPARED BY CHICAGO TITLE OF MICHIGAN, INC., COMMITMENT NO. 391131102NBU, COMMITMENT DATE SEPTEMBER 25, 2020:

THE SOUTH 53 FEET OF LOTS 1 AND 2, LOT 3, LOT 4 EXCEPT THE SOUTH 44 FEET THEREOF; LOT 5 EXCEPT THE NORTH 11 FEET OF THE EAST 66 FEET OF LOT 5, AND THE WEST 15.84 FEET OF LOTS 6 AND 7, OF JOHN DEN BLEYKER'S SUB., ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 5 OF PLATS, PAGE 12, KALAMAZOO COUNTY RECORDS.

ALSO, PART OF THE NORTHEAST QUARTER OF SECTION 14, TOWN 2 SOUTH, RANGE 11 WEST, BEING MORE PARTICULARLY DESCRIBED AS:
COMMENCING ON THE WEST LINE OF HAZARDS SUBDIVISION OF SECTION 14, ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 5 OF PLATS, PAGE 21, KALAMAZOO COUNTY RECORDS, AT ITS INTERSECTION WITH THE NORTH LINE OF EAST MAIN STREET; THENCE NORTH 94.6 FEET ALONG SAID WEST LINE; THENCE WEST 114 FEET TO THE EAST LINE OF SOUTH WORTH TERRACE; THENCE SOUTH 196 FEET ALONG THE EAST LINE OF SOUTH WORTH TERRACE TO THE NORTH LINE OF EAST MAIN STREET; THENCE NORTHEASTERLY 143.6 FEET ALONG THE NORTH LINE OF EAST MAIN STREET TO THE WEST LINE OF SAID HAZARDS SUBDIVISION OF SECTION 14 TO THE POINT OF BEGINNING.

SUBJECT TO ANY AND ALL EASEMENTS AND RESTRICTIONS OF RECORD, OR OTHERWISE.
SUBJECT TO ANY FACTS THAT MAY BE DISCLOSED IN A FULL AND ACCURATE TITLE SEARCH.
BEARINGS ARE RELATED TO THE MICHIGAN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE.
THE RELATIVE POSITIONAL PRECISION OF EACH CORNER IS WITHIN THE LIMITS ACCEPTED BY THE PRACTICE OF PROFESSIONAL SURVEYING IN MICHIGAN.

Aaron D. Smith
AARON D. SMITH PS - 4001043068
asmith@gowightman.com



12/08/2020
DATE

- LEGEND**
- = SET 1/2" REBAR W/ CAP ID #43068
 - ◻ = SET MAG NAIL
 - (with center dot) = SET CHISELED MARKING
 - (with center dot) = FOUND IRON (AS NOTED)
 - ◻ (with center dot) = FOUND MAG NAIL
 - (with center dot) = UTILITY POLE
 - (with center dot) = GUY WIRE
 - ⊖ = ELECTRIC METER
 - ⊖ (with center dot) = AIR CONDITIONER
 - ⊖ (with center dot) = RED PAINT
 - ⊖ (with center dot) = TELEPHONE MARKER POST
 - ⊖ (with center dot) = TELEPHONE PEDESTAL
 - ⊖ (with center dot) = COMMUNICATION CLOSET
 - ⊖ (with center dot) = COMMUNICATION CABINET
 - ⊖ (with center dot) = COMMUNICATION VAULT
 - ⊖ (with center dot) = ORANGE PAINT
 - ⊖ (with center dot) = GAS VALVE
 - ⊖ (with center dot) = GAS MARKER POST
 - ⊖ (with center dot) = YELLOW PAINT
 - ⊖ (with center dot) = WATER VALVE
 - ⊖ (with center dot) = WATER METER
 - ⊖ (with center dot) = BLUE PAINT
 - ⊖ (with center dot) = GREEN PAINT
 - ⊖ (with center dot) = MANHOLE
 - ⊖ (with center dot) = CURB INLET
 - ⊖ (with center dot) = PAY PHONE (DISCONNECTED)
 - ⊖ (with center dot) = SIGN
 - ⊖ (with center dot) = POST
 - ⊖ (with center dot) = SPOT ELEVATION
 - ⊖ (with center dot) = CONIFEROUS TREE
 - ⊖ (with center dot) = CEDAR
 - ⊖ (with center dot) = DECIDUOUS TREE
 - ⊖ (with center dot) = MAPLE
 - ⊖ (with center dot) = MULBERRY CLUSTER
 - ⊖ (with center dot) = OAK
 - ⊖ (with center dot) = TRIPLE LOCUST
 - ⊖ (with center dot) = TRIPLE MULBERRY
 - ⊖ (with center dot) = TREE
 - ⊖ (with center dot) = TREE CLUSTER
 - ⊖ (with center dot) = TWIN MAPLE
 - ⊖ (with center dot) = WALNUT

- NAVD88 = NORTH AMERICAN VERTICAL DATUM OF 1988
- OHE = OVERHEAD UTILITY LINES
- E = APPROXIMATE BURIED ELECTRIC LOCATION
- = APPROXIMATE SANITARY SEWER LOCATION
- = APPROXIMATE WATER LOCATION
- G = APPROXIMATE BURIED GAS LOCATION
- T = APPROXIMATE BURIED TELEPHONE LOCATION

NOTES:
BLANKET EASEMENT FOR INGRESS AND EGRESS OVER THE SOUTH 53 FEET OF LOTS 1 AND 2, JOHN DEN BLEYKER SUBDIVISION, LIBER 5, PAGE 12, KALAMAZOO COUNTY RECORDS.
THE UNDERGROUND UTILITIES SHOWN, HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

W+
WIGHTMAN
BENTON HARBOR
269.927.0100
KALAMAZOO
269.327.3532
ALLEGAN
269.673.8465
ROYAL OAK
248.791.1371
www.gowightman.com

AARON D. SMITH
PS - 4001043068
PROJECT ADDRESS:
EAST MAIN POCKET PARK
KALAMAZOO, MI 49048

KALAMAZOO COUNTY LAND BANK AUTHORITY
1523 RIVERVIEW DRIVE, SUITE A
KALAMAZOO, MI 49004

REVISIONS
DATE: DECEMBER 8, 2020
SCALE: AS NOTED
DRAWN BY: ACE
CHECKED BY: GDH

BOUNDARY AND TOPOGRAPHIC SURVEY

JOB No. 204340
CO.1

BARRIER-FREE NOTES

BARRIER-FREE PARKING AND ACCESSIBLE ROUTE(S) MUST COMPLY WITH THE AMERICANS WITH DISABILITIES ACT AND MICHIGAN BARRIER-FREE CODE REQUIREMENTS, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

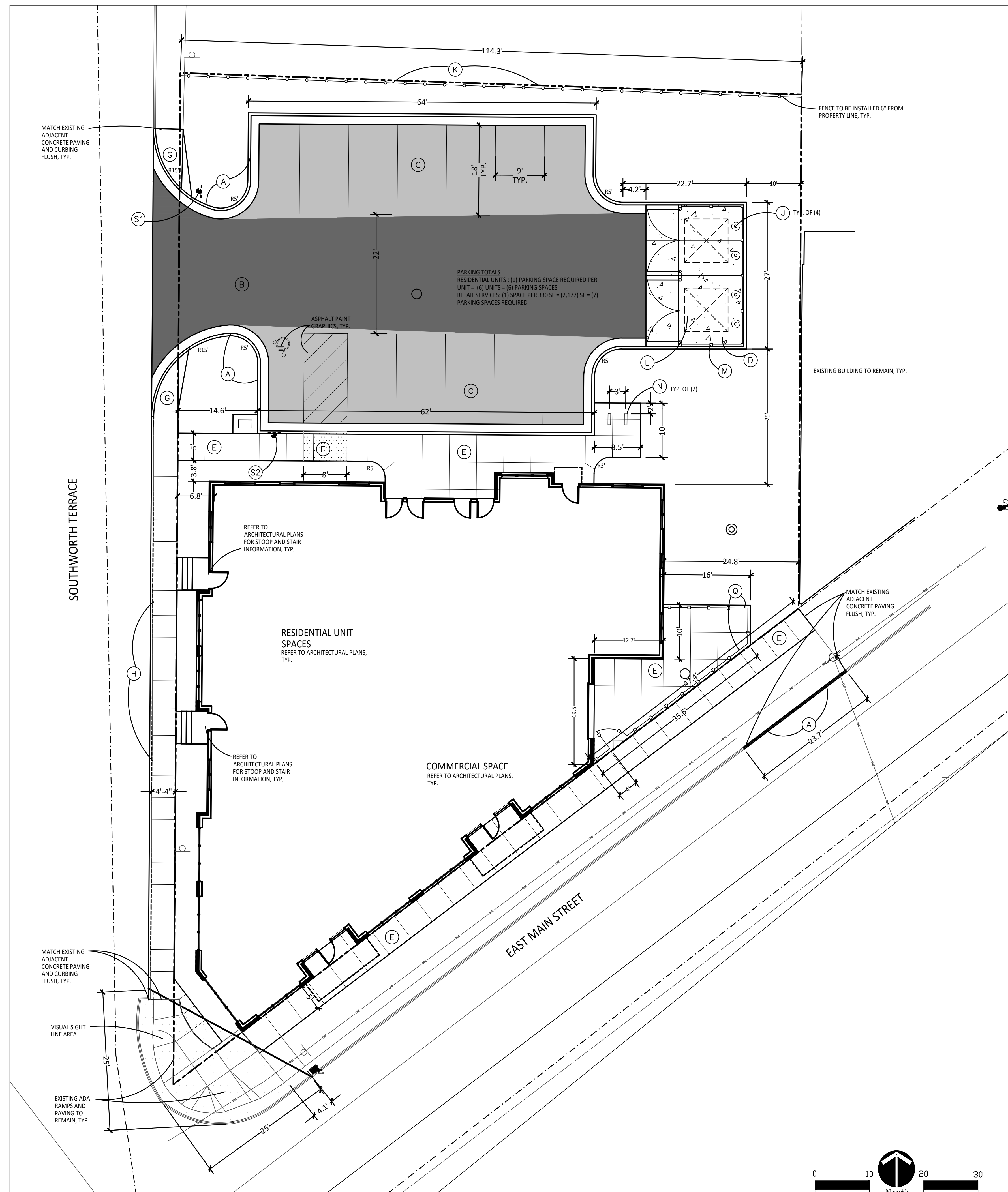
- 1:50 (2%) MAXIMUM CROSS-SLOPE ON ACCESSIBLE ROUTE.
- NO CHANGES IN LEVEL GREATER THAN 1/2" ALONG ACCESSIBLE ROUTE.
- 1:20 (5%) MAXIMUM LONGITUDINAL SLOPE ON ACCESSIBLE ROUTE (EXCEPT WHERE RAMP ARE PROVIDED).
- 1:50 (2%) MAXIMUM SLOPE (IN ANY DIRECTION) IN B.F. PARKING AND ACCESS AISLES.

LAYOUT NOTES:

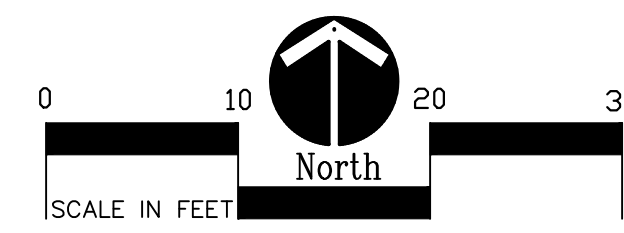
1. SURVEY OF EXISTING CONDITIONS PROVIDED BY WIGHTMAN & ASSOCIATES, INC., 433 EAST RANSOM STREET, KALAMAZOO, MICHIGAN 49007 (269)327-3532
2. PAVEMENT DIMENSIONS AND RADII ARE TO EDGE OF PAVEMENT OR BACK OF CURB.
3. DISCREPANCIES BETWEEN SITE AND PLANS SHOULD BE REPORTED TO THE PROJECT MANAGER IMMEDIATELY.
4. VERIFY LOCATIONS OF ALL BELOW GRADE UTILITIES PRIOR TO BEGINNING WORK. 72 HOURS BEFORE YOU DIG CALL "MISS DIG" AT 1-800-482-7171.
5. PROVIDE BARRIER FREE PARKING SIGNS FOR ALL BARRIER FREE PARKING SPACES. ALL SIGNS TO COMPLY WITH THE MDOIT MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
6. SITE LAYOUT POINTS SHOULD BE ESTABLISHED AND PROTECTED FOR FUTURE SITE WORK.

PROPOSED FEATURES LEGEND:

SYMBOL	DESCRIPTION	
	BITUMINOUS PAVING- HEAVY DUTY	
	BITUMINOUS PAVING- MODERATE DUTY	
	6" REINFORCED CONCRETE PAVING	
	PROPOSED CONCRETE CURB AND GUTTER	
	PROPOSED INTEGRAL WALK AND CURB	
	PAVEMENT FLUSH WITH BIT. PAVEMENT / BARRIER FREE RAMP - TYPE I	
	BARRIER FREE RAMP - TYPE II	
	6' WOOD SCREEN FENCE	
	3' ORNAMENTAL METAL FENCE	
	LIMIT OF WORK	
SIGNS		
	STOP SIGN	SEE SPECS.
	BARRIER FREE PARKING- VAN ACCESSIBLE	SEE SPECS.

