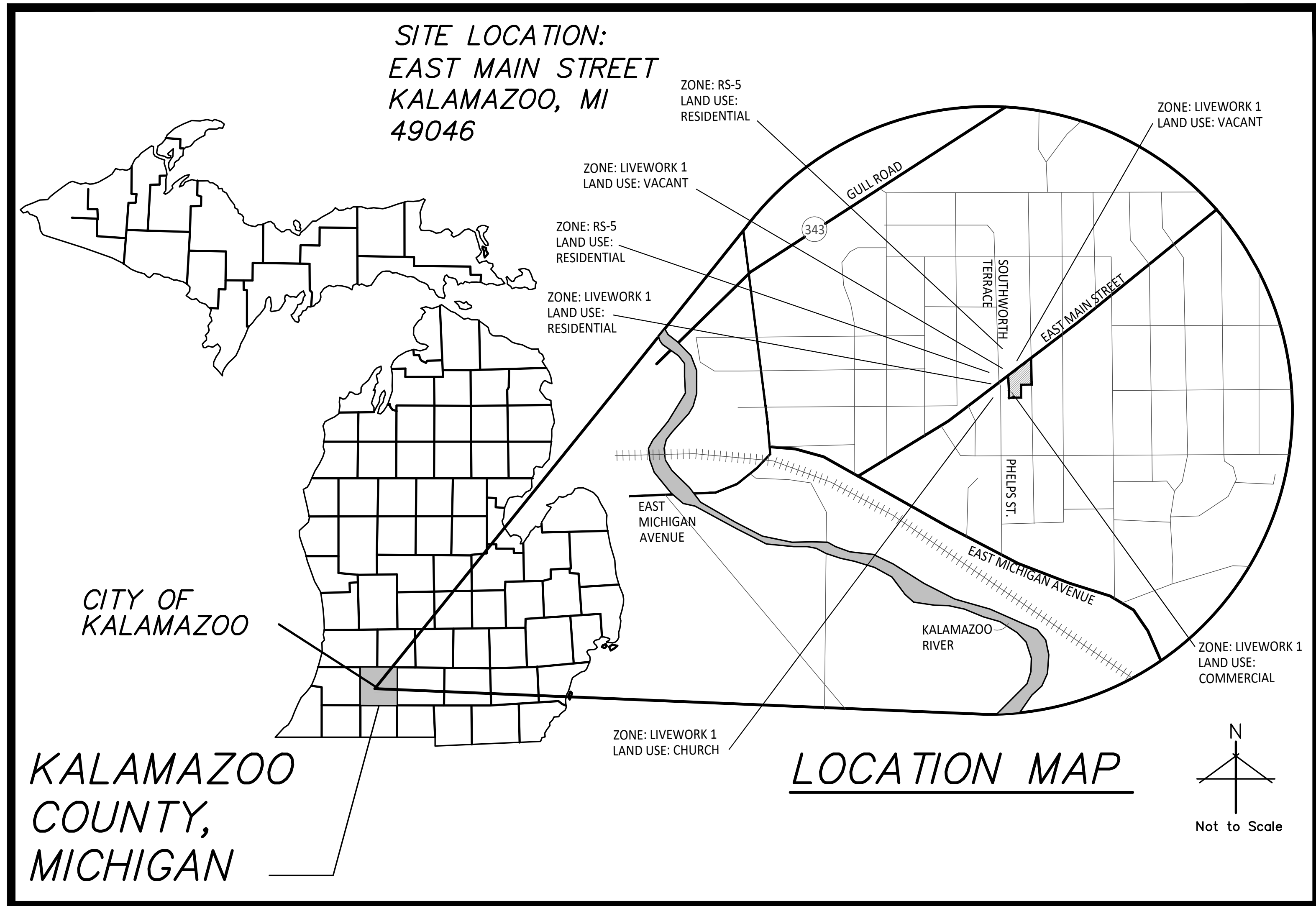


KALAMAZOO COUNTY LAND BANK AUTHORITY EAST MAIN COMMERCIAL CORRIDOR BUILDING A and B

KALAMAZOO, MICHIGAN

LOCATION MAP



NOTES:
1) Except where other wise indicated on the plans or in the proposal and supplemental specifications or special provisions contained herein, all materials and workmanship shall be in accordance with Michigan Department of Transportation Standard Specifications for Construction, 1996 Edition.
2) Call Miss Dig, 1-800-482-7171 three working days, excluding Saturday, Sunday and holidays, before starting your project.

PROPERTY INFORMATION

- 1. 1616 East Main Street, Kalamazoo, Michigan 49046**
Property Identification Number: 06-14-261-003
Legal Description: 17204 JOHN DEN BLEYKERS SUBDIVISION, Liber 5 of Plats Page 12; Lot 3
- 2. 637 Edwin Avenue, Kalamazoo, Michigan 49046**
Property Identification Number: 06-14-261-004
Legal Description: 17208 JOHN DEN BLEYKERS SUBDIVISION, Liber 5 of Plats Page 12; The North 65ft of the South 109ft of Lot 4.
- 3. 629 Edwin Avenue, Kalamazoo, Michigan 49046**
Property Identification Number: 06-14-261-006
Legal Description: 17213 JOHN DEN BLEYKERS SUBDIVISION, Liber 5 of Plats Page 12; Lot 5, excluding the East 79ft of the South 55ft & excluding the North 11ft of East 66ft.

SHEET INDEX

NO.	
C0.0	COVER SHEET
C0.1	TOPOGRAPHIC SURVEY
C1.0	DEMOLITION PLAN
C2.0	OVERALL LAYOUT PLAN
C2.1	LAYOUT ENLARGEMENT PLANS
C3.0	GRADING AND SESC PLAN
C3.1	GRADING AND SESC PLAN
C4.0	DETAILS
C4.1	DETAILS
L1.0	LANDSCAPE PLANS
L1.1	LANDSCAPE PLANS
C101	OVERALL WATER AND SEWER PLAN
C102	WATER MAIN PLAN AND PROFILES
C103	SEWER LATERAL PLAN AND PROFILE
ES1.0	ELECTRICAL SITE LIGHTING PLAN
P0.0A	FOUNDATION PLUMBING PLAN - BUILDING A
P0.0B	FOUNDATION PLUMBING PLAN - BUILDING B
P1.1	FIRST FLOOR PLUMBING PLAN - BUILDING B
A1.1A	FIRST FLOOR PLAN - BUILDING A
A1.2A	SECOND FLOOR PLAN - BUILDING A
A3.1A	EXTERIOR ELEVATIONS - BUILDING A
A1.1B	FIRST FLOOR PLAN - BUILDING B
A1.2B	SECOND FLOOR PLAN - BUILDING B
A1.3B	THIRD FLOOR PLAN - BUILDING B
A1.4B	ENLARGED STAIR PLANS - BUILDING B
A3.1B	EXTERIOR ELEVATIONS - BUILDING B
A3.2B	EXTERIOR ELEVATIONS - BUILDING B

SITE PLAN REVIEW NOTES

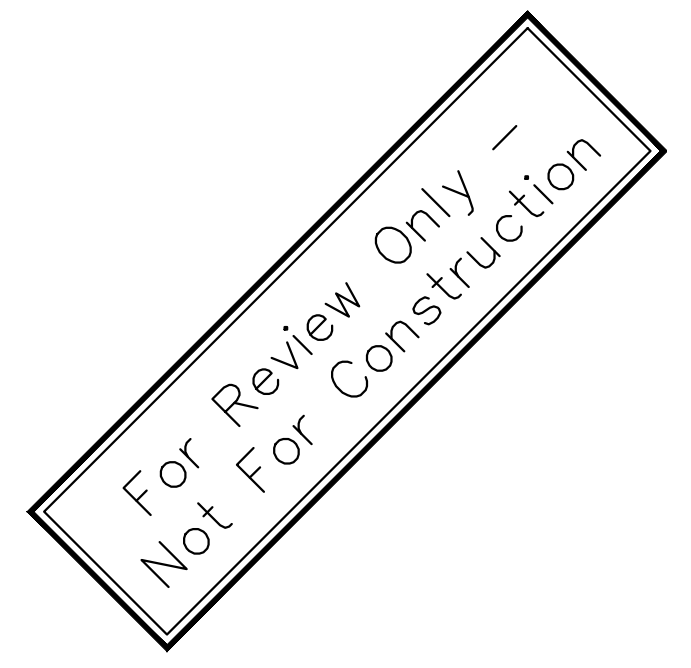
- Proposed Use : Mixed Use - Commercial and Residential
- Property Owner: Kalamazoo County Land Bank Authority, 1523 Riverview Drive, Kalamazoo, Michigan 49004
- Project Zoning: LW-1, Live Work 1
- Front Yard Setback: 0'-0" Rear Yard Setback: 10'-0" Side Yard Setback: 0'-0"
- Existing Off Street Parking Spaces: 0 spaces
- Parking Spaces Required: Twenty (20) parking spaces
- Proposed Off-Street Parking Spaces : Sixteen (16) parking spaces on-site, four (4) on-street parking spaces
- Gross Overall Site Area: 19,539 sf (0.45 acres)
- Gross Area of Earth Change: 19,539 sf (0.45 acres)
- Gross Area of Building A & B: (5,726) sf (0.13 acres)
- Gross Usable Floor Area by Type:
 - Building A, 1st floor: (2,129) sf, (0.049 acres), Residential, Type V-B
 - Building A, 2nd floor: (2,122) sf, (0.049 acres), Residential, Type V-B
 - Building B, 1st floor: (2,427) sf (0.056 acres), Commercial/Retail/Office, Type V-B
 - Building B, 1st floor: (1,084) sf (0.025 acres), Storage/Utility, Type V-B
 - Building B, 2nd floor: (3,638) sf (0.083 acres), Residential, Type V-B
 - Building B, 3rd floor: (3,613) sf (0.083 acres), Residential, Type V-B
- Existing Impervious Area: 12,288 sf (0.28 acres)
- Proposed Impervious Area : 15,808 sf (0.36 acres)
- Existing Area of Open Space : 7,251 sf (0.17 acres)
- Proposed Area of Open Space: 3,731 sf (0.09 acres)
- Parcel is not located within a National or Local Historic Register District.
- Number of Residential Units by Type: Twelve (12) units R-2 Type Units
- This project site is located in the Eastside Neighborhood
- This project is located within 10-Year Time of Capture Wellhead Protection Zoning.
- This project is identified as "Neighborhood Edge" and "Neighborhood Node" on the 2025 Future Land Use Plan.
- This project is not located within a Natural Features Protection Overlay District.
- Area of Regulated Wetlands: 0 sf, (0.00 acres)
- Estimated Number of Vehicle Trips per Day: Per the ITE Trip Generation (10th Edition) formula for Land Use Code: 220 (Multi-Family Housing Low-Rise): 12 Dwelling Units x 0.56 multiplier for weekday totals = 6.72 vehicle trips per day. Estimated Number of Vehicle Trips per Day: Per the ITE Trip Generation (10th Edition) formula for Land Use Code: 936 (Coffee Shops without a Drive Through Window): 1,000 SF GFA x 36.31 multiplier for weekday totals: 2.51 x 36.31 = 91.21 vehicle trips per day.
- Number of Bike Racks Required and Provided: Six (6) Bicycle Spaces are required and three (3) Bicycle Racks will be provided.

OWNER/CLIENT:
KALAMAZOO COUNTY LAND BANK AUTHORITY
1523 RIVERVIEW DRIVE
KALAMAZOO, MICHIGAN 49004
269-216-9667 TELE

ARCHITECT:
INFORM ARCHITECTURE
401 EAST MICHIGAN AVENUE, SUITE 100
KALAMAZOO, MICHIGAN 49007
269-270-3331 TELE

LANDSCAPE ARCHITECT:
O'BOYLE COWELL BLALOCK & ASSOCIATES, INC.
350 EAST MICHIGAN AVENUE, SUITE #415
KALAMAZOO, MICHIGAN 49007
269-381-3357 TELE
269-381-2944 FAX

Site Plan Review
City of Kalamazoo
08-12-2022



HARD COPY IS INTENDED TO BE 24"x36" WHEN PLOTTED. SCALE(S) INDICATED AND GRAPHIC QUALITY MAY NOT BE ACCURATE FOR ANY OTHER SIZES.

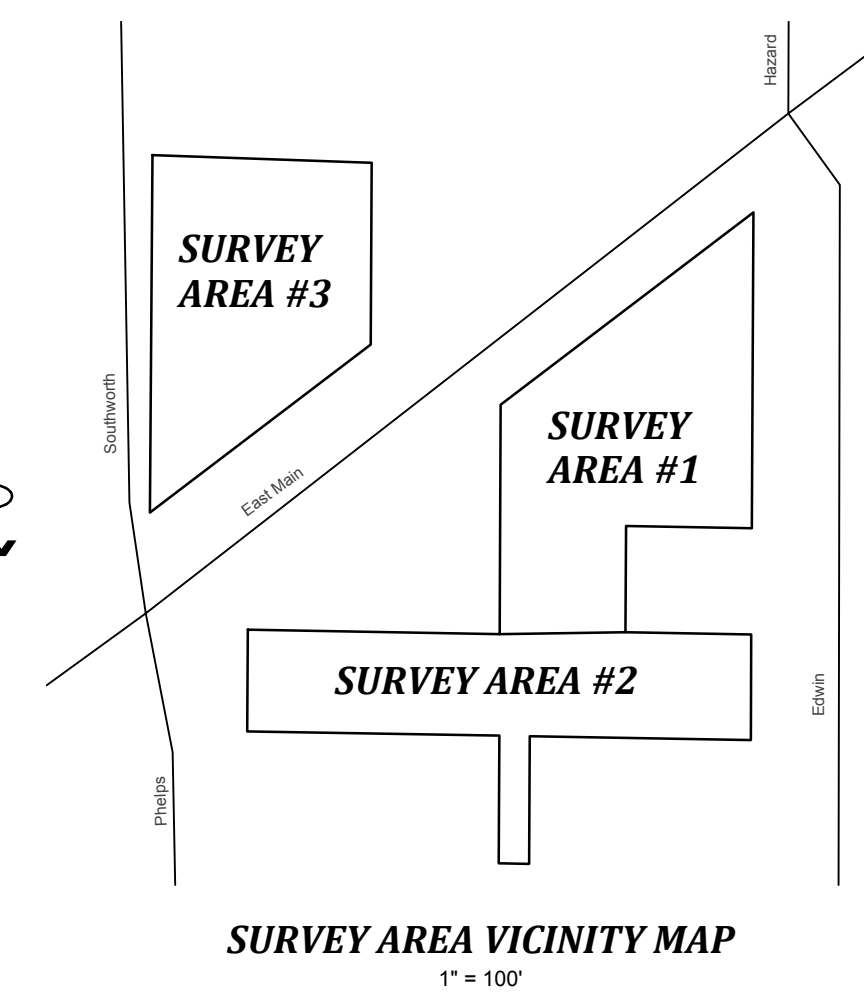
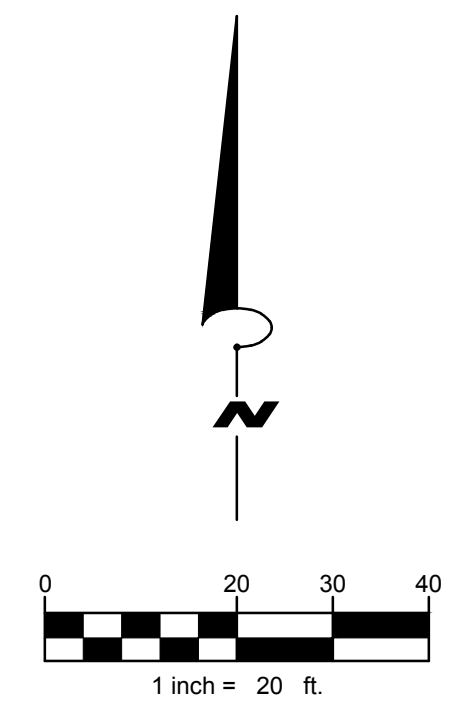
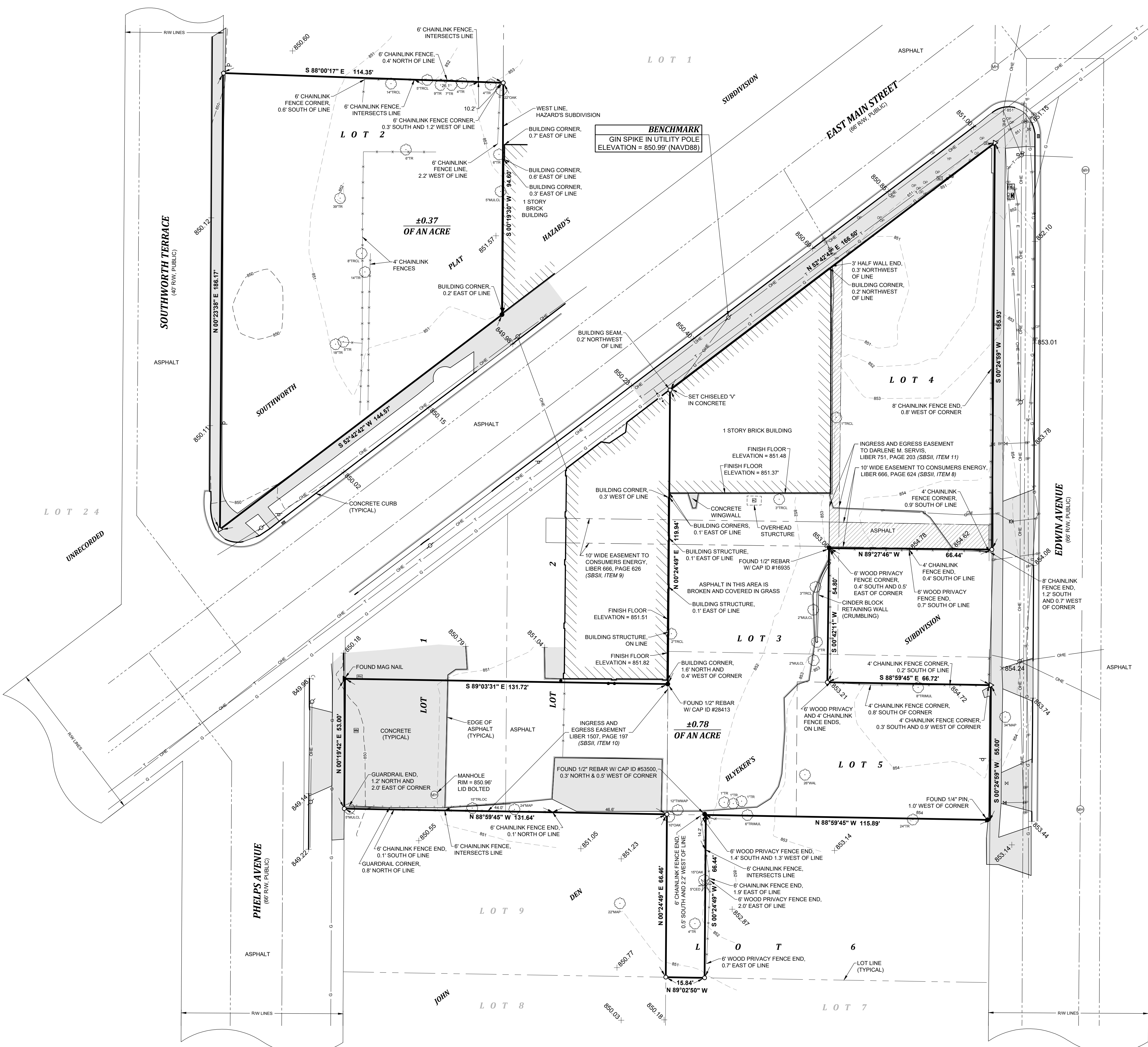
Issued For:	Date
PRE-SPR	09-03-21
PRE-SPR SUBMITTAL	04/29/22
SPR SUBMITTAL	08/05/22

Project:
East Main Commercial Corridor

Kalamazoo, Michigan
Sheet Title
1616 E Main St. Cover Sheet

BOUNDARY AND TOPOGRAPHIC SURVEY

IN THE NORTHEAST QUARTER OF SECTION 14, TOWNSHIP 2 SOUTH, RANGE 11 WEST, CITY OF KALAMAZOO, KALAMAZOO COUNTY, MICHIGAN



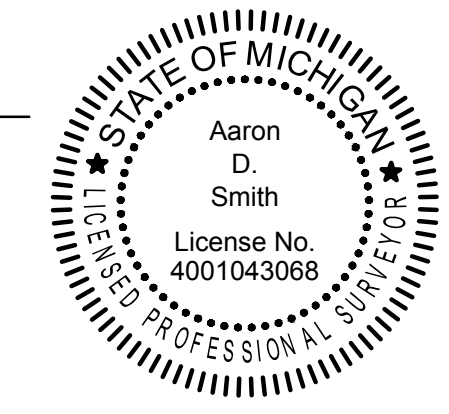
LEGAL DESCRIPTION PER EXHIBIT "A", COMMITMENT FOR TITLE INSURANCE PREPARED BY CHICAGO TITLE OF MICHIGAN, INC., COMMITMENT NO. 391131102NBU, COMMITMENT DATE SEPTEMBER 25, 2020:

THE SOUTH 53 FEET OF LOTS 1 AND 2, LOT 3, LOT 4 EXCEPT THE SOUTH 44 FEET THEREOF; LOT 5 EXCEPT THE NORTH 11 FEET OF THE EAST 66 FEET OF LOT 5, AND THE WEST 15.84 FEET OF LOTS 6 AND 7, OF JOHN DEN BLEYKER'S SUB., ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 5 OF PLATS, PAGE 12, KALAMAZOO COUNTY RECORDS.

ALSO, PART OF THE NORTHEAST QUARTER OF SECTION 14, TOWN 2 SOUTH, RANGE 11 WEST, BEING MORE PARTICULARLY DESCRIBED AS: COMMENCING ON THE WEST LINE OF HAZARD'S SUBDIVISION OF SECTION 14, ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 5 OF PLATS, PAGE 21, KALAMAZOO COUNTY RECORDS, AT ITS INTERSECTION WITH THE NORTH LINE OF EAST MAIN STREET; THENCE NORTH 94.6 FEET ALONG SAID WEST LINE; THENCE WEST 114 FEET TO THE EAST LINE OF SOUTHWORTH TERRACE; THENCE SOUTH 196 FEET ALONG THE EAST LINE OF SOUTHWORTH TERRACE TO THE NORTH LINE OF EAST MAIN STREET; THENCE NORTHEASTERLY 143.6 FEET ALONG THE NORTH LINE OF EAST MAIN STREET TO THE WEST LINE OF SAID HAZARD'S SUBDIVISION OF SECTION 14 TO THE POINT OF BEGINNING.

SUBJECT TO ANY AND ALL EASEMENTS AND RESTRICTIONS OF RECORD, OR OTHERWISE.
 SUBJECT TO ANY FACTS THAT MAY BE DISCLOSED IN A FULL AND ACCURATE TITLE SEARCH.
 BEARINGS ARE RELATED TO THE MICHIGAN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE.
 THE RELATIVE POSITIONAL PRECISION OF EACH CORNER IS WITHIN THE LIMITS ACCEPTED BY THE PRACTICE OF PROFESSIONAL SURVEYING IN MICHIGAN.

Aaron D. Smith
 AARON D. SMITH PS - 4001043068
 asmith@gowightman.com



12/08/2020
 DATE

- LEGEND**
- = SET 1/2" REBAR W/ CAP ID #43068
 - ◻ = SET MAG NAIL
 - (with center dot) = SET CHISELED MARKING
 - (with center dot) = FOUND IRON (AS NOTED)
 - ◻ (with center dot) = FOUND MAG NAIL
 - (with center dot) = UTILITY POLE
 - (with center dot) = GUY WIRE
 - ⊞ = ELECTRIC METER
 - ⊞ (with center dot) = AIR CONDITIONER
 - ⊞ (with center dot) = RED PAINT
 - ⊞ (with center dot) = TELEPHONE MARKER POST
 - ⊞ (with center dot) = TELEPHONE PEDESTAL
 - ⊞ (with center dot) = COMMUNICATION CLOSET
 - ⊞ (with center dot) = COMMUNICATION CABINET
 - ⊞ (with center dot) = COMMUNICATION VAULT
 - ⊞ (with center dot) = ORANGE PAINT
 - ⊞ (with center dot) = GAS VALVE
 - ⊞ (with center dot) = GAS MARKER POST
 - ⊞ (with center dot) = YELLOW PAINT
 - ⊞ (with center dot) = WATER VALVE
 - ⊞ (with center dot) = WATER METER
 - ⊞ (with center dot) = BLUE PAINT
 - ⊞ (with center dot) = GREEN PAINT
 - ⊞ (with center dot) = MANHOLE
 - ⊞ (with center dot) = CURB INLET
 - ⊞ (with center dot) = PAY PHONE (DISCONNECTED)
 - ⊞ (with center dot) = SIGN
 - ⊞ (with center dot) = POST
 - ⊞ (with center dot) = SPOT ELEVATION
 - ⊞ (with center dot) = CONIFEROUS TREE
 - ⊞ (with center dot) = CEDAR
 - ⊞ (with center dot) = DECIDUOUS TREE
 - ⊞ (with center dot) = MAPLE
 - ⊞ (with center dot) = MULBERRY CLUSTER
 - ⊞ (with center dot) = OAK
 - ⊞ (with center dot) = TRIPLE LOCUST
 - ⊞ (with center dot) = TRIPLE MULBERRY
 - ⊞ (with center dot) = TREE
 - ⊞ (with center dot) = TREE CLUSTER
 - ⊞ (with center dot) = TWIN MAPLE
 - ⊞ (with center dot) = WALNUT

- NAVD88 = NORTH AMERICAN VERTICAL DATUM OF 1988
- OHE = OVERHEAD UTILITY LINES
- E = APPROXIMATE BURIED ELECTRIC LOCATION
- = APPROXIMATE SANITARY SEWER LOCATION
- = APPROXIMATE WATER LOCATION
- G = APPROXIMATE BURIED GAS LOCATION
- T = APPROXIMATE BURIED TELEPHONE LOCATION

NOTES:

BLANKET EASEMENT FOR INGRESS AND EGRESS OVER THE SOUTH 53 FEET OF LOTS 1 AND 2, JOHN DEN BLEYKER SUBDIVISION, LIBER 5, PAGE 12, KALAMAZOO COUNTY RECORDS.

THE UNDERGROUND UTILITIES SHOWN, HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

WIGHTMAN

BENTON HARBOR
269.927.0100

KALAMAZOO
269.327.3532

ALLEGAN
269.673.8465

ROYAL OAK
248.791.1371

www.gowightman.com

AARON D. SMITH
PS - 4001043068

PROJECT ADDRESS:
EAST MAIN POCKET PARK
 KALAMAZOO, MI 49048

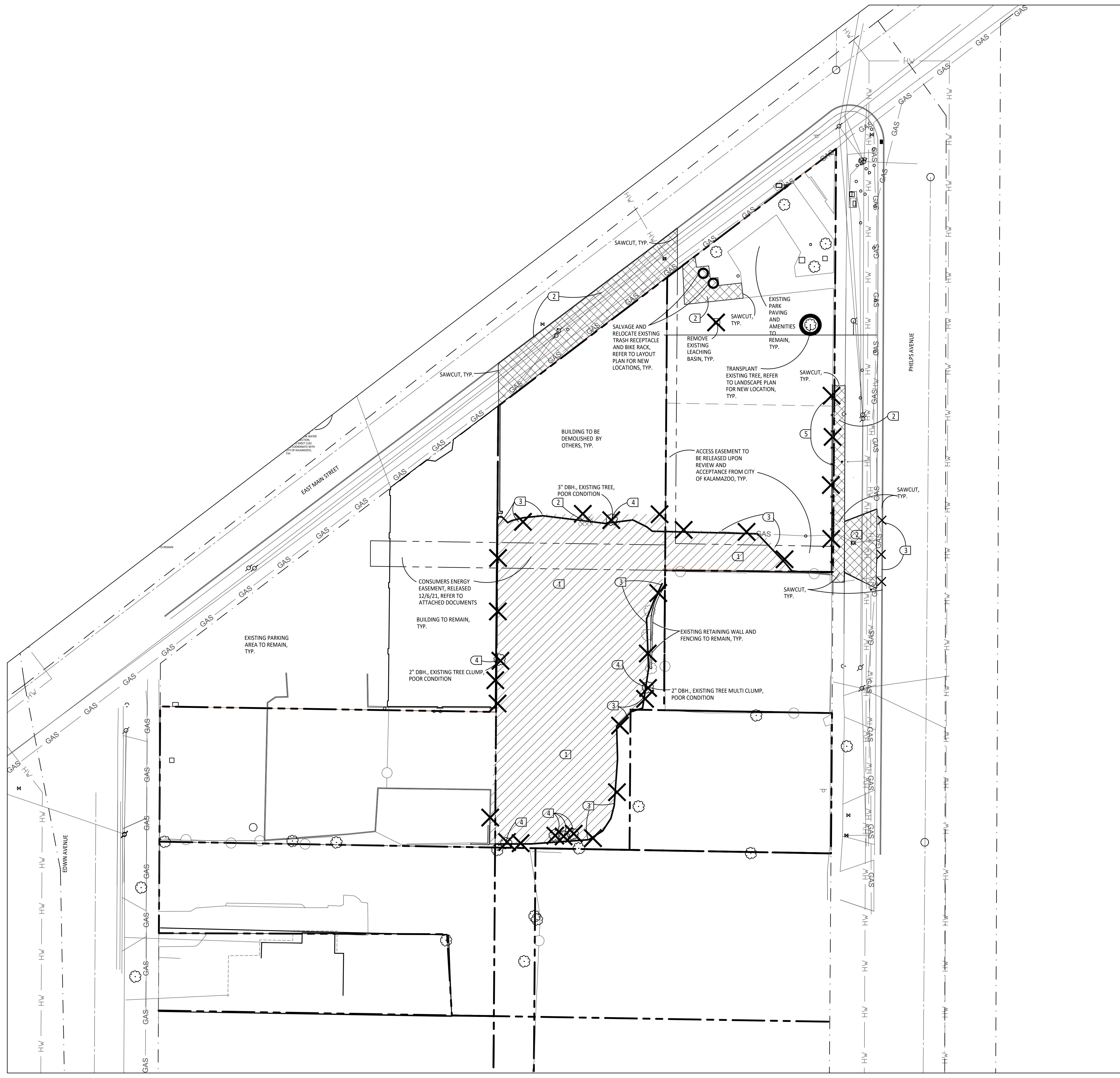
KALAMAZOO COUNTY LAND BANK AUTHORITY
 1523 RIVERVIEW DRIVE, SUITE A
 KALAMAZOO, MI 49004

REVISIONS

DATE: DECEMBER 8, 2020
 SCALE: AS NOTED
 DRAWN BY: ACE
 CHECKED BY: GDH

BOUNDARY AND TOPOGRAPHIC SURVEY

JOB No. 204340
 CO.1



DEMOLITION NOTES:

1. SURVEY OF EXISTING CONDITIONS PROVIDED BY WIGHTMAN & ASSOCIATES, INC., 433 EAST RANSOM STREET, KALAMAZOO, MICHIGAN 49007, (269)327-3532
2. VERIFY LOCATIONS OF ALL BELOW GRADE UTILITIES PRIOR TO BEGINNING WORK. 72 HOURS BEFORE YOU DIG CALL "MISS DIG" AT 1-800-482-7171.
3. PROTECT ALL TREES & EXISTING FEATURES TO REMAIN AS SPECIFIED.
4. REFER TO LAYOUT PLAN FOR LIMITS OF WORK.
5. DISCREPANCIES BETWEEN SITE AND PLANS SHOULD BE REPORTED TO THE PROJECT MANAGER IMMEDIATELY.
6. ALL AREAS OF TREE CLEARING SHALL BE STAKED FOR ARCHITECT'S APPROVAL PRIOR TO CLEARING.
7. ALL TOPSOIL AND EXCESS FILL MATERIAL SHALL BE STOCKPILED ON SITE SEPARATELY FOR LATER RE-USE. LOCATE STOCKPILES IN AREAS AS DIRECTED BY CONSTRUCTION MANAGER AND PROTECT FROM EFFECTS OF EROSION.

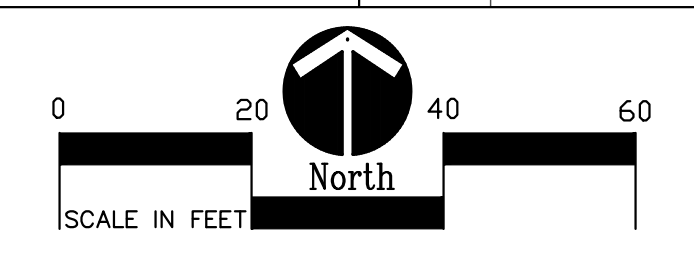
DEMOLITION LEGEND:

- SAWCUT AND REMOVE BITUMINOUS PAVEMENT AND BASE
- SAWCUT AND REMOVE CONCRETE PAVING, INCLUDING BASE
- REMOVE TREE
- REMOVE EXISTING FENCE
- REMOVE CONCRETE CURB & GUTTER
- REMOVE MISCELLANEOUS FEATURE AS NOTED
- LIMIT OF WORK

SITE DEMOLITION KEY

- 1** SAWCUT AND REMOVE EXISTING BITUMINOUS PAVING INCLUDING SUB-BASE.
- 2** SAWCUT AND REMOVE EXISTING CONCRETE PAVING INCLUDING SUB-BASE.
- 3** SAWCUT AND REMOVE EXISTING CURB (AND GUTTER).
- 4** REMOVE EXISTING TREE INCLUDING ALL ROOT SYSTEMS.
- 5** REMOVE EXISTING FENCING COMPLETELY (INCLUDING FOUNDATIONS).

1 Site Demolition Plan
Scale: 1" = 10'-0"



350 East Michigan Avenue Suite #415
Kalamazoo Michigan 49007
Phone (269) 381-3357
Fax (269) 381-2944

Landscape Architecture
Urban Planning
Parks & Recreation
Campus & Institutional Planning
Camp Planning & Design

PRELIMINARY
NOT FOR CONSTRUCTION

New Construction:
Eastside Square Building B
1616 E. Main ST. KALAMAZOO, MI 49048

ZBA SUBMITTAL	12/16/21
PRE-SPR SUBMITTAL	04/29/22
SPR SUBMITTAL	08/05/22

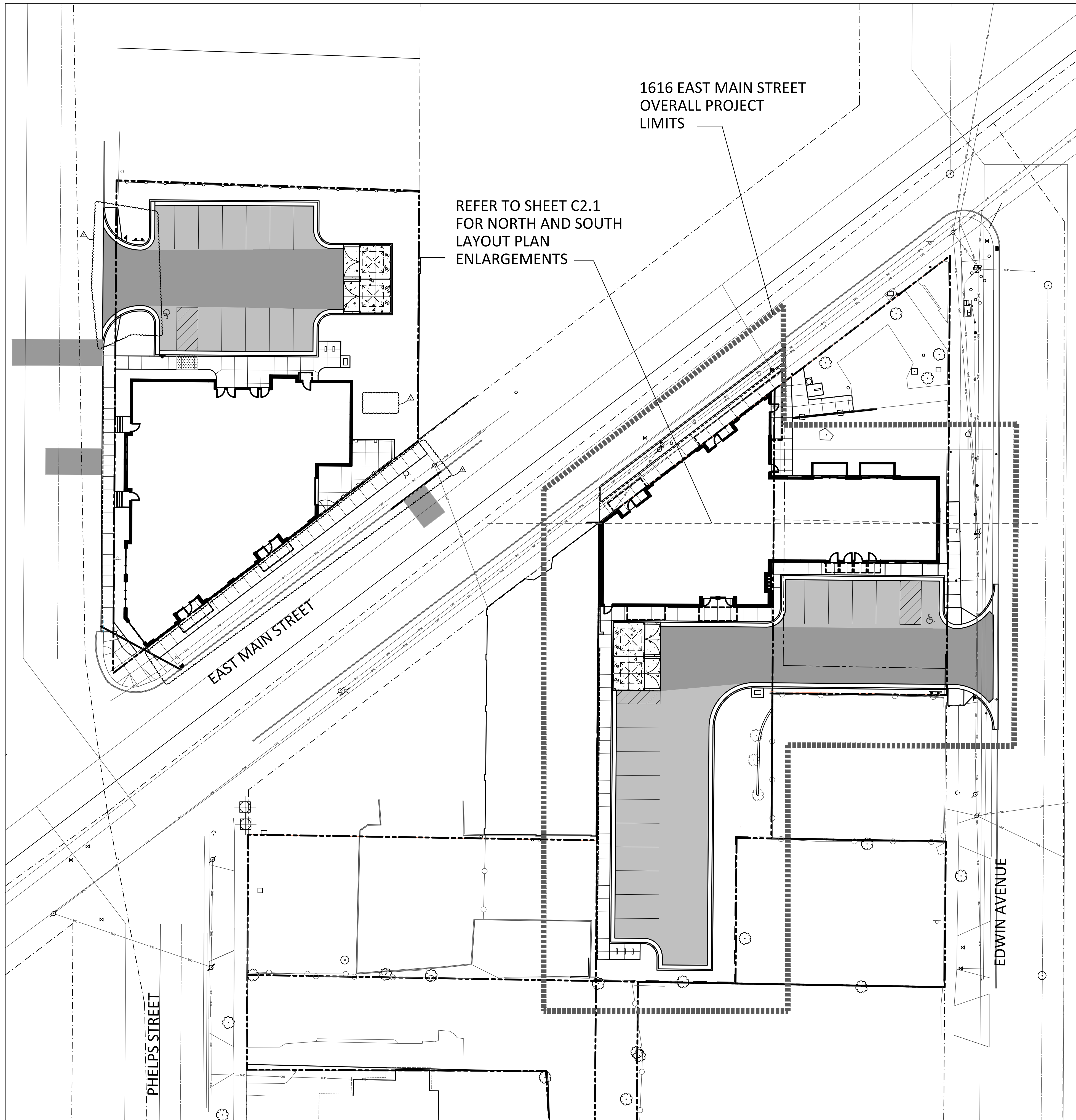
sheet name
1616 East Main St. Demolition Plan

project number
21002

drawing date
QAQC SET
06.10.2022

sheet number

C1.0



LAYOUT NOTES:

1. SURVEY OF EXISTING CONDITIONS PROVIDED BY WIGHTMAN & ASSOCIATES, INC., 433 EAST RANSOM STREET, KALAMAZOO, MICHIGAN 49007 (269)327-3532
2. PAVEMENT DIMENSIONS AND RADII ARE TO EDGE OF PAVEMENT OR BACK OF CURB.
3. DISCREPANCIES BETWEEN SITE AND PLANS SHOULD BE REPORTED TO THE PROJECT MANAGER IMMEDIATELY.
4. VERIFY LOCATIONS OF ALL BELOW GRADE UTILITIES PRIOR TO BEGINNING WORK. 72 HOURS BEFORE YOU DIG CALL "MISS DIG" AT 1-800-482-7171.
5. PROVIDE BARRIER FREE PARKING SIGNS FOR ALL BARRIER FREE PARKING SPACES. ALL SIGNS TO COMPLY WITH THE MDTOT MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
6. SITE LAYOUT POINTS SHOULD BE ESTABLISHED AND PROTECTED FOR FUTURE SITE WORK.

BARRIER-FREE NOTES

- BARRIER-FREE PARKING AND ACCESSIBLE ROUTE(S) MUST COMPLY WITH THE AMERICANS WITH DISABILITIES ACT AND MICHIGAN BARRIER-FREE CODE REQUIREMENTS, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
- 1:50 (2%) MAXIMUM CROSS-SLOPE ON ACCESSIBLE ROUTE.
 - NO CHANGES IN LEVEL GREATER THAN 1/2" ALONG ACCESSIBLE ROUTE.
 - 1:20 (5%) MAXIMUM LONGITUDINAL SLOPE ON ACCESSIBLE ROUTE (EXCEPT WHERE RAMPS ARE PROVIDED).
 - 1:50 (2%) MAXIMUM SLOPE (IN ANY DIRECTION) IN B.F. PARKING AND ACCESS AISLES.

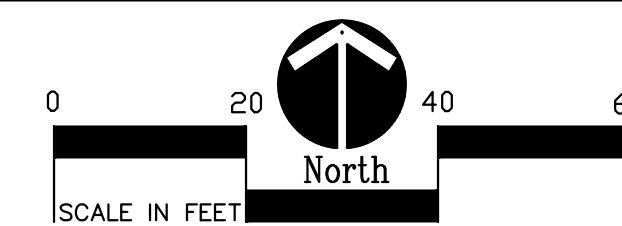
PROPOSED FEATURES LEGEND:

SYMBOL	DESCRIPTION	
	BITUMINOUS PAVING- HEAVY DUTY	
	BITUMINOUS PAVING- MODERATE DUTY	
	6" REINFORCED CONCRETE PAVING	
	PROPOSED CONCRETE CURB AND GUTTER	
	PROPOSED INTEGRAL WALK AND CURB	
	PAVEMENT FLUSH WITH BIT. PAVEMENT / BARRIER FREE RAMP - TYPE I	
	BARRIER FREE RAMP - TYPE II	
	6' WOOD SCREEN FENCE	
	LIMIT OF WORK	

KEY	DESCRIPTION	DETAIL
	CONCRETE CURB AND GUTTER	5 /C4.0
	HEAVY DUTY BITUMINOUS PAVING	1 /C4.0
	MODERATE DUTY BITUMINOUS PAVING	2 /C4.0
	6" REINFORCED CONCRETE PAVING	4 /C4.0
	CONCRETE WALK	3 /C4.0
	BARRIER FREE RAMP TYPE I	6 /C4.0
	BARRIER FREE RAMP TYPE II	7 /C4.0
	INTEGRAL CONCRETE WALK AND CURB	10 /C4.0
	STEEL GUARD POST	8 /C4.0
	6' HIGH WOOD SCREEN FENCING	3 /C4.1
	DOUBLE DUMPSTER LAYOUT	2 /C4.1
	DUMPSTER SCREEN FENCING	4 /C4.1
	BIKE RACK	9 /C4.0
	CONCRETE VALLEY GUTTER	13 /C4.0
	3' HIGH ORNAMENTAL METAL FENCING	7 /C4.1
	9" WIDE STRAIGHT CURB	8 /C4.1
	PLANTER CURB	6 /C4.1

SIGNS		
	STOP SIGN	SEE SPECS.
	BARRIER FREE PARKING- VAN ACCESSIBLE	SEE SPECS.

1 Overall Layout Plan
Scale: 1" = 20'-0"



PRELIMINARY
NOT FOR CONSTRUCTION

LAYOUT NOTES:

1. SURVEY OF EXISTING CONDITIONS PROVIDED BY WIGHTMAN & ASSOCIATES, INC., 433 EAST RANSOM STREET, KALAMAZOO, MICHIGAN 49007 (269)327-3532
2. PAVEMENT DIMENSIONS AND RADII ARE TO EDGE OF PAVEMENT OR BACK OF CURB.
3. DISCREPANCIES BETWEEN SITE AND PLANS SHOULD BE REPORTED TO THE PROJECT MANAGER IMMEDIATELY.
4. VERIFY LOCATIONS OF ALL BELOW GRADE UTILITIES PRIOR TO BEGINNING WORK. 72 HOURS BEFORE YOU DIG CALL "MISS DIG" AT 1-800-482-7171.
5. PROVIDE BARRIER FREE PARKING SIGNS FOR ALL BARRIER FREE PARKING SPACES. ALL SIGNS TO COMPLY WITH THE MDT MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
6. SITE LAYOUT POINTS SHOULD BE ESTABLISHED AND PROTECTED FOR FUTURE SITE WORK.

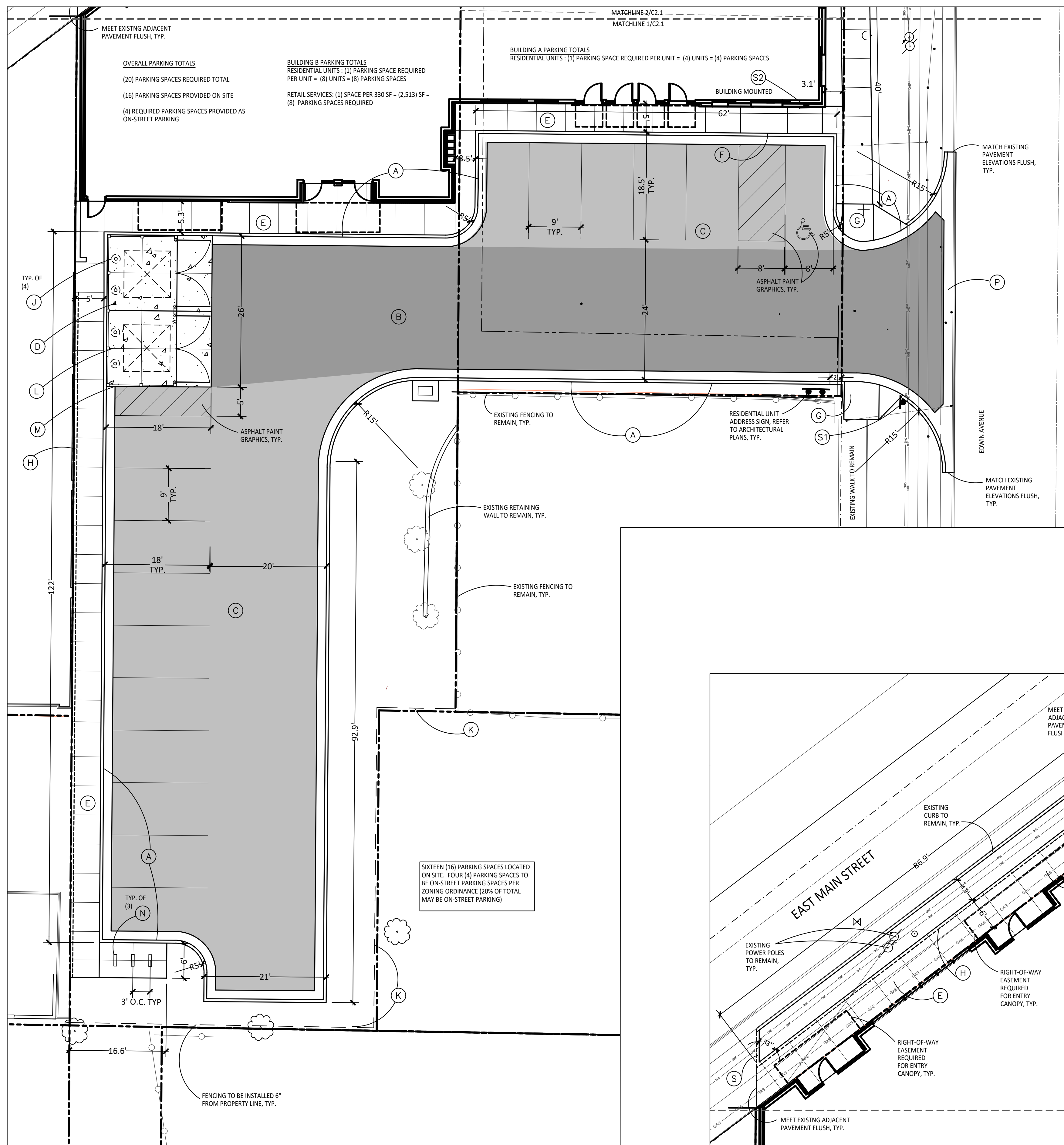
BARRIER-FREE NOTES

- BARRIER-FREE PARKING AND ACCESSIBLE ROUTE(S) MUST COMPLY WITH THE AMERICANS WITH DISABILITIES ACT AND MICHIGAN BARRIER-FREE CODE REQUIREMENTS, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
- 1:50 (2%) MAXIMUM CROSS-SLOPE ON ACCESSIBLE ROUTE.
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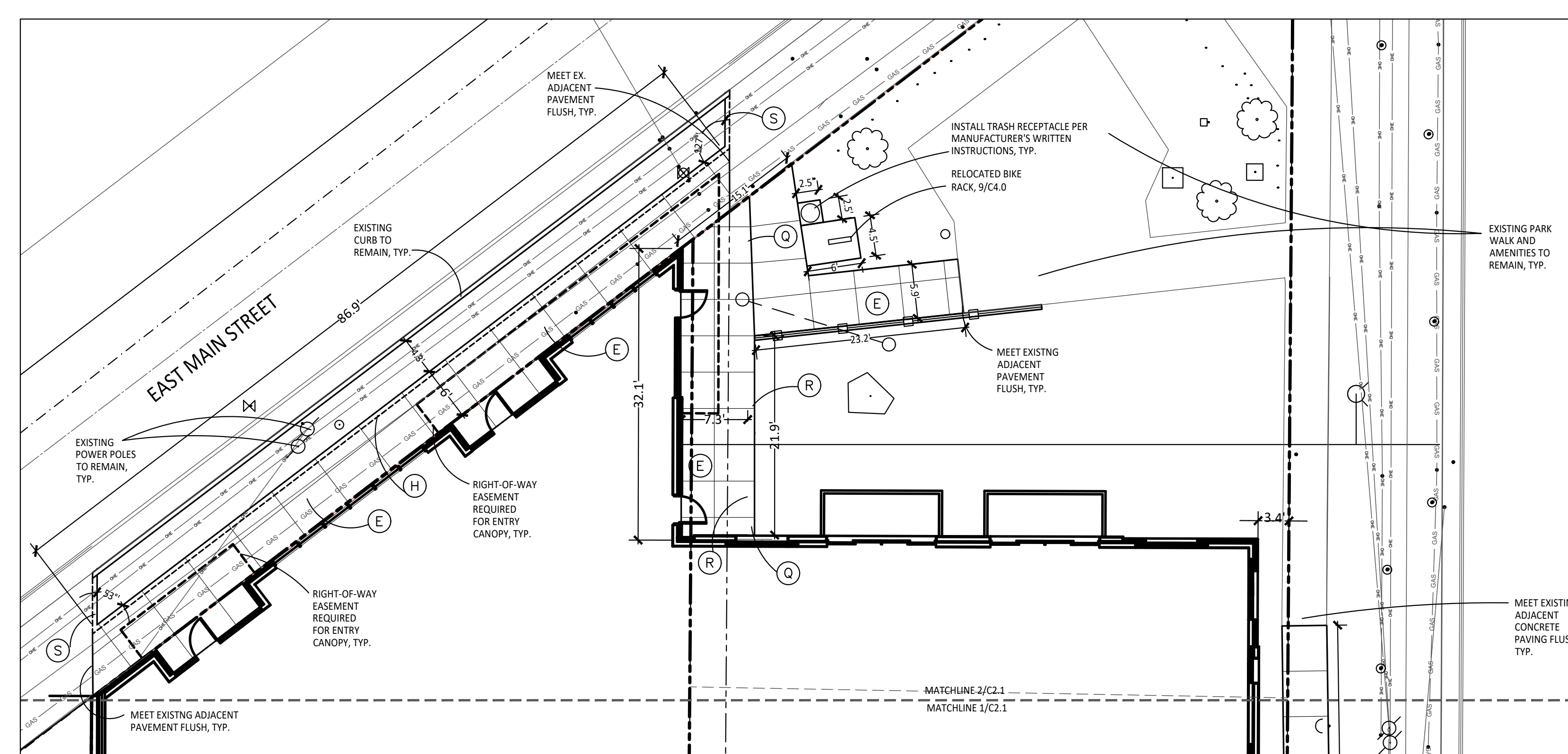
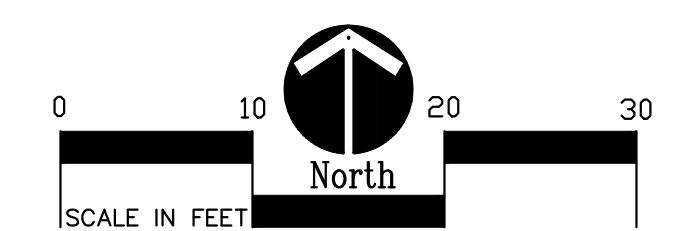
PROPOSED FEATURES LEGEND:

SYMBOL	DESCRIPTION	KEY	DESCRIPTION	DETAIL
(B)	BITUMINOUS PAVING- HEAVY DUTY	(A)	CONCRETE CURB AND GUTTER	5 /C4.0
(C)	BITUMINOUS PAVING- MODERATE DUTY	(B)	HEAVY DUTY BITUMINOUS PAVING	1 /C4.0
(D)	6" REINFORCED CONCRETE PAVING	(C)	MODERATE DUTY BITUMINOUS PAVING	2 /C4.0
(E)	CONCRETE WALK	(D)	6" REINFORCED CONCRETE PAVING	4 /C4.0
(F)	BARRIER FREE RAMP TYPE I	(E)	CONCRETE WALK	3 /C4.0
(G)	BARRIER FREE RAMP TYPE II	(F)	BARRIER FREE RAMP TYPE I	6 /C4.0
(H)	INTEGRAL CONCRETE WALK AND CURB	(G)	BARRIER FREE RAMP TYPE II	7 /C4.0
(I)	STEEL GUARD POST	(H)	INTEGRAL CONCRETE WALK AND CURB	10 /C4.0
(J)	6' HIGH WOOD SCREEN FENCING	(I)	STEEL GUARD POST	8 /C4.0
(K)	DOUBLE DUMPSTER LAYOUT	(J)	6' HIGH WOOD SCREEN FENCING	3 /C4.1
(L)	DUMPSTER SCREEN FENCING	(K)	DOUBLE DUMPSTER LAYOUT	2 /C4.1
(M)	BIKE RACK	(L)	DUMPSTER SCREEN FENCING	4 /C4.1
(N)	CONCRETE VALLEY GUTTER	(M)	BIKE RACK	9 /C4.0
(O)	3' HIGH ORNAMENTAL METAL FENCING	(N)	CONCRETE VALLEY GUTTER	13 /C4.0
(P)	9" WIDE STRAIGHT CURB	(O)	3' HIGH ORNAMENTAL METAL FENCING	7 /C4.1
(Q)	PLANTER CURB	(P)	9" WIDE STRAIGHT CURB	8 /C4.1
(R)	6' WOOD SCREEN FENCE	(Q)	PLANTER CURB	6 /C4.1
(S)	LIMIT OF WORK			

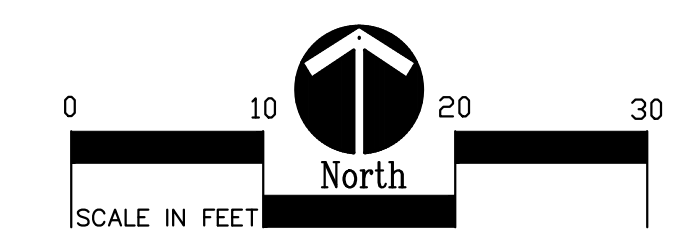
SIGNS	DESCRIPTION	SEE SPECS.
(S1)	STOP SIGN	SEE SPECS.
(S2)	BARRIER FREE PARKING- VAN ACCESSIBLE	SEE SPECS.



1 South Layout Plan
Scale: 1" = 10'-0"



2 North Layout Plan
Scale: 1" = 10'-0"



PRELIMINARY
NOT FOR CONSTRUCTION

New Construction:
Eastside Square Building B
1616 E. Main ST. KALAMAZOO, MI 49048

PRE-SPR SUBMITTAL 04/29/22
SPR SUBMITTAL 08/05/22

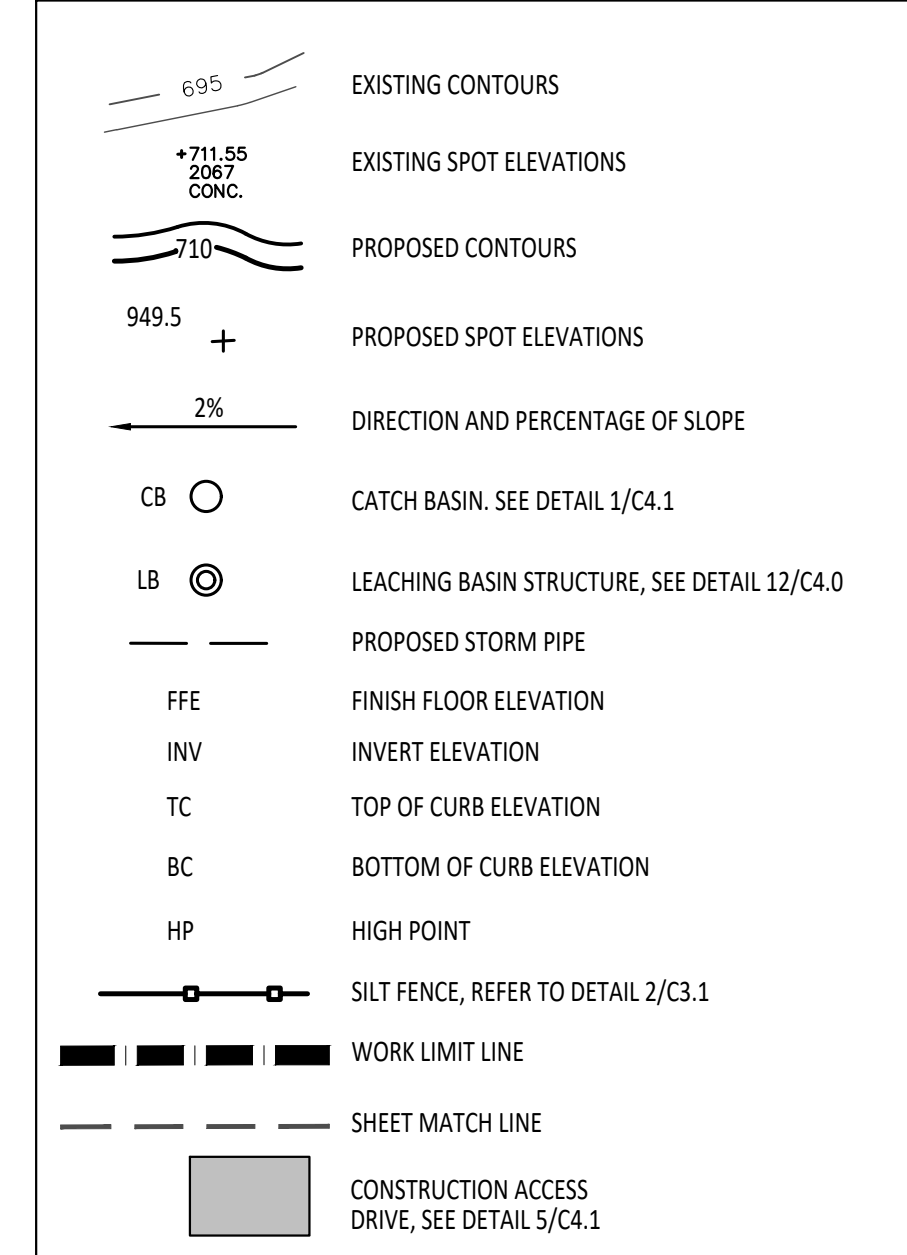
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1616 East Main St. Layout Plan
project number
21002
drawing date
SPR SUBMITTAL
08.05.2022
sheet number

BARRIER-FREE NOTES

BARRIER-FREE PARKING AND ACCESSIBLE ROUTE(S) MUST COMPLY WITH THE AMERICANS WITH DISABILITIES ACT AND MICHIGAN BARRIER-FREE CODE REQUIREMENTS, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

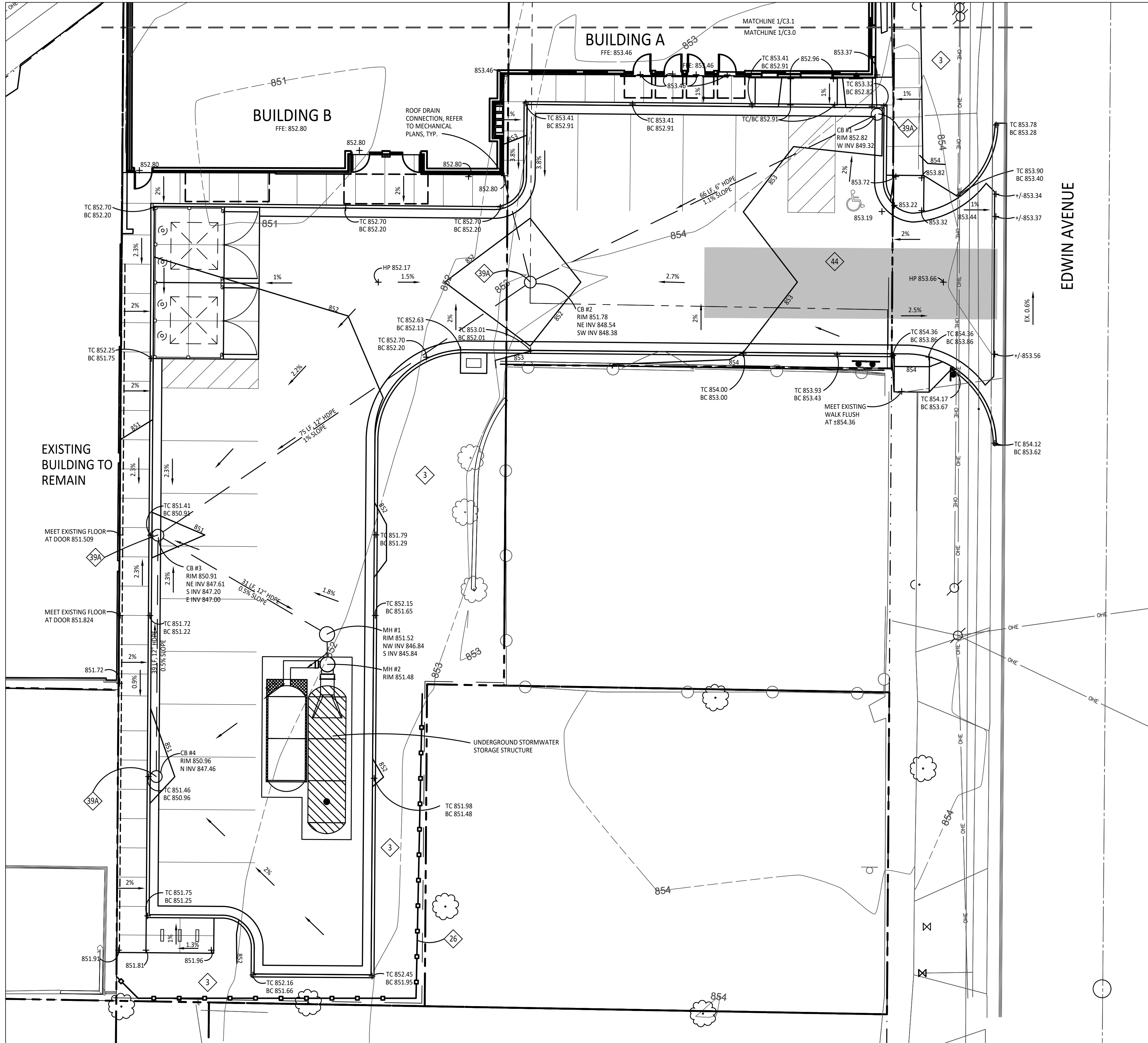
- 1:50 (2%) MAXIMUM CROSS-SLOPE ON ACCESSIBLE ROUTE.
- NO CHANGES IN LEVEL GREATER THAN 1/2" ALONG ACCESSIBLE ROUTE.
- 1:20 (5%) MAXIMUM LONGITUDINAL SLOPE ON ACCESSIBLE ROUTE (EXCEPT WHERE RAMPS ARE PROVIDED).
- 1:50 (2%) MAXIMUM SLOPE (IN ANY DIRECTION) IN B.F. PARKING AND ACCESS AISLES.

PROPOSED FEATURES LEGEND:



GRADING NOTES:

1. SURVEY OF EXISTING CONDITIONS PROVIDED BY WIGHTMAN & ASSOCIATES, INC., 433 EAST RANSOM STREET, KALAMAZOO, MICHIGAN 49007 (269)327-3532
2. VERIFY LOCATIONS OF ALL BELOW GRADE UTILITIES PRIOR TO BEGINNING WORK. 72 HOURS BEFORE YOU DIG CALL "MISS DIG" AT 1-800-482-7171.
3. ALL NEW PAVEMENTS AND TURF AREAS ARE INTENDED TO DRAIN FREELY WITH NO PONDING. IF THIS CANNOT BE ACHIEVED USING THE PROPOSED GRADES, NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY FOR RESOLUTION.
4. ALL NEW PAVEMENT ELEVATIONS AT EXTERIOR DOORS SHALL MATCH EXISTING FINISH FLOOR ELEVATIONS, TYPICAL.
5. FINISH GRADE SLOPE AT ALL BARRIER FREE PARKING SPACES AND ACCESS AISLES SHALL NOT EXCEED 2% IN ALL DIRECTIONS, TYPICAL.
6. ADJUST TOP OF EXISTING MANHOLES, CATCH BASINS, VAULT COVERS, ETC. TO NEW FINISH GRADE AS REQUIRED.
7. SEE SITE MECHANICAL AND SITE ELECTRICAL PLANS FOR ALL ADDITIONAL SITE UTILITY DEMOLITION AND CONSTRUCTION.