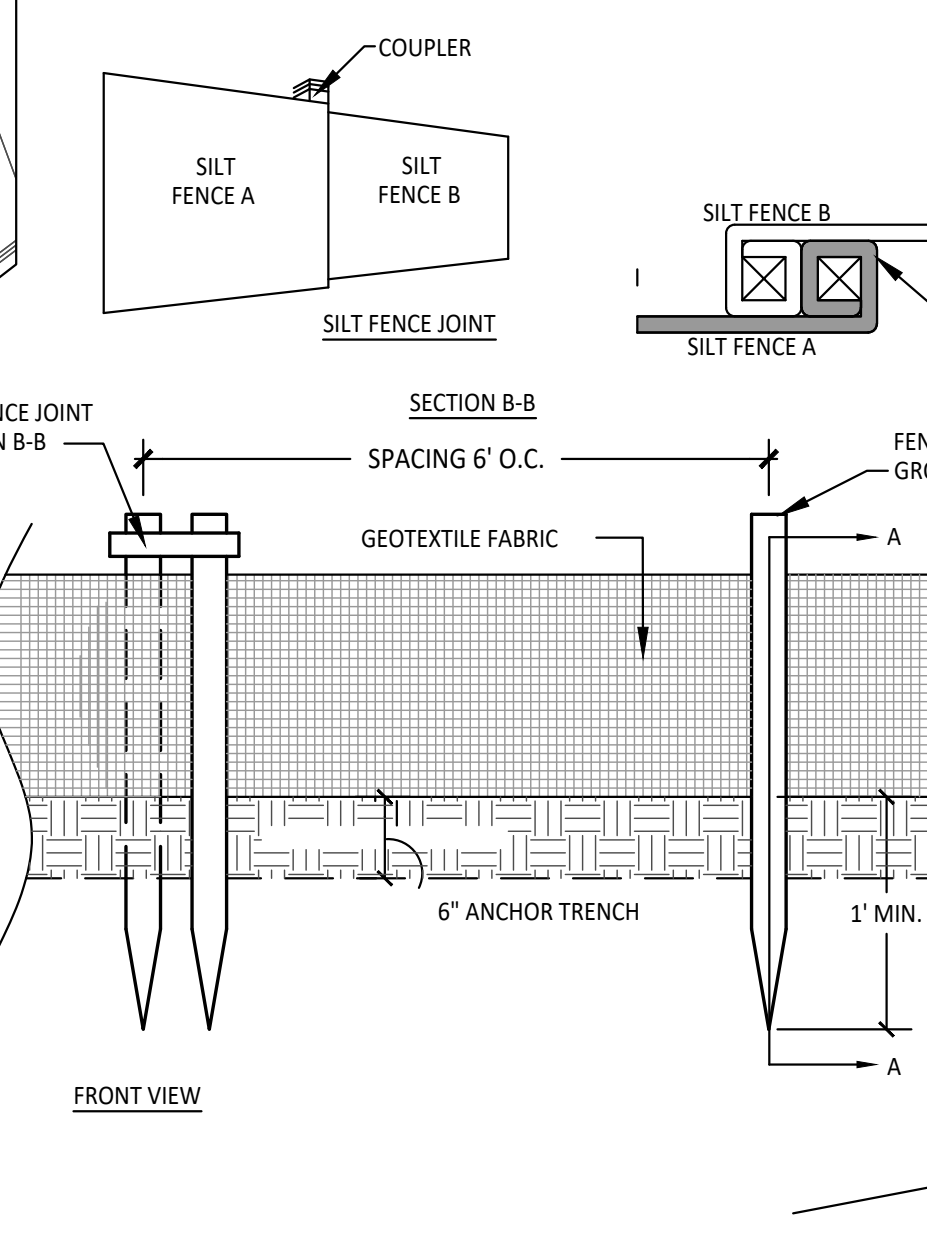
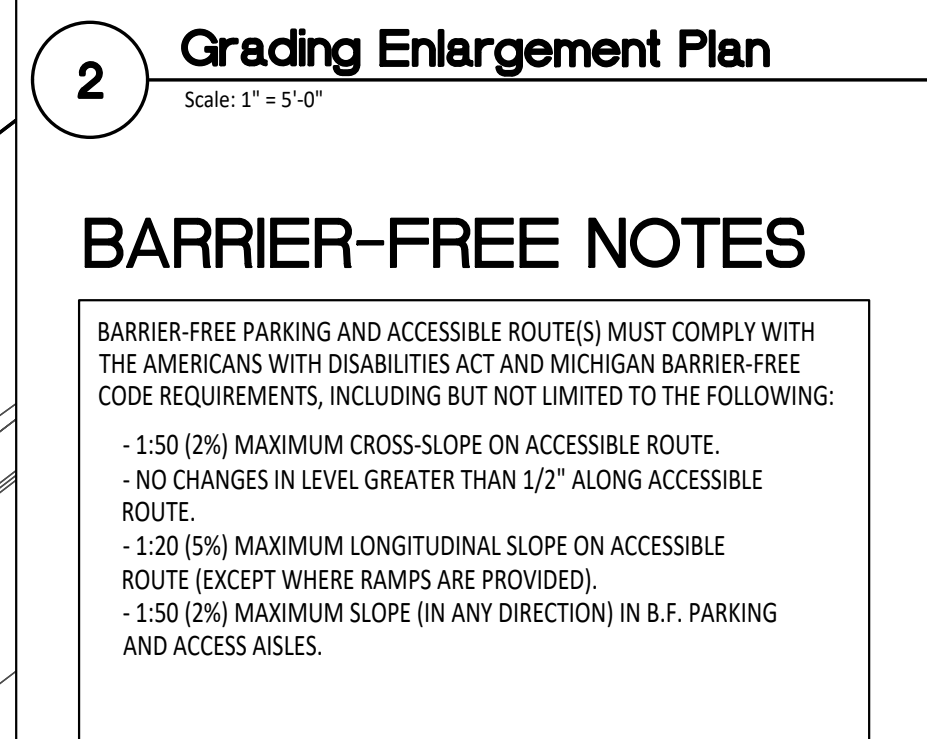
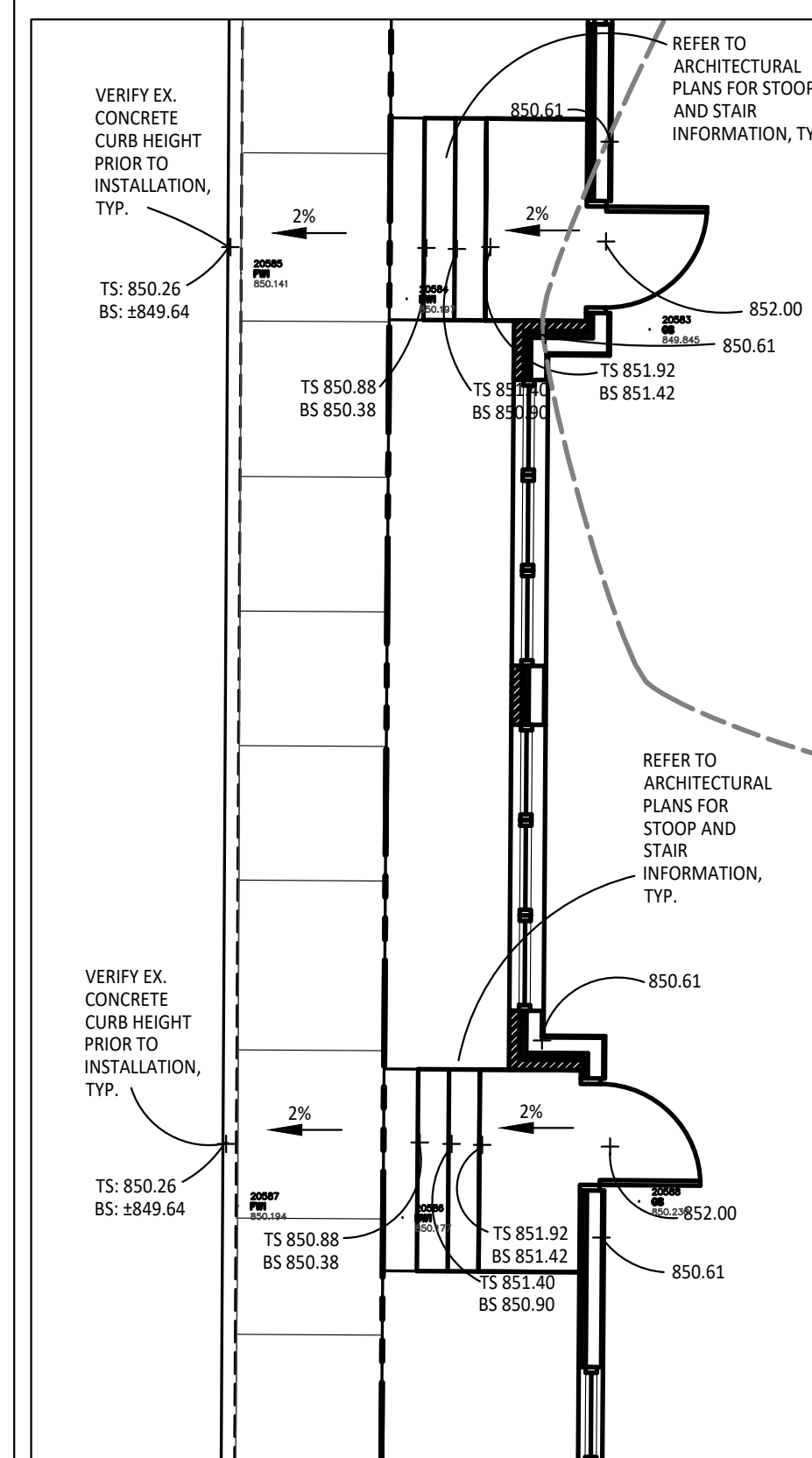
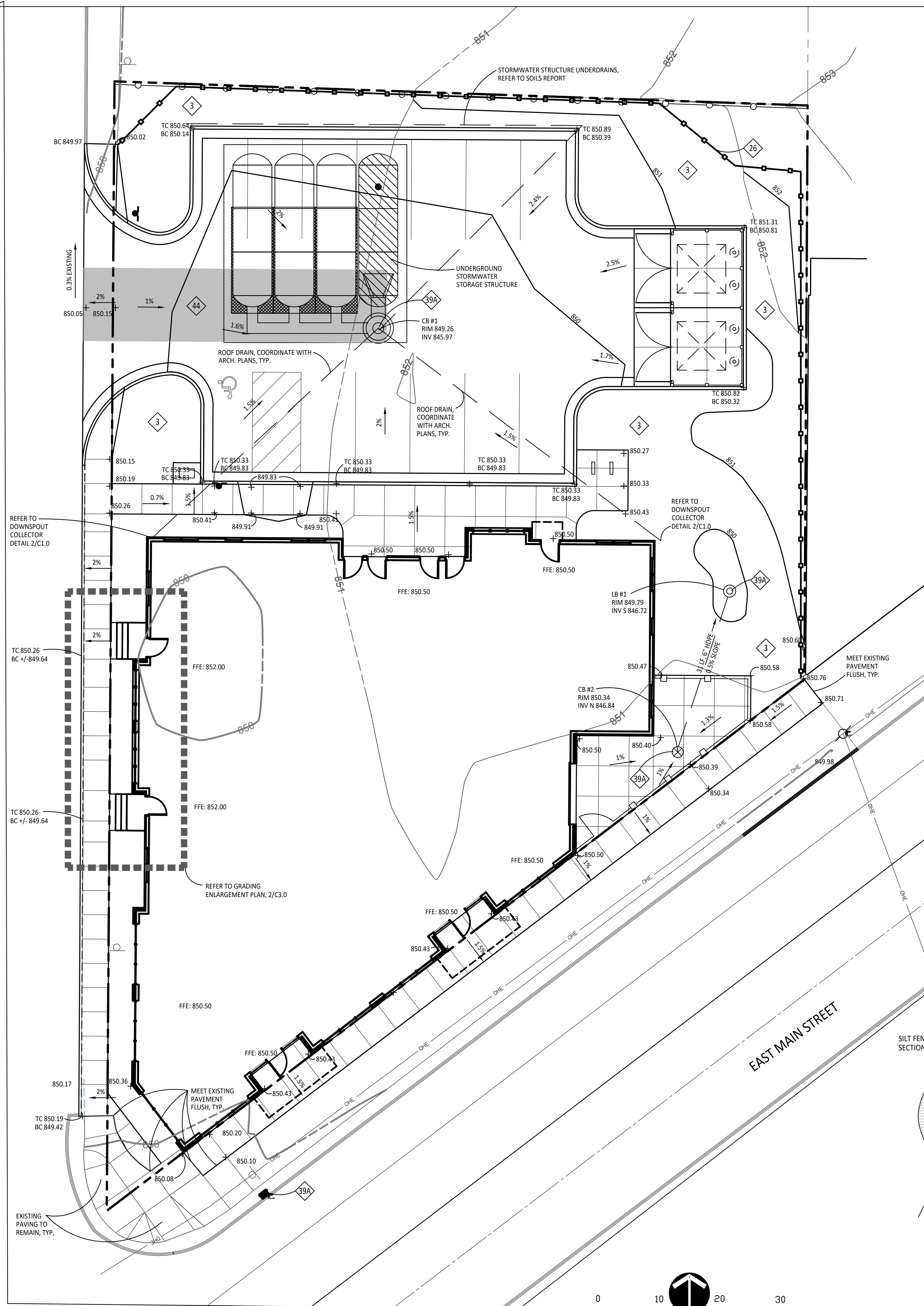


1 **Layout Plan**
Scale: 1" = 10'-0"



350 East Michigan Avenue Suite #415
Kalamazoo Michigan 49007
Phone (269) 381-3357
Fax (269) 381-2944

Landscape Architecture
Urban Planning
Parks & Recreation
Campus & Institutional Planning
Camp Planning & Design



PROPOSED FEATURES LEGEND:

	EXISTING CONTOURS
	EXISTING SPOT ELEVATIONS
	PROPOSED CONTOURS
	PROPOSED SPOT ELEVATIONS
	DIRECTION AND PERCENTAGE OF SLOPE
	4" DIA. CATCH BASIN. SEE DETAIL 16/C4.0
	2" DIA. CATCH BASIN. SEE DETAIL 12/C4.0
	LEACHING BASIN. SEE DETAIL 4/C4.0
	PROPOSED STORM PIPE
	FINISH FLOOR ELEVATION
	INVERT ELEVATION
	TOP OF CURB ELEVATION
	BOTTOM OF CURB ELEVATION
	HIGH POINT
	SILT FENCE, REFER TO DETAIL 3/C3.0
	WORK LIMIT LINE
	CONSTRUCTION ACCESS DRIVE, REFER TO DETAIL 5/C4.1

GRADING NOTES:

1. SURVEY OF EXISTING CONDITIONS PROVIDED BY WIGHTMAN & ASSOCIATES, INC., 433 EAST RANSOM STREET, KALAMAZOO, MICHIGAN 49007 (269)327-3532
2. VERIFY LOCATIONS OF ALL BELOW GRADE UTILITIES PRIOR TO BEGINNING WORK. 72 HOURS BEFORE YOU DIG CALL "MISS DIG" AT 1-800-482-7171.
3. ALL NEW PAVEMENTS AND TURF AREAS ARE INTENDED TO DRAIN FREELY WITH NO PONDING. IF THIS CANNOT BE ACHIEVED USING THE PROPOSED GRADES, NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY FOR RESOLUTION.
4. ALL NEW PAVEMENT ELEVATIONS AT EXTERIOR DOORS SHALL MATCH EXISTING FINISH FLOOR ELEVATIONS, TYPICAL.
5. FINISH GRADE SLOPE AT ALL BARRIER FREE PARKING SPACES AND ACCESS AISLES SHALL NOT EXCEED 2% IN ALL DIRECTIONS, TYPICAL.
6. ADJUST TOP OF EXISTING MANHOLES, CATCH BASINS, VAULT COVERS, ETC. TO NEW FINISH GRADE AS REQUIRED.
7. SEE SITE MECHANICAL AND SITE ELECTRICAL PLANS FOR ALL ADDITIONAL SITE UTILITY DEMOLITION AND CONSTRUCTION.

GENERAL EARTHWORK NOTE:

CUTS AND FILLS AT THIS SITE MAY OR MAY NOT BALANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE REQUIRED EARTHWORK VOLUMES BASED ON THE GRADING PLAN SHOWN. IF FILL IS REQUIRED, THE CONTRACTOR SHALL INCLUDE THE REQUIRED VOLUME OF IMPORTED CLASS II SAND IN THE BASE BID PROPOSAL. IF EXCESS SOILS NEED TO BE SPOILED, THE CONTRACTOR SHALL INCLUDE HAULING AND SPOILING SOILS OFF SITE IN THE BASE BID PROPOSAL. NO CONTRACT COST ADJUSTMENTS WILL BE CONSIDERED FOR EARTHWORK REQUIRED TO BALANCE THE SITE.

EROSION CONTROL TIMELINE

ITEM	DESCRIPTION	APPROXIMATE TIME FRAME	NOTES:
1.	INSTALL SILT FENCING / PERIMETER EROSION CONTROL STRIP & STOCKPILE TOPSOIL	FALL '22	1. CONTRACTOR SHALL MONITOR AND MAINTAIN ALL EROSION CONTROL DEVICES THROUGHOUT THE CONSTRUCTION PERIOD.
2.	INSTALL STORM SEWER STRUCTURES AND PIPING	FALL '22	
3.	INSTALL INLET SEDIMENT FILTERS AT CATCH BASINS	FALL '22	2. ADDITIONAL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED AS REQUIRED TO MINIMIZE SILT LEAVING THE CONSTRUCTION SITE.
4.	INSTALL PAVEMENT SUB-BASE	FALL '22	
5.	INSTALL TEMPORARY STABILIZATION SEEDING	SPRING '23	
6.	INSTALL LEVELING COURSE OF PAVING	SPRING '23	
7.	INSTALL WEARING COURSE OF PAVING	SPRING '23	
8.	FINISH GRADE AND SEED / STABILIZE ALL AREAS	FALL '23	

EROSION CONTROL REQUIREMENTS:

ALL CONSTRUCTION SHALL COMPLY WITH THE SOIL EROSION AND SEDIMENTATION CONTROL ACT (P.A. 347 OF 1972, AS AMENDED) AS ADMINISTERED BY TOWNSHIP AND COUNTY. THE FOLLOWING EROSION CONTROL DEVICES ARE REFERENCED IN THE STANDARD EROSION CONTROL HANDBOOK PUBLISHED BY THE MICHIGAN DEPARTMENT OF TRANSPORTATION. (MDOT DRAWING R-96-C, 8-9-2001)

ALL TEMPORARY EROSION CONTROL DEVICES SHALL BE REMOVED AT THE END OF CONSTRUCTION. TEMPORARY EROSION CONTROL DEVICES SHOULD BE IN PLACE PRIOR TO EXCAVATION, TO THE EXTENT POSSIBLE.

KEY	DESCRIPTION	TEMPORARY / PERMANENT	KEY	DESCRIPTION	TEMPORARY / PERMANENT
	PERMANENT/TEMPORARY SEEDING	P		INLET PROTECTION FABRIC DROP	T
	GEOTEXTILE SILT FENCE	T		GRAVEL ACCESS APPROACH	T

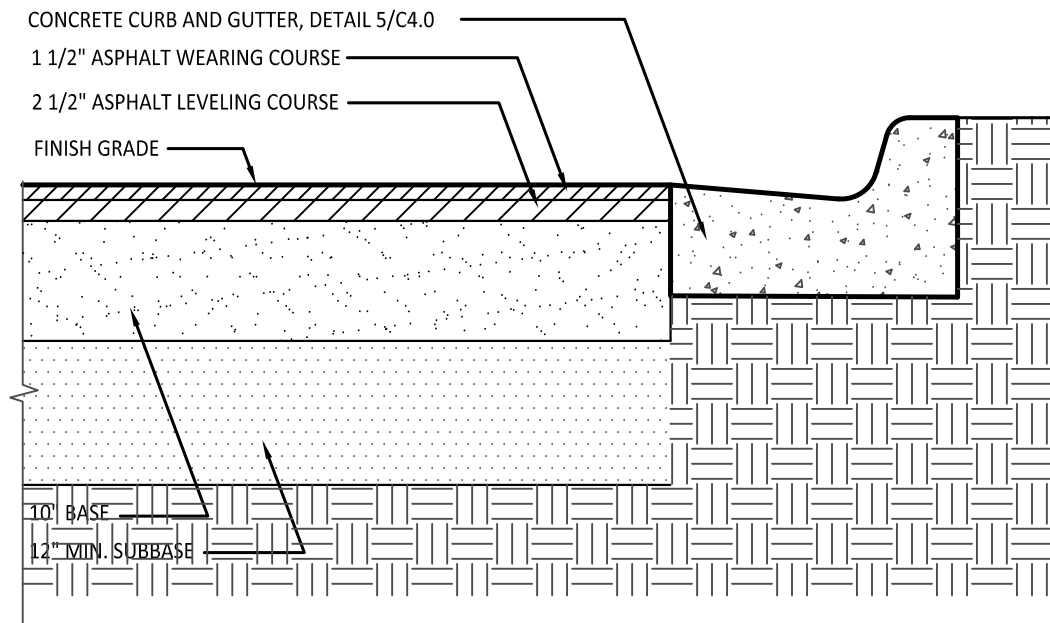
STORM STRUCTURE SCHEDULE :

STORM SEWER SYSTEM STRUCTURE SUMMARY						
PROPOSED STRUCTURE #	DIAMETER	RIM TYPE	RIM ELEVATION AT FLOW LINE	INVERT ELEVATION	INVERT DIRECTION	COMMENTS
CB #1	2'	EJW 1040 W M2	849.47	845.97	N/A	X
CB #2	2'	EJW 1040 W M2	850.34	846.84	6" HDPE, N	
LB #1	2'	EJW 1040 O2	850.10	846.72	6" HDPE S	

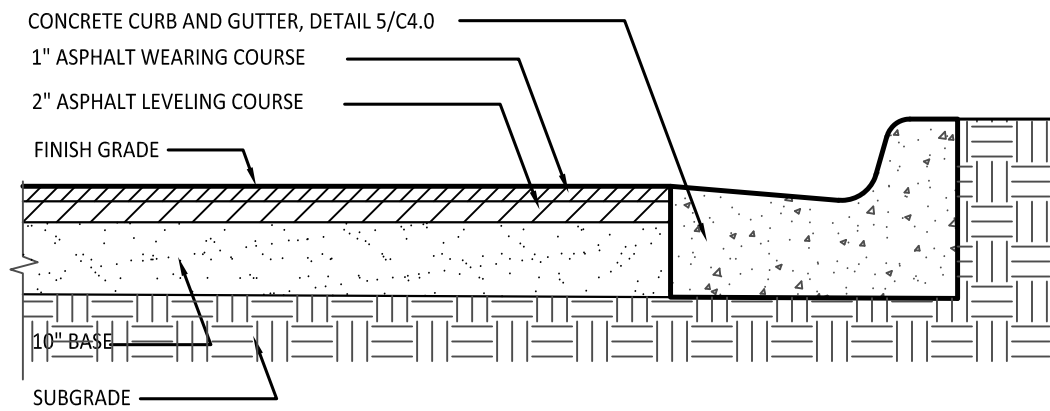


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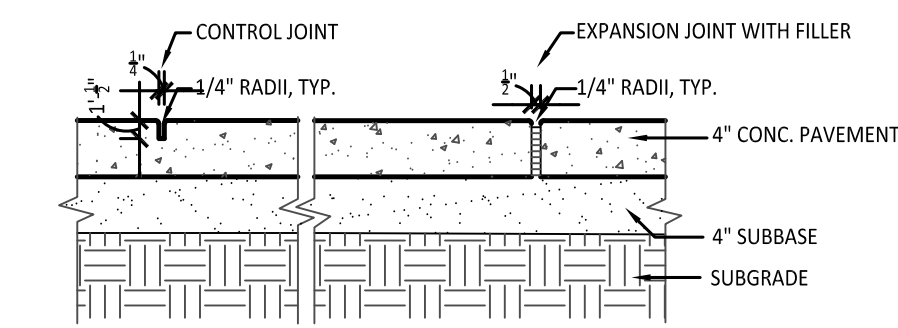
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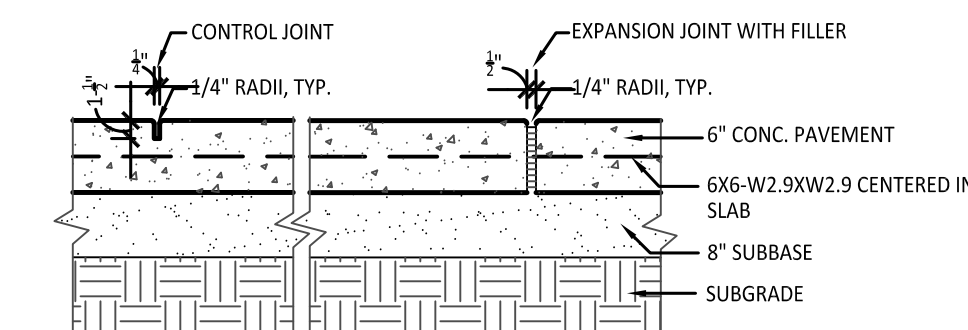
1 Section-Bituminous Pavement Heavy Duty
Not to Scale