GENERAL EARTHWORK NOTE:

CUTS AND FILLS AT THIS SITE MAY OR MAY NOT BALANCE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE REQUIRED EARTHWORK VOLUMES BASED ON THE GRADING PLAN SHOWN. IF FILL IS REQUIRED, THE CONTRACTOR SHALL INCLUDE THE REQUIRED VOLUME OF IMPORTED CLASS II SAND IN THE BASE BID PROPOSAL. IF EXCESS SOILS NEED TO BE SPOILED, THE CONTRACTOR SHALL INCLUDE HAULING AND SPOILING SOILS OFF SITE IN THE BASE BID PROPOSAL. NO CONTRACT COST ADJUSTMENTS WILL BE CONSIDERED FOR EARTHWORK REQUIRED TO BALANCE THE SITE.

IMPORTANT NOTE

IMPORTANT NOTE

EROSION CONTROL TIMELINE

ITEM	DESCRIPTION	APPROXIMATE TIME FRAME	NOTES:
1.	INSTALL SILT FENCING / PERIMETER EROSION CONTROL	FALL '22	1. CONTRACTOR SHALL MONITOR AND MAINTAIN ALL EROSION CONTROL DEVICES THROUGHOUT THE CONSTRUCTION PERIOD.
2.	STRIP & STOCKPILE TOPSOIL	FALL '22	
3.	INSTALL STORM SEWER STRUCTURES AND PIPING	FALL '22	
4.	INSTALL INLET SEDIMENT FILTERS AT CATCH BASINS	FALL '22	
5.	INSTALL PAVEMENT SUB-BASE	FALL '22	
6.	INSTALL TEMPORARY STABILIZATION SEEDING	SPRING '23	2. ADDITIONAL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED AS REQUIRED TO MINIMIZE SILT LEAVING THE CONSTRUCTION SITE.
7.	INSTALL LEVELING COURSE OF PAVING	SPRING '23	
8.	INSTALL WEARING COURSE OF PAVING	SPRING '23	
9.	FINISH GRADE AND SEED / STABILIZE ALL AREAS	FALL '23	

EROSION CONTROL REQUIREMENTS:

ALL CONSTRUCTION SHALL COMPLY WITH THE SOIL EROSION AND SEDIMENTATION CONTROL ACT (P.A. 347 OF 1972, AS AMENDED) AS ADMINISTERED BY CITY OF KALAMAZOO AND KALAMAZOO COUNTY. THE FOLLOWING EROSION CONTROL DEVICES ARE REFERENCED IN THE STANDARD EROSION CONTROL HANDBOOK PUBLISHED BY THE MICHIGAN DEPARTMENT OF TRANSPORTATION. (MOT DRAWING R-96-C, 8-9-2001)

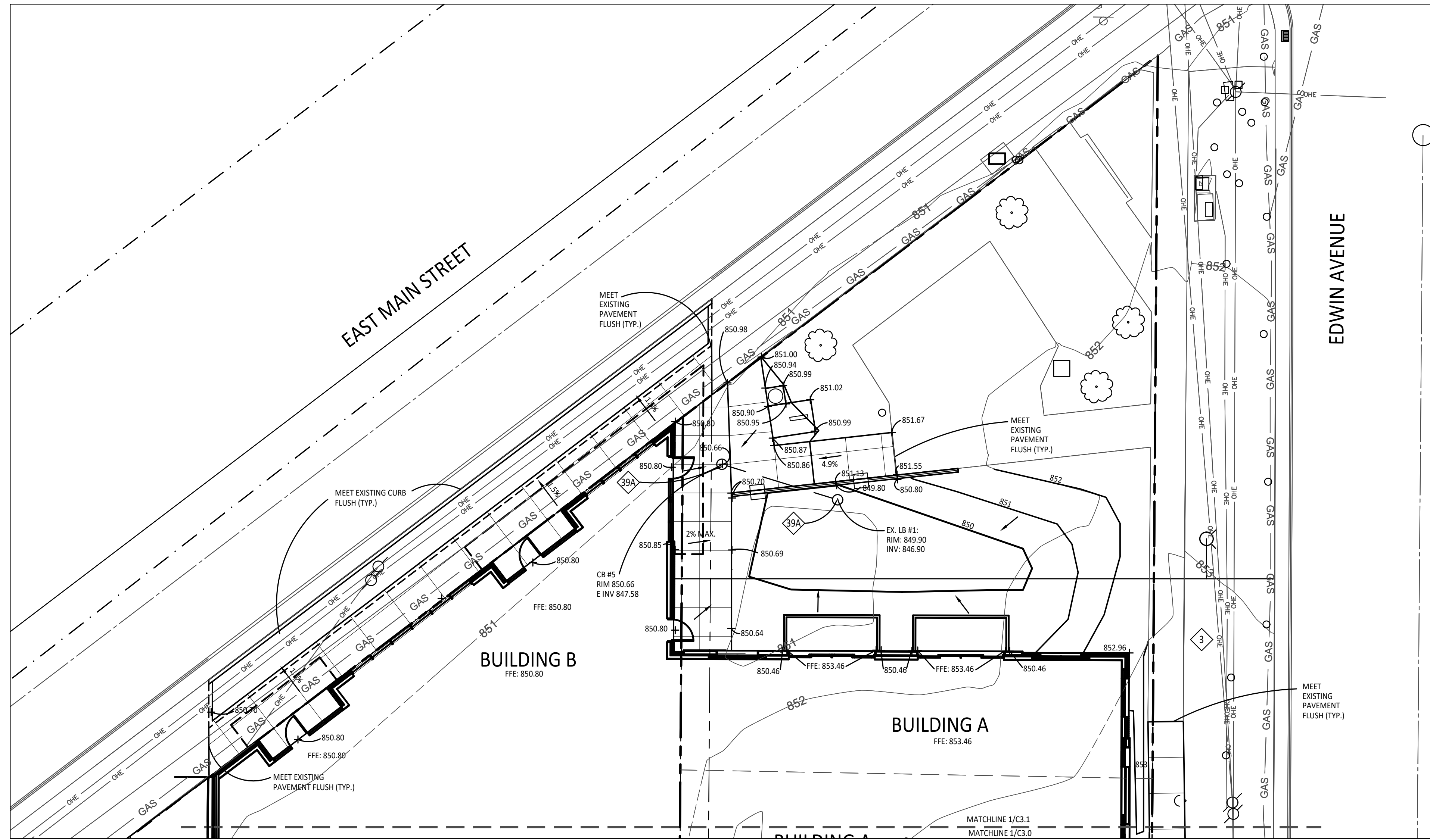
ALL TEMPORARY EROSION CONTROL DEVICES SHALL BE REMOVED AT THE END OF CONSTRUCTION. TEMPORARY EROSION CONTROL DEVICES SHOULD BE IN PLACE PRIOR TO EXCAVATION, TO THE EXTENT POSSIBLE.

KEY	DESCRIPTION	TEMPORARY / PERMANENT	KEY	DESCRIPTION	TEMPORARY / PERMANENT
3	PERMANENT/TEMPORARY SEEDING	P	39A	INLET PROTECTION FABRIC DROP	T
26	GEOTEXTILE SILT FENCE	T	44	GRAVEL ACCESS APPROACH	T

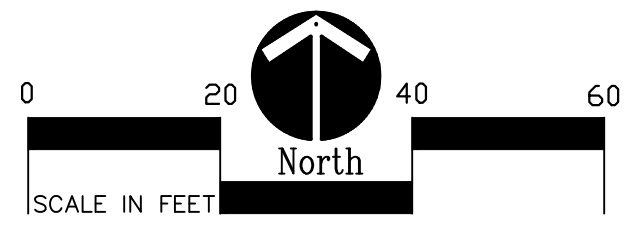
STORM STRUCTURE SCHEDULE :

STORM SEWER SYSTEM STRUCTURE SUMMARY						
PROPOSED STRUCTURE #	DIAMETER	RIM TYPE	RIM ELEVATION AT FLOW LINE	INVERT ELEVATION	INVERT DIRECTION	COMMENTS
PROPOSED CB #1	4'	EJIW 1040 W M2	852.82	849.32	6" HDPE, SW	
PROPOSED CB #2	4'	EJIW 1040 W M2	851.78	848.38	12" HDPE, SW	
PROPOSED CB #3	4'	EJIW 1040 W M2	850.91	848.54	6" HDPE, NE	
				847.61	12" HDPE, NE	
PROPOSED CB #4	4'	EJIW 1040 W M2	850.96	847.20	12" HDPE, S	
				847.00	12" HDPE, E	
				847.46	12" HDPE, N	
PROPOSED CB #5	4'	EJIW 1040 W M2	850.66	847.58	6" HDPE, E	
MH #1 - PRE TREATMENT STRUCTURE	4'	REFER TO CUT SHEET	851.52	846.84	12" HDPE, NW	
				845.84	12" HDPE, S	
MH #2	4'	REFER TO CUT SHEET	851.48			
EX. LB #1	4'	EXISTING	849.90	846.90	6" HDPE, W	

PRELIMINARY
NOT FOR CONSTRUCTION

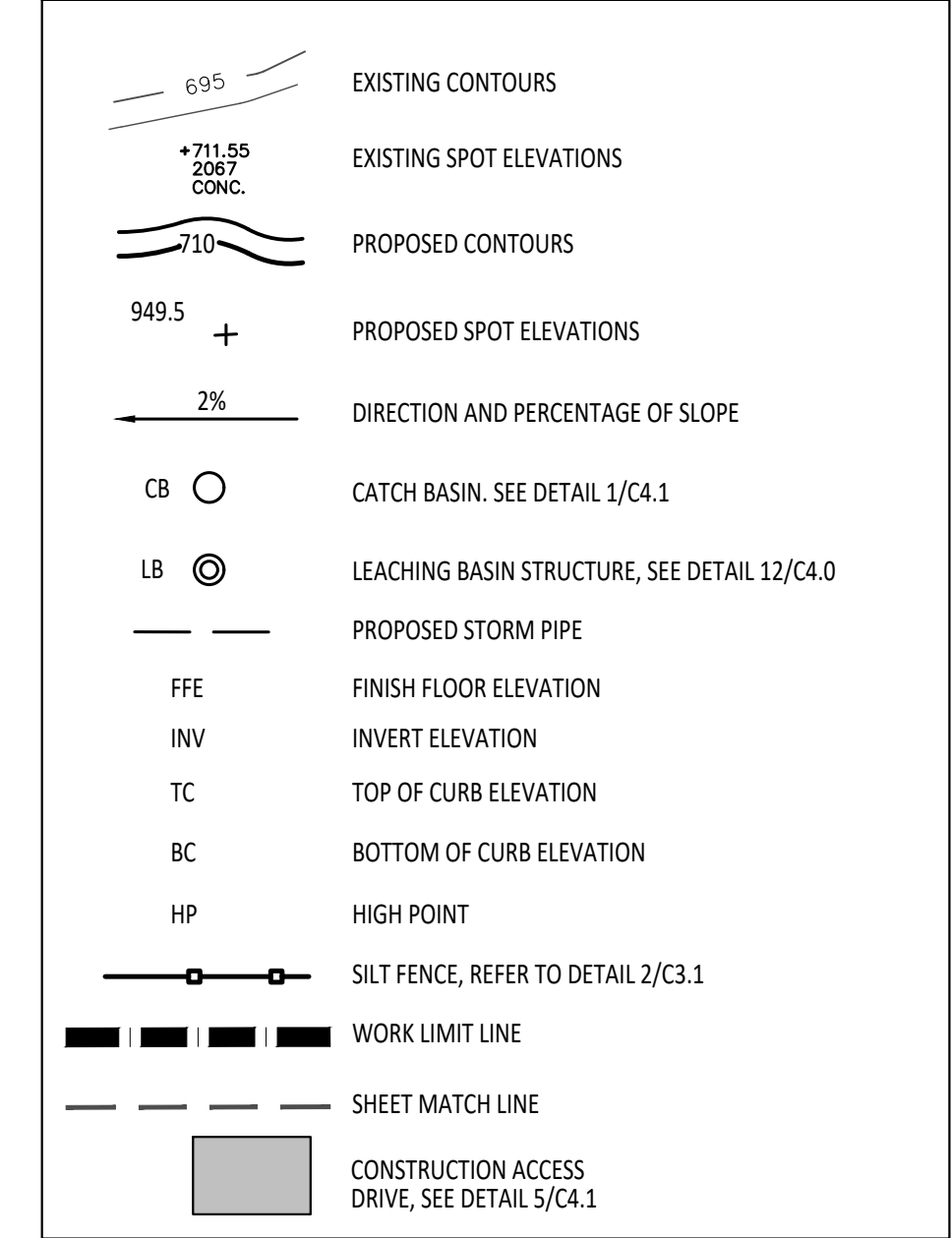


MATCHLINE SHEET C3.0



1 North Grading Plan
Scale: 1" = 10'-0"

PROPOSED FEATURES LEGEND:



GRADING NOTES:

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EROSION CONTROL TIMELINE

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5.	INSTALL TEMPORARY STABILIZATION SEEDING	FALL '22	
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8.	FINISH GRADE AND SEED / STABILIZE ALL AREAS	FALL '23	
9.		FALL '23	

EROSION CONTROL REQUIREMENTS:

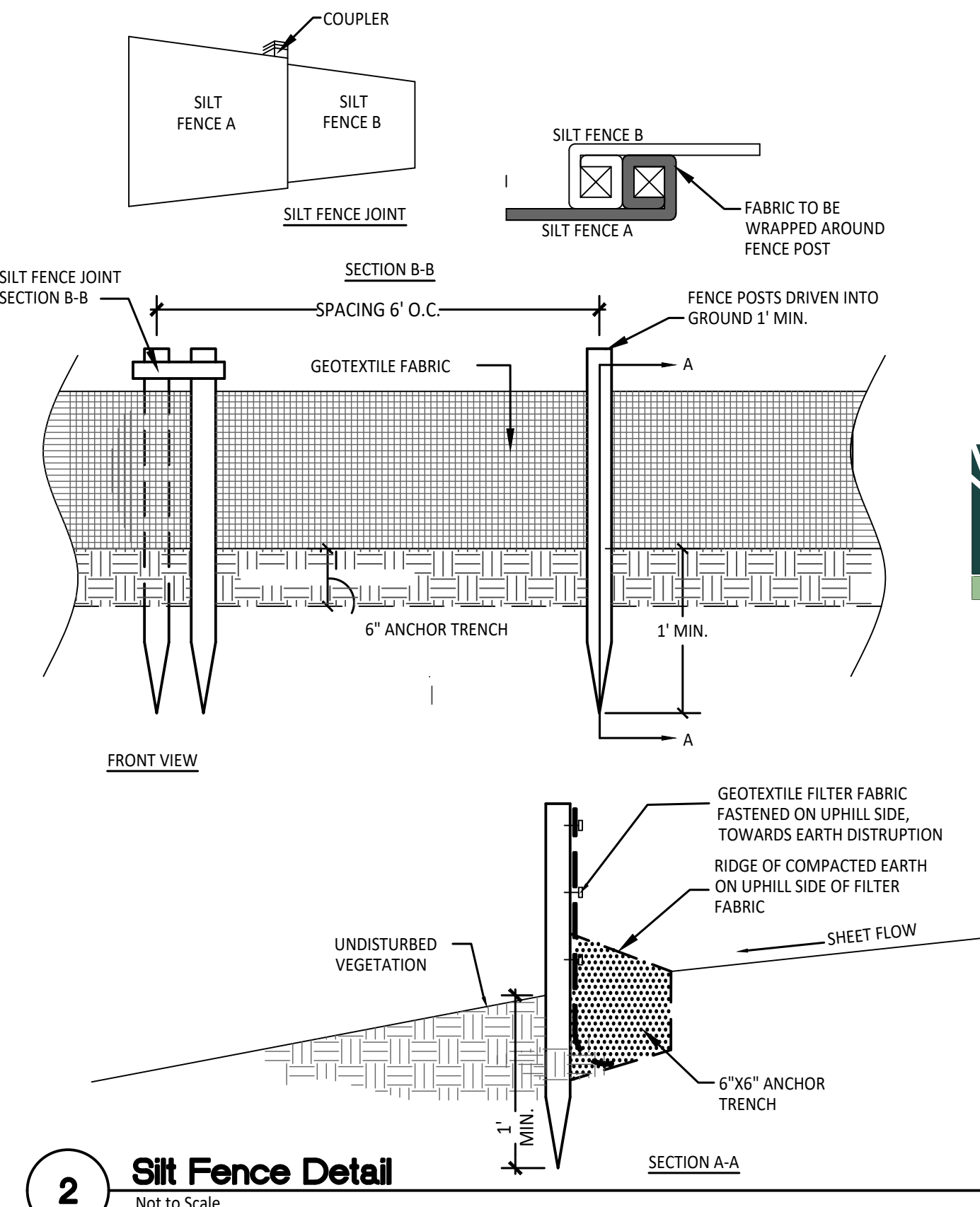
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EX. LB #1	4'	EXISTING	849.90	846.90	6" HDPE, W	



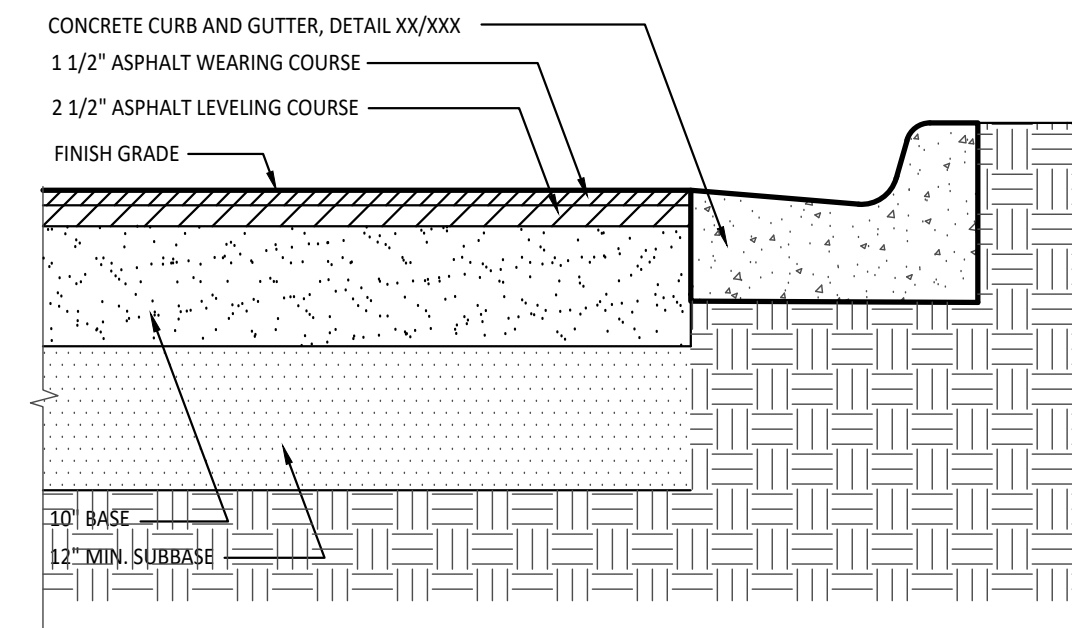
2 Silt Fence Detail
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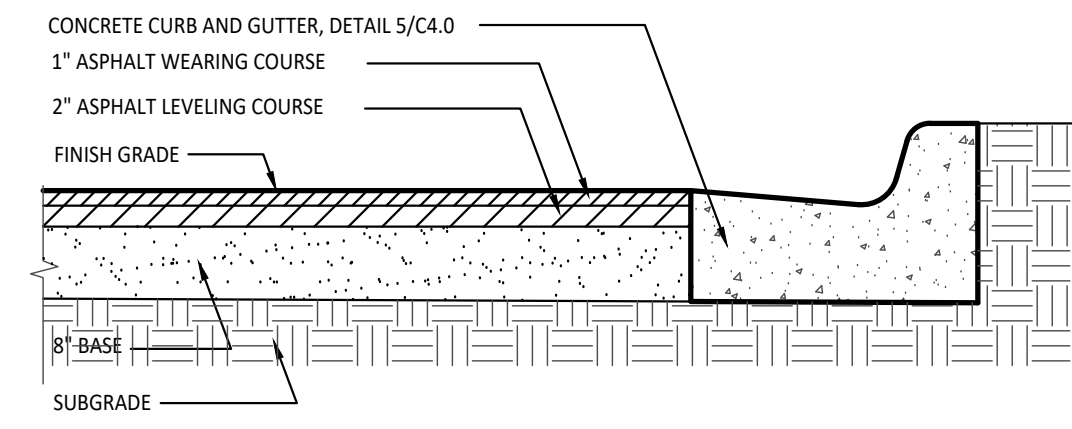
350 East Michigan Avenue Suite #415
Kalamazoo Michigan 49007
Phone (269) 381-3357
Fax (269) 381-2944

Landscaping Architecture
Urban Planning
Parks & Recreation
Campus & Institutional Planning
Camp Planning & Design

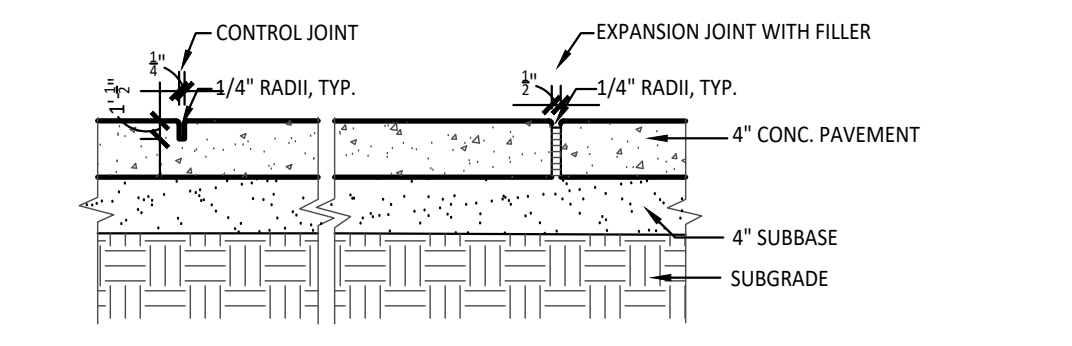
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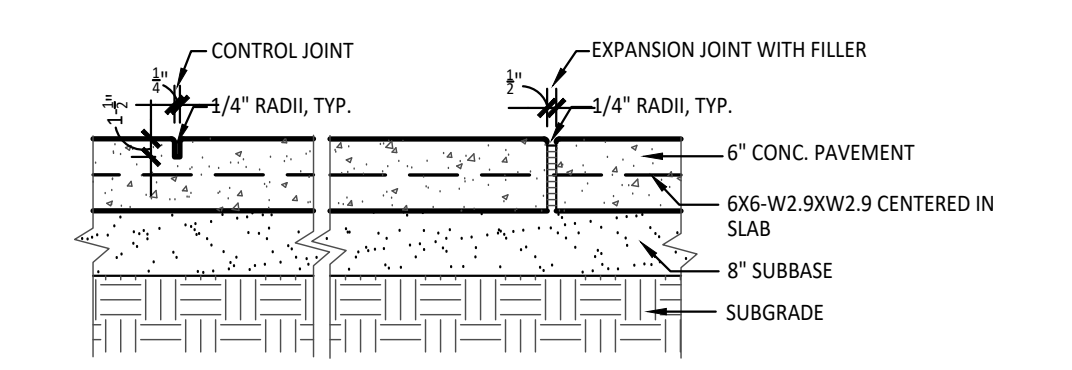
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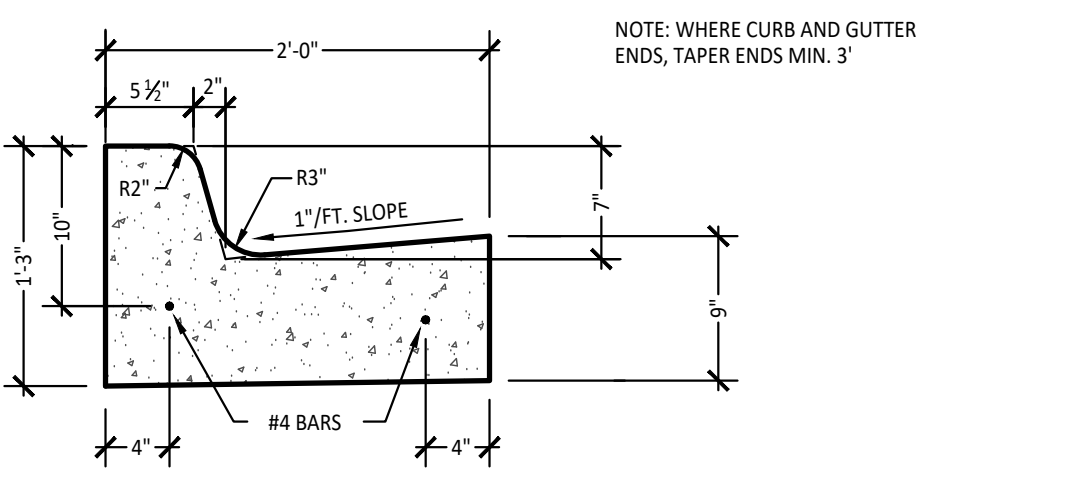
2 Section-Bituminous Pavement Moderate Duty
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3 Section-Conc. Paving + Jointing
Not to Scale



4 Section-6\"/>

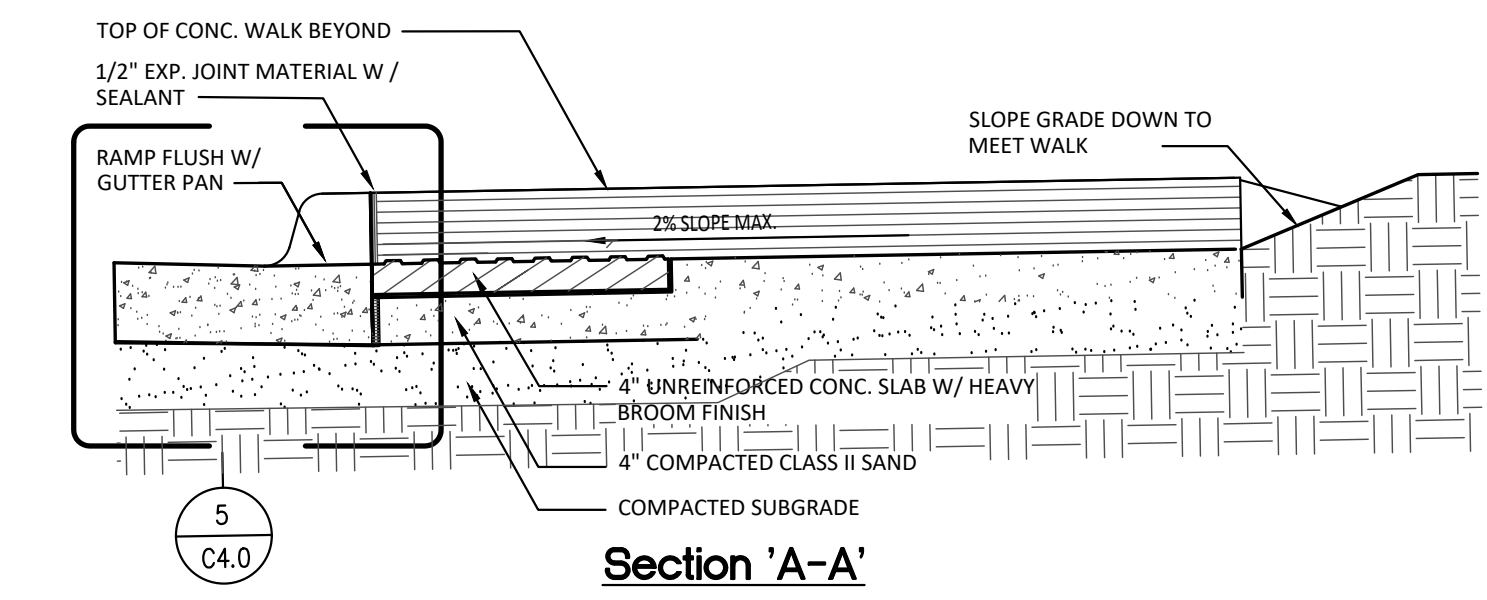


5 Curb + Gutter Detail
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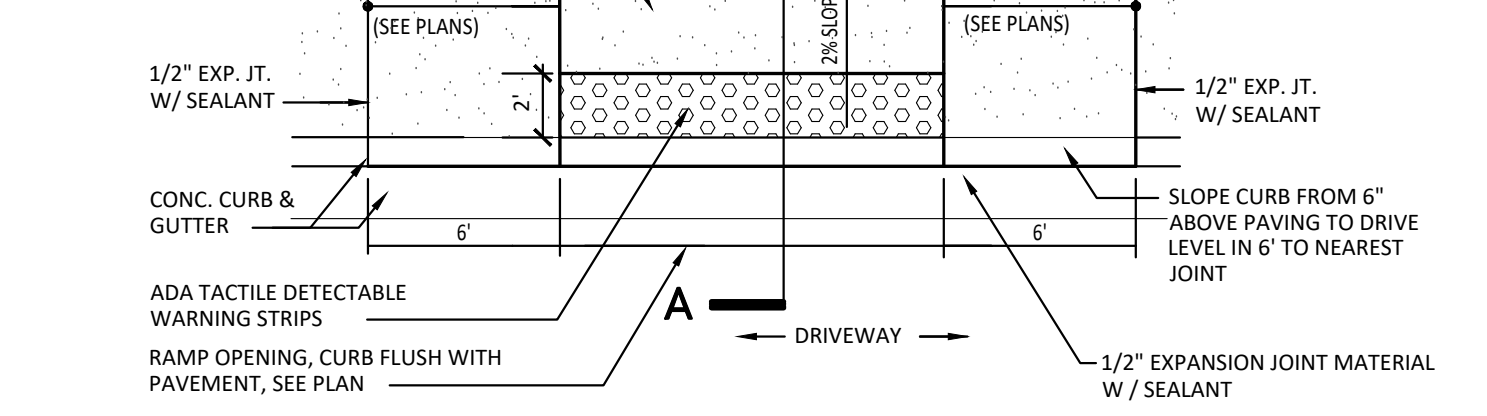


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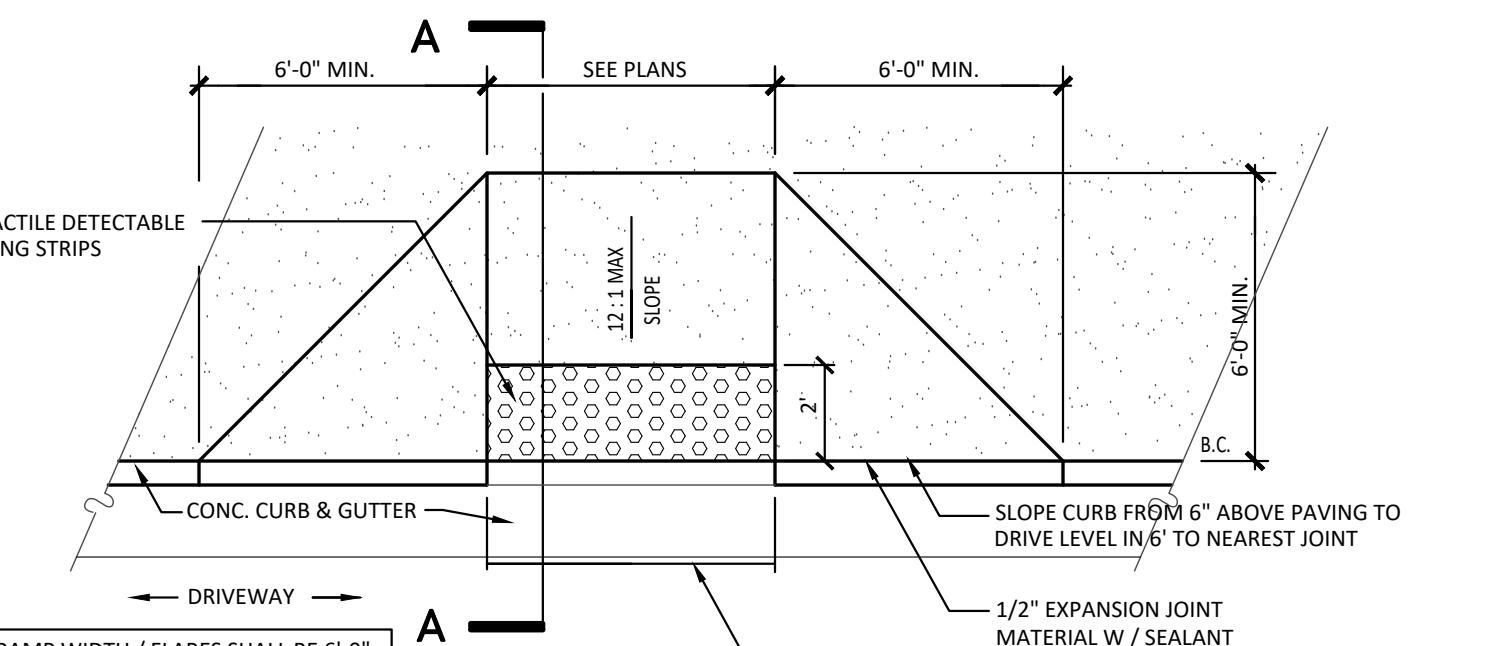
Landscape Architecture
Urban Planning
Parks & Recreation
Campus & Institutional Planning
Camp Planning & Design



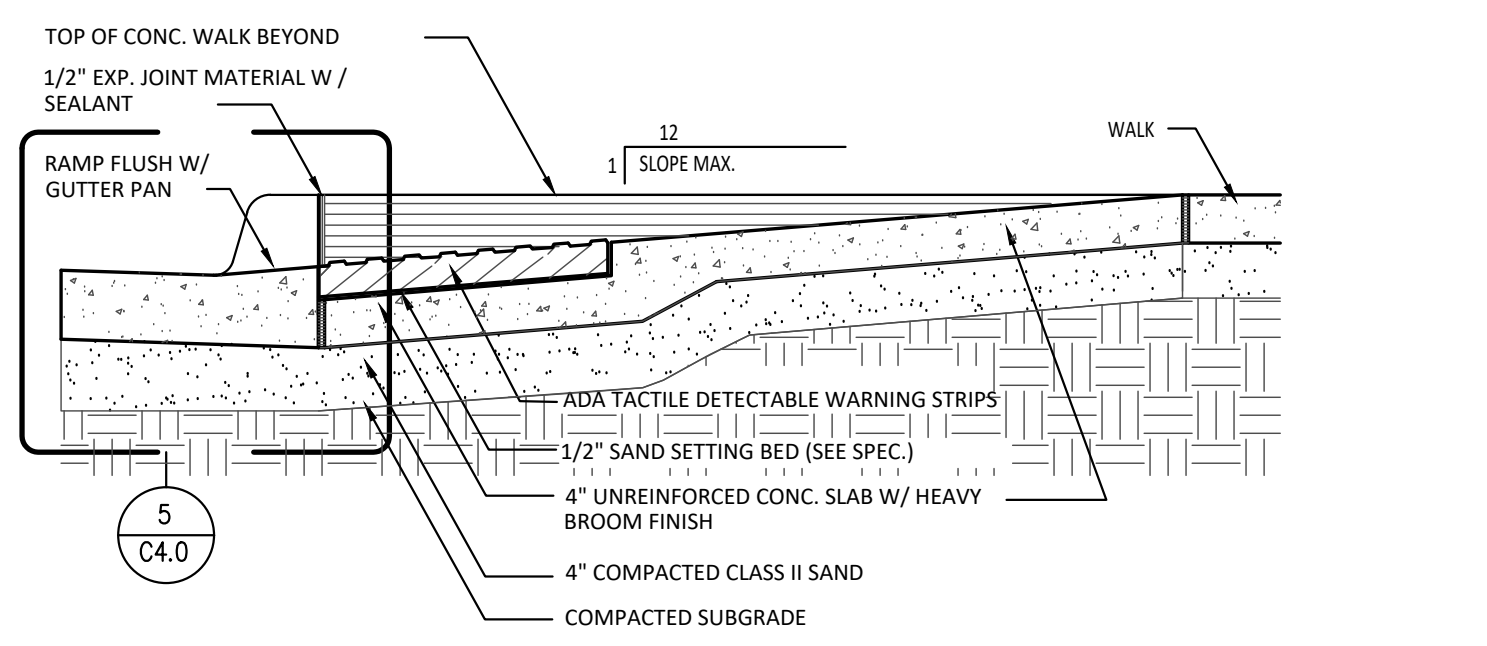
6 Barrier Free Ramp (Type I) Detail
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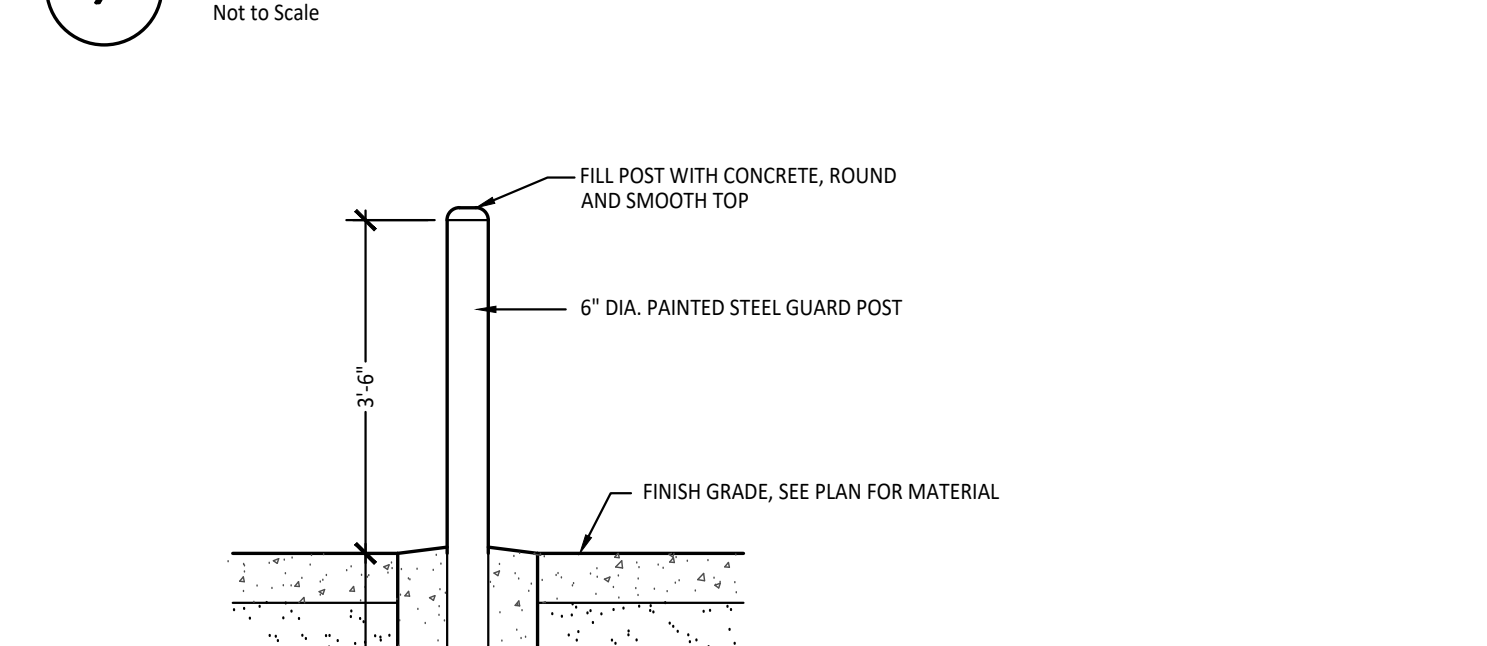
7 Barrier Free Ramp (Type II) Detail
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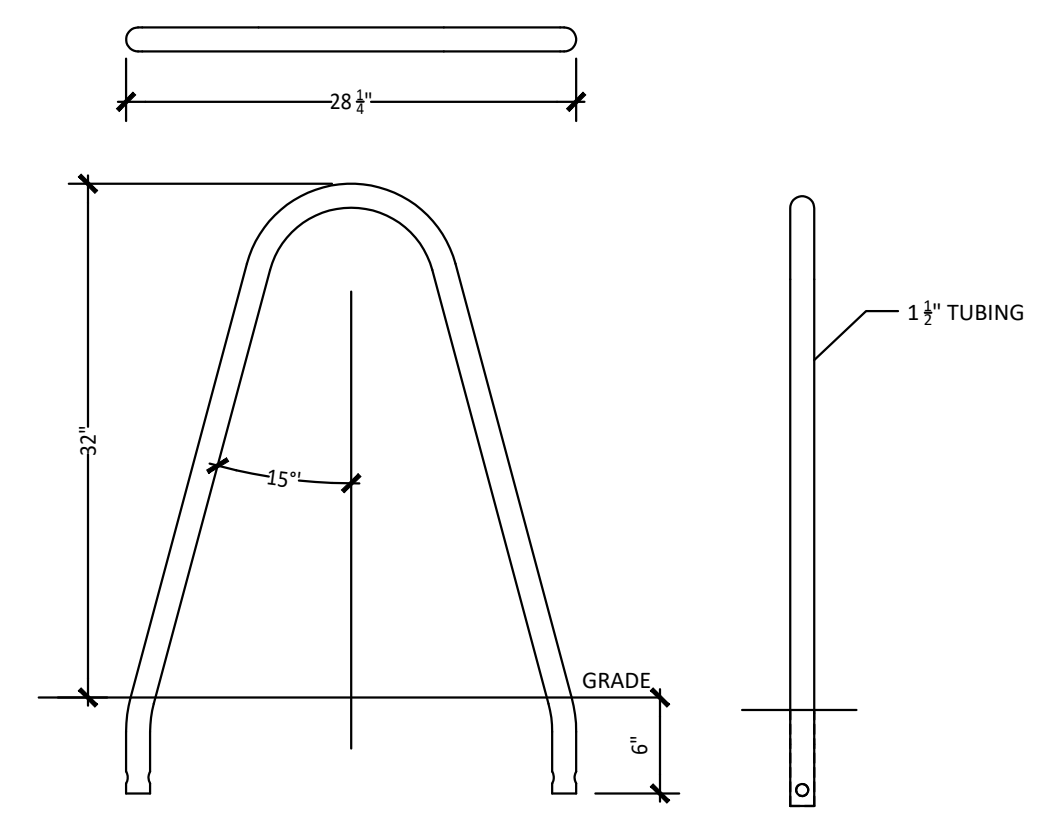
8 Section-Steel Guard Post
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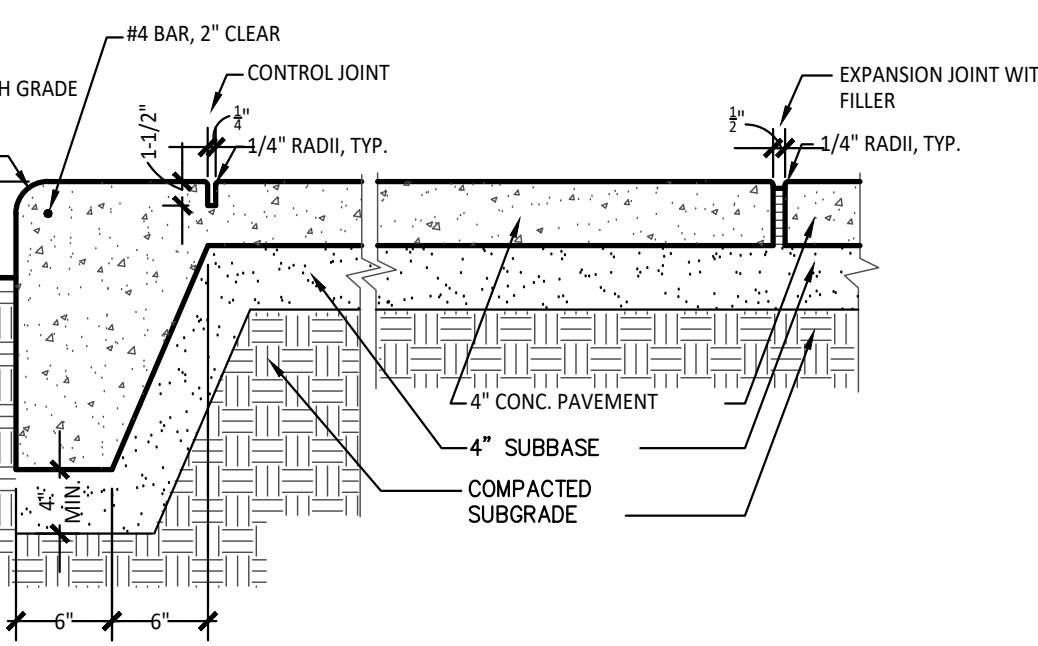
11 Cobblestone Mulch Ring Detail
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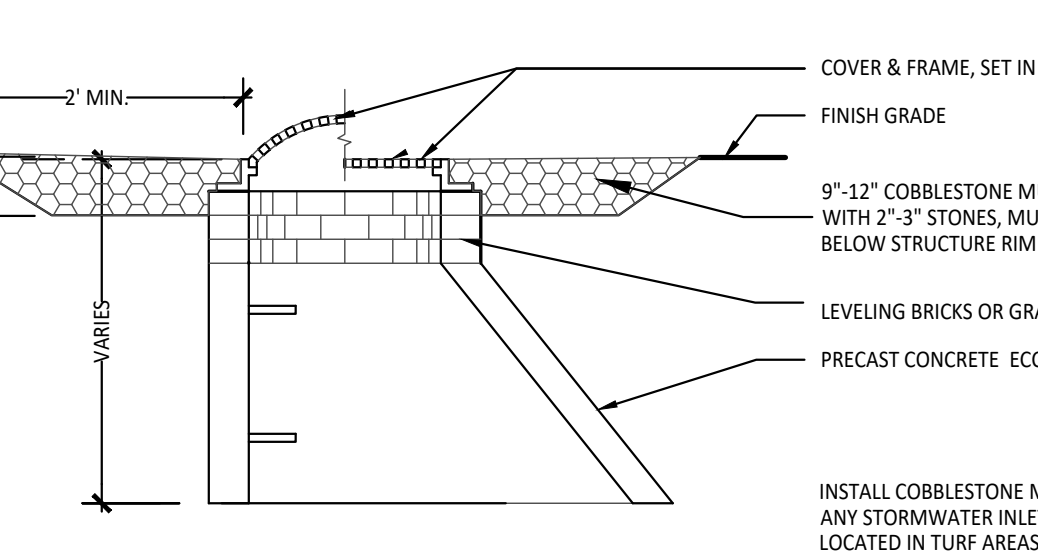
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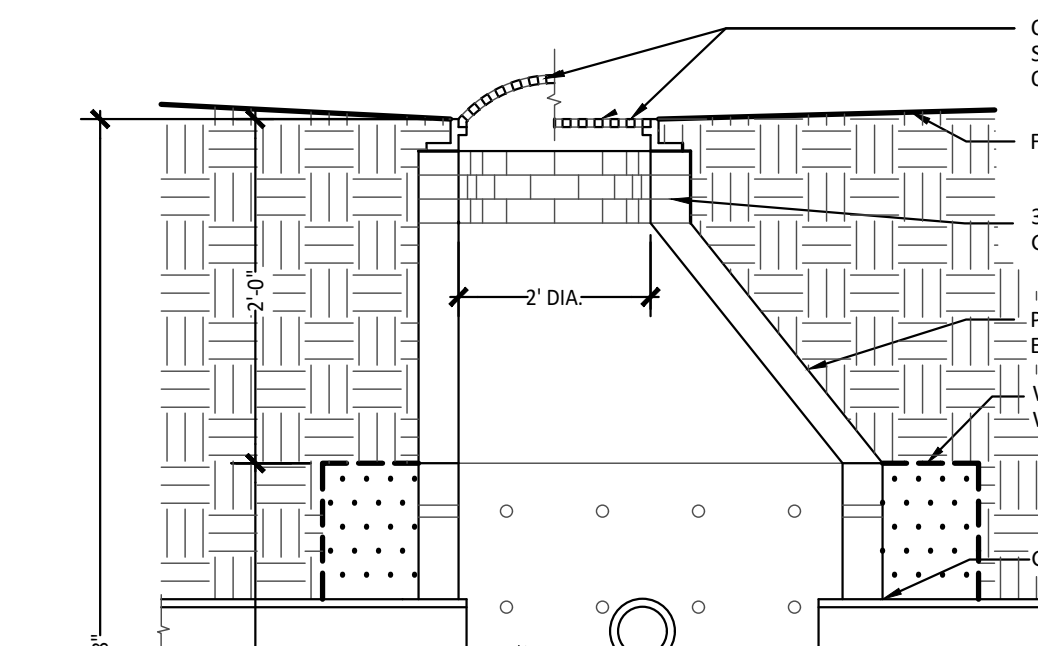
9 Bike Rack Detail
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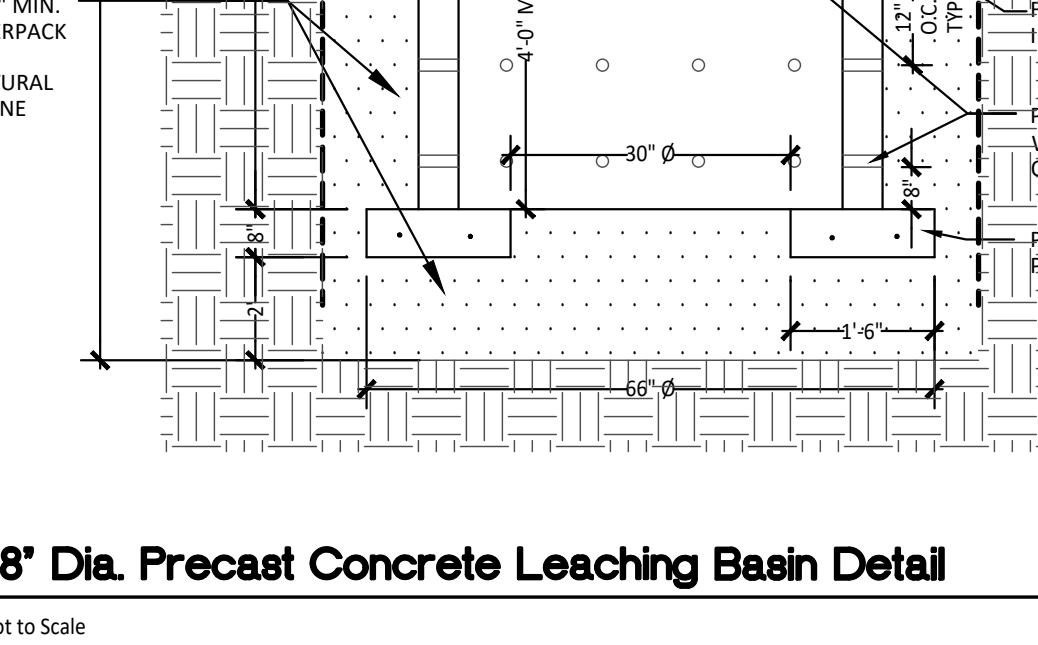
10 Section-Integral Walk + Curb 4\"/>



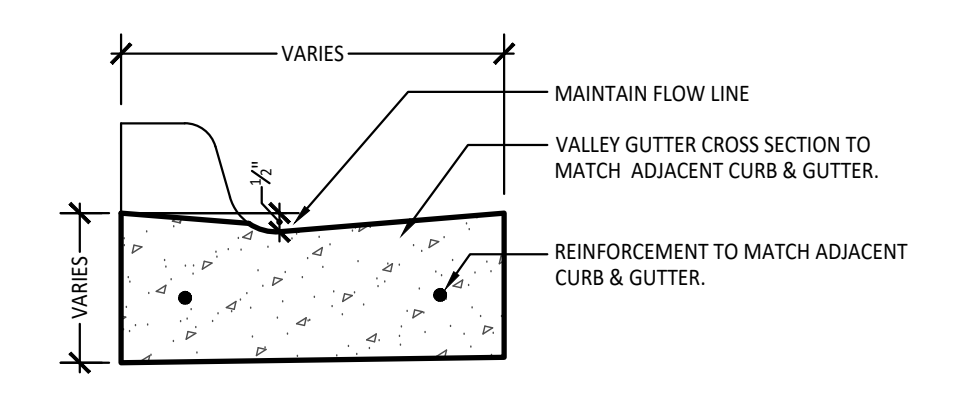
8 Section-Steel Guard Post
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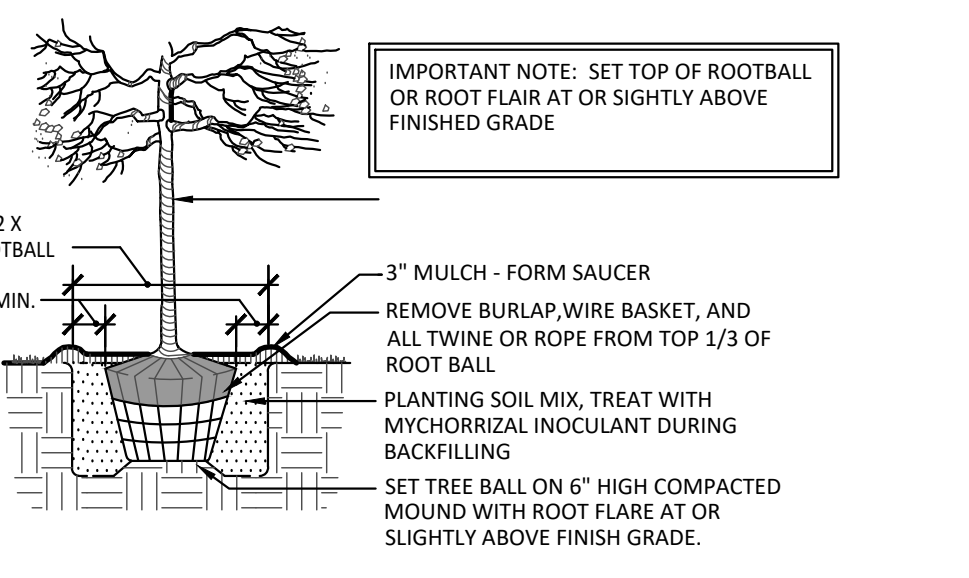
8 Section-Steel Guard Post
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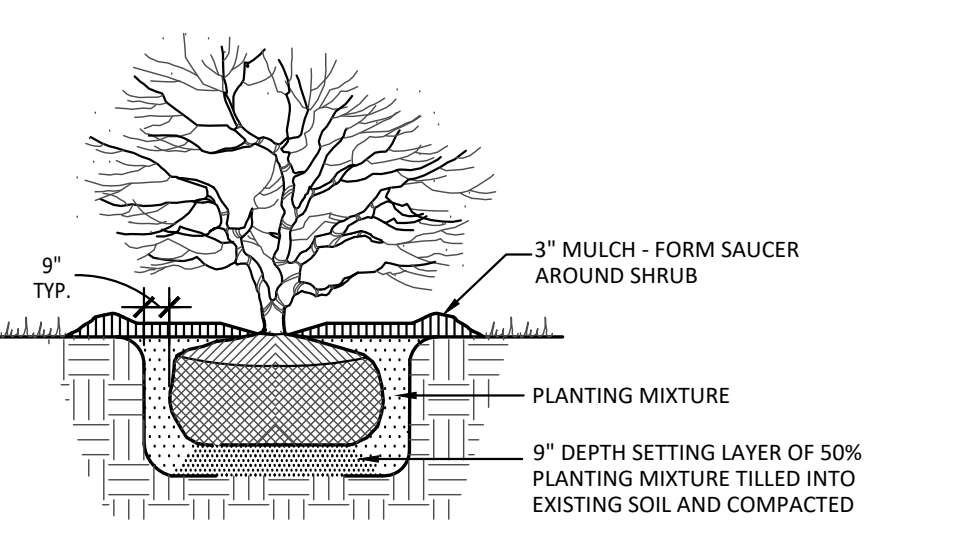
8 Section-Steel Guard Post
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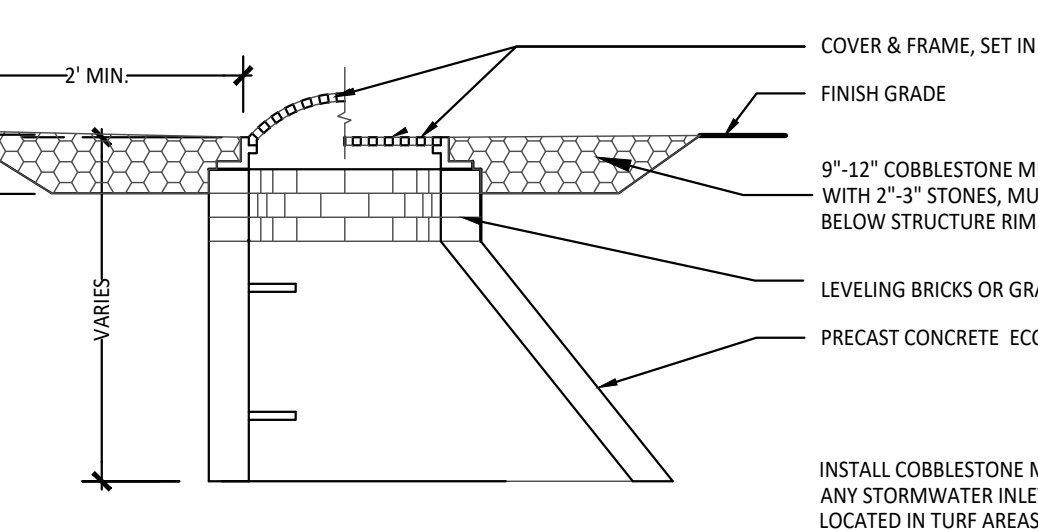
13 Section-Valley Gutter
1/2\"/>



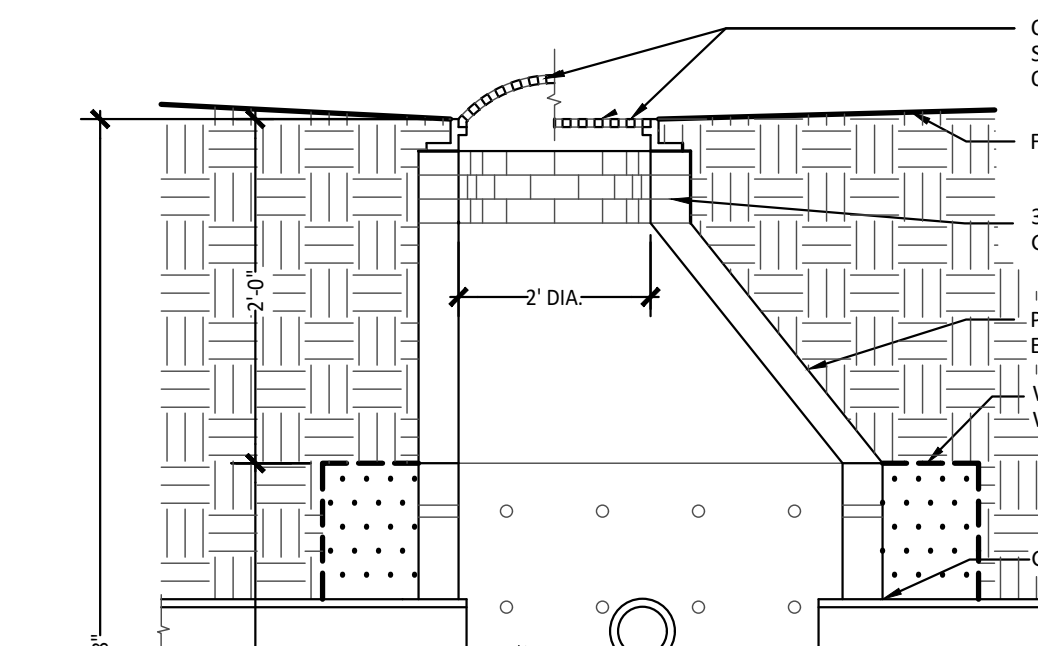
14 Tree Planting Detail
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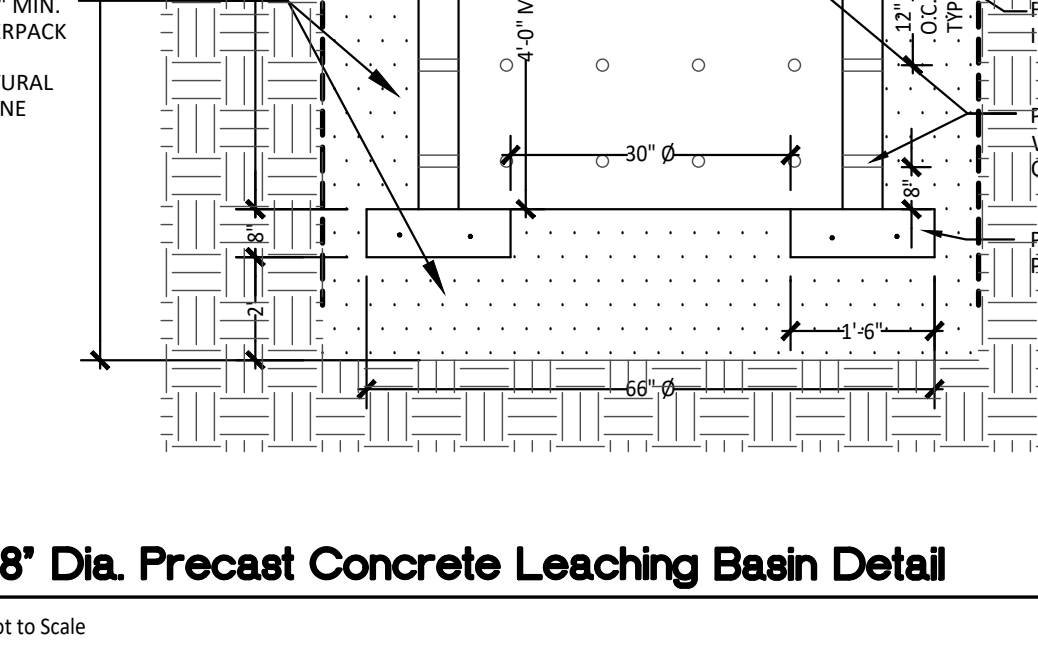
15 Shrub Planting Detail
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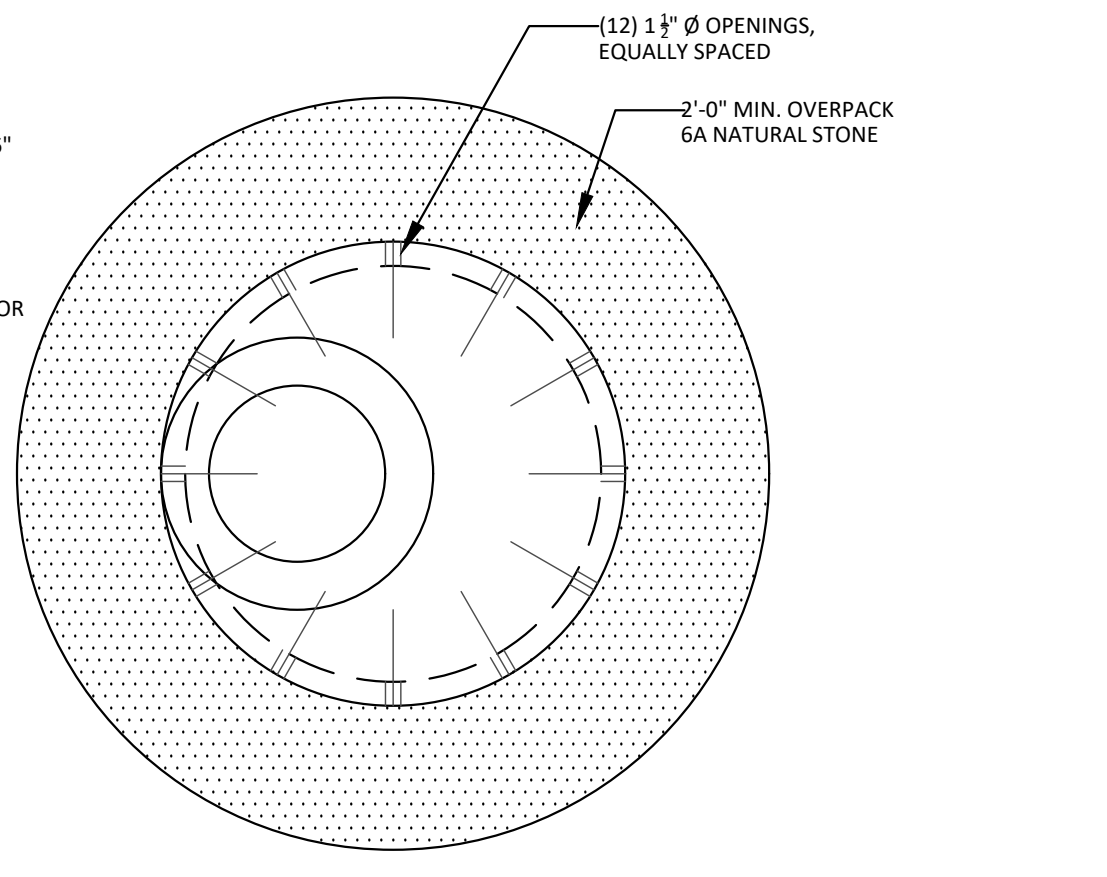
10 Section-Integral Walk + Curb 4\"/>



8 Section-Steel Guard Post
Not to Scale



8 Section-Steel Guard Post
Not to Scale



12 48\"/>

NOTE: SET LEACHING BASIN FIRST ON 2'-0" DEPTH STONE BED THEN HAVE STONE INSTALLER TRUCK LOAD FLUIDIZED GA NATURAL STONE INTO HOLE

LEACHING BASIN INSTALLATION TO MEET CITY OF KALAMAZOO ENGINEERING STANDARDS.