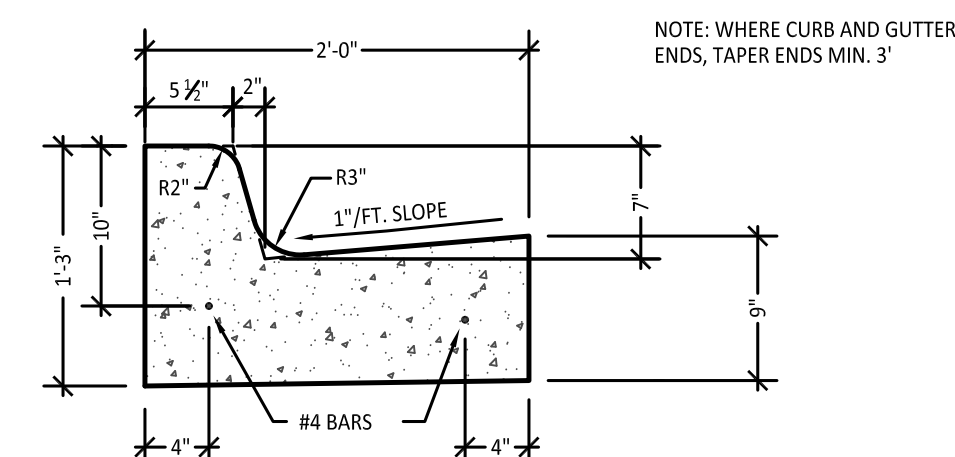
2 Section-Bituminous Pavement Moderate Duty
Not to Scale



3 Section-Conc. Paving + Jointing
Not to Scale



4 Section-6' Reinf. Conc. Pavement
Not to Scale

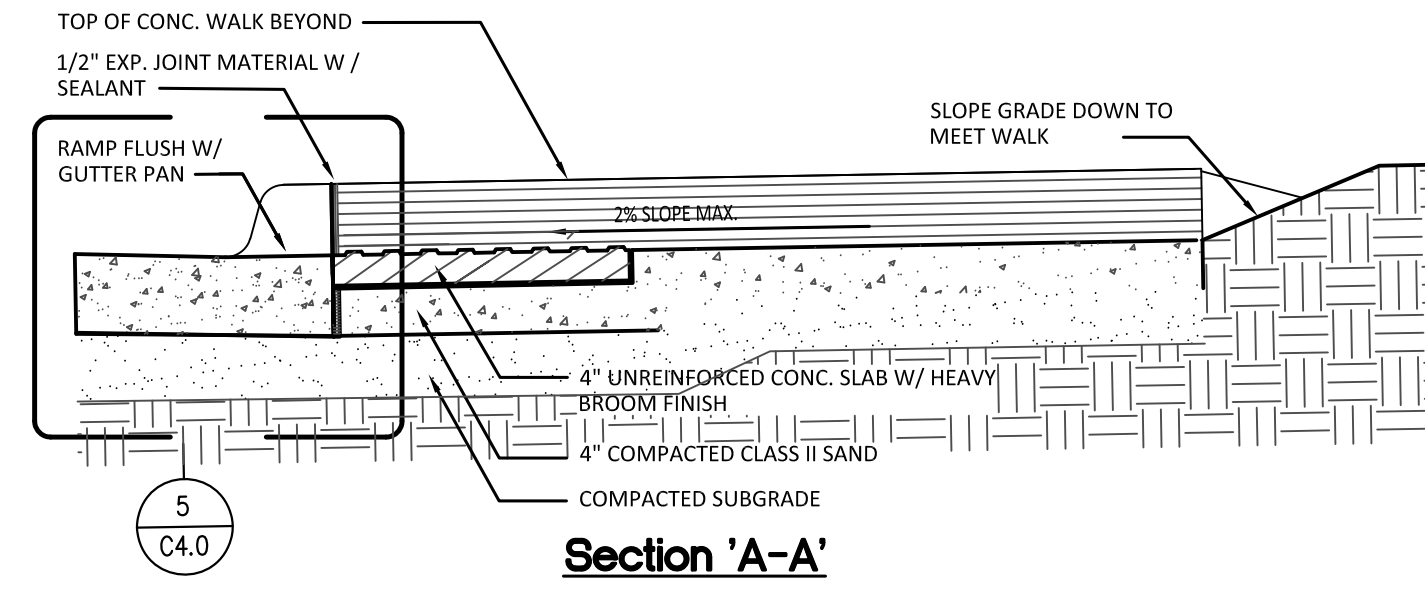


5 Curb + Gutter Detail
Not to Scale

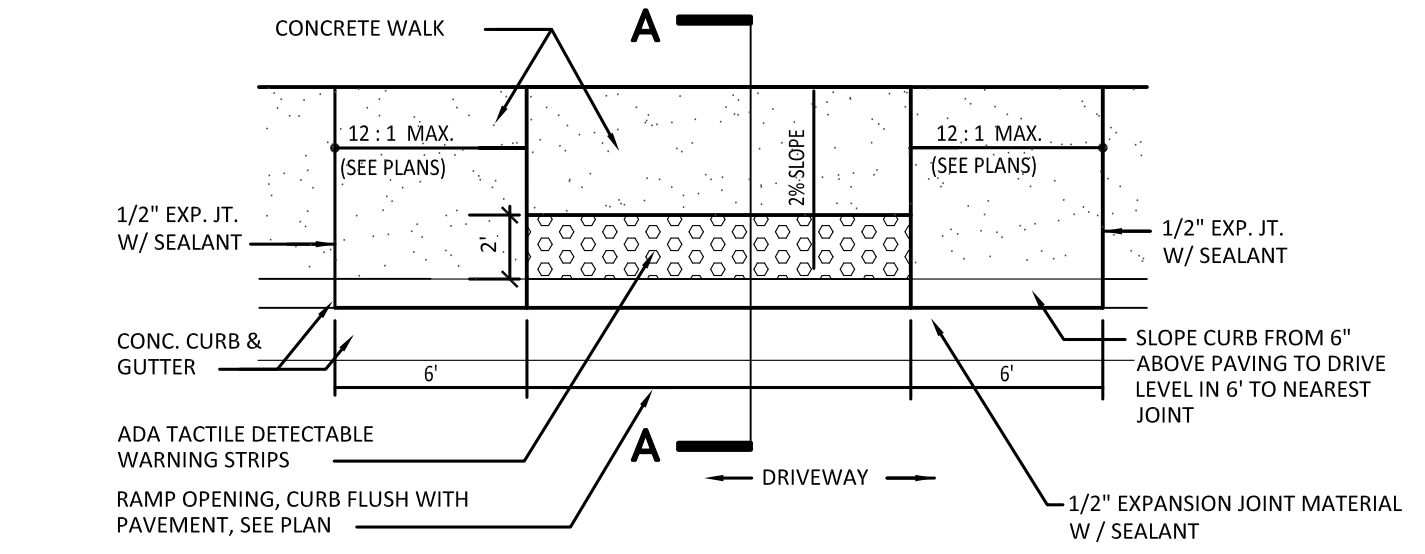


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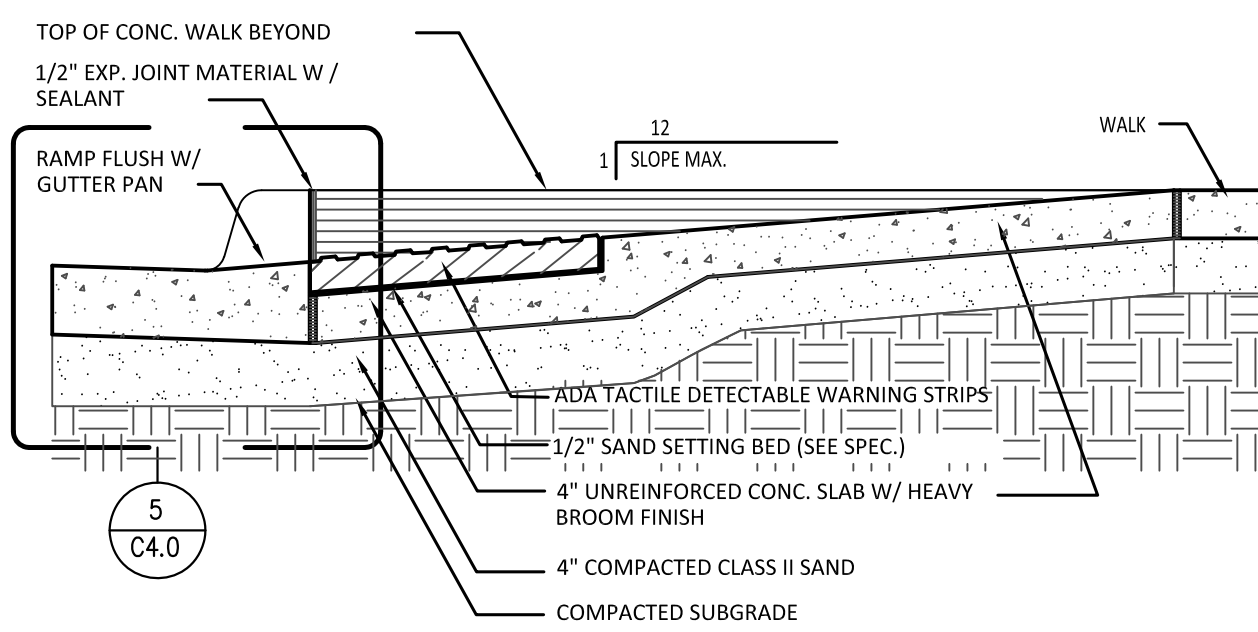
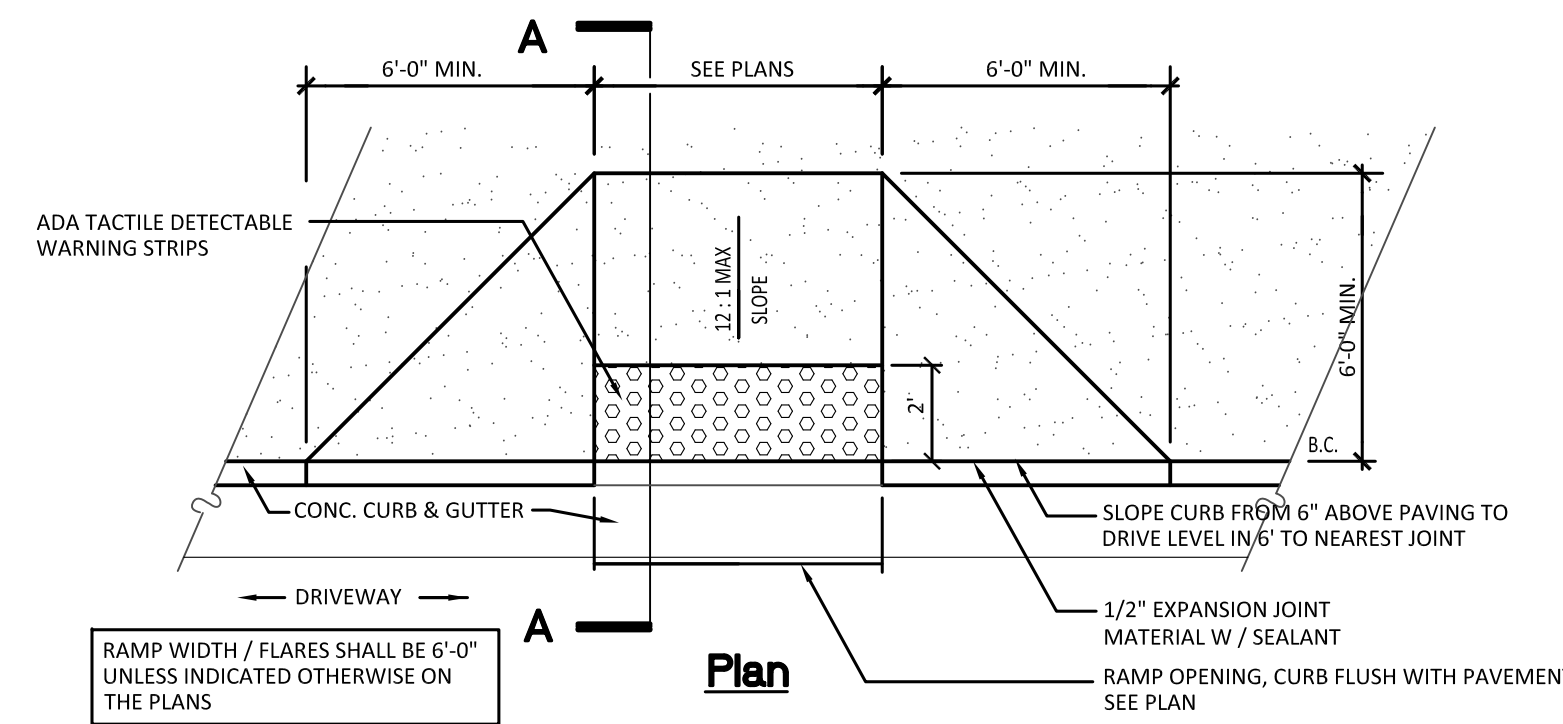
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Section 'A-A'

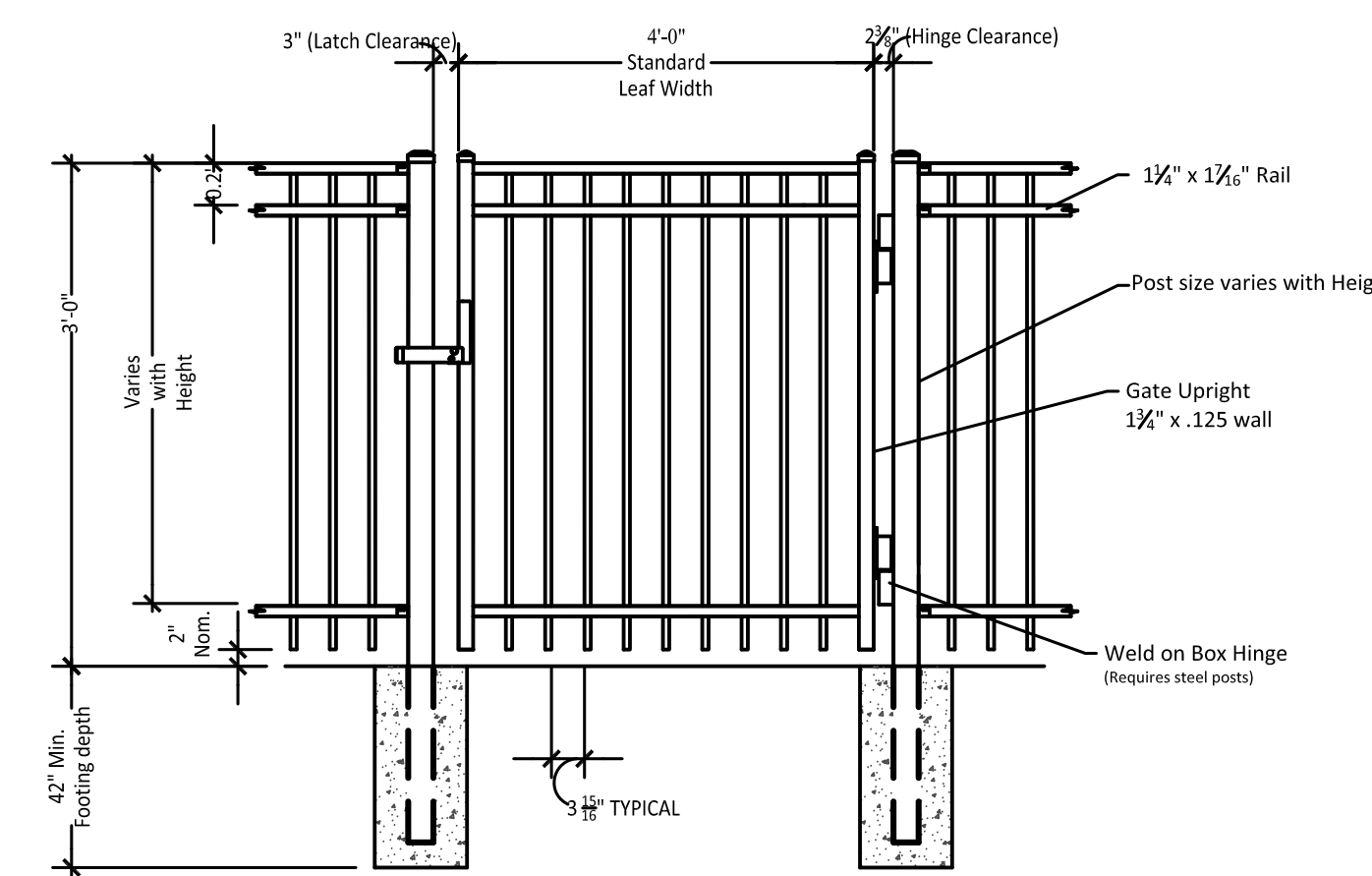


6 Barrier Free Ramp (Type I) Detail
Not to Scale

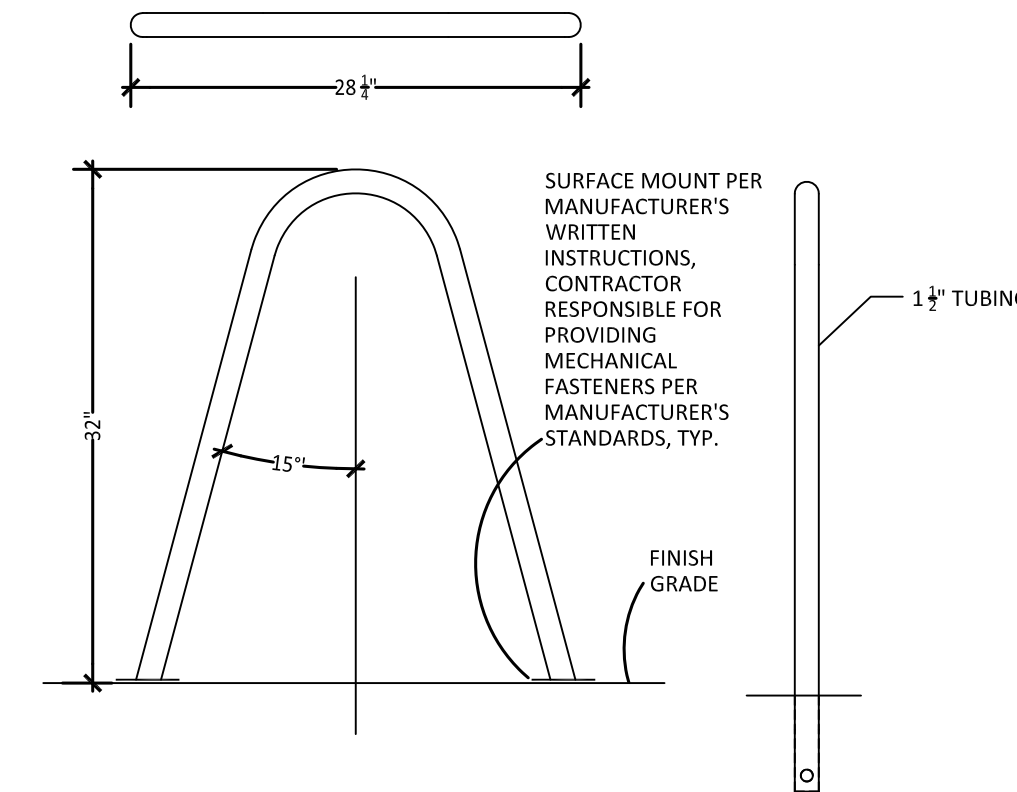


Section 'A-A'