REFER TO SOILS REPORT FOR STORM STRUCTURE FINGER DRAIN INFORMATION, TYP.

REFER TO GEOTECHNICAL REPORT AND C301 FOR FINGER DRAIN INFORMATION, FINGER DRAINS TO BE INSTALLED JUST BELOW BOTTOM OF ASPHALT PAVING SECTION AND SLOPED TO DRAIN INTO STORMWATER STRUCTURE, TYP., DRAINS TO BE 6" DIAMETER, PERFORATED, CORRUGATED PLASTIC DRAIN PIPE, BEDDED AND BACKFILLED WITH MDOT 34R GRADATIONAL REQUIREMENTS AND WRAPPED ENTIRELY IN NON-WOVEN GEOTEXTILE FABRIC THAT IS OVERLAPPED ON TOP, TYP.

New Construction:
Eastside Square Building B
1616 E. Main ST. KALAMAZOO, MI 49048

PRE-SPR SUBMITTAL 04/29/22
SPR SUBMITTAL 08/05/22

sheet name
1616 East Main St. Details

project number
21002

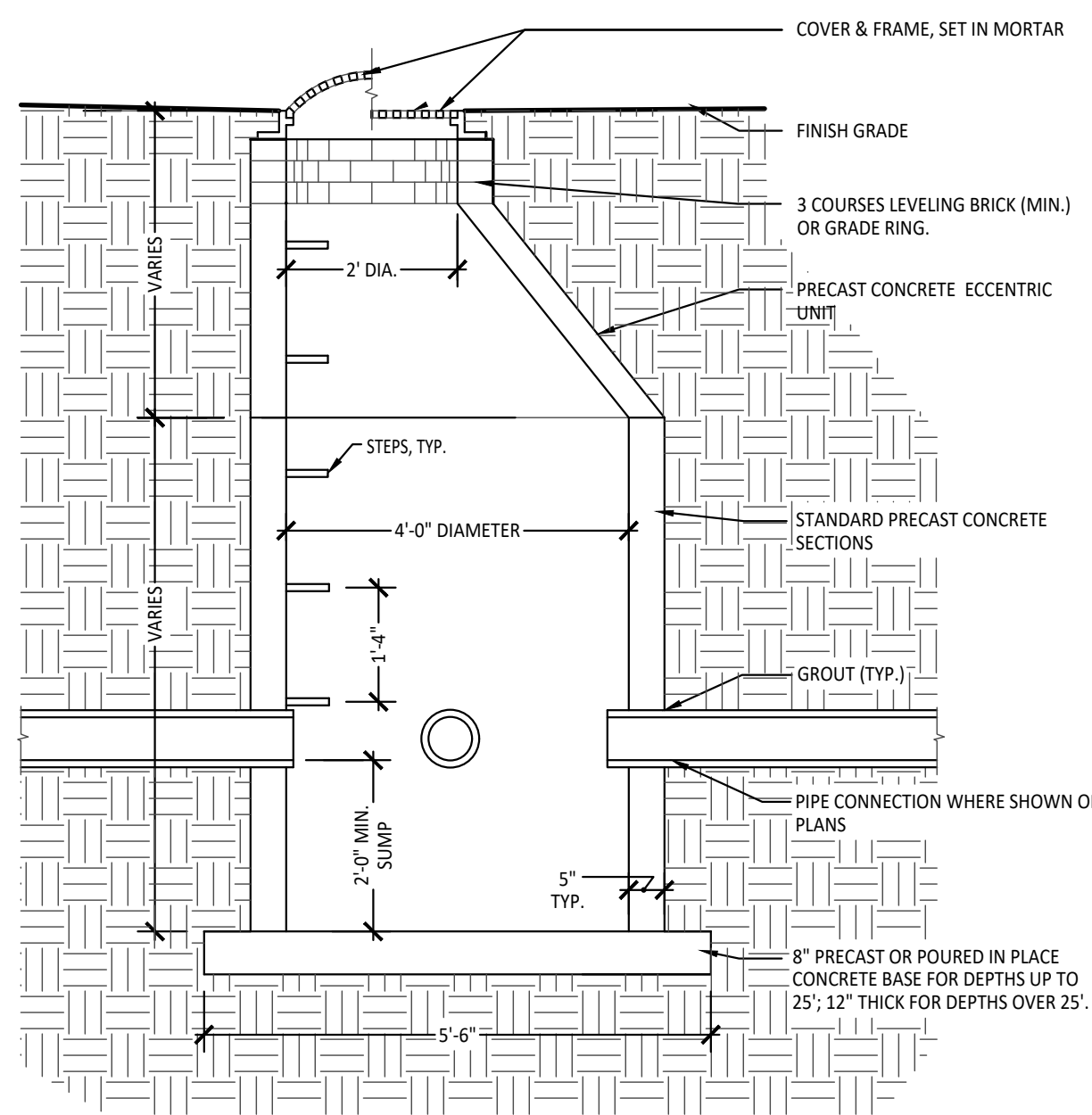
drawing date
SPR SUBMITTAL
08.05.2022

sheet number

C4.0

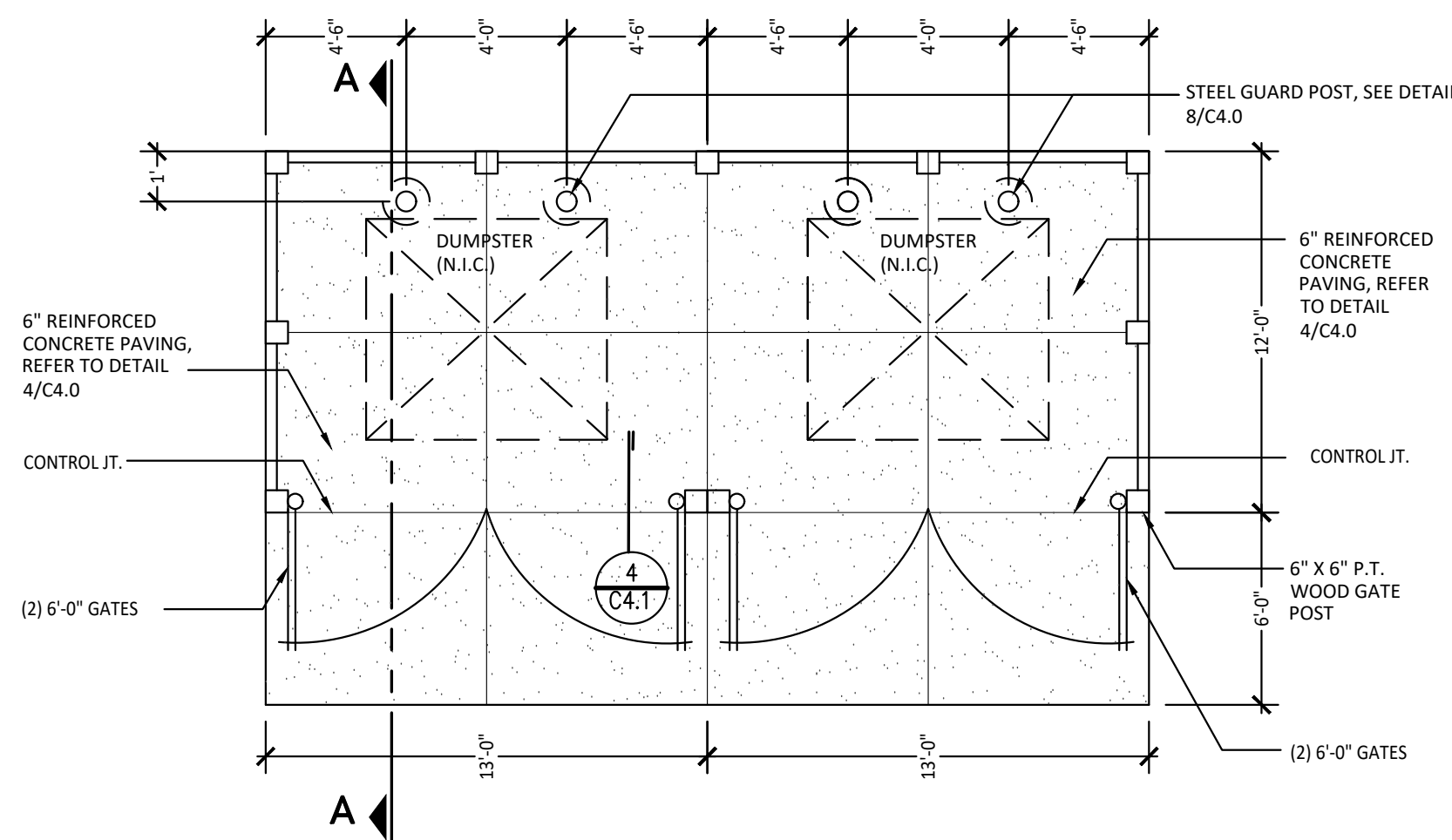
PRELIMINARY
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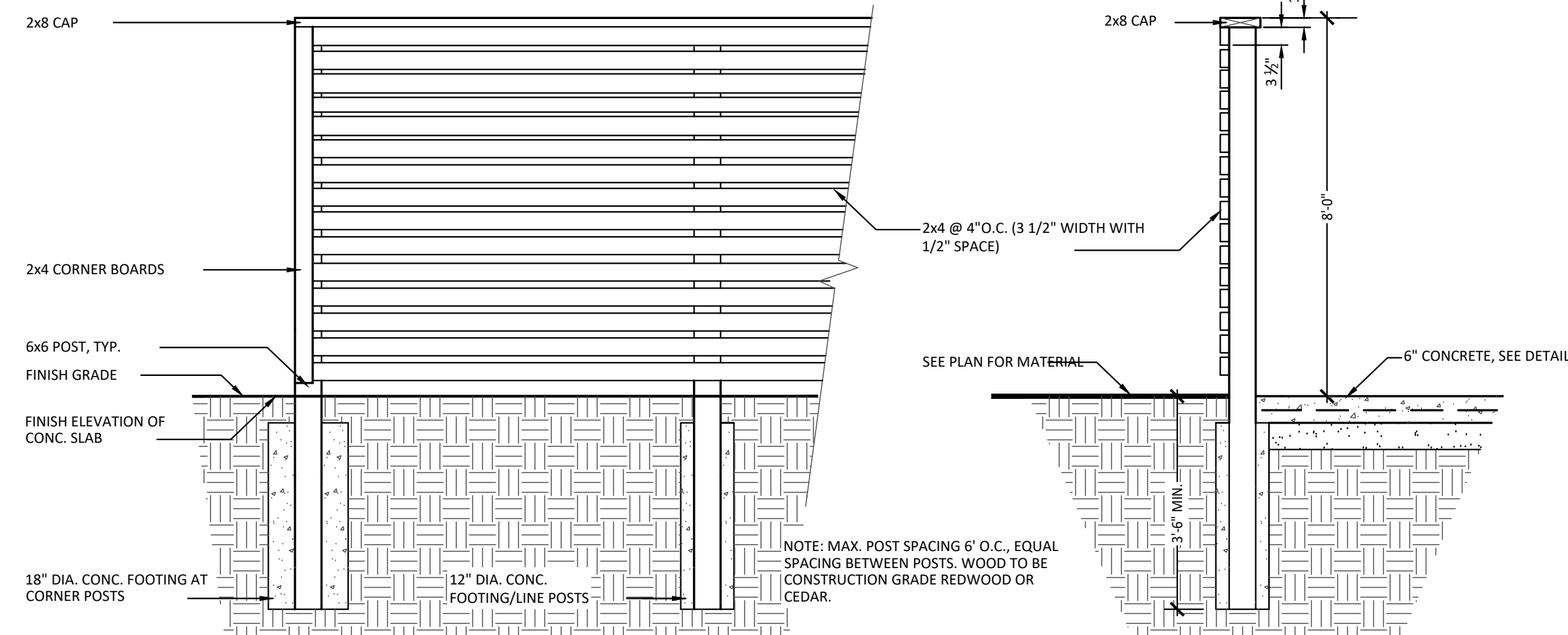
1 4' Catch Basin Detail

NOT TO SCALE



2 Dumpster Enclosure Plan Detail

NOT TO SCALE

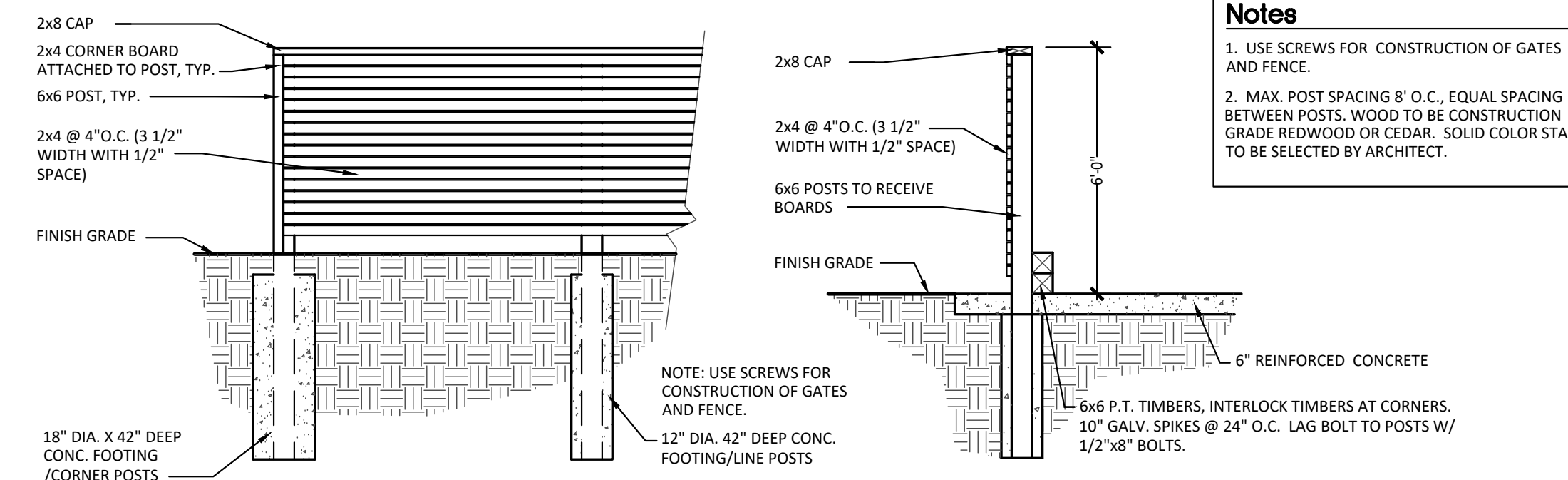


Screen Fence Elevation

Screen Fence Section

3 Screen Fencing Details

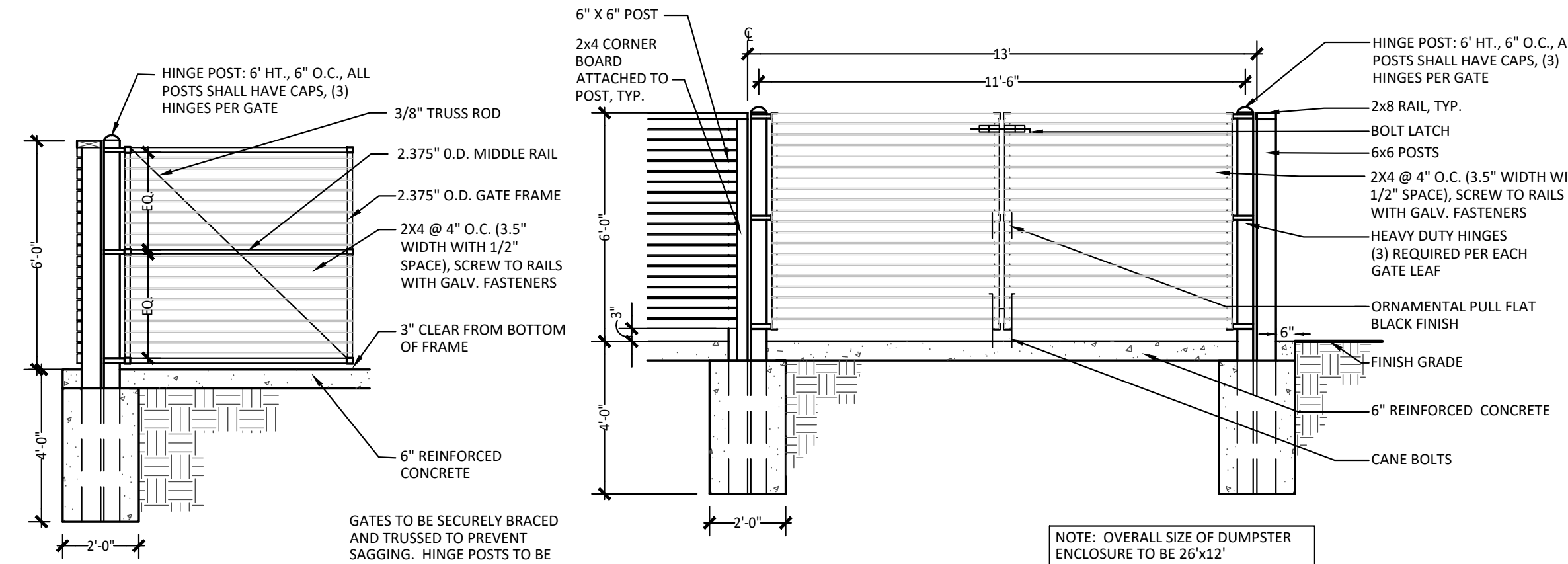
NOT TO SCALE



Fence Elevation

Fence Section

Notes
1. USE SCREWS FOR CONSTRUCTION OF GATES AND FENCE.
2. MAX. POST SPACING 8' O.C., EQUAL SPACING BETWEEN POSTS. WOOD TO BE CONSTRUCTION GRADE REDWOOD OR CEDAR. SOLID COLOR STAIN TO BE SELECTED BY ARCHITECT.

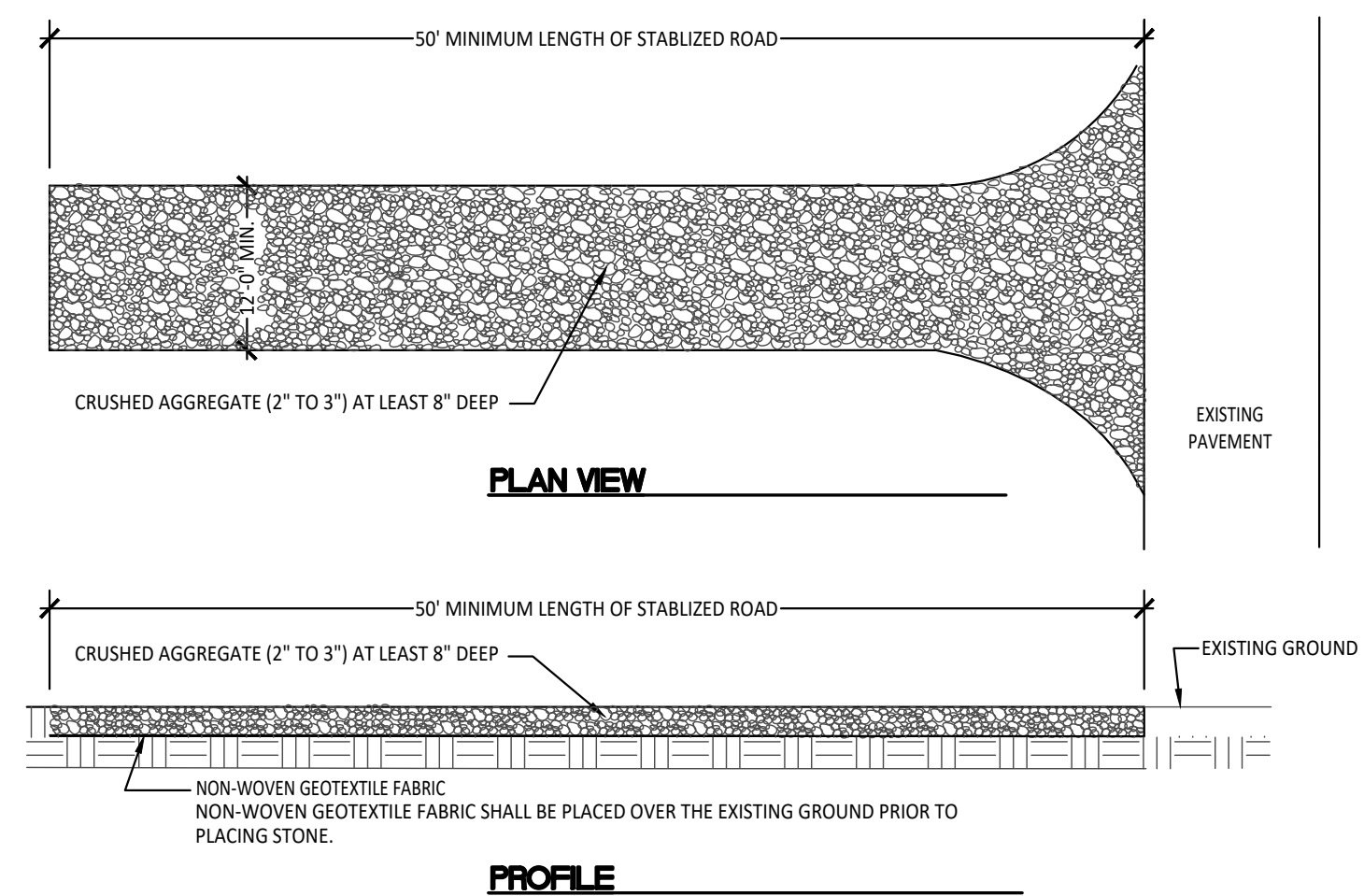


Gate Elevation (inside)

Gate Elevation (outside)

4 Dumpster Enclosure

NOT TO SCALE

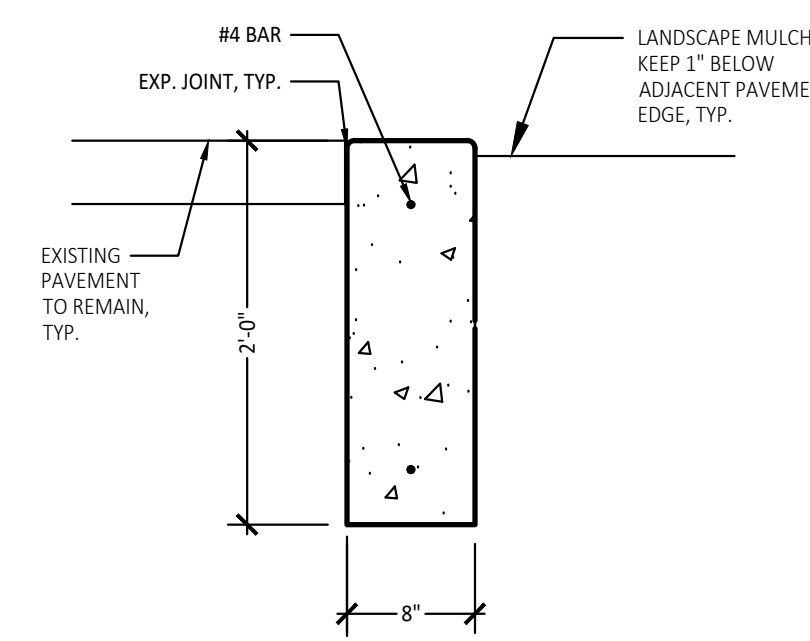


NOTES

1. ESTABLISH STABILIZED CONSTRUCTION ENTRANCE PRIOR TO THE INITIATION OF SITE CONSTRUCTION ACTIVITIES.
2. CARE SHOULD BE TAKEN TO PREVENT MATERIAL MOVEMENT INTO ADJACENT WETLANDS/WATERBODIES.
3. CARE SHOULD BE TAKEN TO MAINTAIN EXISTING ROADSIDE DRAINAGE VIA CULVERT INSTALLATION, WITH SEDIMENT SUMP PLACED DOWNFLOW OF CULVERT.

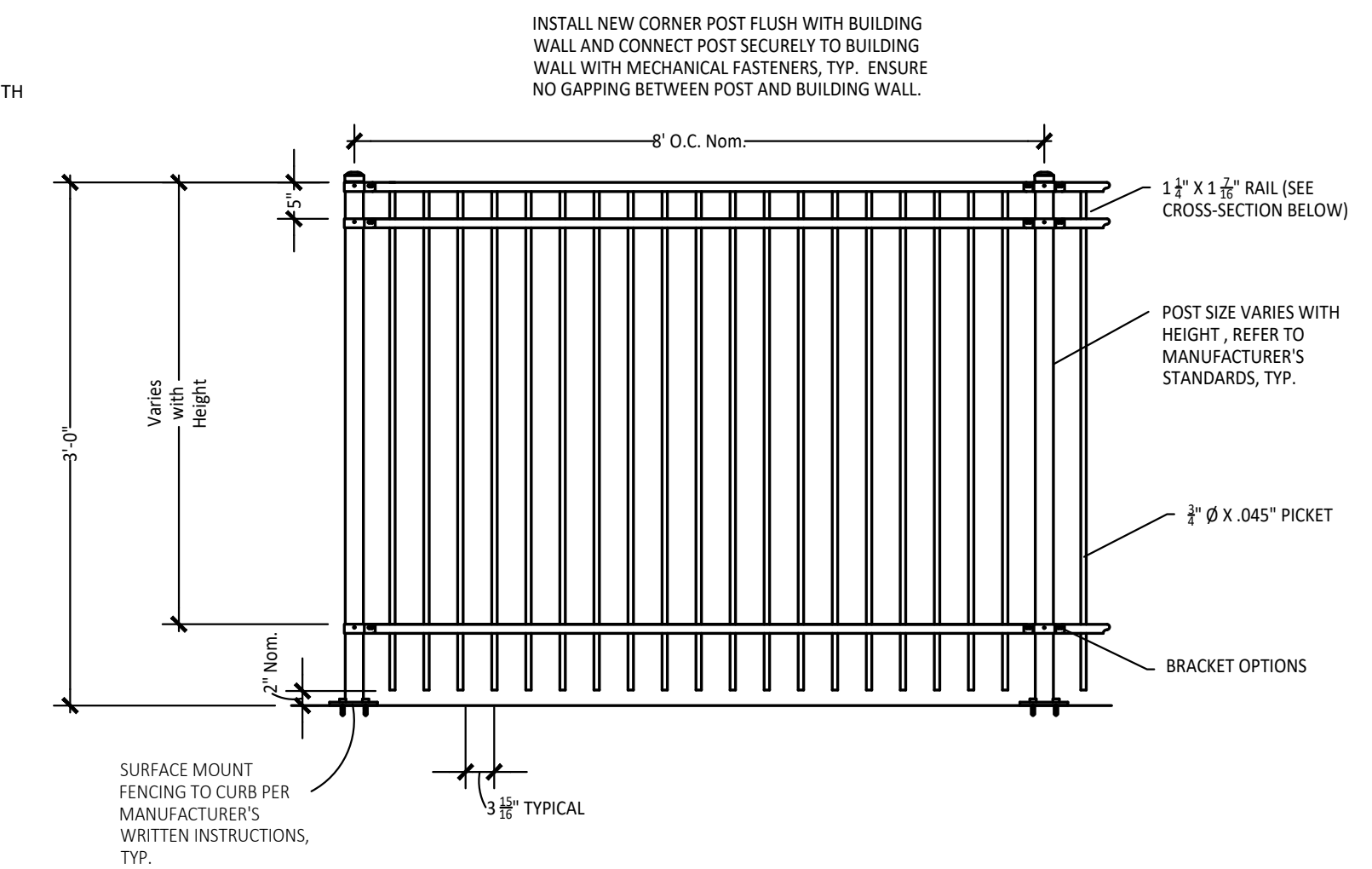
5 Gravel Access Approach Detail

NOT TO SCALE



6 Planter Curb Detail

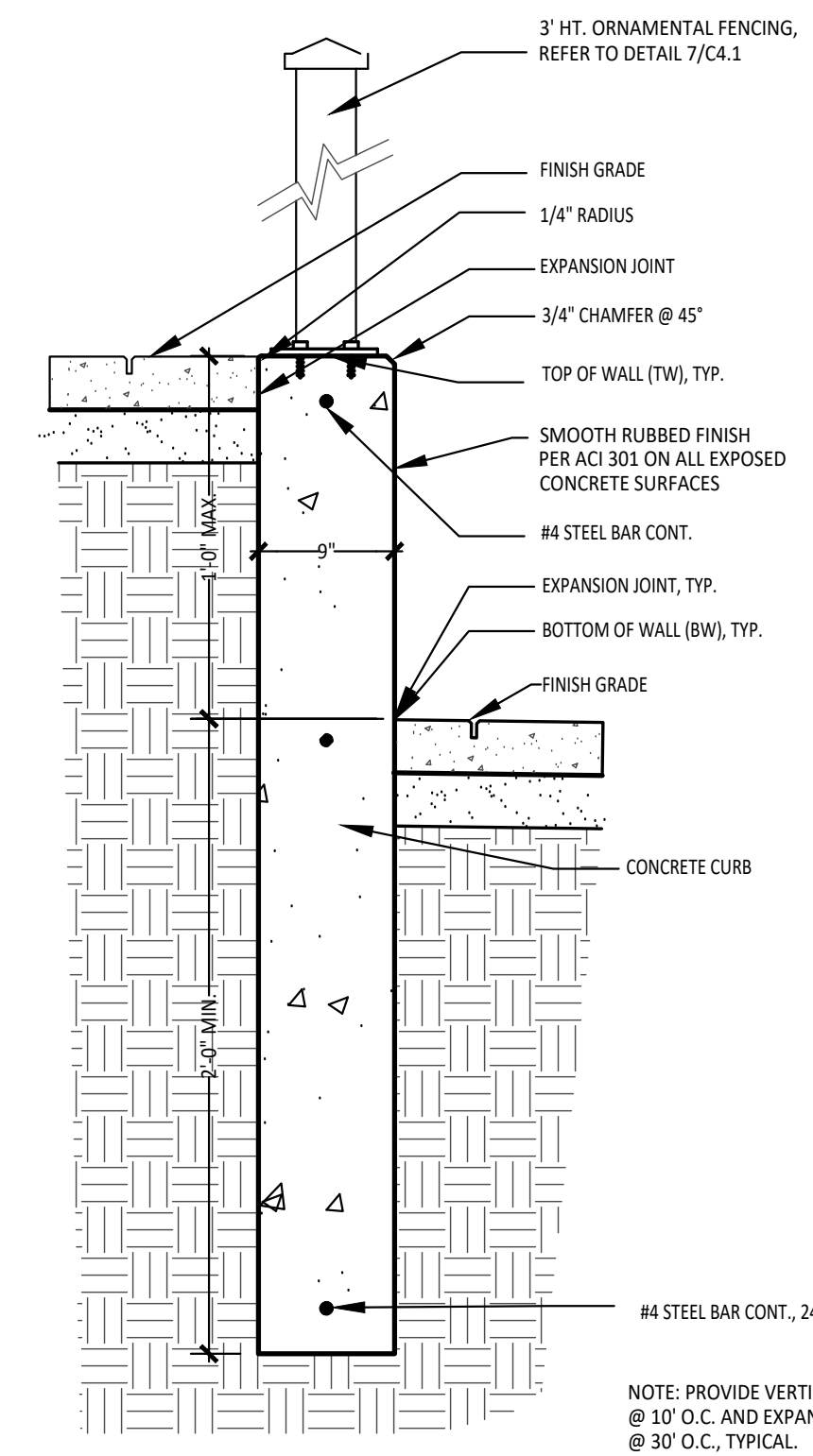
NOT TO SCALE



7 36' Height Ornamental Fencing Detail

NOT TO SCALE

- NOTES:**
- 1.) POST SIZE DEPENDS ON FENCE HEIGHT AND WIND LOADS. SEE MANUFACTURER POST SIZING CHART.
 - 2.) PANELS ALSO AVAILABLE FOR 6' ON CENTER POST SPACING



8 Concrete Curbing Detail

NOT TO SCALE

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PRE-SPR SUBMITTAL 04/29/22

sheet name
1616 East Main St. Details

project number
21002

drawing date
SPR SUBMITTAL
08.05.2022

sheet number

C4.1

PRELIMINARY
NOT FOR CONSTRUCTION

PLANT LIST:

	SYM.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	COM.
DECIDUOUS TREES	Zs	Zelkova serrata 'Green Vase'	Green Vase Zelkova	3" Cal.	B&B	
SHRUBS	Pan	Picea abies 'Little Gem'	Little Gem Spruce	3 Gal.	Cont.	3' O.C.
	Rc	Rosa 'Carefree Wonder'	Carefree Wonder Shrub Rose	15" Ht.	B&B	3' O.C.
	Wfm	Weigela florida 'Minuet'	Minuet Weigela	18" Ht.	Cont.	3' O.C.
PERENNIALS, GROUND COVERS	Aoo	Aster oblongifolius 'October Skies'	October Skies Aster	1 Gal.	Cont.	2' O.C.
	Acs	Astilbe chinensis 'Strawberry Cake'	Strawberry Cake Astilbe	1 Gal.	Cont.	2' O.C.
	Cv	Coreopsis verticillata 'Moonbeam'	Moonbeam Coreopsis	1 Gal.	Cont.	18" O.C.
	Epm	Echinacea purpurea 'Magnus'	Magnus Purple Coneflower	1 Gal.	Cont.	18" O.C.
	Hg	Hosta 'Guacamole'	Guacamole Hosta	1 Gal.	Cont.	36" O.C.
Hlw	Hemerocallis 'Little Wine Cup'	Little Wine Cup Daylily	1 Gal.	Cont.	18" O.C.	
ORNAMENTAL GRASSES	Sh	Sporobolus heterolepis	Prairie Dropseed Grass	1 Gal.	Cont.	3' O.C.