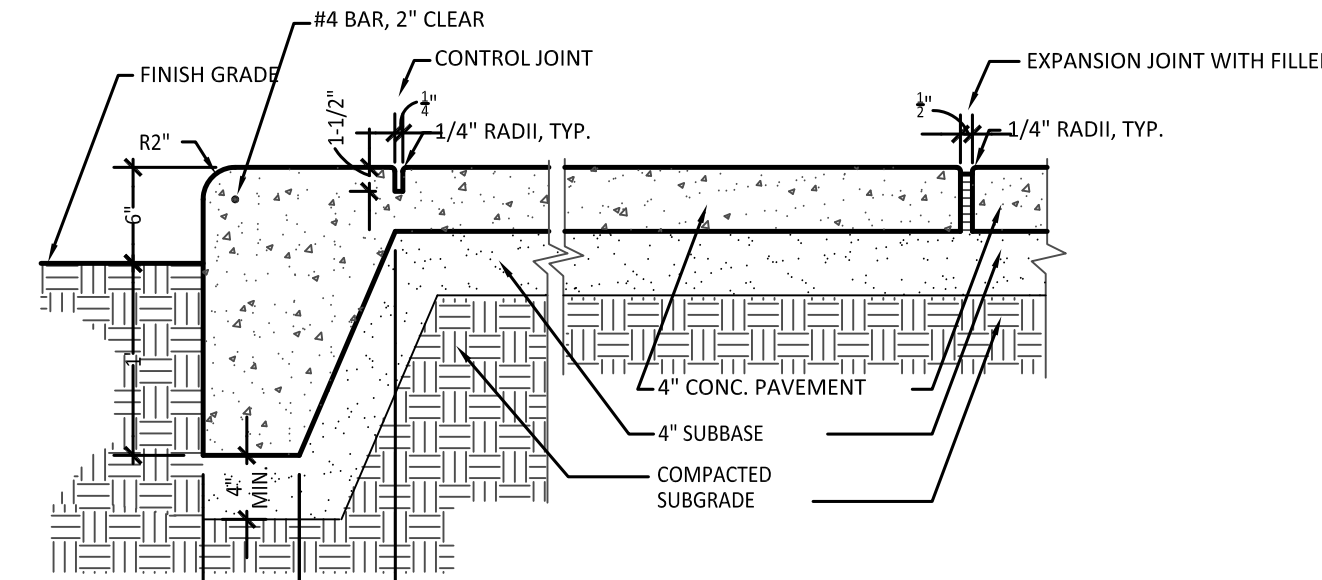
7 Barrier Free Ramp (Type II) Detail
Not to Scale



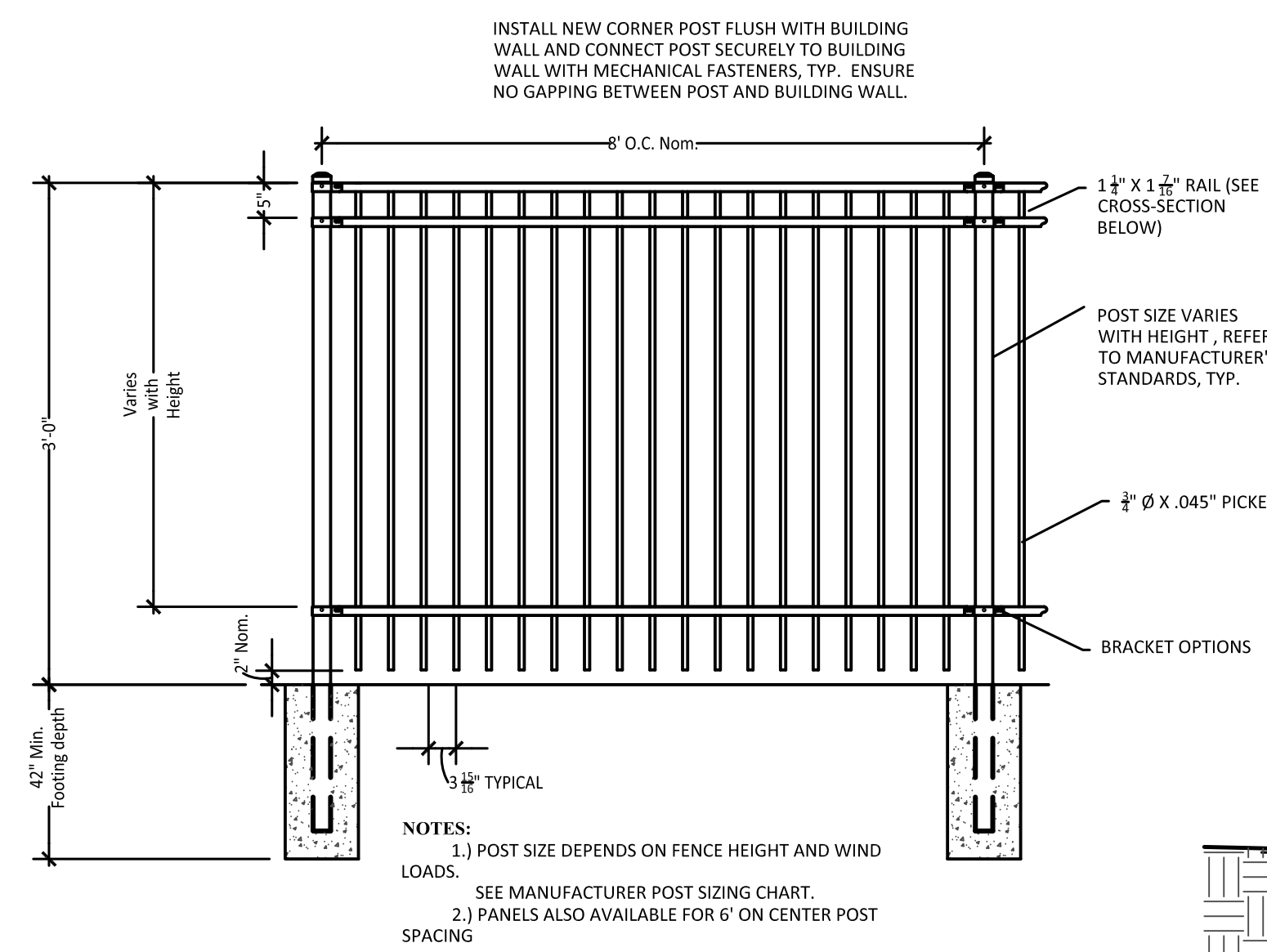
8 4' Width Ornamental Single Gate Detail
Not to Scale



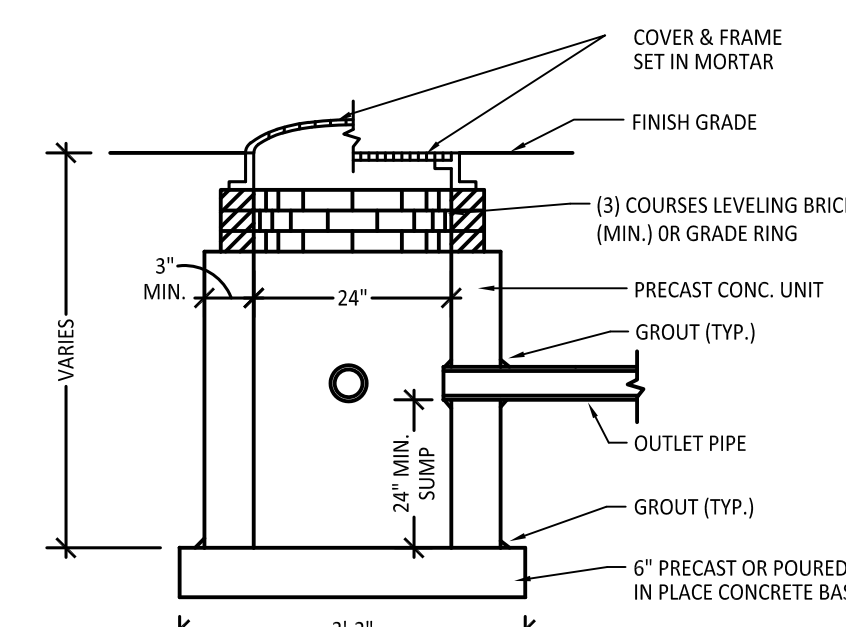
9 Bike Rack Detail
Not to Scale



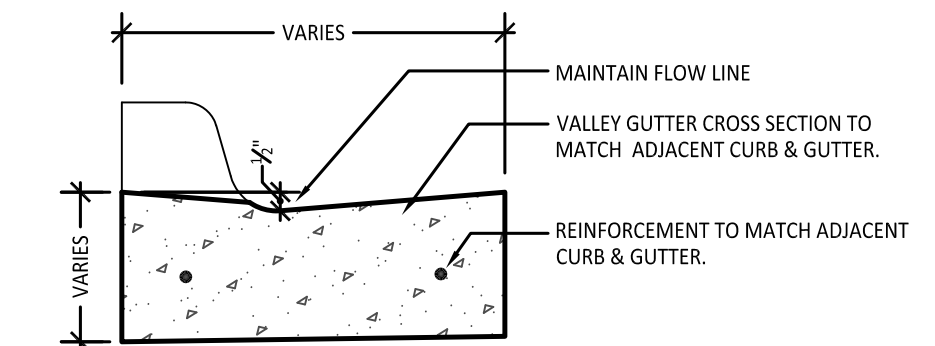
10 Section-Integral Walk + Curb 4' Subbase
Not to Scale



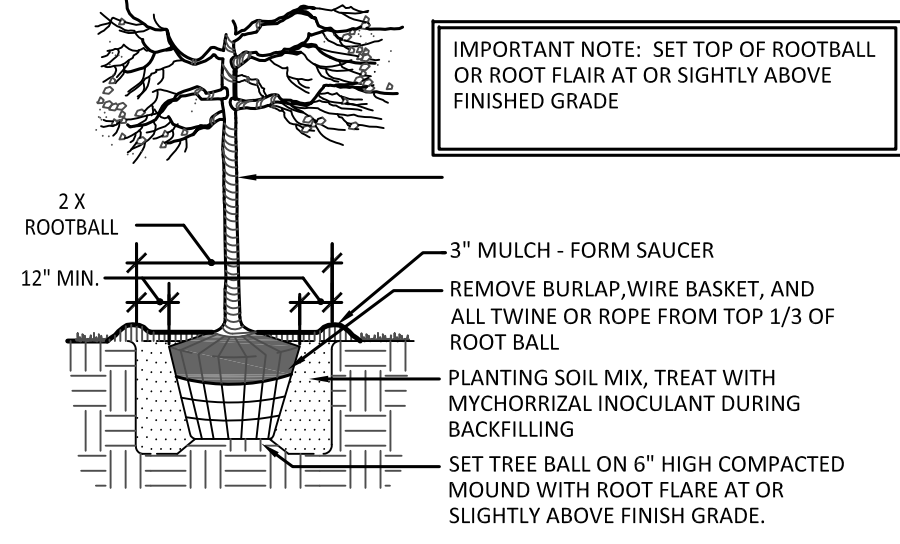
11 36' Height Ornamental Fencing Detail
Not to Scale



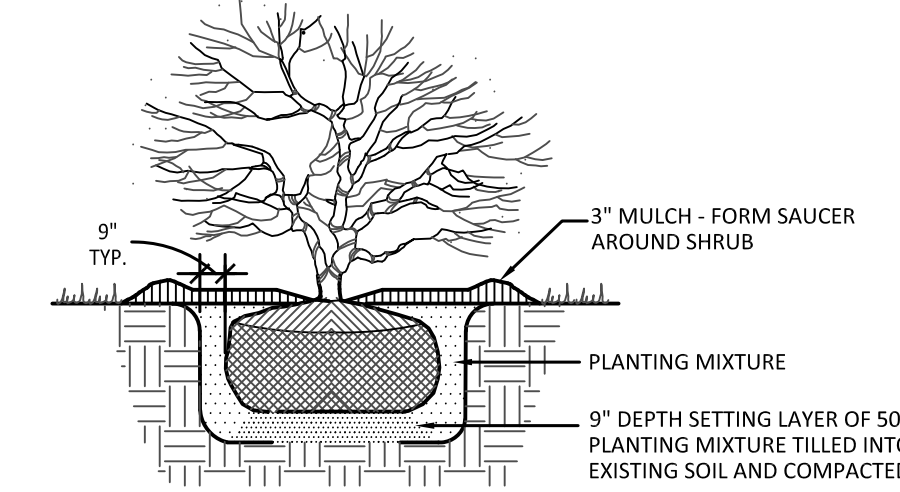
12 24' Catch Basin
Not to Scale



13 Section-Conc. Valley Gutter
NOT TO SCALE

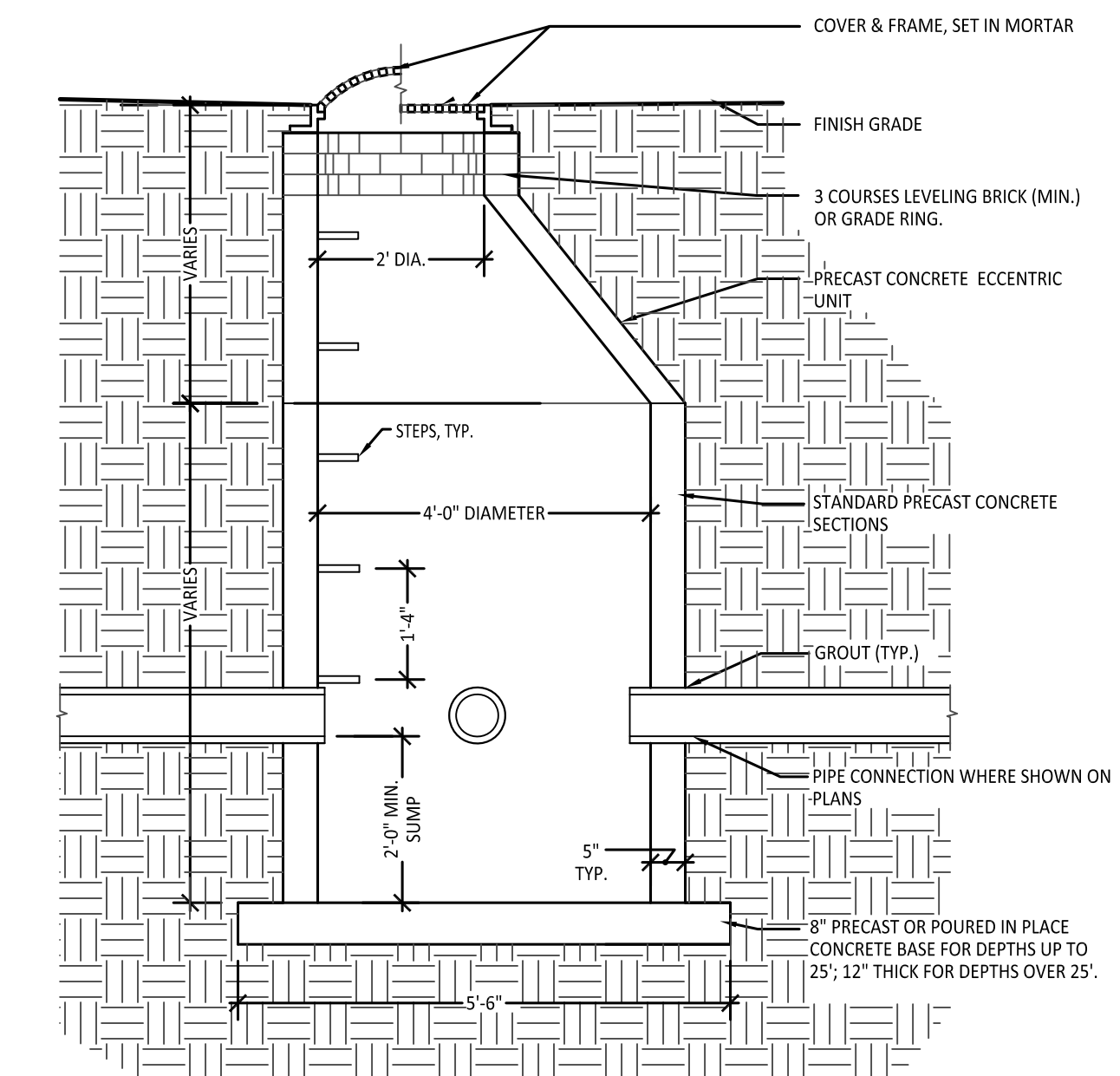


14 Tree Planting Detail
Not to Scale



15 Shrub Planting Detail
Not to Scale

REFER TO SOILS REPORT FOR STORM STRUCTURE FINGER DRAIN INFORMATION, TYP.
REFER TO GEOTECHNICAL REPORT AND C303 FOR FINGER DRAIN INFORMATION. FINGER DRAINS TO BE INSTALLED JUST BELOW BOTTOM OF ASPHALT PAVING SECTION AND SLOPED TO DRAIN INTO STORMWATER STRUCTURE, TYP., DRAINS TO BE 6" DIAMETER, PERFORATED, CORRUGATED PLASTIC DRAIN PIPE, BEDDED AND BACKFILLED WITH M207 3/8" GRADATIONAL REQUIREMENTS AND WRAPPED ENTIRELY IN NON-WOVEN GEOTEXTILE FABRIC THAT IS OVERLAPPED ON TOP, TYP.



16 4' Catch Basin Detail
NOT TO SCALE

New Construction:
Eastside Square Building C
1601 E. Main St. Kalamazoo, MI 49048

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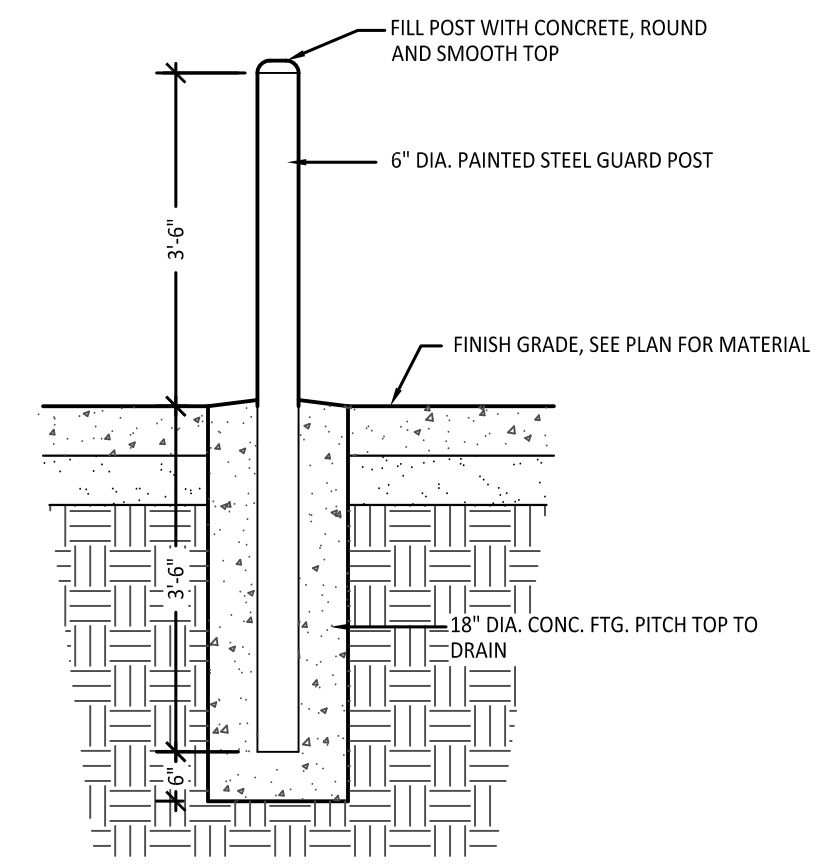
sheet name
1601 East Main St. Details

project number
21003

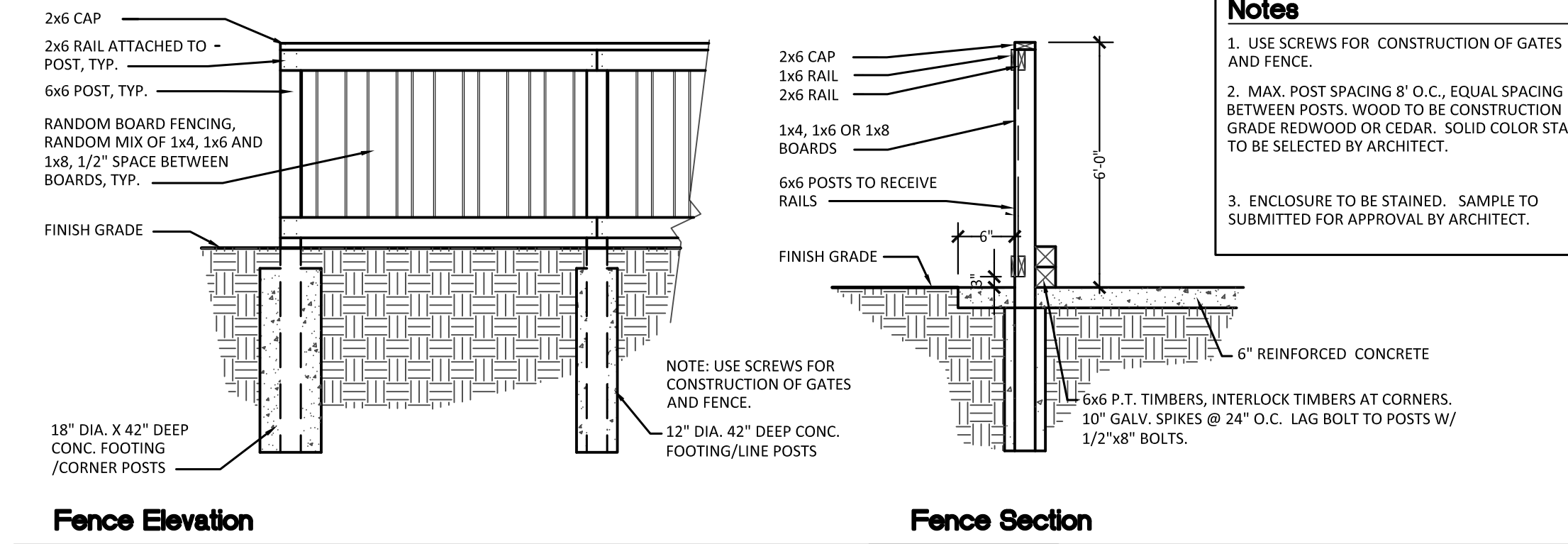
drawing date
QAQC SET 06.10.2022

sheet number

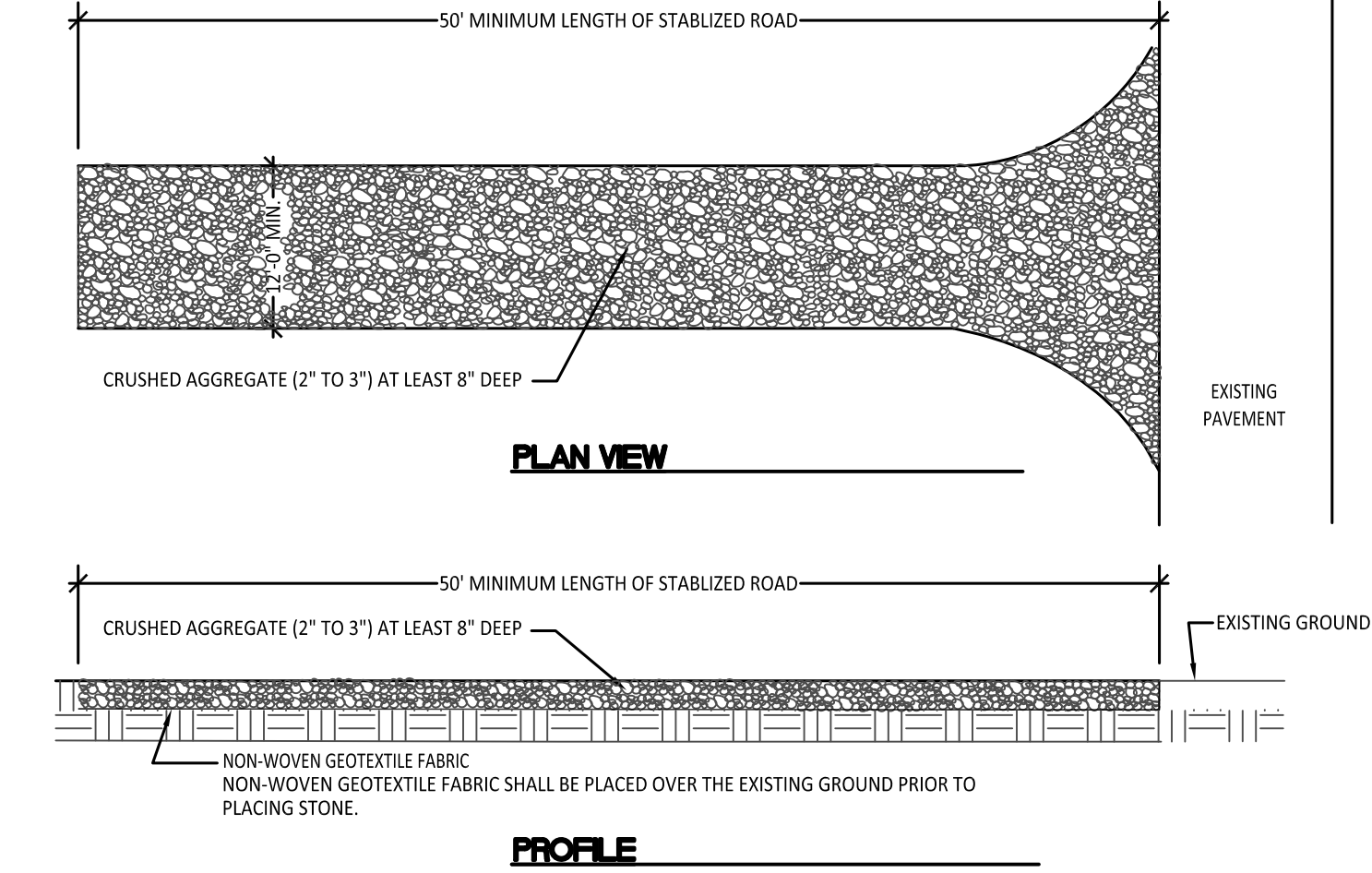
C4.0



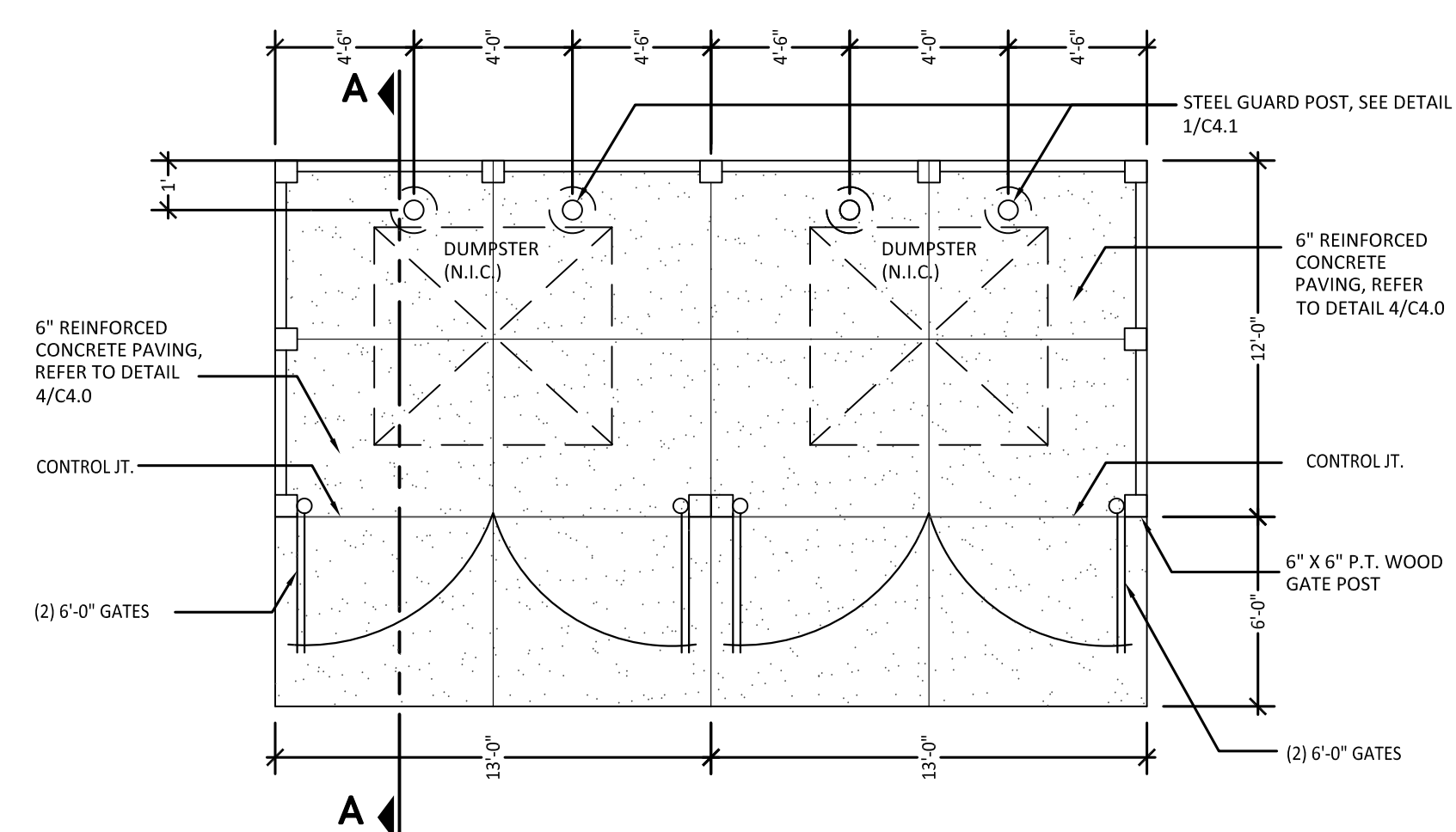
1 Section-Steel Guard Post
Not to Scale



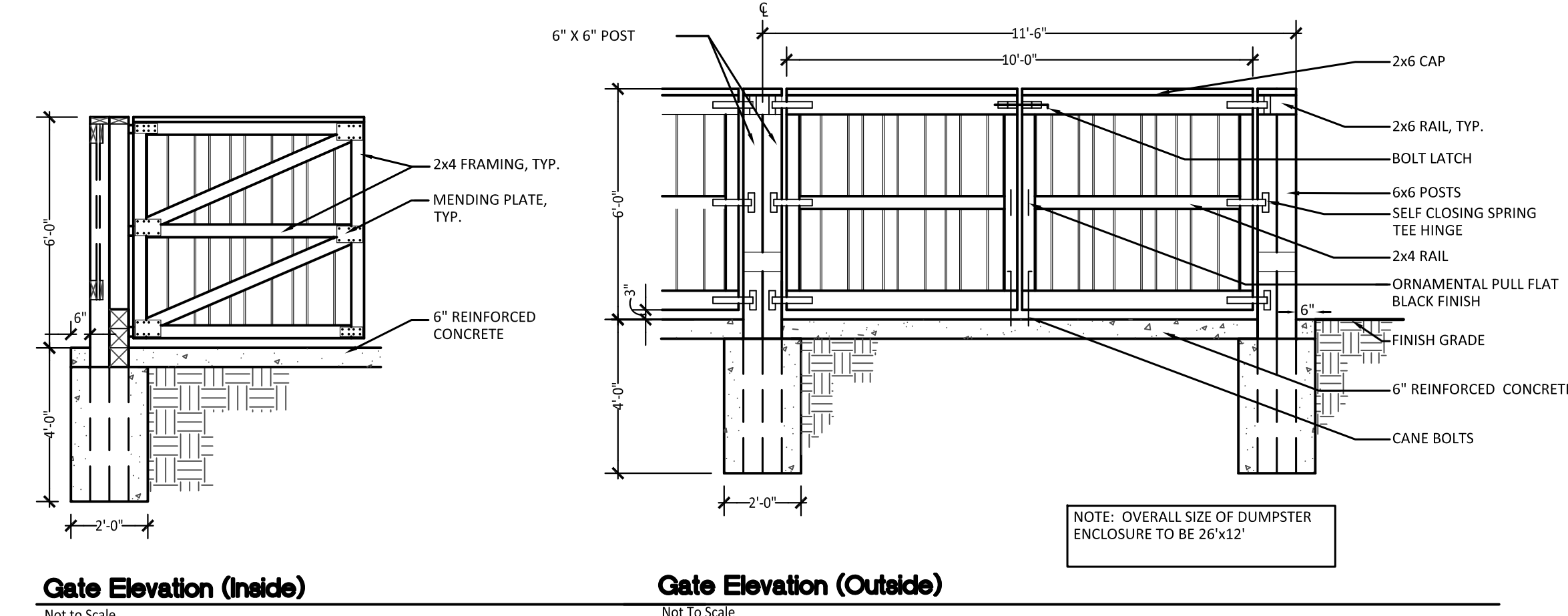
Fence Elevation Fence Section



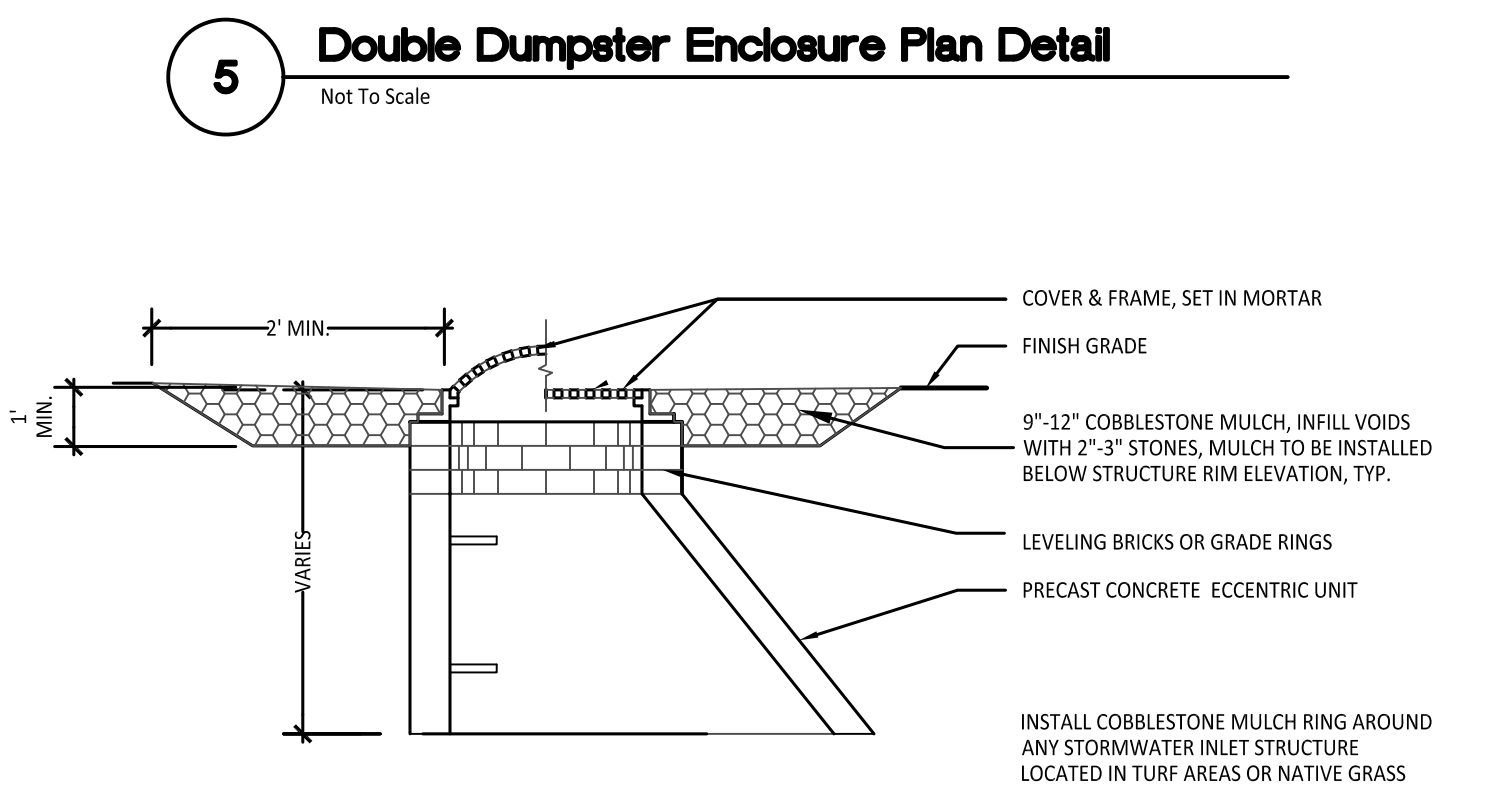
PLAN VIEW PROFILE
NOTES:
1. ESTABLISH STABILIZED CONSTRUCTION ENTRANCE PRIOR TO THE INITIATION OF SITE CONSTRUCTION ACTIVITIES.
2. CARE SHOULD BE TAKEN TO PREVENT MATERIAL MOVEMENT INTO ADJACENT WETLANDS/WATERBODIES.
3. CARE SHOULD BE TAKEN TO MAINTAIN EXISTING ROADSIDE DRAINAGE VIA CULVERT INSTALLATION, WITH SEDIMENT SUMP PLACED DOWNFLOW OF CULVERT.