NOTE: Unless otherwise specified, all perennials, grasses and groundcovers shall be grown in their container for one year prior to installation.

LANDSCAPE NOTES:

1. SURVEY OF EXISTING CONDITIONS PROVIDED BY WIGHTMAN & ASSOCIATES, INC., 433 EAST RANSOM STREET, KALAMAZOO, MICHIGAN 49007 (269)327-3532
2. CALL "MISS DIG" AND VERIFY ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING WORK. 72 HOURS BEFORE YOU DIG CALL "MISS DIG" AT 1-800-482-7171. ANY UTILITIES DISTURBED BY CONSTRUCTION SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE.
3. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHOULD BE REPORTED TO THE CONSTRUCTION MANAGER IMMEDIATELY FOR RESOLUTION.
4. IN AREAS OF NEW TURF PLACE 4" MINIMUM TOPSOIL, FINE GRADE & ESTABLISH TURF WITHIN SEED LIMIT LINES.
5. PLACE SHREDDED HARDWOOD MULCH TO A 3" DEPTH IN ALL TREE & SHRUB BEDS & TO A 2" DEPTH IN ALL GROUND COVER BEDS.
6. UNLESS OTHERWISE NOTED, TOPSOIL, FINE GRADE AND SEED ALL DISTURBED AREAS WITHIN THE SEEDING LIMIT SHOWN AND AREAS DISTURBED BY CONSTRUCTION.
7. REPAIR AND RESTORE ANY DAMAGE OUTSIDE OF LIMIT OF WORK LINE TO ORIGINAL CONDITION.
8. PROTECT ALL TREES AND EXISTING FEATURES TO REMAIN AS SPECIFIED.
9. ALL TOPSOIL AND EXCESS FILL MATERIAL SHALL BE STOCKPILED ON SITE SEPARATELY FOR LATER RE-USE. LOCATE STOCKPILES IN AREAS AS DIRECTED BY CONSTRUCTION MANAGER AND PROTECT FROM EFFECTS OF EROSION.
10. ALL NURSERY STOCK SHALL BE TRUE TO TYPE AND NAME. ALL STOCK SHALL BE FIRST CLASS QUALITY WITH WELL DEVELOPED BRANCH SYSTEMS AND VIGOROUS HEALTHY ROOT SYSTEMS. ALL STOCK SHALL BE WELL FORMED AND THE TRUNKS OF TREES SHALL BE UNIFORM AND STRAIGHT.
11. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR IRRIGATION SCHEDULING FOR THE ENTIRE MAINTENANCE PERIOD UNLESS OTHERWISE NOTED.
12. CONTRACTOR RESPONSIBLE TO LOCATE SITE LIGHTING SERVICES. CONTRACTOR RESPONSIBLE TO NOTIFY CONSTRUCTION MANAGER IF DAMAGE TO LIGHTING ELECTRICAL DISTRIBUTION OCCURS.
13. ALL AREAS OF TREE CLEARING SHALL BE STAKED FOR ARCHITECTS APPROVAL PRIOR TO CLEARING.
14. UNLESS OTHERWISE SPECIFIED, ALL PERENNIALS, GRASSES AND GROUNDCOVERS SHALL BE GROWN IN THEIR CONTAINER FOR ONE YEAR PRIOR TO INSTALLATION.

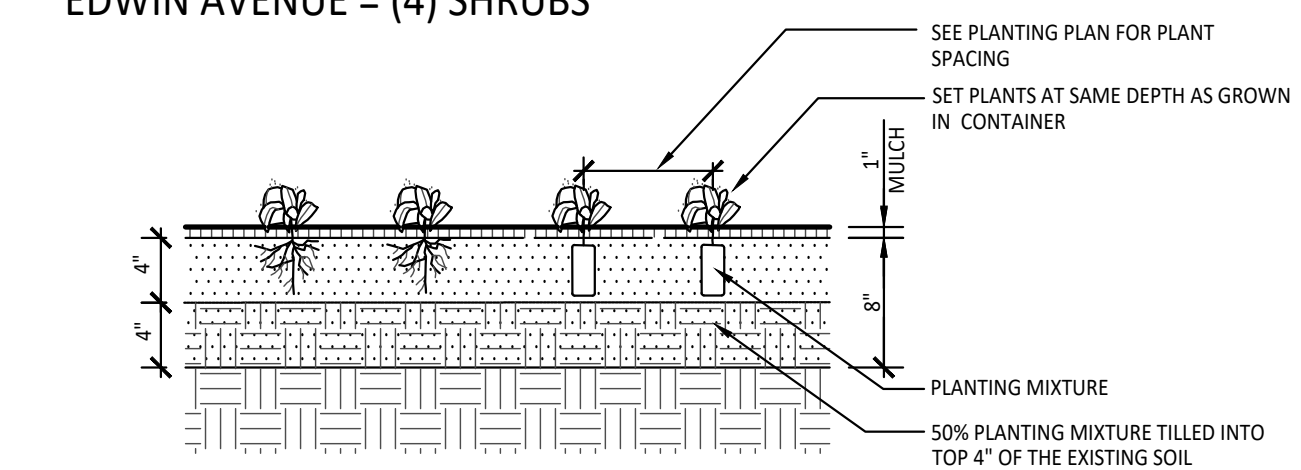
PROPOSED FEATURES LEGEND:

SYMBOL	DESCRIPTION	DETAIL
	DECIDUOUS TREE	14/ C4.0
	SHRUB	15/ C4.0
	ORNAMENTAL GRASSES	2/ L1.0
	PERENNIALS	2/ L1.0
	BED LINE/ METAL EDGING	2/ L1.1
	LIMIT OF WORK	
	PROPERTY LINE	
	PLANT TAG- REFERS TO TYPE AND NUMBER OF PLANTINGS TO BE PROVIDED AND MAINTAINED BY CONTRACTOR.	

BUILDING "A" FRONT YARD PROPERTY LINE LANDSCAPING

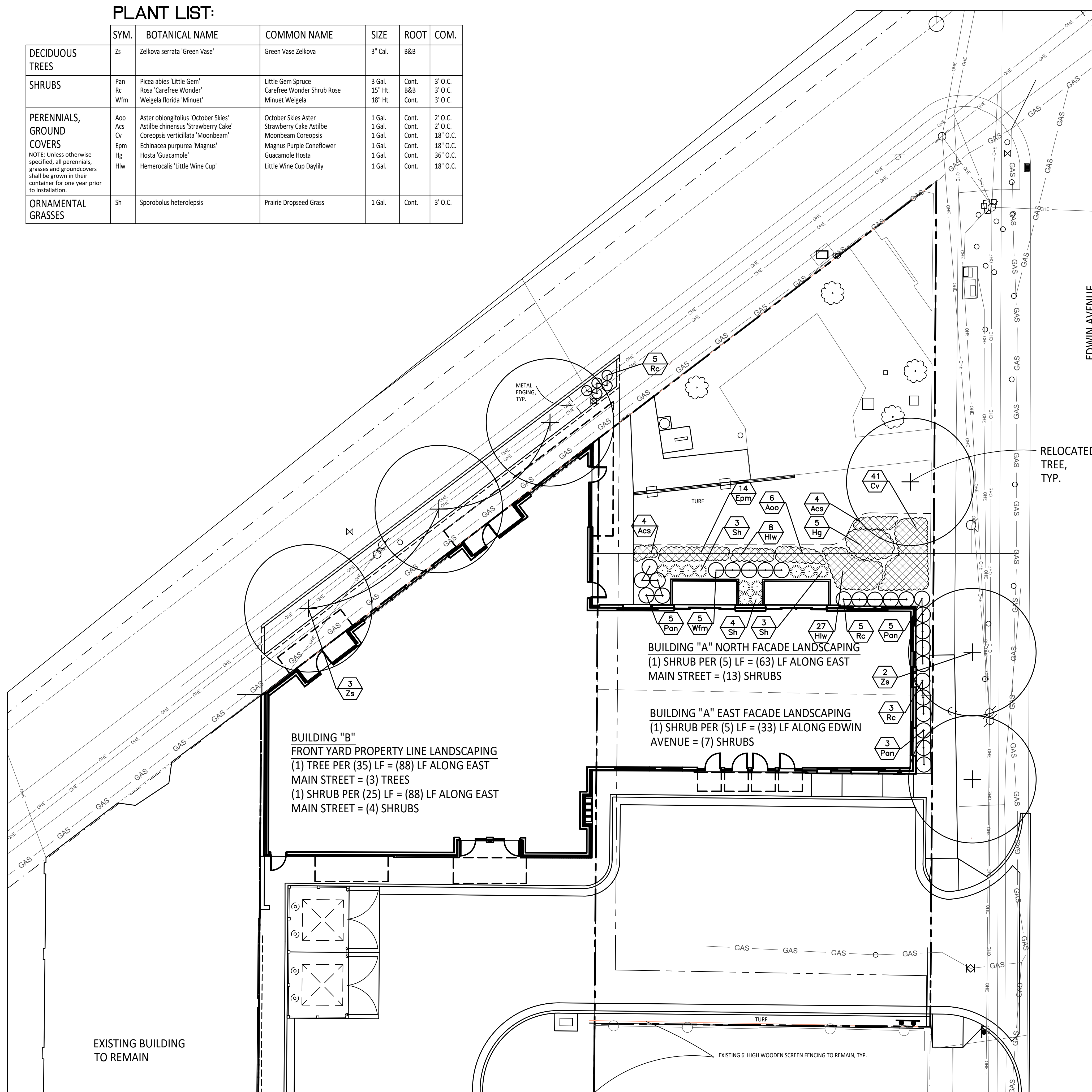
* (1) TREE PER (35) LF = (111) LF ALONG EDWIN AVENUE = (3) TREES
 (2) NEW TREES AND (1) EXISTING TREE

* (1) SHRUB PER (25) LF = (111) LF ALONG EDWIN AVENUE = (4) SHRUBS

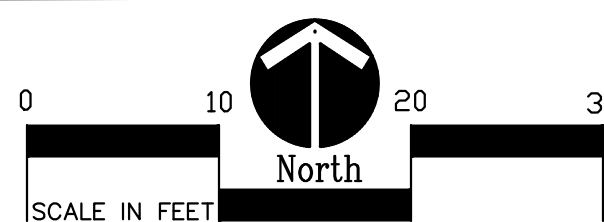


NOTE: PLANT GROUNDCOVERS TO WITHIN ONE FOOT OF TREE OR SHRUB PLANTED WITHIN THE AREA.

2 Upright Groundcover Planting
 Not to Scale



1 North Landscape Plan
 Scale: 1" = 10'-0"



ZBA SUBMITTAL	12/16/21
PRE-SPR SUBMITTAL	04/29/22
SPR SUBMITTAL	08/05/22

sheet name	1616 East Main St. Landscape Plan
project number	21002
drawing date	SPR SUBMITTAL 08.05.2022
sheet number	



350 East Michigan Avenue Suite #415
 Kalamazoo Michigan 49007
 Phone (269) 381-3357
 Fax (269) 381-2944

Landscape Architecture
 Urban Planning
 Parks & Recreation
 Campus & Institutional Planning
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L1.0

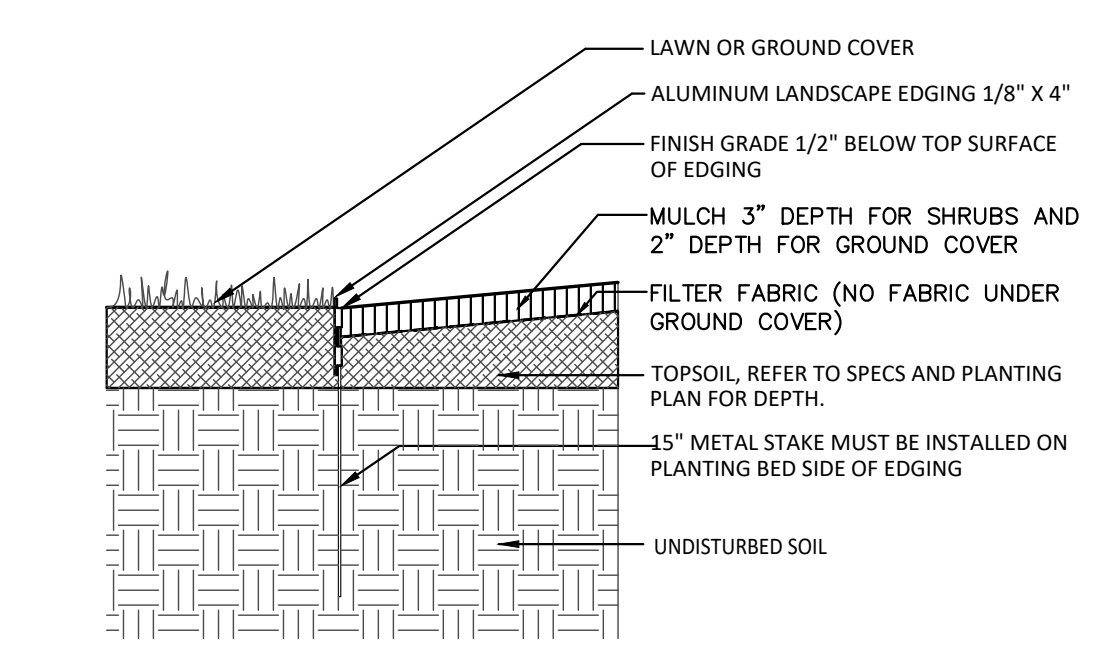
ZBA SUBMITTAL	12/16/21
PRE-SPR SUBMITTAL	04/29/22
SPR SUBMITTAL	08/05/22

LANDSCAPE NOTES:

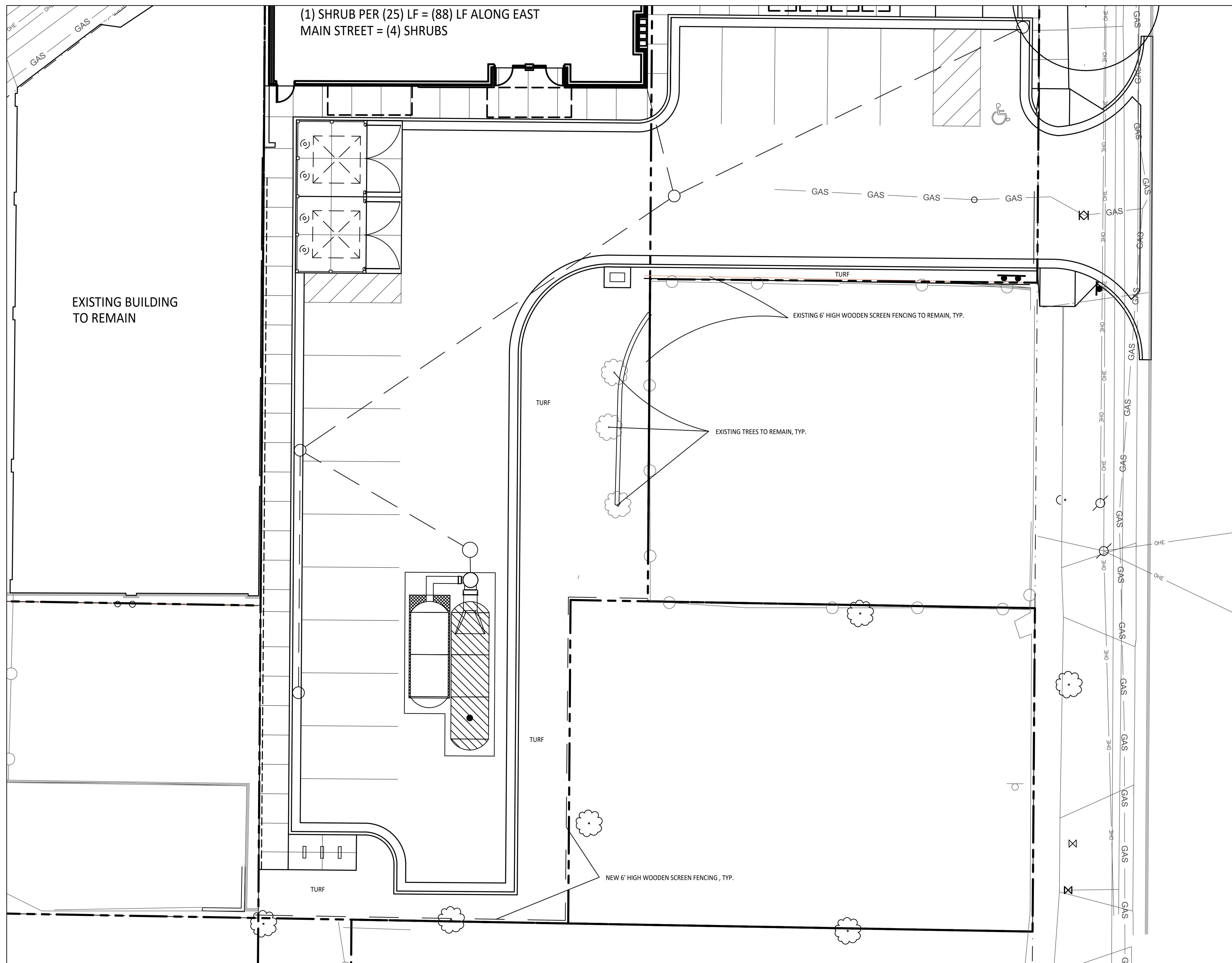
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PROPOSED FEATURES LEGEND:

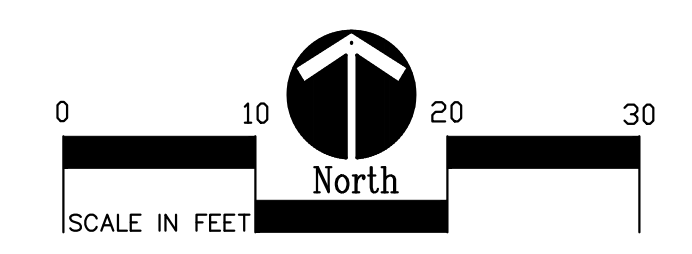
SYMBOL	DESCRIPTION	DETAIL
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	SHRUB	15 / C4.0
	ORNAMENTAL GRASSES	2 / L1.0
	PERENNIALS	2 / L1.0
	BED LINE/ METAL EDGING	2 / L1.1
	LIMIT OF WORK	
	PROPERTY LINE	
	PLANT TAG- REFERS TO TYPE AND NUMBER OF PLANTINGS TO BE PROVIDED AND MAINTAINED BY CONTRACTOR.	



2 Metal Edging Detail
Not To Scale



1 South Landscape Plan
Scale: 1" = 10'-0"



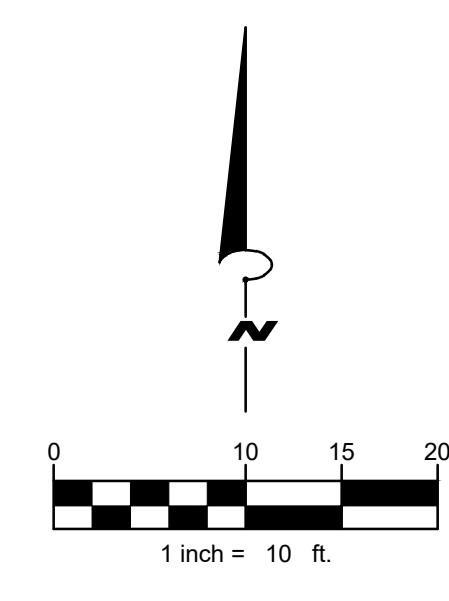
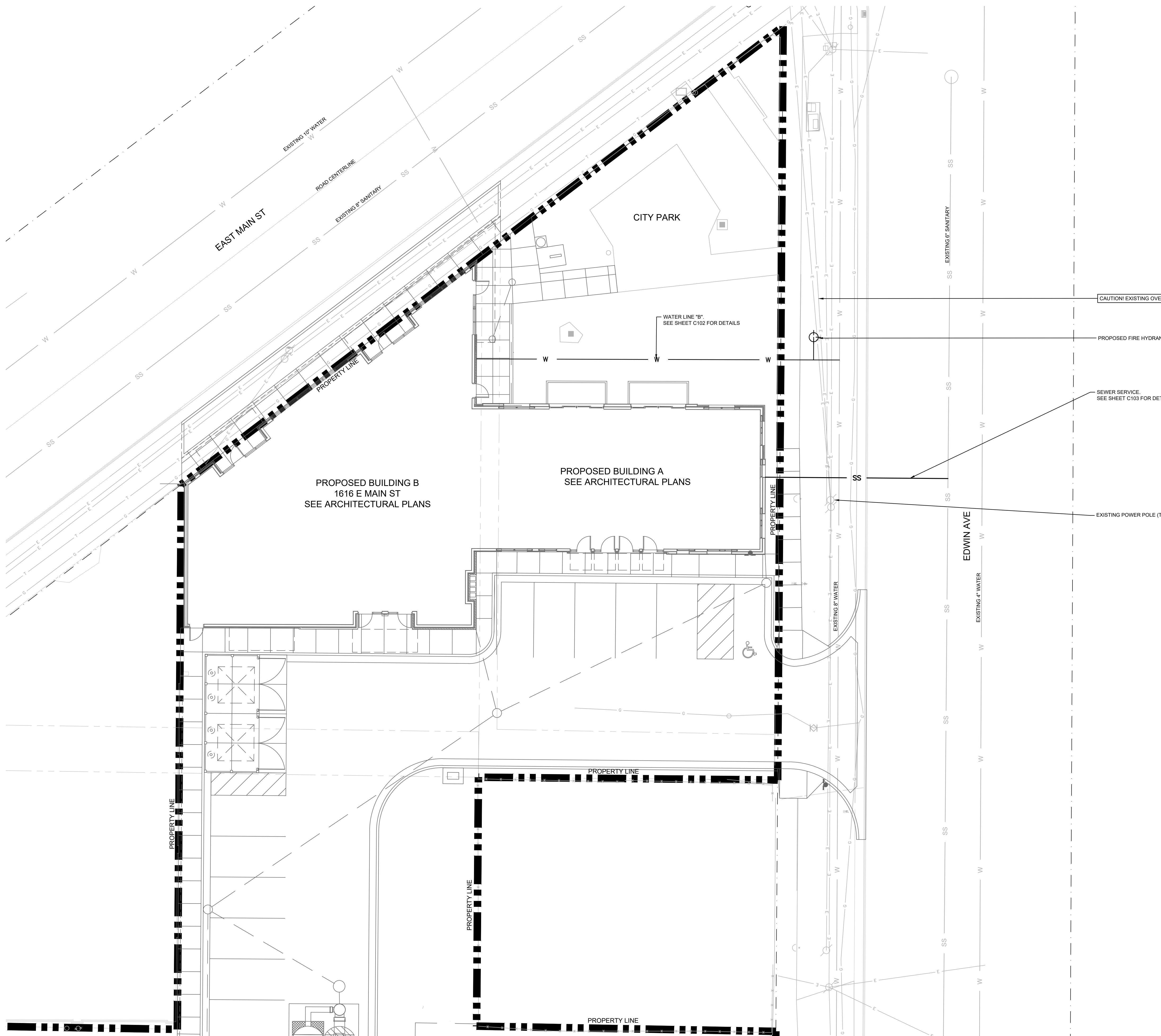
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Landscape Architecture
Urban Planning
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Camp Planning & Design

PRELIMINARY
NOT FOR CONSTRUCTION

sheet name	1616 East Main St. Landscape Plan
project number	21002
drawing date	SPR SUBMITTAL 08.05.2022
sheet number	

L1.1



New Construction:
**Eastside Square
Buildings A&B**
1616 E. Main St. Kalamazoo, MI 49048

UTILITY NOTES	
1.	ALL WATER LINES GREATER THAN 3 INCHES IN DIAMETER SHALL BE DUCTILE IRON PIPE, CLASS 52
3.	SANITARY SEWER LINES SHALL BE PVC MEETING ASTM D-3034 SDR 26 EXCEPT FOR SANITARY SEWER THAT CROSSES ABOVE WATER MAIN. THIS PIPE SHALL BE AWWA C900 (UNLESS CASING IS UTILIZED). PROVIDE 42" MINIMUM COVER, MINIMUM 18" VERTICAL SEPARATION, AND 10' HORIZONTAL SEPARATION BETWEEN PIPES.
4.	ANY DISRUPTIONS TO EXISTING SERVICE LINES FOR ADJACENT PROPERTIES SHALL BE COORDINATED WITH AFFECTED PROPERTY OWNERS
5.	THE CONTRACTOR SHALL NOTIFY MISS DIG (800-482-7171) TO COORDINATE FIELD LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO ORDERING MATERIALS OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
6.	SEE ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING PLANS FOR EXACT UTILITY CONNECTION LOCATIONS AT BUILDING
3.	ALL WATER MAINS AND THEIR APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH THE AWWA STANDARD C900 AND THE CITY OF KALAMAZOO STANDARD SPECIFICATIONS FOR WATER MAIN AND SERVICE INSTALLATION, 2021.
4.	WATER MAIN SHALL BE RESTRAINED IN ACCORDANCE WITH THE CITY OF KALAMAZOO WATER RESTRAINING TABLE 3.1 PIPE THRUST RESTRAINT TABLE.
5.	ALL HYDRANTS SHALL HAVE AN AREA 36" CLEAR OF OBSTRUCTIONS SURROUNDING THE OUTLET NOZZLES AND OPERATING NUTS. THIS INCLUDES MINIMUM CLEARANCE FOR REQUIRED LANDSCAPING BUSHES AND TREES.

sheet name	OVERALL WATER AND SEWER PLAN
project number	21003
drawing date	SPR SUBMITTAL 08.05.2022
sheet number	C101