2 Double Dumpster Enclosure Plan Detail
Not to Scale

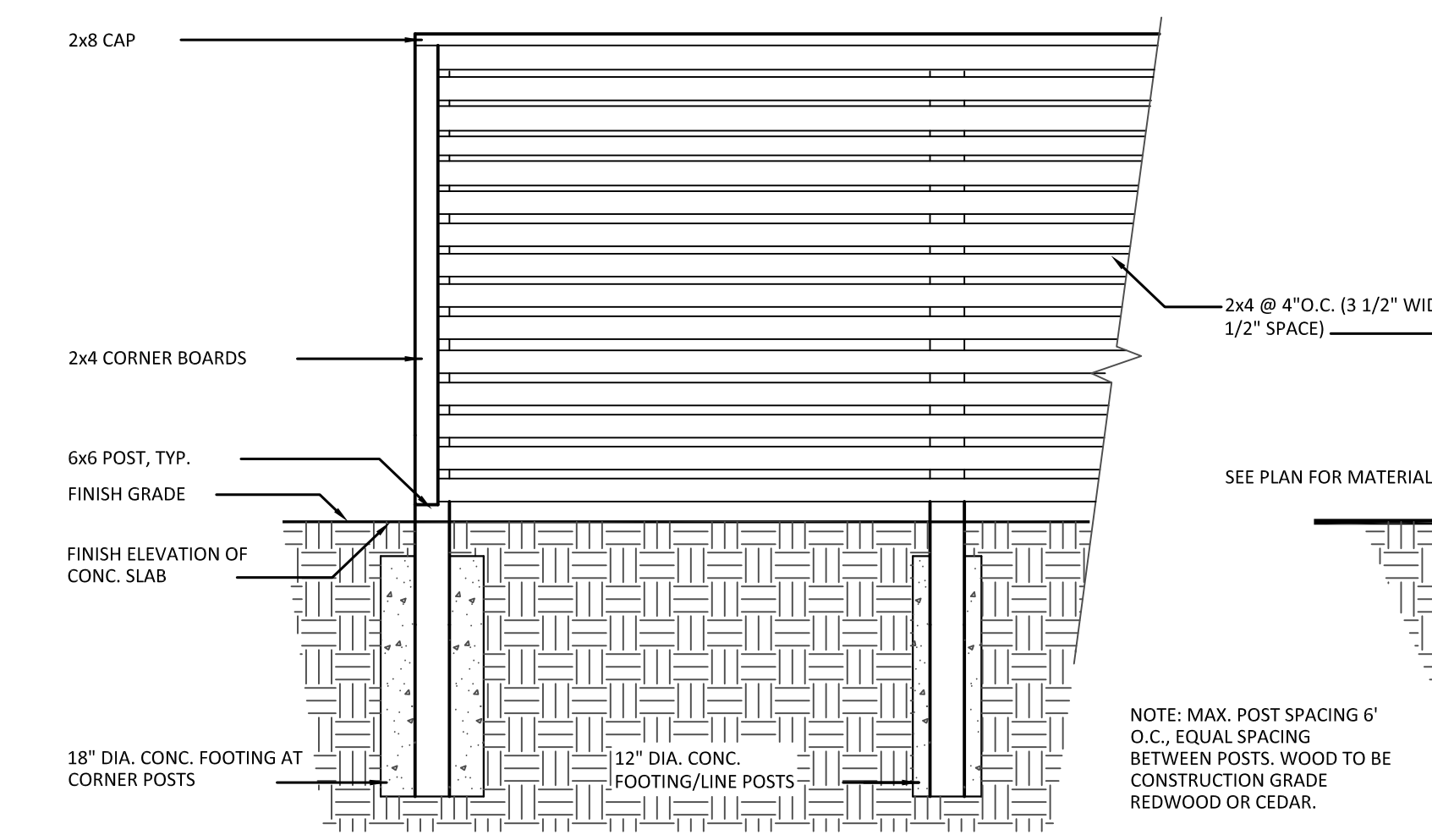


Gate Elevation (Inside) Gate Elevation (Outside)
Not to Scale



5 Double Dumpster Enclosure Plan Detail
Not to Scale

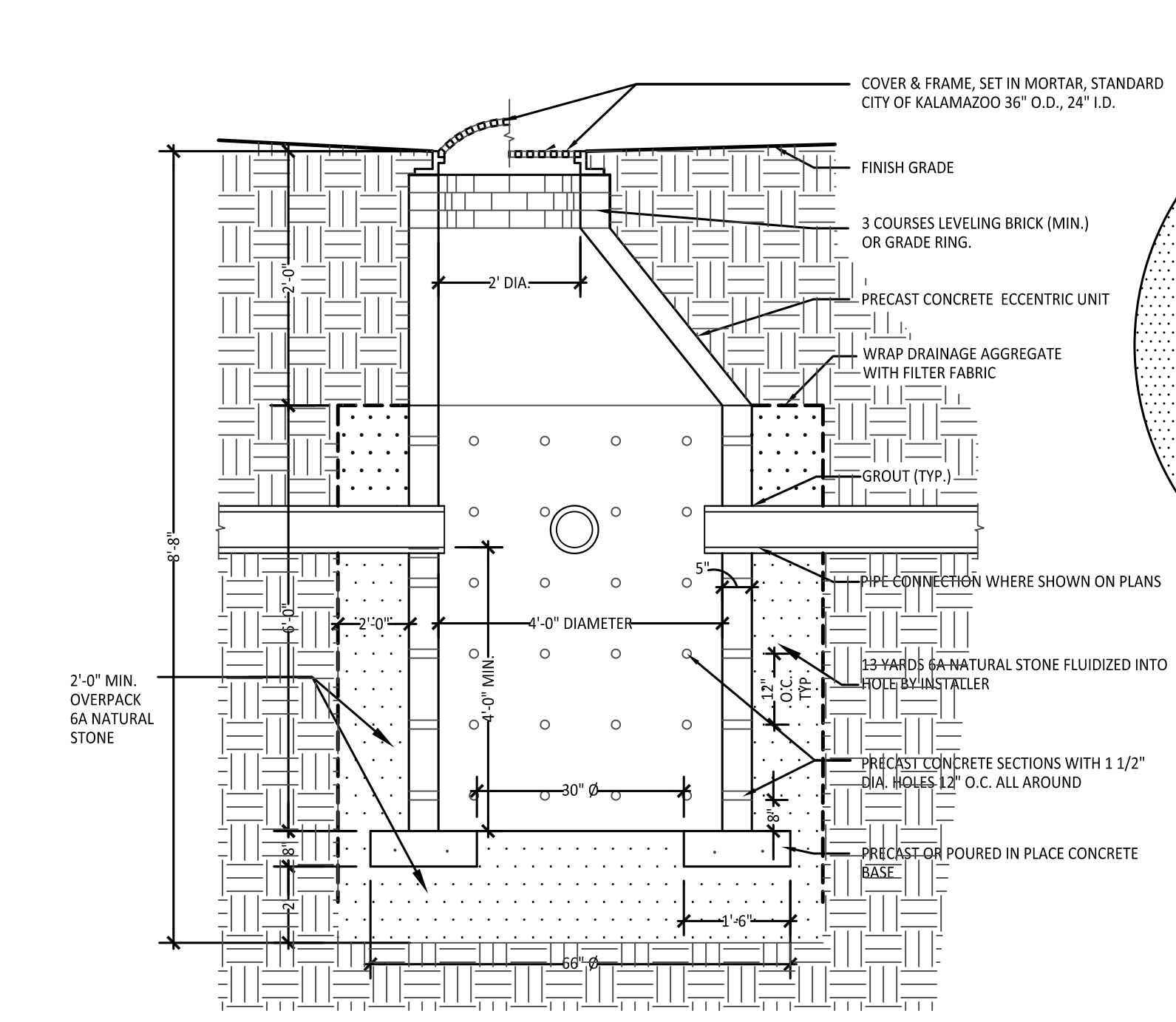
6 Cobblestone Mulch Ring Detail
Not to Scale



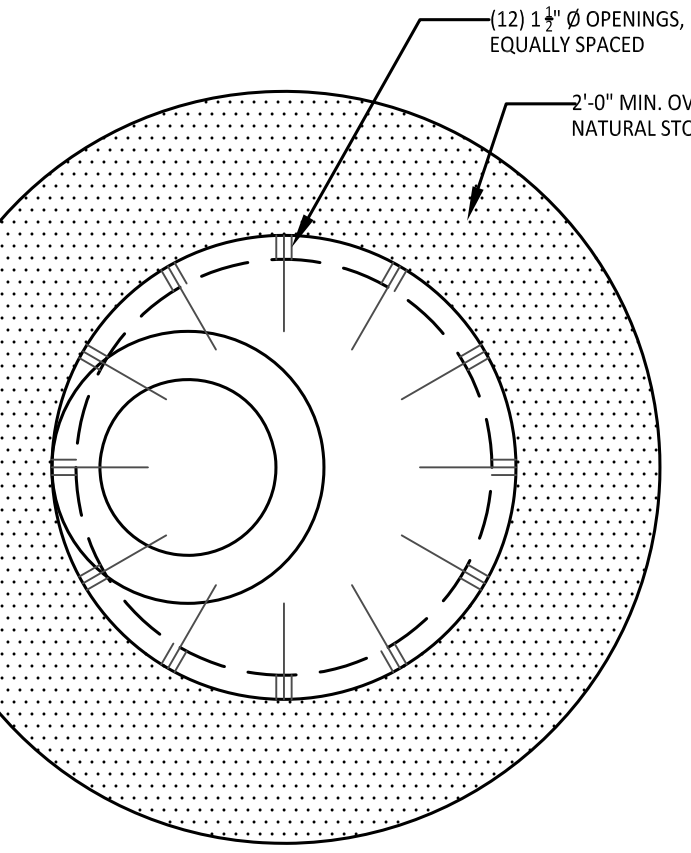
Screen Fence Elevation

Screen Fence Section

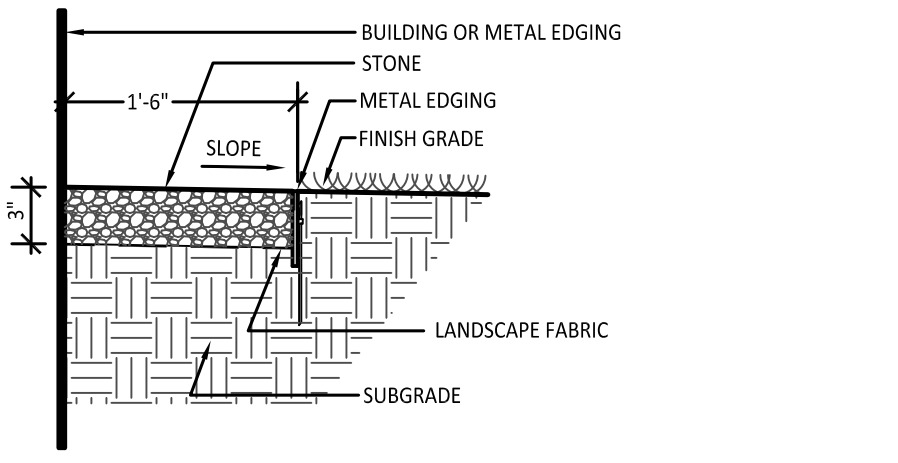
3 Screen Fencing Details
Not to Scale



4 48" Dia. Precast Concrete Leaching Basin Detail
Not to Scale



NOTE: SET LEACHING BASIN FIRST ON 2" DEPTH STONE BED THEN HAVE STONE INSTALLER TRUCK LOAD FLUIDIZED 6A NATURAL STONE INTO HOLE
LEACHING BASIN INSTALLATION TO MEET CITY OF KALAMAZOO ENGINEERING STANDARDS.
REFER TO SOILS REPORT FOR STORM STRUCTURE FINGER DRAIN INFORMATION, TYP.
REFER TO GEOTECHNICAL REPORT AND C301 FOR FINGER DRAIN INFORMATION, FINGER DRAINS TO BE INSTALLED JUST BELOW BOTTOM OF ASPHALT PAVING SECTION AND SLOPED TO DRAIN INTO STORMWATER STRUCTURE, TYP. DRAINS TO BE 6" DIAMETER, PERFORATED, CORRUGATED PLASTIC DRAIN PIPE, BEDDED AND BACKFILLED WITH MDOT 34R GRADATIONAL REQUIREMENTS AND WRAPPED ENTIRELY IN NON-WOVEN GEOTEXTILE FABRIC THAT IS OVERLAPPED ON TOP, TYP.



8 Maintenance Strip Detail
Not to Scale



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Fax (269) 381-2944

Landscape Architecture
Urban Planning
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Campus & Institutional Planning
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New Construction:
Eastside Square Building C
1601 E. Main St. Kalamazoo, MI 49048

FINAL SPR SUBMITTAL 06/10/22

sheet name
1601 East Main St. Details

project number
21003

drawing date
QAQC SET
06.10.2022

sheet number

C4.1

LANDSCAPE NOTES:

1. SURVEY OF EXISTING CONDITIONS PROVIDED BY WIGHTMAN & ASSOCIATES, INC., 433 EAST RANSOM STREET, KALAMAZOO, MICHIGAN 49007 (269)327-3532
2. CALL "MISS DIG" AND VERIFY ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING WORK. 72 HOURS BEFORE YOU DIG CALL "MISS DIG" AT 1-800-482-7171. ANY UTILITIES DISTURBED BY CONSTRUCTION SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE.
3. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHOULD BE REPORTED TO THE CONSTRUCTION MANAGER IMMEDIATELY FOR RESOLUTION.
4. IN AREAS OF NEW TURF PLACE 4" MINIMUM TOPSOIL, FINE GRADE & ESTABLISH TURF WITHIN SEED LIMIT LINES.
5. PLACE SHREDDED HARDWOOD MULCH TO A 3" DEPTH IN ALL TREE & SHRUB BEDS & TO A 2" DEPTH IN ALL GROUND COVER BEDS.
6. UNLESS OTHERWISE NOTED, TOPSOIL, FINE GRADE AND SEED ALL DISTURBED AREAS WITHIN THE SEEDING LIMIT SHOWN AND AREAS DISTURBED BY CONSTRUCTION.
7. REPAIR AND RESTORE ANY DAMAGE OUTSIDE OF LIMIT OF WORK LINE TO ORIGINAL CONDITION.
8. PROTECT ALL TREES AND EXISTING FEATURES TO REMAIN AS SPECIFIED.
9. ALL TOPSOIL AND EXCESS FILL MATERIAL SHALL BE STOCKPILED ON SITE SEPARATELY FOR LATER RE-USE. LOCATE STOCKPILES IN AREAS AS DIRECTED BY CONSTRUCTION MANAGER AND PROTECT FROM EFFECTS OF EROSION.
10. ALL NURSERY STOCK SHALL BE TRUE TO TYPE AND NAME. ALL STOCK SHALL BE FIRST CLASS QUALITY WITH WELL DEVELOPED BRANCH SYSTEMS AND VIGOROUS HEALTHY ROOT SYSTEMS. ALL STOCK SHALL BE WELL FORMED AND THE TRUNKS OF TREES SHALL BE UNIFORM AND STRAIGHT.
11. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR IRRIGATION SCHEDULING FOR THE ENTIRE MAINTENANCE PERIOD UNLESS OTHERWISE NOTED.
12. CONTRACTOR RESPONSIBLE TO LOCATE SITE LIGHTING SERVICES. CONTRACTOR RESPONSIBLE TO NOTIFY CONSTRUCTION MANAGER IF DAMAGE TO LIGHTING ELECTRICAL DISTRIBUTION OCCURS.
13. ALL AREAS OF TREE CLEARING SHALL BE STAKED FOR ARCHITECTS APPROVAL PRIOR TO CLEARING.
14. UNLESS OTHERWISE SPECIFIED, ALL PERENNIALS, GRASSES AND GROUNDCOVERS SHALL BE GROWN IN THEIR CONTAINER FOR ONE YEAR PRIOR TO INSTALLATION.

PLANT LIST:

	SYM.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	COM.
DECIDUOUS TREES	Arf	Acer rubrum 'Franksred'	Red Sunset Red Maple	2" Cal.	B&B	
	Gb	Ginkgo biloba 'Autumn Glory'	Autumn Glory Ginkgo	3" Cal.	B&B	
	Zs	Zelkova serrata 'Green Vase'	Green Vase Zelkova	3" Cal.	B&B	
EVERGREEN TREE	Pcd	Picea glauca 'Densata'	Black Hills Spruce	8-10' Ht.	B&B	
SHRUBS	lvl	Itea v. 'Little Henry'	Little Henry Virginia Sweetspire	15" Ht.	Cont.	3' O.C.
	Pos	Physocarpus opulifolius 'Little Devil'	Little Devil Ninebark	18" Ht.	B&B	4' O.C.
	Pan	Picea abies 'Little Gem'	Little Gem Spruce	3 Gal.	Cont.	3' O.C.
	Pf	Potentilla fruticosa 'Goldfinger'	Goldfinger Cinquefoil	3 Gal.	Cont.	2' O.C.
	Rc	Rosa 'Carefree Wonder'	Carefree Wonder Shrub Rose	15" Ht.	B&B	3' O.C.
	Wfm	Weigela florida 'Minuet'	Minuet Weigela	18" Ht.	Cont.	3' O.C.

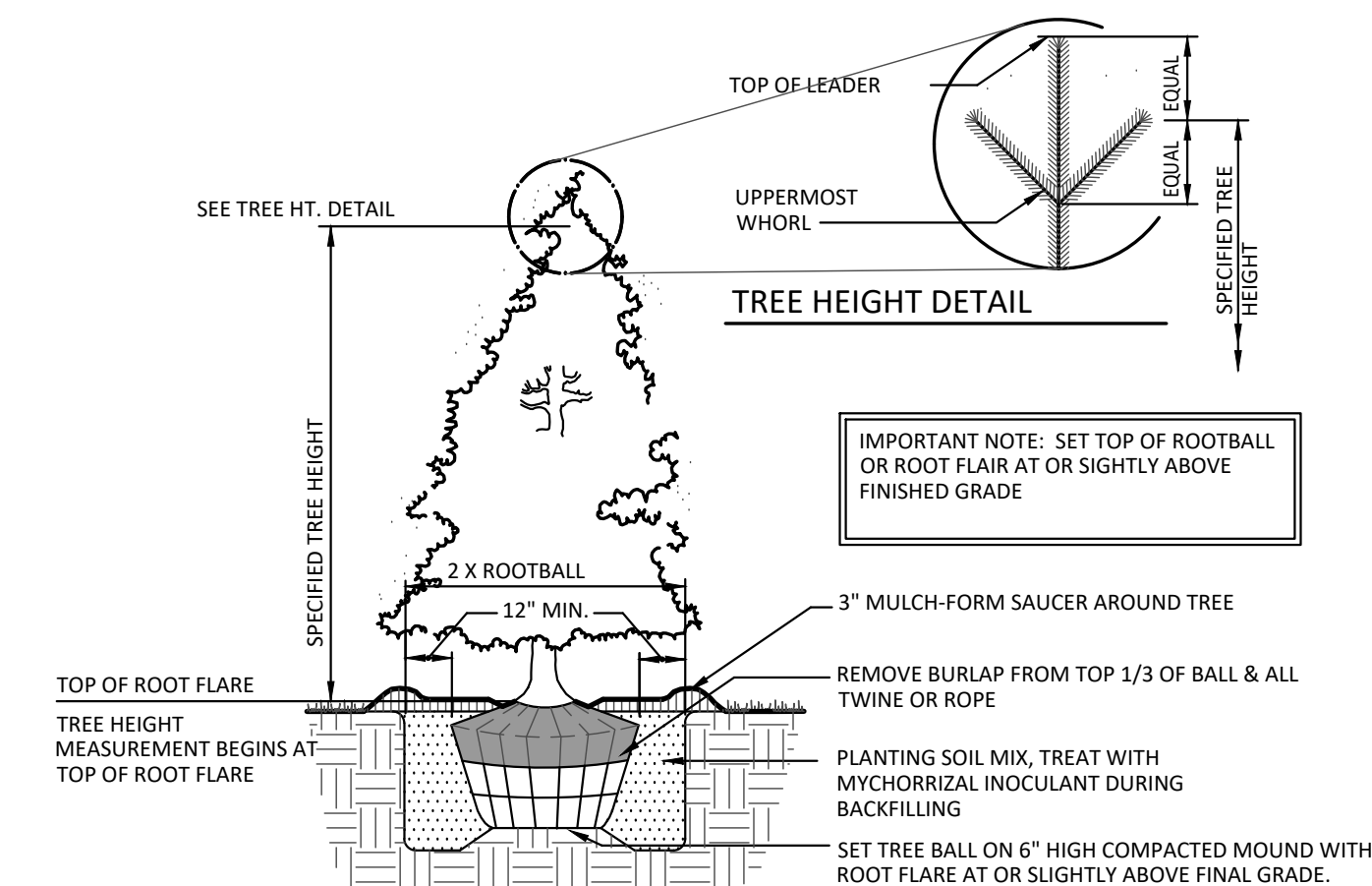
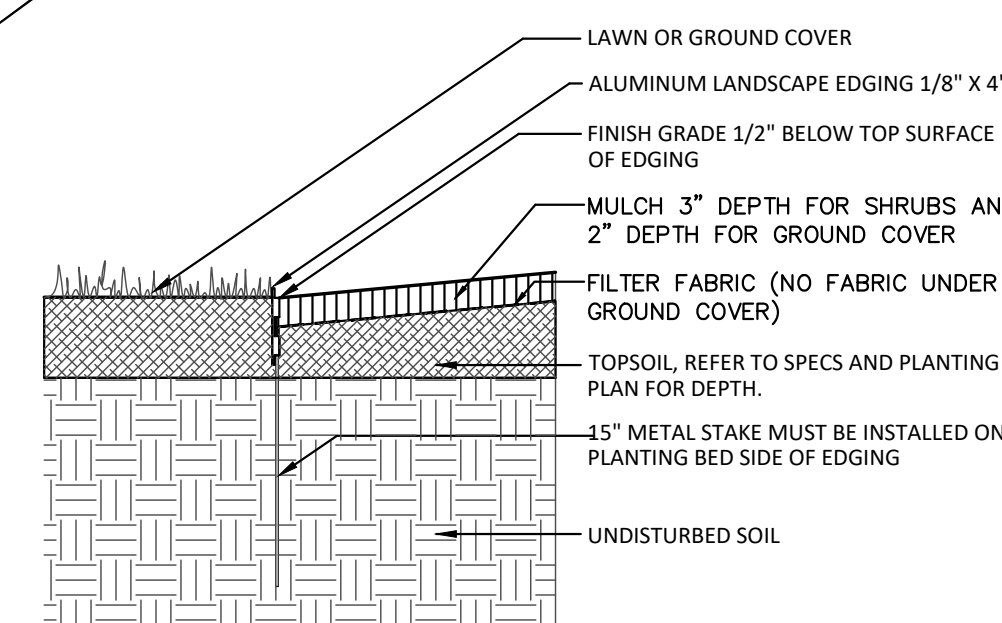
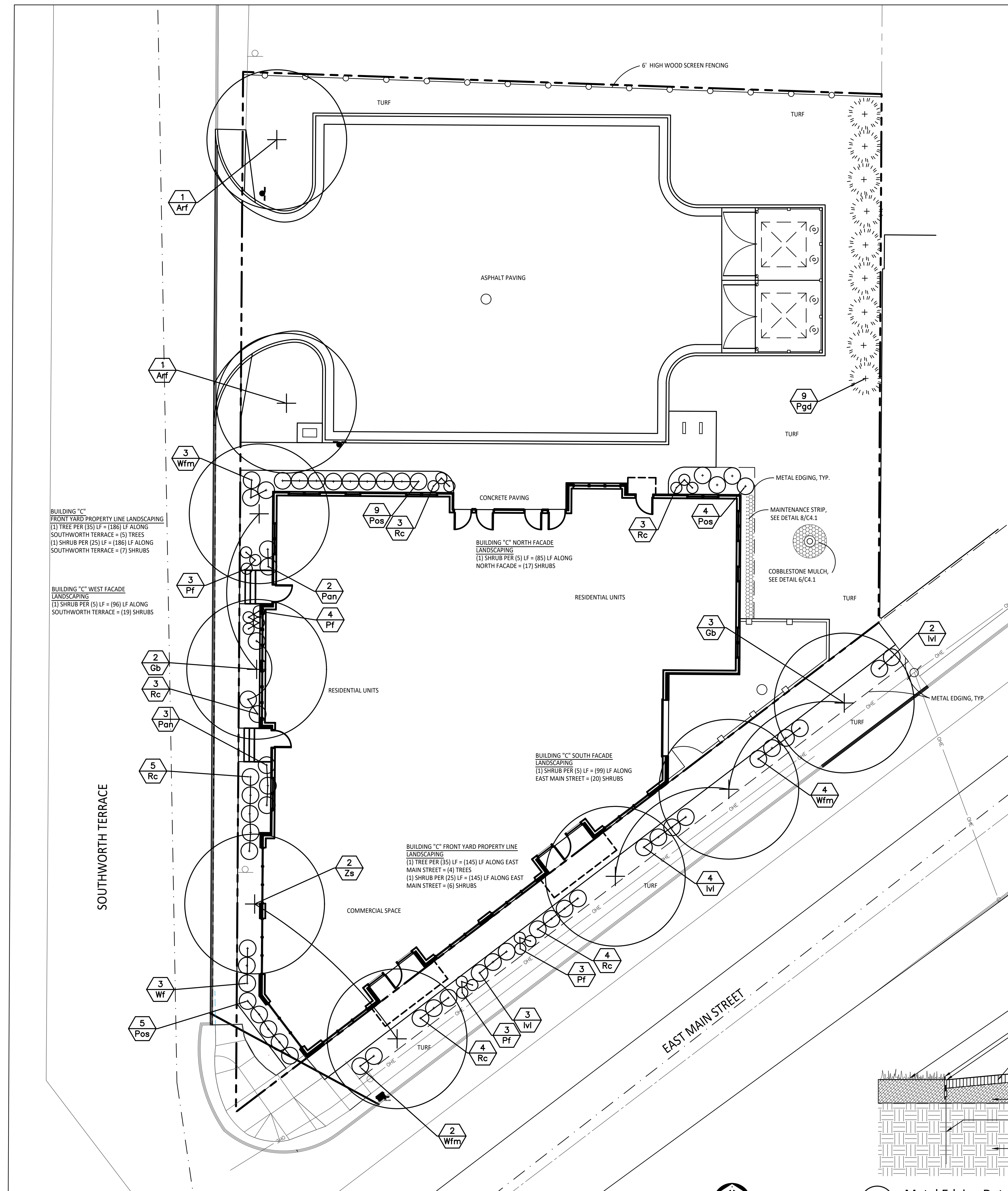
PROPOSED FEATURES LEGEND:

SYMBOL	DESCRIPTION	DETAIL
	PROPOSED DECIDUOUS TREE	14 / C4.0
	PROPOSED EVERGREEN TREE	3 / I1.0
	PROPOSED SHRUB	15 / C4.0
	MAINTENANCE STRIP	8 / C4.1
	PROPOSED BED LINE/ METAL EDGING	2 / I1.0
	LIMIT OF WORK	
	PROPERTY LINE	
	ENLARGEMENT LIMIT LINE	
	PLANT TAG- REFERS TO TYPE AND NUMBER OF PLANTINGS TO BE PROVIDED AND MAINTAINED BY CONTRACTOR.	

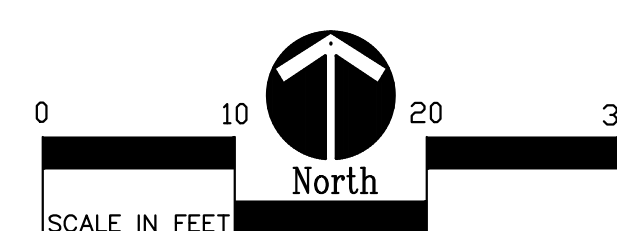


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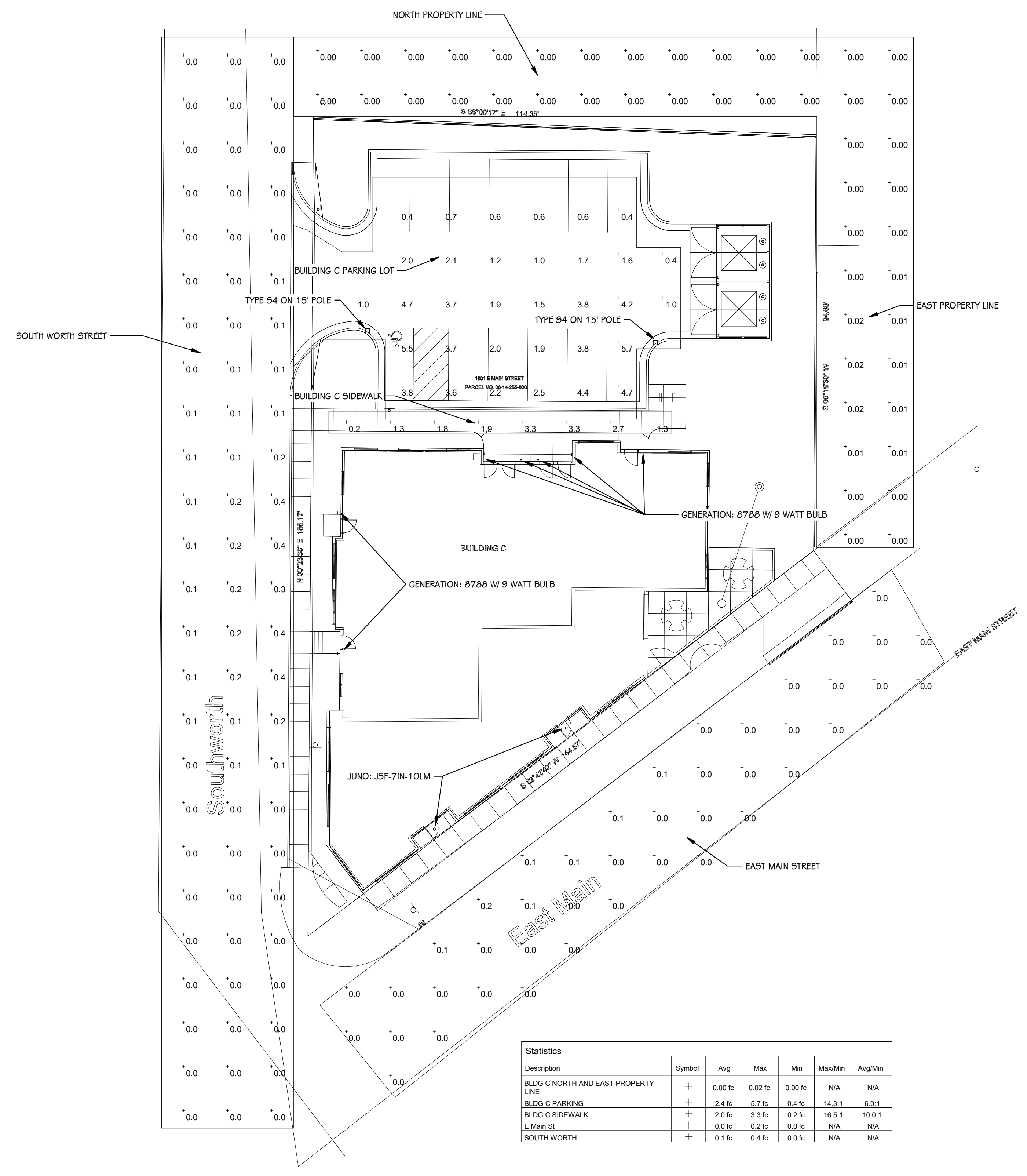
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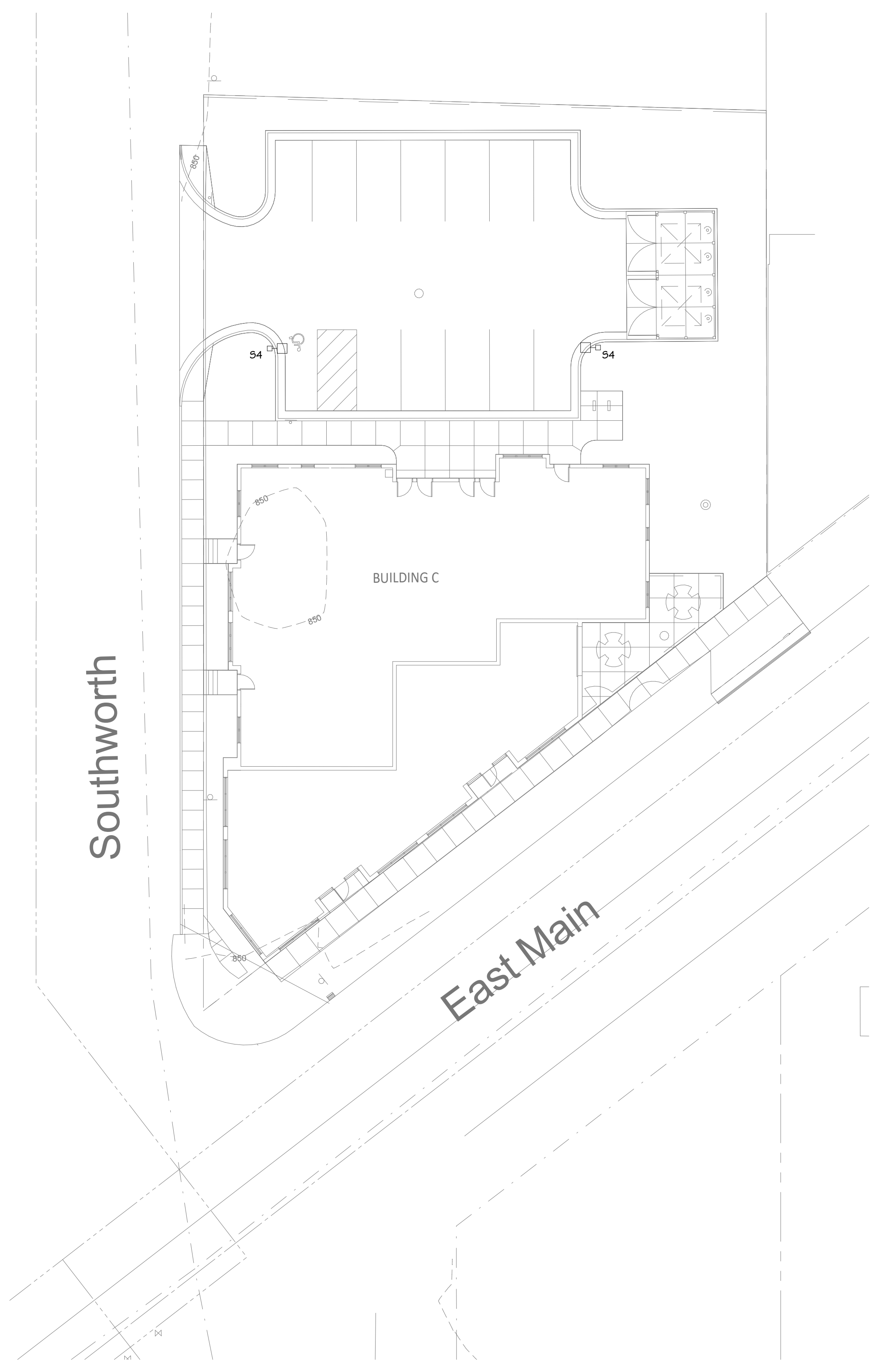
1 Overall Landscape Plan
Scale: 1" = 10'-0"



LIGHTING SYMBOLS		MOUNTING HEIGHTS	
⊙	WALL MTD. LIGHT FIXTURE		
○	DOWNLIGHT FIXTURE		
□-□	EXTERIOR POLE LIGHT		



SITE LIGHTING CALCULATIONS - BUILDING C
1/16" = 1'-0"



ELECTRICAL SITE PLAN - BUILDING C
1/16" = 1'-0"

SITE LIGHT FIXTURE SCHEDULE					
TYPE	DESCRIPTION	MOUNTING	WATTS	MANUFACTURER	NOTES
S4	LED AREA LIGHT	15' POLE	52 VA	LITHONIA: R5X1 LED P1 40K R49 H9	

sheet name
**ELECTRICAL SITE LIGHTING
AND CALCULATION PLAN**

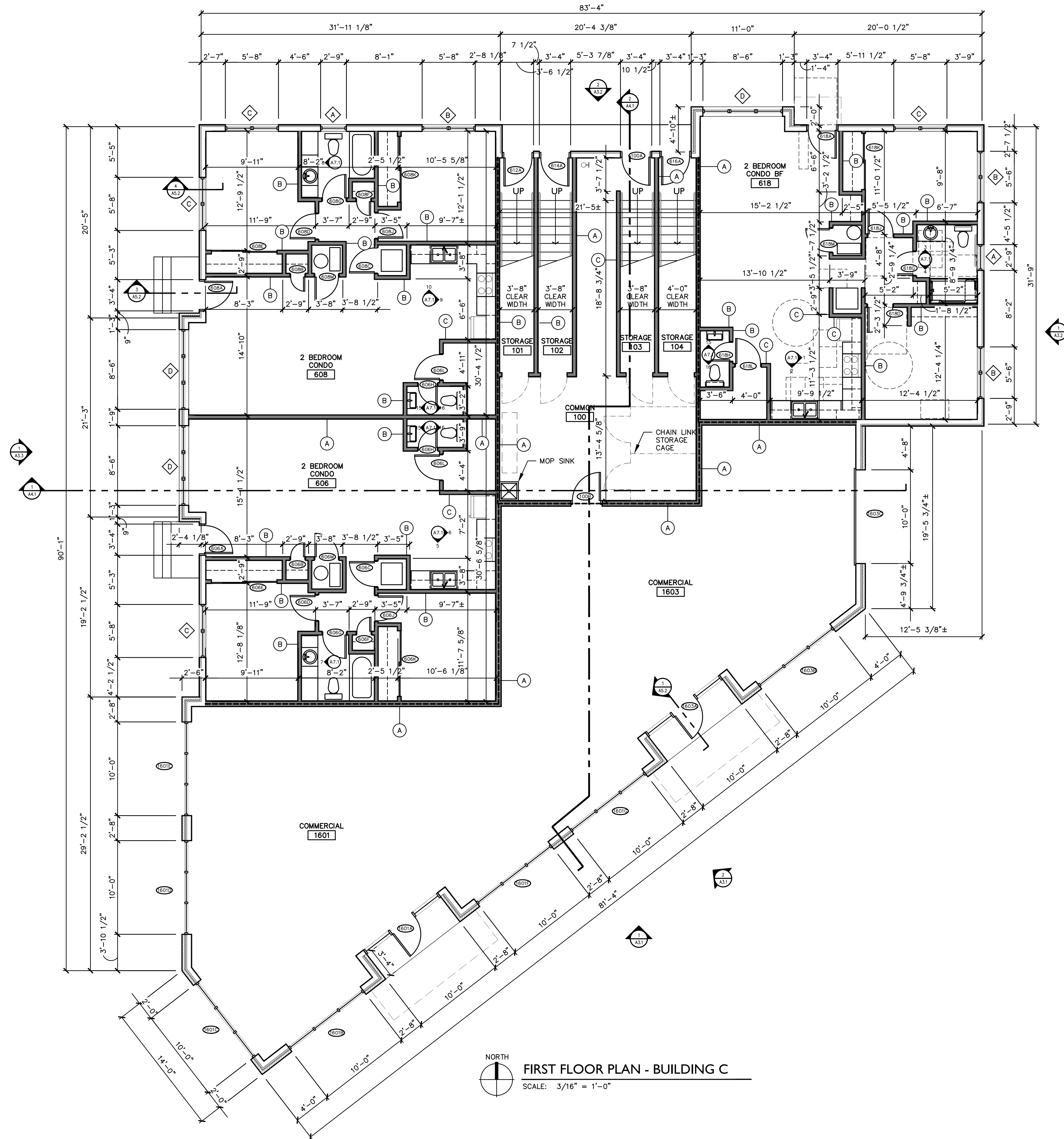
project number
21198

drawing date
Site Plan Review
June 3, 2022

sheet number
ES 1.1

WALL TYPE LEGEND

VIEW ON PLAN DETAIL	DESCRIPTION
	<p>1 HOUR FIRE WALL OR SOUND WALL BETWEEN UNITS</p> <ul style="list-style-type: none"> 5/8" GYPSUM BOARD 2x4 OR 2x6 WOOD STUDS WITH SOUND ATTENUATION BATTS RC-1 RESILIENT CHANNEL 5/8" GYPSUM WALL BOARD STC 50 MIN. USE UL 263 DESIGN NO. U311 WHERE FIRE RATED FOR 1 HOUR ASSEMBLY
	<p>TYPICAL INTERIOR WALL</p> <ul style="list-style-type: none"> 5/8" GYPSUM WALL BOARD 2x4 WOOD STUDS WITH SOUND ATTENUATION BATTS 5/8" GYPSUM WALL BOARD
	<p>INTERIOR WALL NO SOUND ATTENUATION</p> <ul style="list-style-type: none"> 5/8" GYPSUM WALL BOARD 2x4 WOOD STUDS 5/8" GYPSUM WALL BOARD
	<p>SHAFT WALL</p> <ul style="list-style-type: none"> 5/8" TYPE "X" GYPSUM BOARD 2 1/2" C-H STUDS @ 24" O.C. 1" GYPSUM BOARD LINER PANEL 1 HOUR ASSEMBLY UL U415



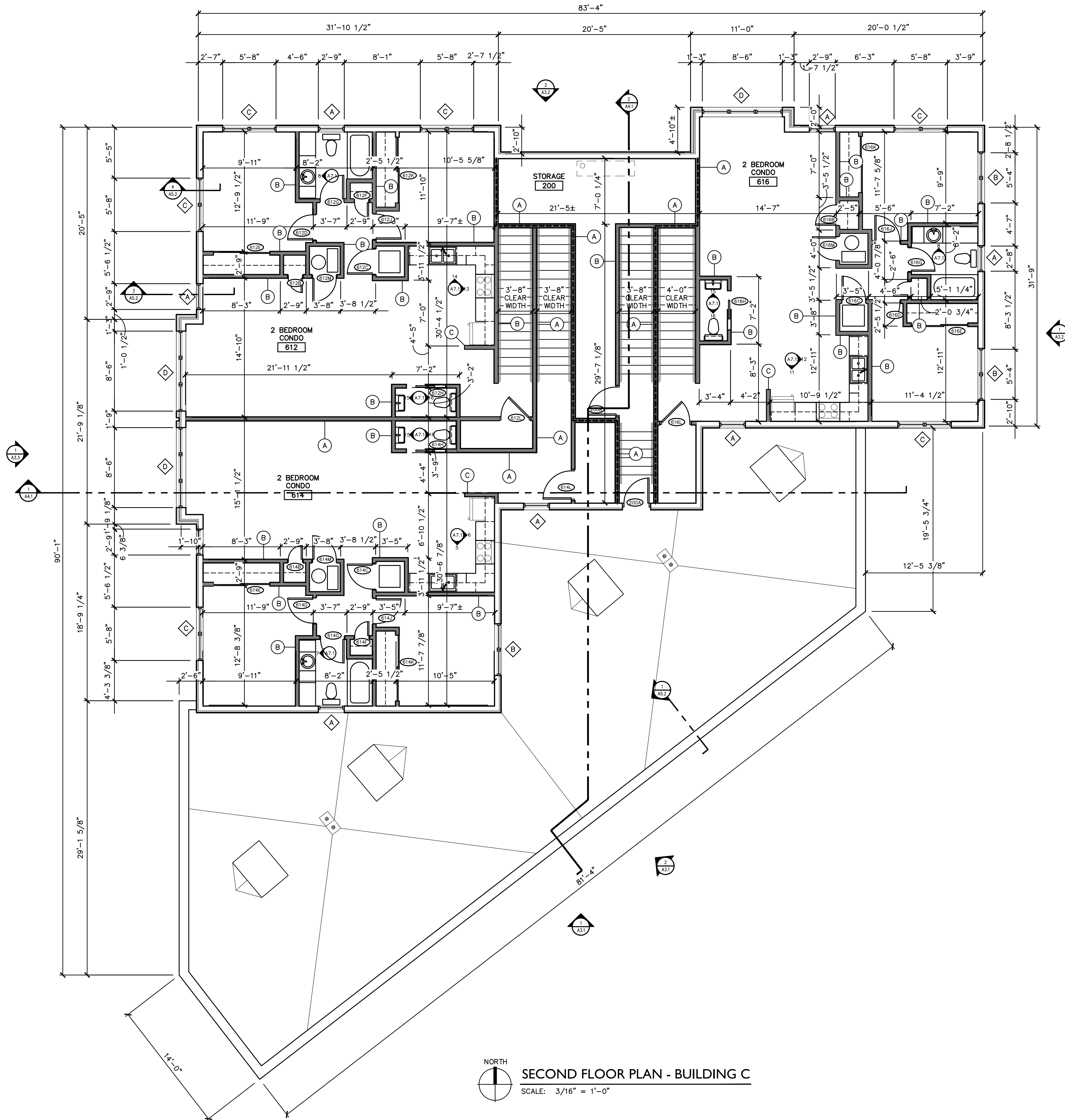
FIRST FLOOR PLAN - BUILDING C
SCALE: 3/16" = 1'-0"

New Construction:
**Eastside Square
Building C**
1601 E. Main St. Kalamazoo, MI 49048

sheet name	FIRST FLOOR PLAN - BUILDING C
project number	21003
drawing date	FINAL SPR SUBMITTAL 06.10.2022
sheet number	

WALL TYPE LEGEND

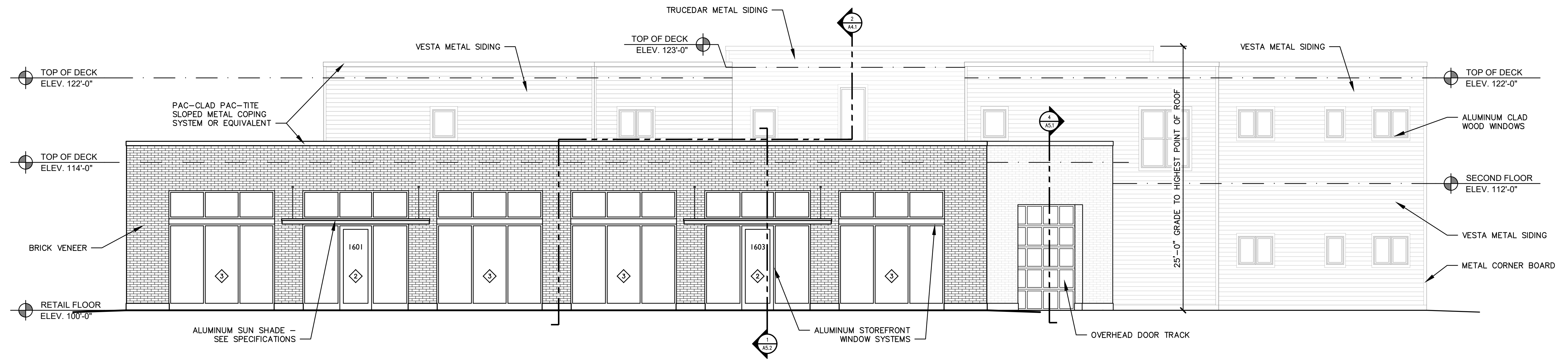
VIEW ON PLAN DETAIL	DESCRIPTION
	<p>1 HOUR FIRE WALL OR SOUND WALL BETWEEN UNITS</p> <ul style="list-style-type: none"> 5/8" GYPSUM BOARD 2x4 OR 2x6 WOOD STUDS WITH SOUND ATTENUATION BATTS RC-1 RESILIENT CHANNEL 5/8" GYPSUM WALL BOARD STC 50 MIN. USE UL 263 DESIGN NO. U311 WHERE FIRE RATED FOR 1 HOUR ASSEMBLY
	<p>TYPICAL INTERIOR WALL</p> <ul style="list-style-type: none"> 5/8" GYPSUM WALL BOARD 2x4 WOOD STUDS WITH SOUND ATTENUATION BATTS 5/8" GYPSUM WALL BOARD
	<p>INTERIOR WALL</p> <p>NO SOUND ATTENUATION</p> <ul style="list-style-type: none"> 5/8" GYPSUM WALL BOARD 2x4 WOOD STUDS 5/8" GYPSUM WALL BOARD
	<p>SHAFT WALL</p> <ul style="list-style-type: none"> 5/8" TYPE "X" GYPSUM BOARD 2 1/2" C-H STUDS @ 24" O.C. 1" GYPSUM BOARD LINER PANEL 1 HOUR ASSEMBLY UL U415



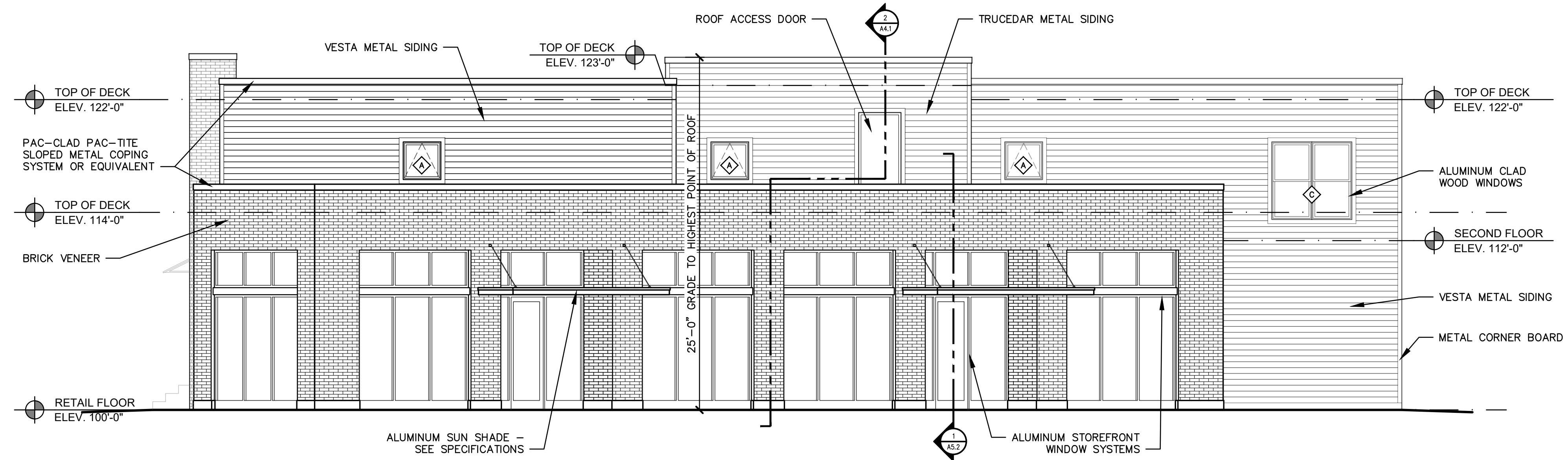
New Construction:
**Eastside Square
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1601 E. Main St. Kalamazoo, MI 49048

sheet name	SECOND FLOOR PLAN - BUILDING C
project number	21003
drawing date	FINAL SPR SUBMITTAL 06.10.2022
sheet number	

A1.2C



2
A3.1 SOUTHEAST ELEVATION
SCALE 3/16" = 1'-0"



1
A3.1 SOUTH ELEVATION
SCALE 3/16" = 1'-0"

New Construction:
**Eastside Square
Building C**
1601 E. Main St. Kalamazoo, MI 49048

sheet name

EXTERIOR ELEVATIONS

project number

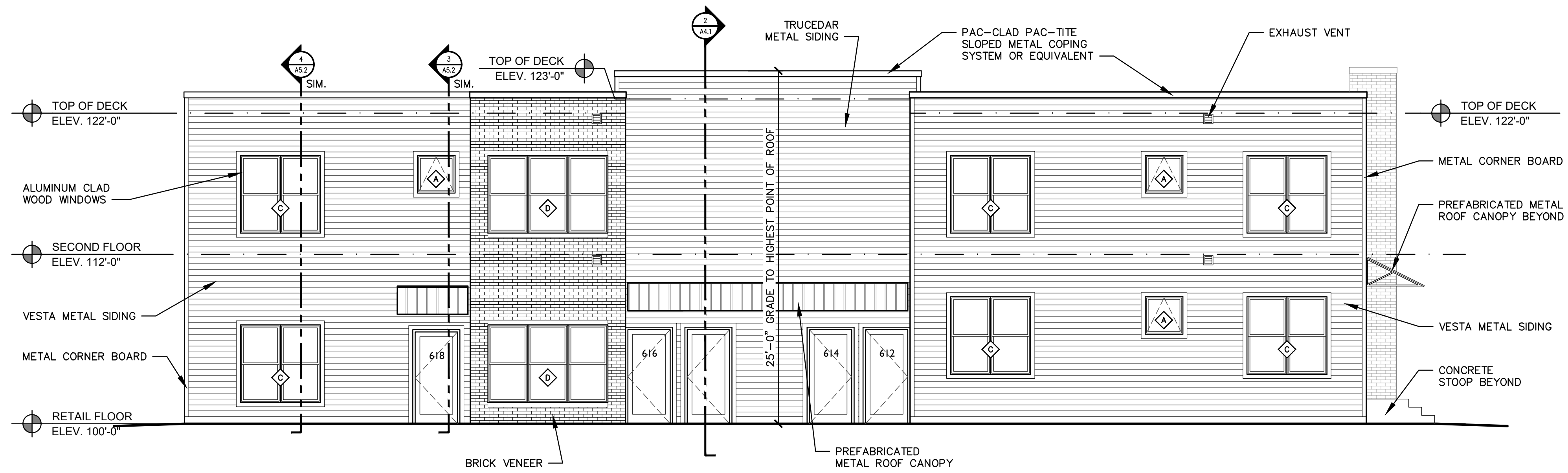
21003

drawing date

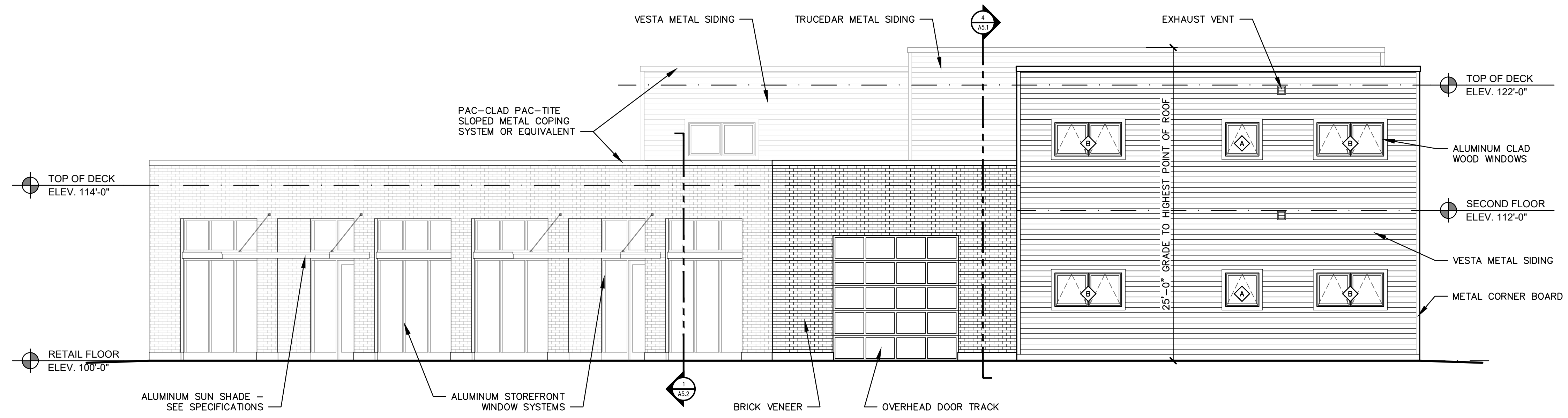
FINAL SPR SUBMITTAL
06.10.2022

sheet number

A3.IC



2 NORTH ELEVATION
A3.2 SCALE 3/16" = 1'-0"



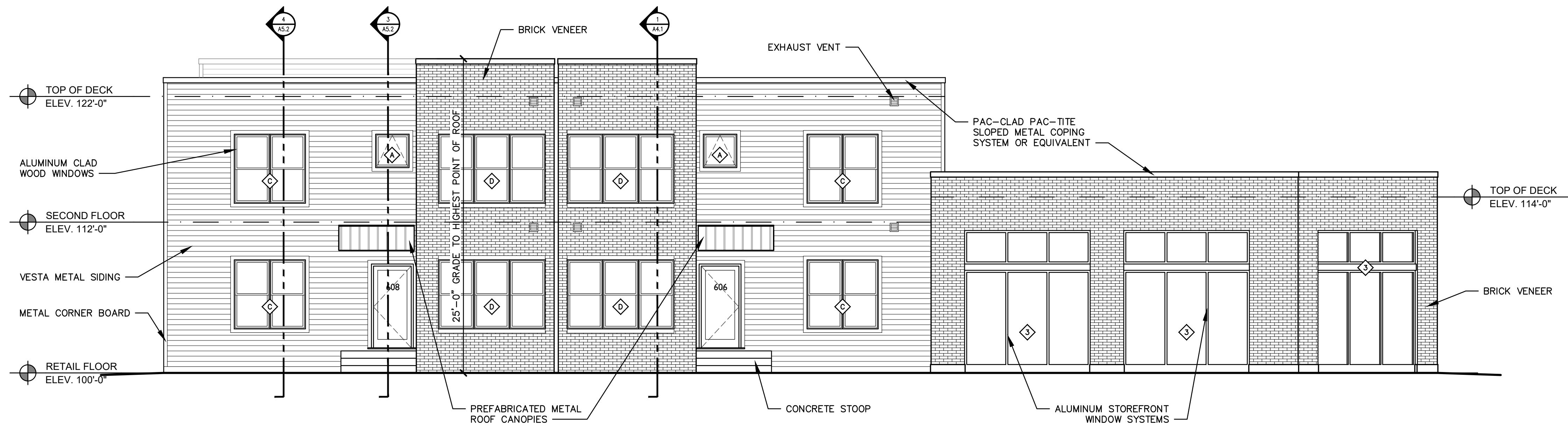
1 EAST ELEVATION
A3.2 SCALE 3/16" = 1'-0"

New Construction:
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sheet name
EXTERIOR ELEVATIONS
project number
21003
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FINAL SPR SUBMITTAL
06.10.2022
sheet number

A3.2C

New Construction:
**Eastside Square
Building C**
1601 E. Main St. Kalamazoo, MI 49048



1 WEST ELEVATION
A3.3 SCALE 3/16" = 1'-0"

sheet name	EXTERIOR ELEVATIONS
project number	21003
drawing date	FINAL SPR SUBMITTAL 06.10.2022
sheet number	

A3.3C

Eastside Square

Building C - Zoning Compliance Information

2022.06.10

Proposed Property addresses

1601 East Main	612 Southworth Terrace
1603 East Main	614 Southworth Terrace
606 Southworth Terrace	616 Southworth Terrace
608 Southworth Terrace	618 Southworth Terrace

Item	Required/Allowed	Proposed
Zoning		
Zoning	Live-Work 2 (LW2)	Live-Work 2 (LW2)
Lot Type		Flex
Street Frontage		
Multiple Principal Buildings permitted	Permitted	Not proposed
Front lot line coverage (min) along East Main	70%	81' Building + 28' Courtyard =
Occupation of Corner	Required	Yes - to vision setback
Front Built-to Zone	0-10'	0' @ East Main, 4'-7' @ Southworth
Corner Build-to Zone	0-10'	1' from vision clearance line
ROW encroachment	Permitted	Yes - sun screens @ East Main
Lot Area		
Side yard setback	0	23'
Rear yard setback - residential adjacent	10'	72'
Rear yard setback - commercial adjacent	0	NA
Height		
Height	1-3 stories	1 & 2 Stories
Ground floor height	12-24'	16'
Upper floor height	9-14'	10'
Uses		
Ground floor use	Per Table 4-1.1	Commercial General Services or Retail & Residential Multifamily
Lot Coverage		
Impervious surface (max)	75%	75%
Semi-impervious surface	15%	0%

Parking, loading and access

Parking location	Rear yard	Rear yard
Loading and service location	Rear or side	Rear yard
Driveway location	Alley	Rear - off Southworth

East Main Street Façade

Entrance Location	Faces Primary Street	East Main
Entrance Treatment		Storefront
Number of Entrances	1 / 60' min	2 entrances for 82' façade length - complies
Entrance Recess	8' max	3'
Transparency (min)	70% (2' to 8' above grade)	74%

Corner Façade

Entrance Location		NA
Entrance Treatment		Storefront
Transparency (min)	70% (2' to 8' above grade)	71%

Southworth Terrace Façade

Entrance locations		Southworth Terrace
Entrance Treatment		Stoop
Stoop Dimensions	3' deep x 6' wide	3' deep x 6' wide
Stoop Height	4'-6" max	24"
Number of Entrances	1 / 60' min	2 entrances for 90' façade length - complies
Transparency (min)	50% (2' to 8' above grade)	52%

Roof Type

Tower	Permitted	No
Spire	Not Permitted	No