New Construction:
**Eastside Square
Buildings A&B**
1616 E. Main St. Kalamazoo, MI 49048

sheet name
**WATER MAIN
PLAN AND PROFILES**

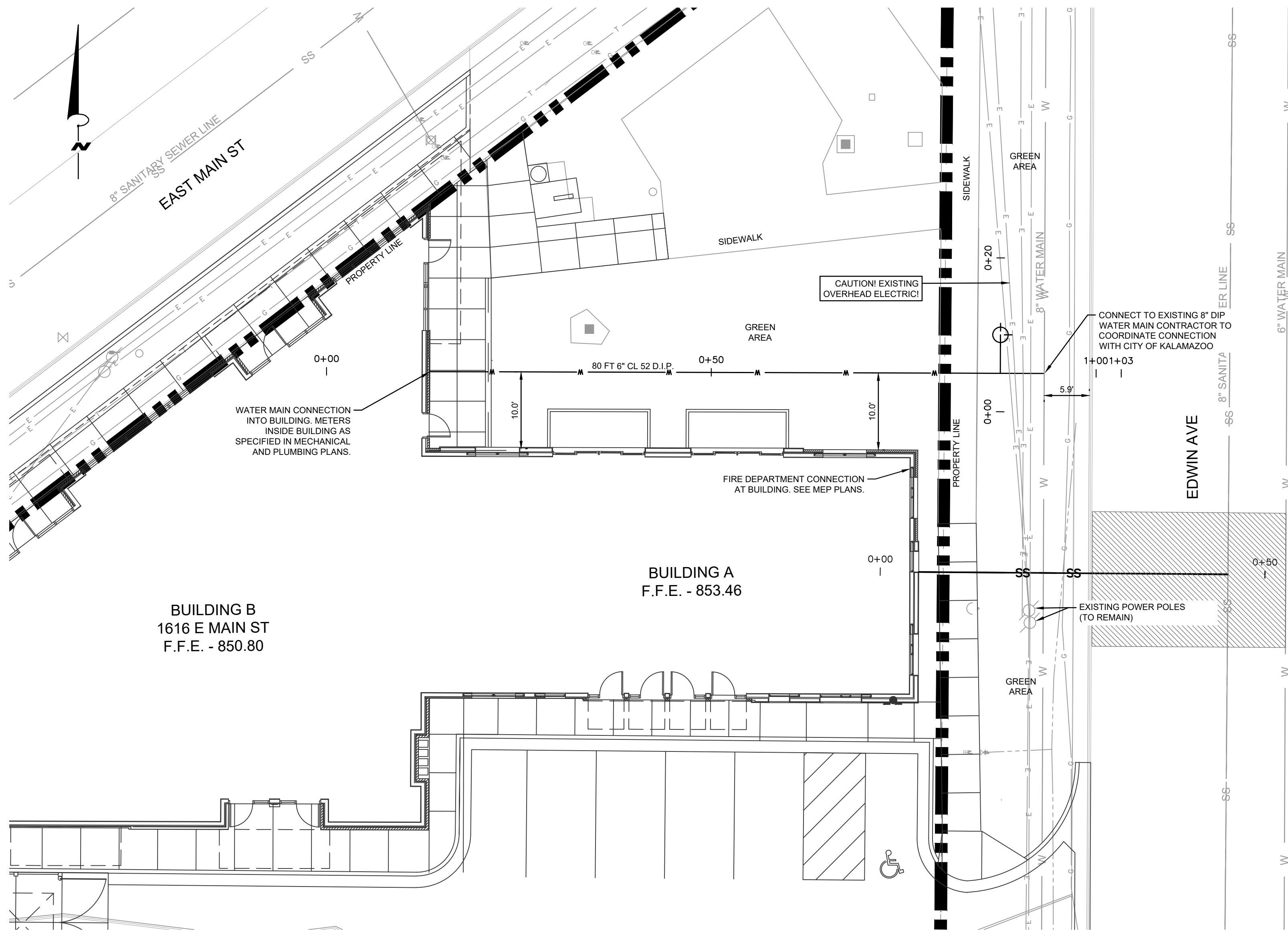
project number
21003

drawing date
SPR SUBMITTAL
08.05.2022

sheet number

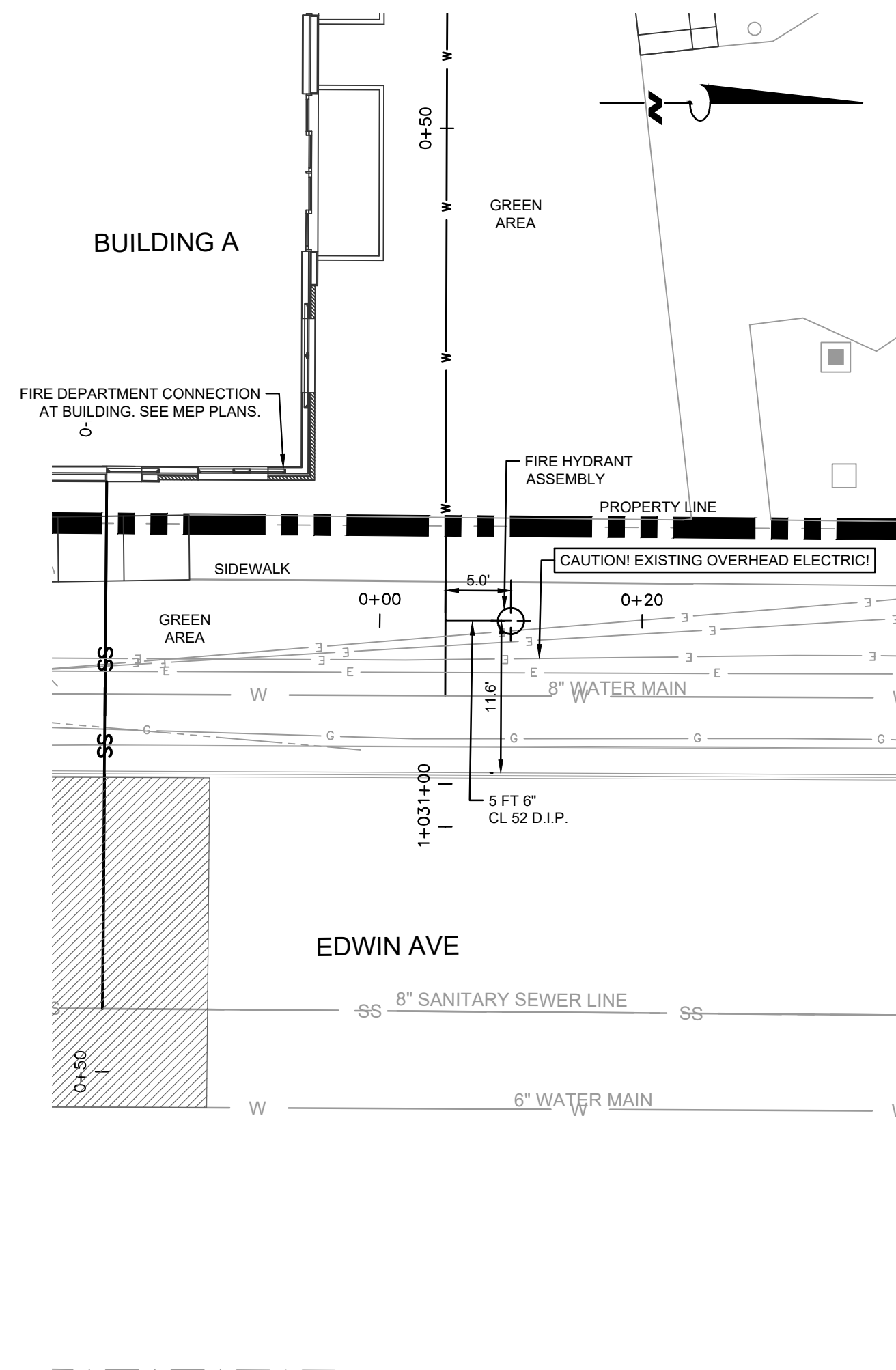
C102

UTILITY LEGEND	
	PROPOSED WATER LINE
	PROPOSED SANITARY SEWER LINE
	EXISTING GAS LINE
	EXISTING COMMUNICATIONS LINE
	EXISTING OVERHEAD ELECTRIC LINE
	EXISTING WATER LINE
	EXISTING SANITARY SEWER LINE

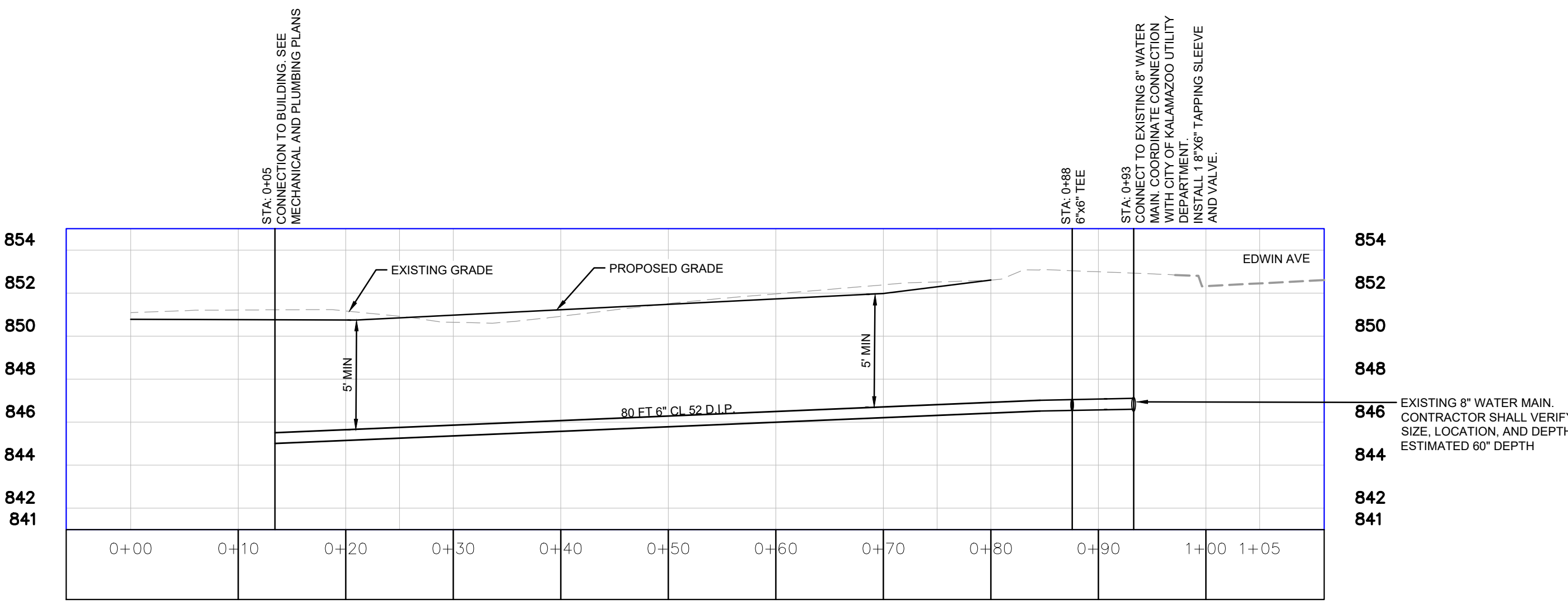


WATER MAIN "LINE-A" PLAN
HORIZONTAL SCALE: 1"=10'

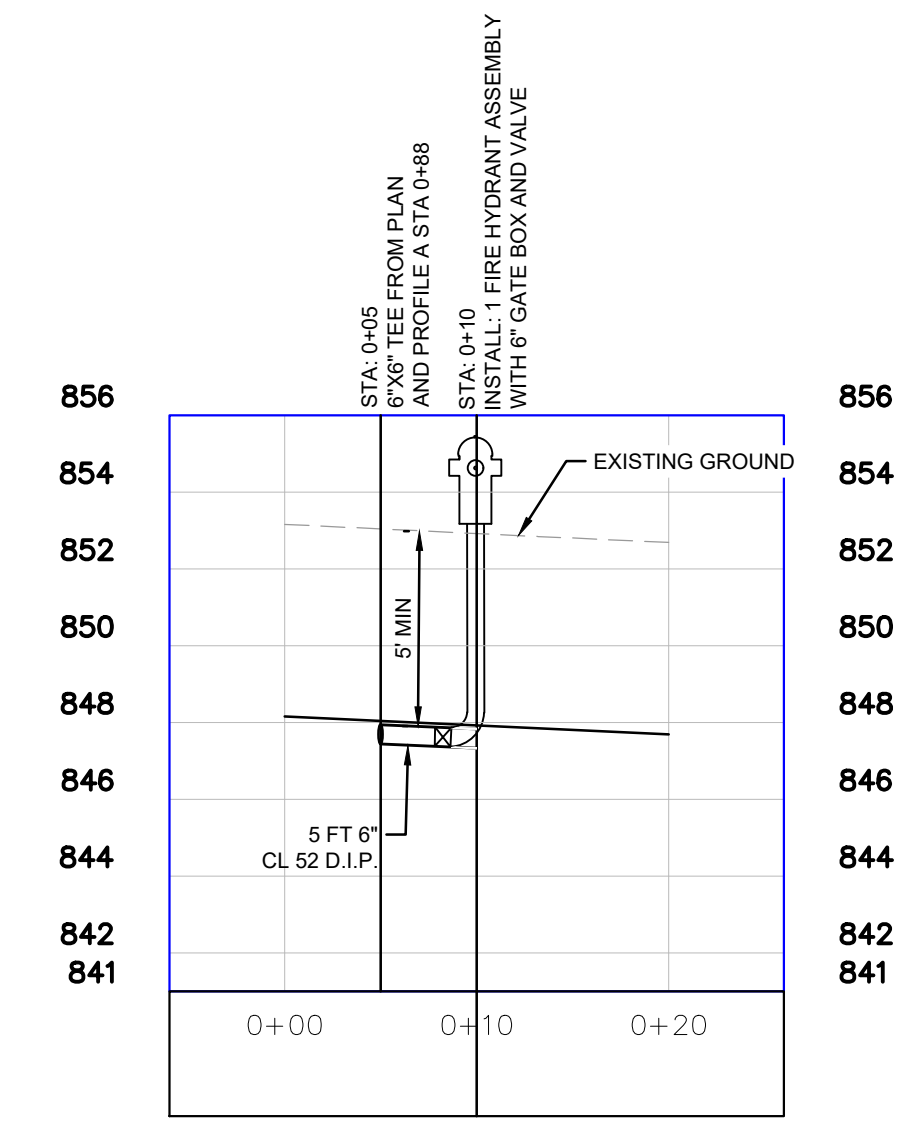
WORK SHALL START AT THE CONNECTION POINT TO THE EXISTING MAIN AND COMMENCE TO THE BUILDING



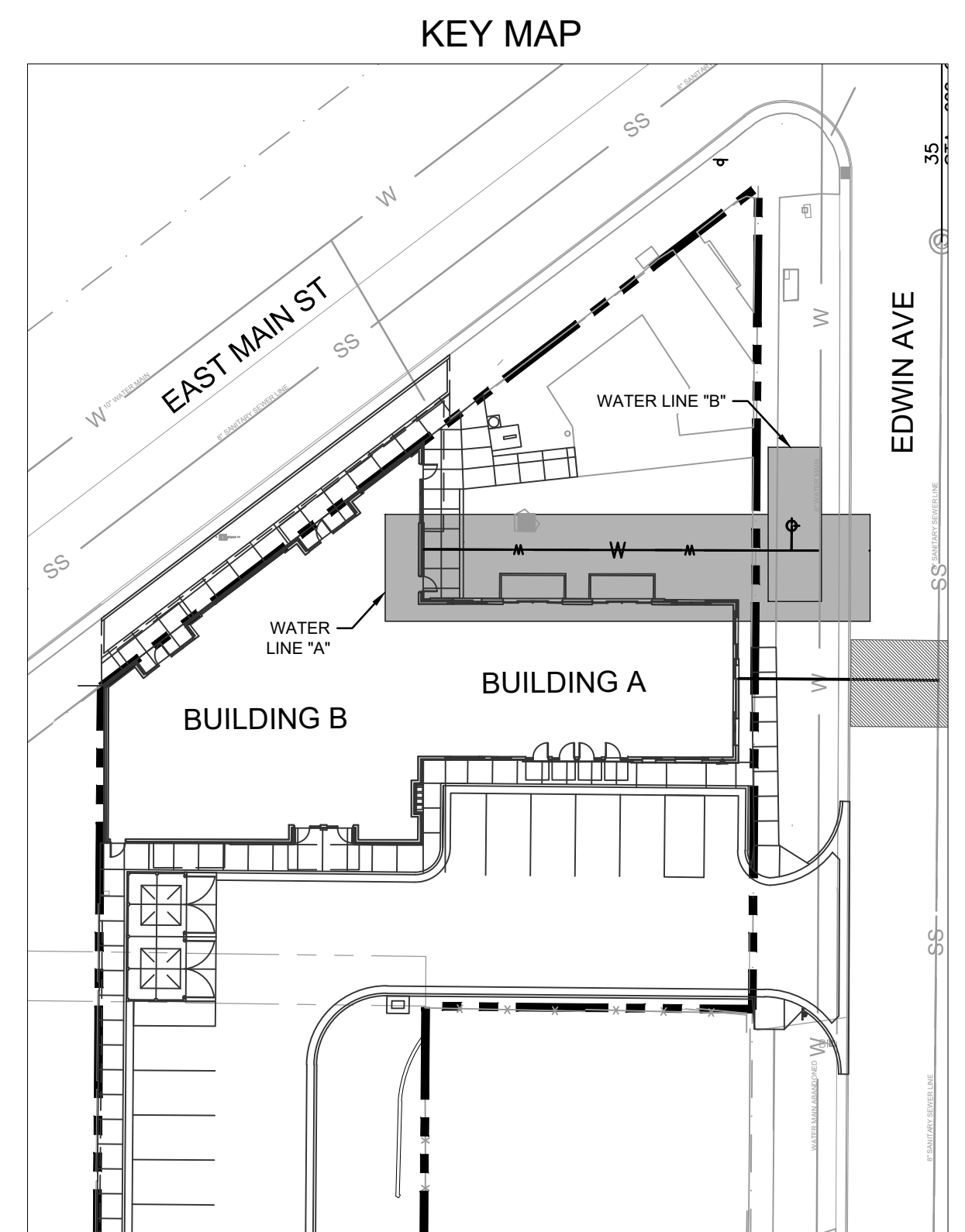
WATER MAIN "LINE-B" PLAN
HORIZONTAL SCALE: 1"=10'



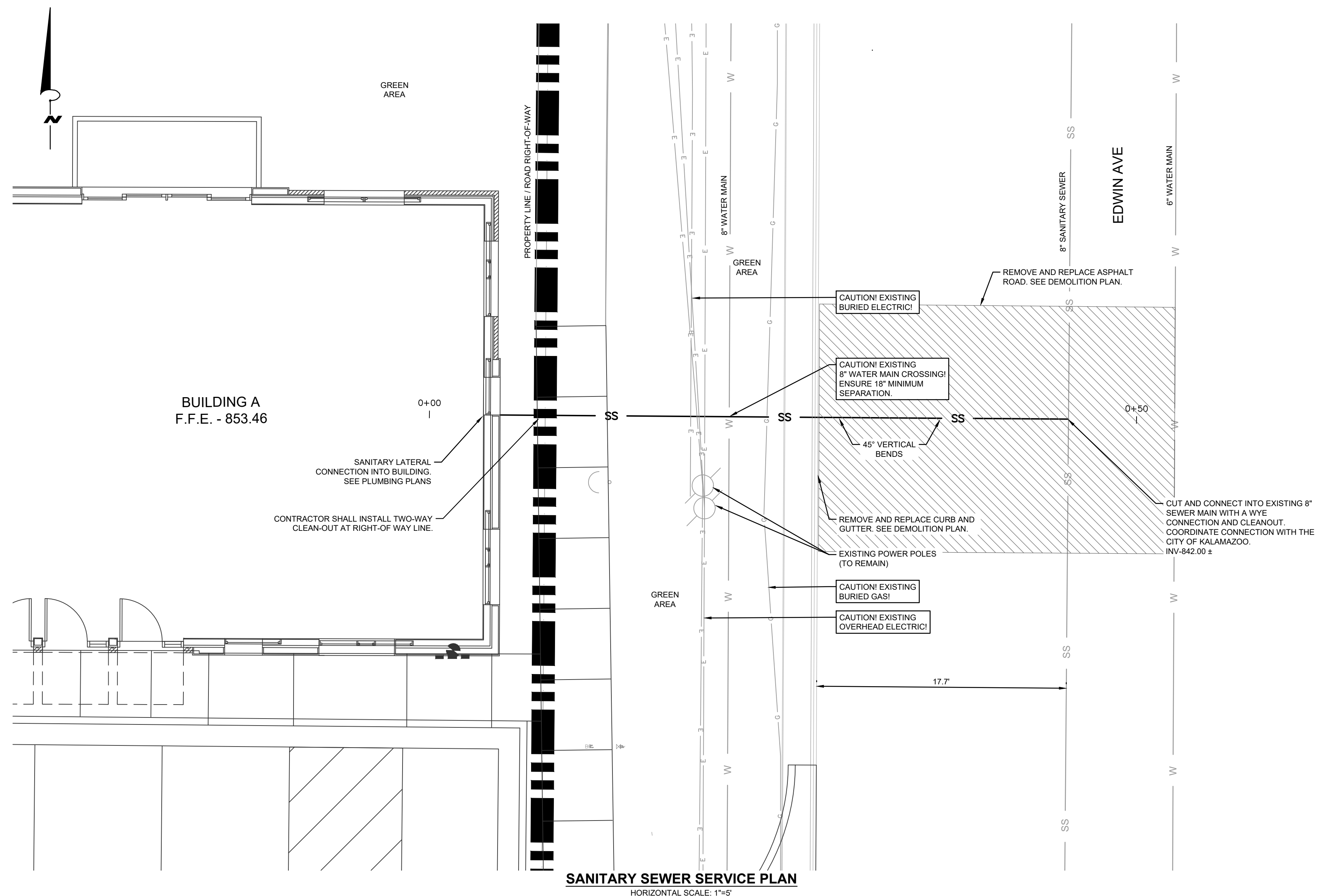
WATER MAIN "LINE-A" PROFILE
HORIZONTAL SCALE: 1"=10'
VERTICAL SCALE: 1"=5'



WATER MAIN "LINE-B" PROFILE
HORIZONTAL SCALE: 1"=10'
VERTICAL SCALE: 1"=5'

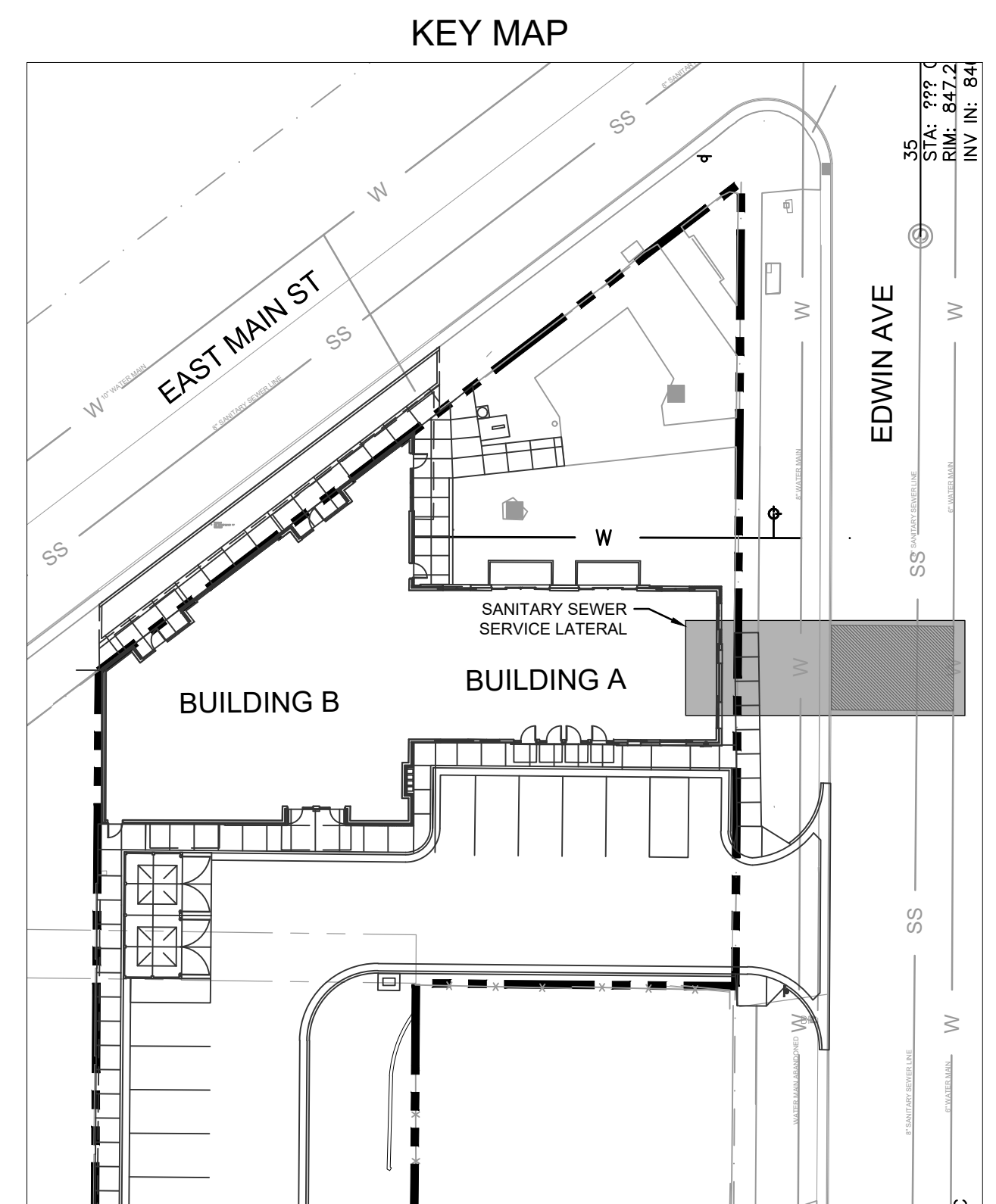
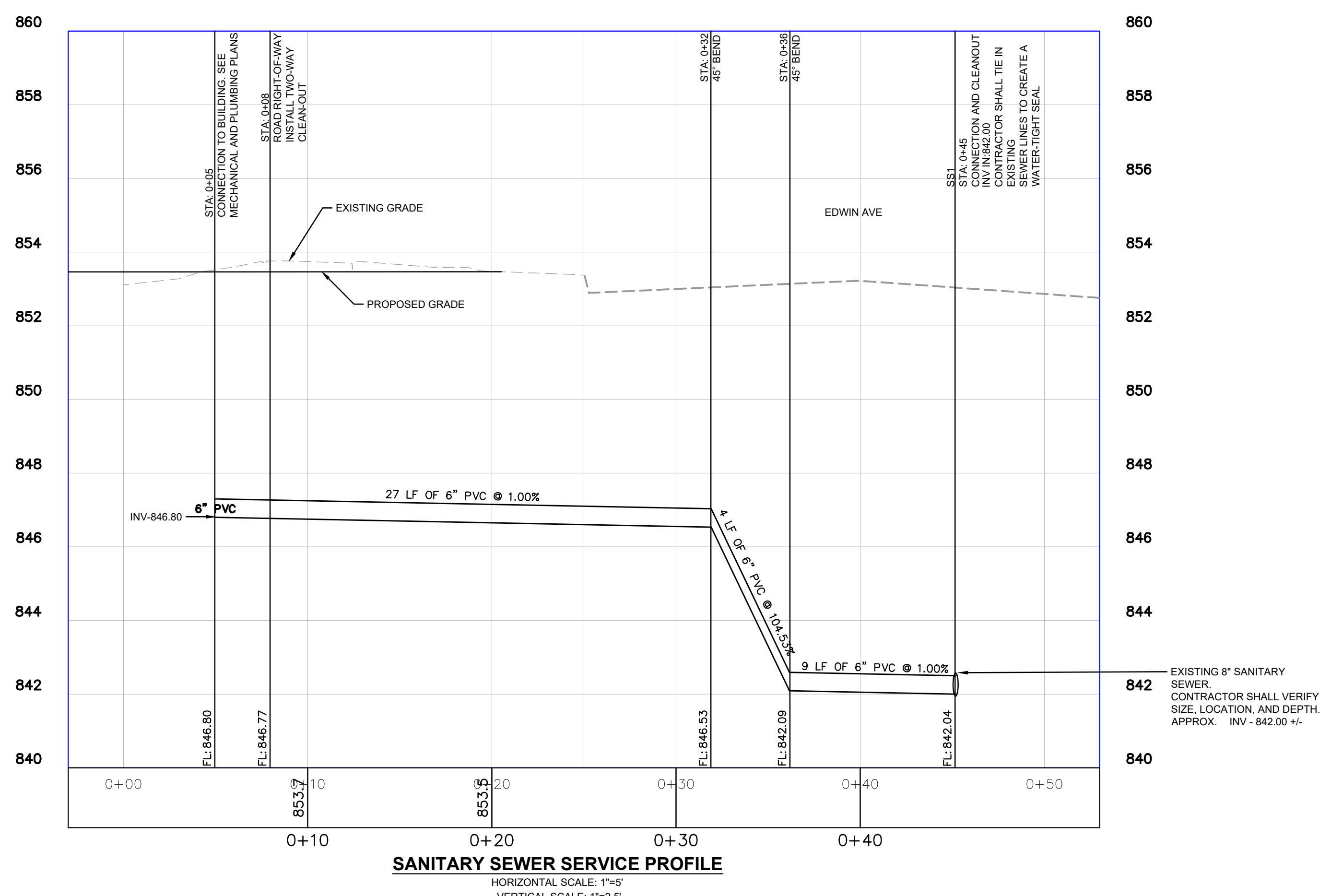


KEY MAP



UTILITY LEGEND

	PROPOSED WATER LINE
	PROPOSED SANITARY SEWER LINE
	EXISTING GAS LINE
	EXISTING COMMUNICATIONS LINE
	EXISTING OVERHEAD ELECTRIC LINE
	EXISTING WATER LINE
	EXISTING SANITARY SEWER LINE



New Construction:
Eastside Square Buildings A&B
1616 E. Main St. Kalamazoo, MI 49048

sheet name
SANITARY SEWER PLAN AND PROFILE

project number
21003

drawing date
SPR SUBMITTAL
08.05.2022

sheet number

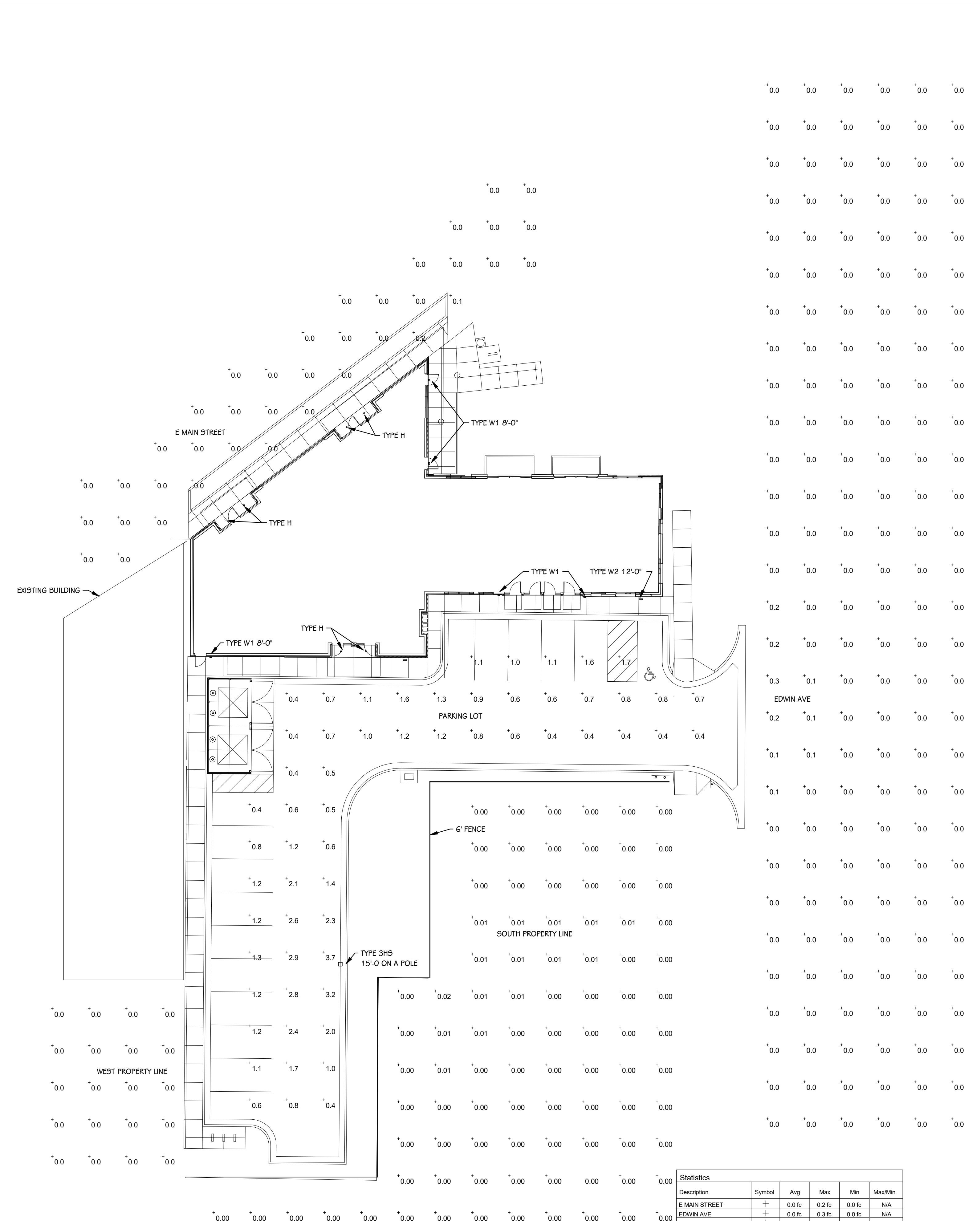
NEW CONSTRUCTION
**Eastside Square
Building B**
1601 East Main Kalamazoo, MI 49048

sheet name
**ELECTRICAL SITE PLAN AND
LIGHTING CALCULATION
PLAN BUILDING B**

project number
21003

drawing date
Site Plan Review
August 12, 2022

sheet number
ES I.1

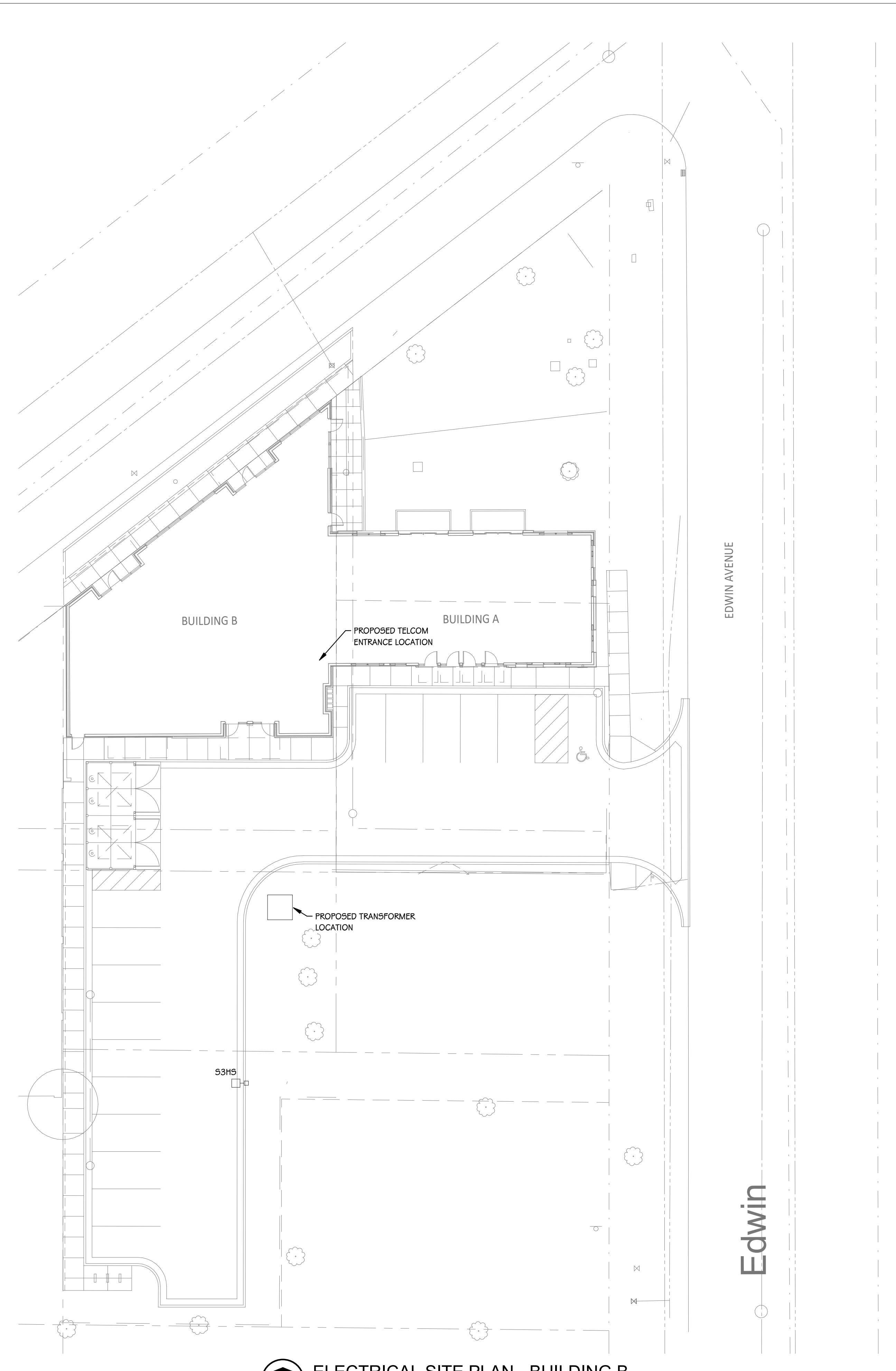


Statistics

Description	Symbol	Avg	Max	Min	Max/Min
E MAIN STREET	+	0.0 fc	0.2 fc	0.0 fc	N/A
EDWIN AVE	+	0.0 fc	0.3 fc	0.0 fc	N/A
SOUTH PROPERTY LINE	+	0.00 fc	0.02 fc	0.00 fc	N/A
WEST PROPERTY LINE	+	0.0 fc	0.0 fc	0.0 fc	N/A
PARKING LOT	+	1.2 fc	3.7 fc	0.4 fc	9.3:1

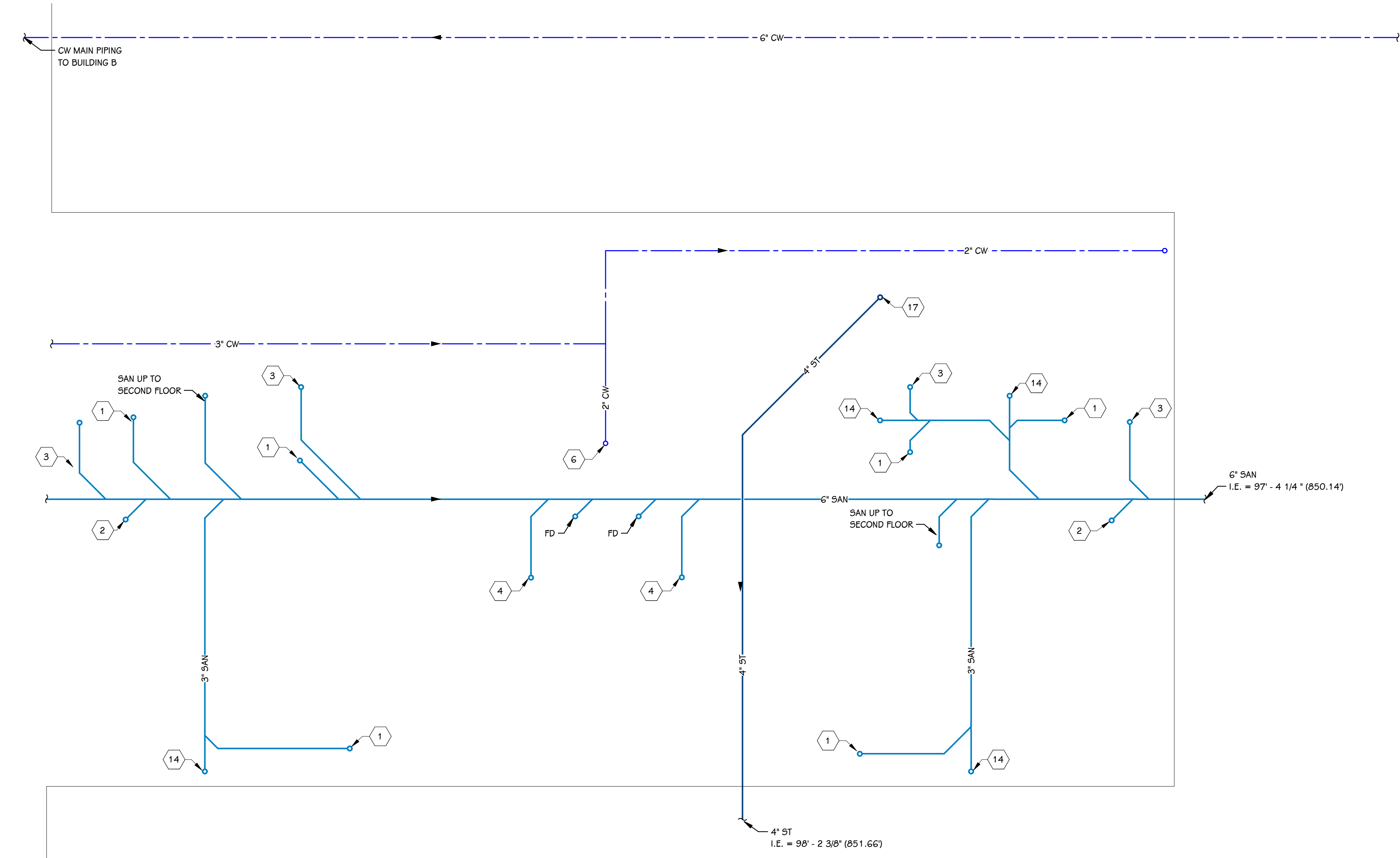
Symbol	Mounting Height	Notes
+	10'	WALL MTD. LIGHT FIXTURE
○	10'	DOWNLIGHT FIXTURE
□+□	10'	EXTERIOR POLE LIGHT

SITE LIGHTING CALCULATIONS - BUILDING A AND B
1/16" = 1'-0"



ELECTRICAL SITE PLAN - BUILDING B
1/16" = 1'-0"

LIGHTING SYMBOLS		MOUNTING HEIGHTS	
+	WALL MTD. LIGHT FIXTURE	○	DOWNLIGHT FIXTURE
□+□	EXTERIOR POLE LIGHT		



FOUNDATION PLUMBING PLAN - BUILDING A
 1/4" = 1'-0"

KEYED NOTES - PLUMBING

- 1 SAN UP TO SINK OR LAV.
- 2 SAN UP TO SHOWER/TUB.
- 3 SAN UP TO WATER CLOSET.
- 4 SAN UP TO CLOTHES WASHER.
- 5 SAN UP TO MOP SINK.
- 6 CW MAIN ROUTED UP TO APARTMENT SUB-METER IN MECHANICAL CLOSET.
- 7 1/2" CW, 1/2" HW, 2" SAN, 2" VENT TO SINK OR LAV.
- 8 1/2" CW, 1/2" HW, 2" SAN, 2" VENT TO SHOWER/TUB.
- 9 1/2" CW, 3" SAN, 2" VENT TO WATER CLOSET.
- 10 3/4" CW, 3/4" HW, 2" SAN, 1 1/2" VENT TO CLOTHES WASHER WALL BOX.
- 11 1/2" CW TO REFRIGERATOR WALL BOX.
- 12 3" SAN VENT UP WALL TO ROOF. 3" VTR.
- 13 3/4" CW, 3/4" HW, 2" SAN, 2" VENT TO MOP SINK. PREPARE PIPING FOR FUTURE COMMON BATHROOM.
- 14 WALL CLEAN OUT.
- 15 WATER SERVICE FOR FIRE PROTECTION SERVICE. REFER TO WATER SERVICE DETAIL ON SHEET P 5.1
- 16 1" CW UP TO MOP SINK.
- 17 STORM PIPING TO CONNECT TO ROOF DRAINS AND TIE INTO SYSTEM LOCATED IN PARKING LOT.
- 18 WATER HEATER TO BE INSTALLED ON ELEVATED SHELF. REFER TO DETAIL ON SHEET P 5.1.
- 19 ROUTE 3" SAN AND CAP FOR FUTURE COMMERCIAL SPACES.

THIS DRAWING SHEET IS INTENDED TO BE PLOTTED IN COLOR. IF THIS TEXT APPEARS IN BLACK AND WHITE, IT IS PLOTTED INCORRECTLY. DISCARD AND OBTAIN AN ACCURATE DRAWING



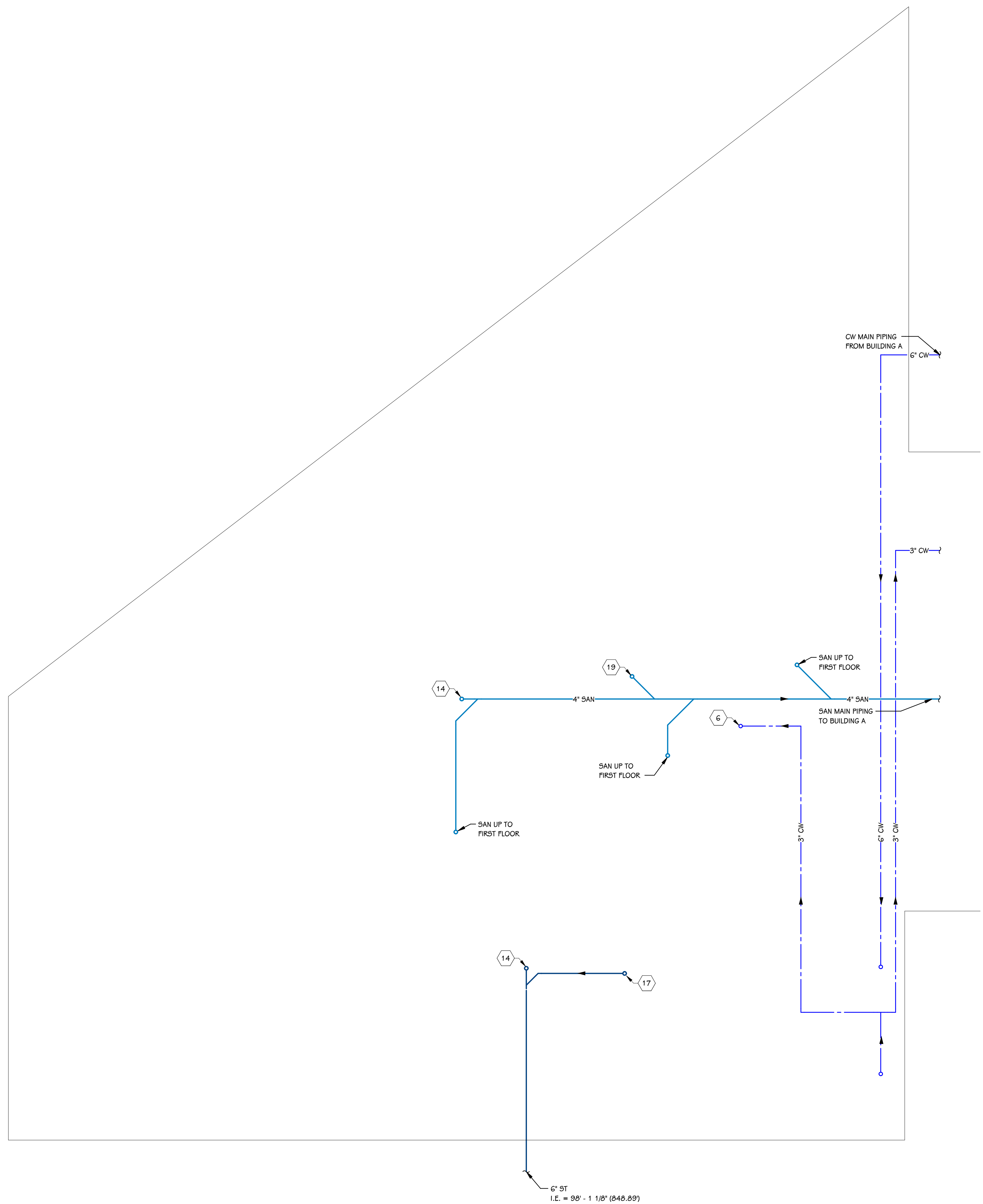
PRELIMINARY
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sheet name
FOUNDATION PLUMBING PLAN - BUILDING A

project number
21003

drawing date
 QC
 07.27.2022

sheet number
P 0.0 A



FOUNDATION PLUMBING PLAN - BUILDING B
1/4" = 1'-0"

KEYED NOTES - PLUMBING

- 1 SAN UP TO SINK OR LAV.
- 2 SAN UP TO SHOWER/TUB.
- 3 SAN UP TO WATER CLOSET.
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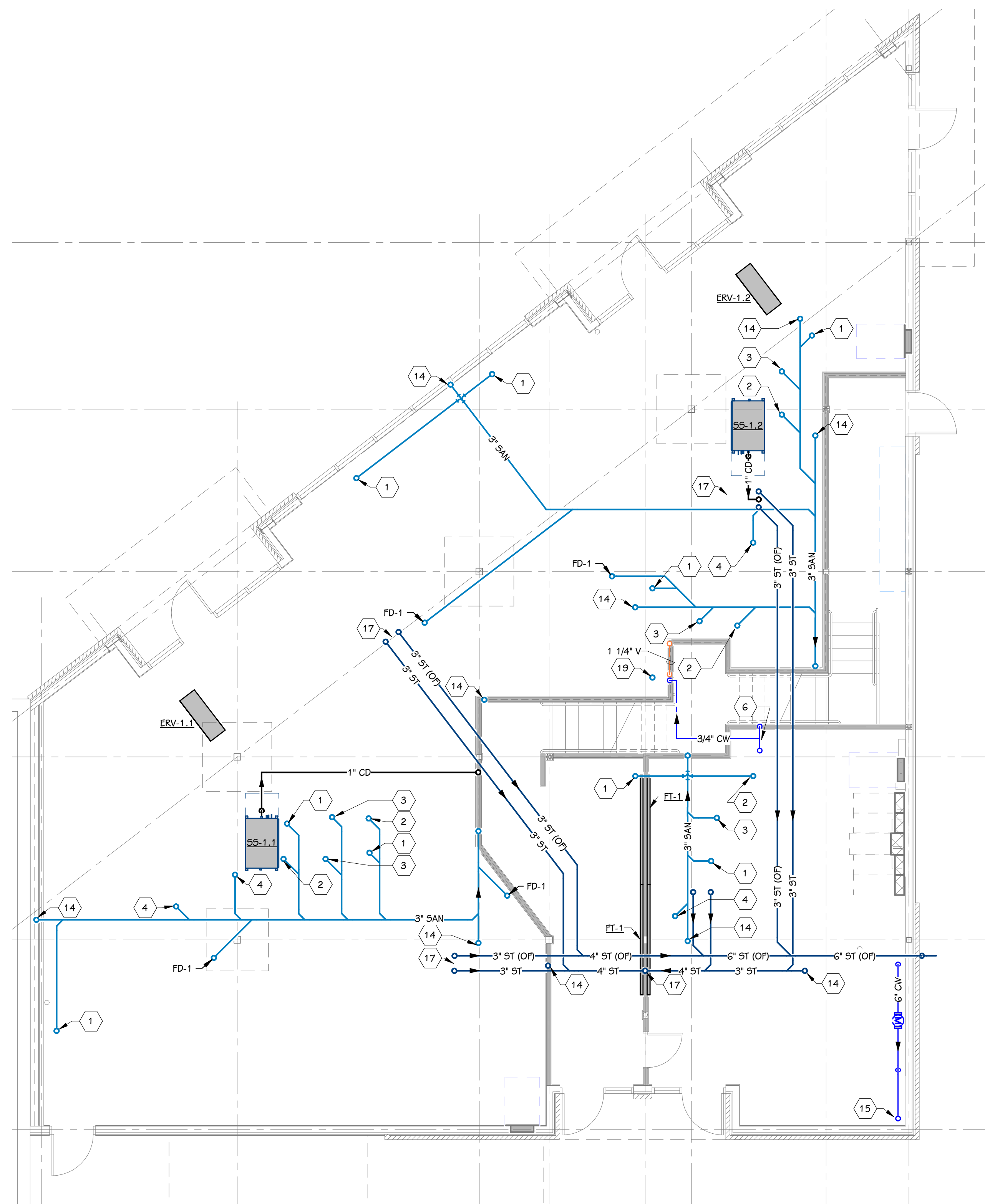
PRELIMINARY
NOT FOR CONSTRUCTION

sheet name
FOUNDATION PLUMBING
PLAN - BUILDING B

project number
21003

drawing date
QC
07.27.2022

sheet number
P 0.0 B



FIRST FLOOR PLUMBING PLAN - BUILDING B
 3/16" = 1'-0"

KEYED NOTES - PLUMBING

- 1 SAN UP TO SINK OR LAV.
- 2 SAN UP TO SHOWER/TUB.
- 3 SAN UP TO WATER CLOSET.
- 4 SAN UP TO CLOTHES WASHER.
- 5 SAN UP TO MOP SINK.
- 6 CW MAIN ROUTED UP TO APARTMENT SUB-METER IN MECHANICAL CLOSET.
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PRELIMINARY
 NOT FOR CONSTRUCTION

sheet name
**FIRST FLOOR PLUMBING
 PLAN - BUILDING B**

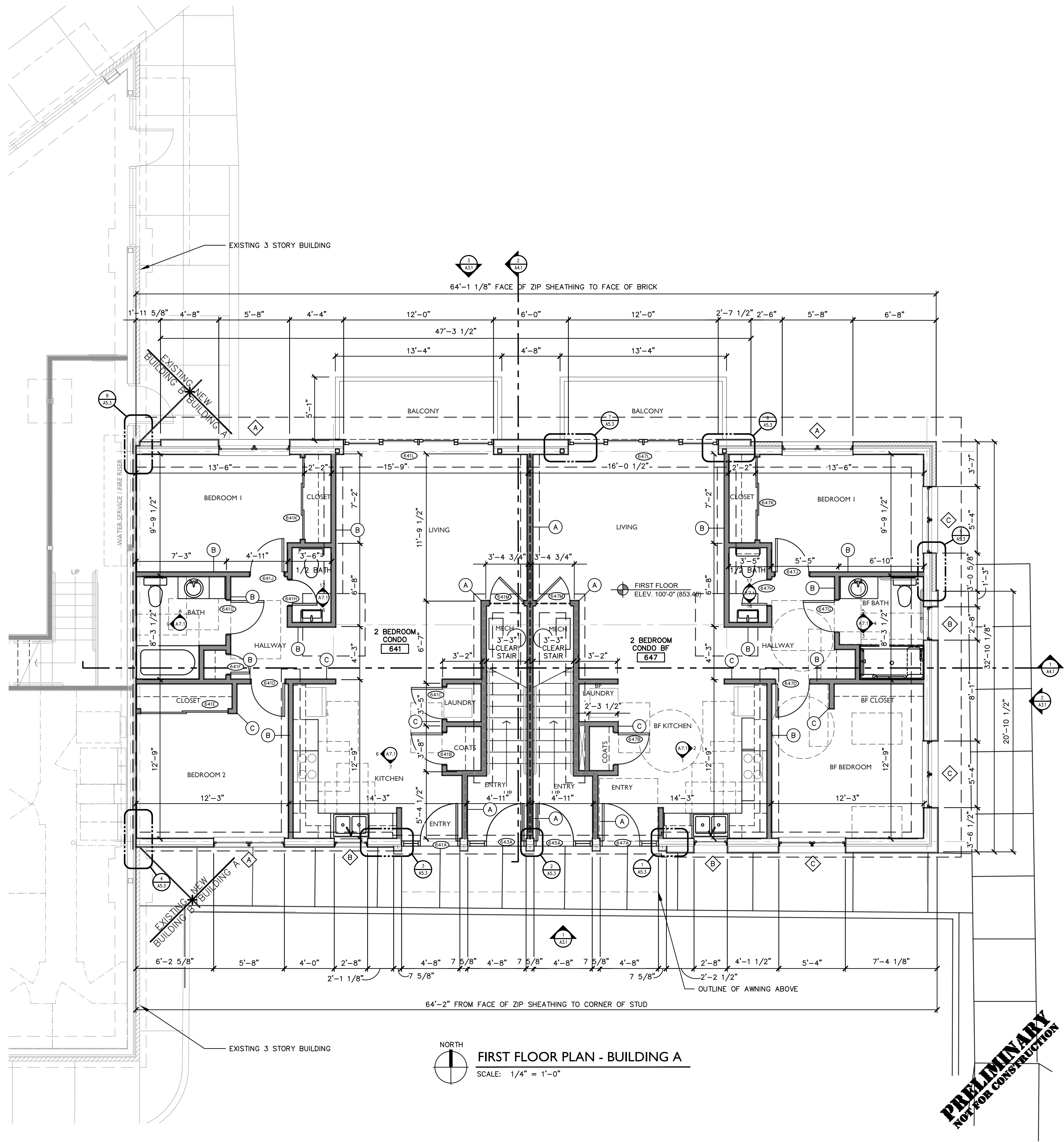
project number
21003

drawing date
**QC
 07.27.2022**

sheet number
P I . I

WALL TYPE LEGEND

VIEW ON PLAN DETAIL	DESCRIPTION
	<p>1 HOUR FIRE WALL OR BETWEEN UNITS</p> <ul style="list-style-type: none"> 5/8" GYPSUM BOARD 2x4 WOOD STUDS WITH SOUND ATTENUATION BATTS RC-1 RESILIENT CHANNEL 5/8" GYPSUM WALL BOARD STC 50 MIN. USE UL 263 DESIGN NO. U311 WHERE FIRE RATED FOR 1 HOUR ASSEMBLY
	<p>TYPICAL INTERIOR WALL</p> <ul style="list-style-type: none"> 5/8" GYPSUM WALL BOARD 2x4 WOOD STUDS WITH SOUND ATTENUATION BATTS 5/8" GYPSUM WALL BOARD
	<p>INTERIOR WALL NO SOUND ATTENUATION</p> <ul style="list-style-type: none"> 5/8" GYPSUM WALL BOARD 2x4 WOOD STUDS 5/8" GYPSUM WALL BOARD
	<p>SHAFT WALL</p> <ul style="list-style-type: none"> 5/8" TYPE 'X' GYPSUM BOARD 2 1/2" C-H STUDS @ 24" O.C. 1" GYPSUM BOARD LINER PANEL 1 HOUR ASSEMBLY UL U415



New Construction:
Eastside Square Building A
641-647 Edwin Ave. Kalamazoo, MI 49048

sheet name
FIRST FLOOR PLAN - BUILDING A

project number
21001

drawing date
CONSTRUCTION DOCUMENTS QC REVIEW
07.28.2022

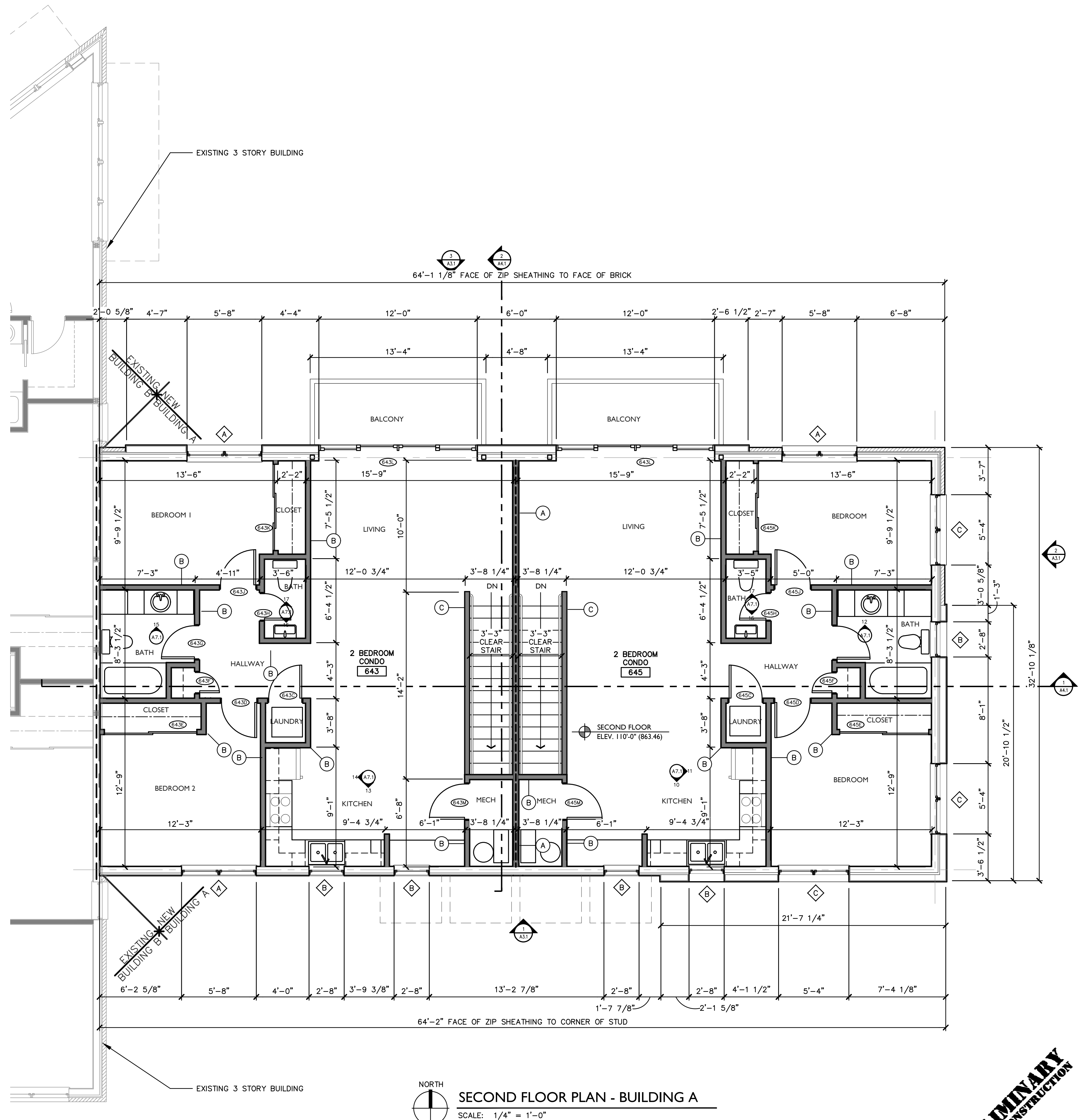
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A.I.I.A.

PRELIMINARY
NOT FOR CONSTRUCTION

WALL TYPE LEGEND

VIEW ON PLAN DETAIL	DESCRIPTION
	1 HOUR FIRE WALL OR BETWEEN UNITS <ul style="list-style-type: none"> 5/8" GYPSUM BOARD 2x4 WOOD STUDS WITH SOUND ATTENUATION BATTS RC-1 RESILIENT CHANNEL 5/8" GYPSUM WALL BOARD STC 50 MIN. USE UL 263 DESIGN NO. U311 WHERE FIRE RATED FOR 1 HOUR ASSEMBLY
	TYPICAL INTERIOR WALL <ul style="list-style-type: none"> 5/8" GYPSUM WALL BOARD 2x4 WOOD STUDS WITH SOUND ATTENUATION BATTS 5/8" GYPSUM WALL BOARD
	INTERIOR WALL NO SOUND ATTENUATION <ul style="list-style-type: none"> 5/8" GYPSUM WALL BOARD 2x4 WOOD STUDS 5/8" GYPSUM WALL BOARD
	SHAFT WALL <ul style="list-style-type: none"> 5/8" TYPE 'X' GYPSUM BOARD 2 1/2" C-H STUDS @ 24" O.C. 1" GYPSUM BOARD LINER PANEL 1 HOUR ASSEMBLY UL U415



New Construction:
**Eastside Square
Building A**
641-647 Edwin Ave. Kalamazoo, MI 49048

sheet name
SECOND FLOOR PLAN - BUILDING A

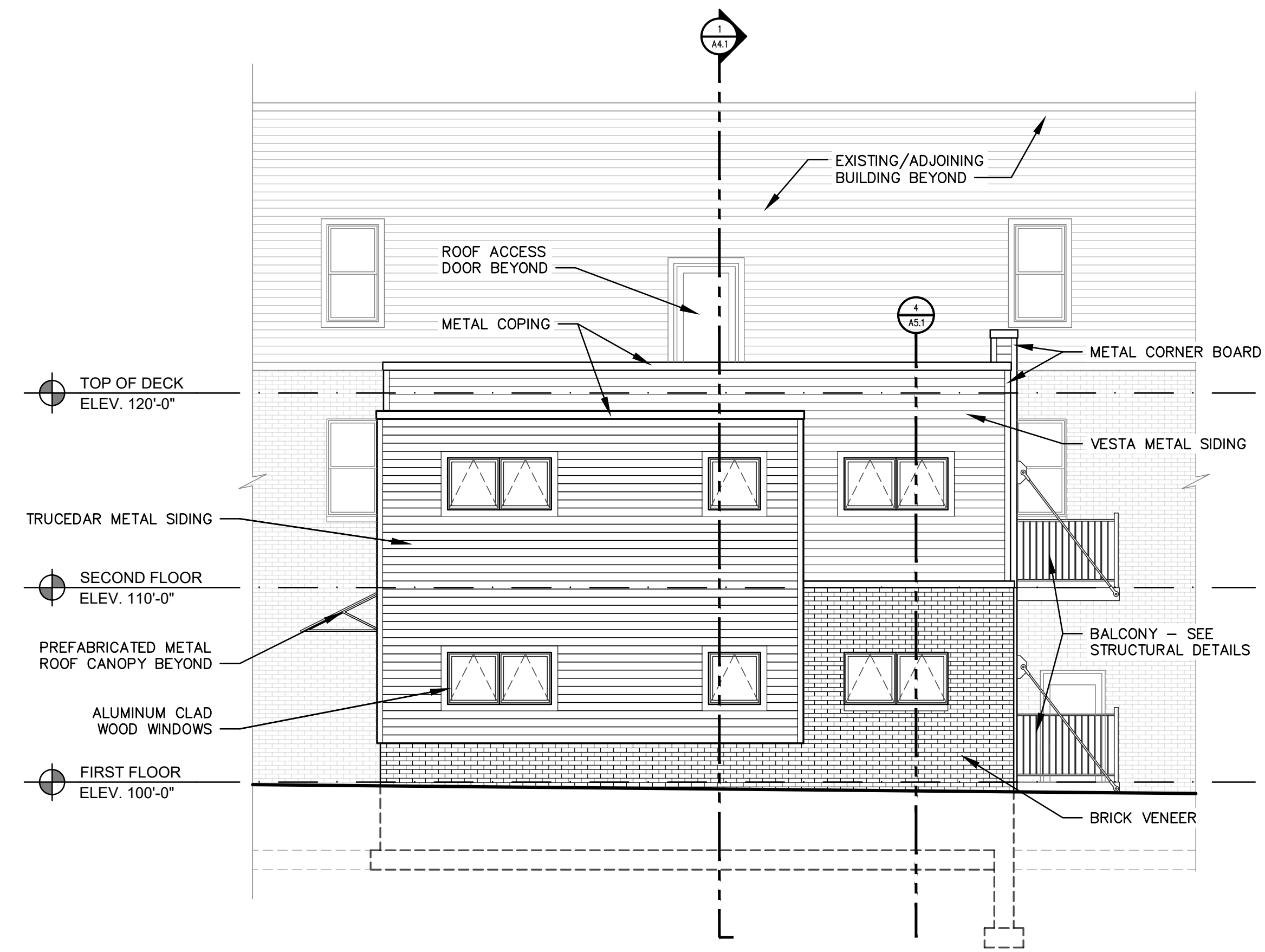
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drawing date
CONSTRUCTION DOCUMENTS QC REVIEW 07.28.2022

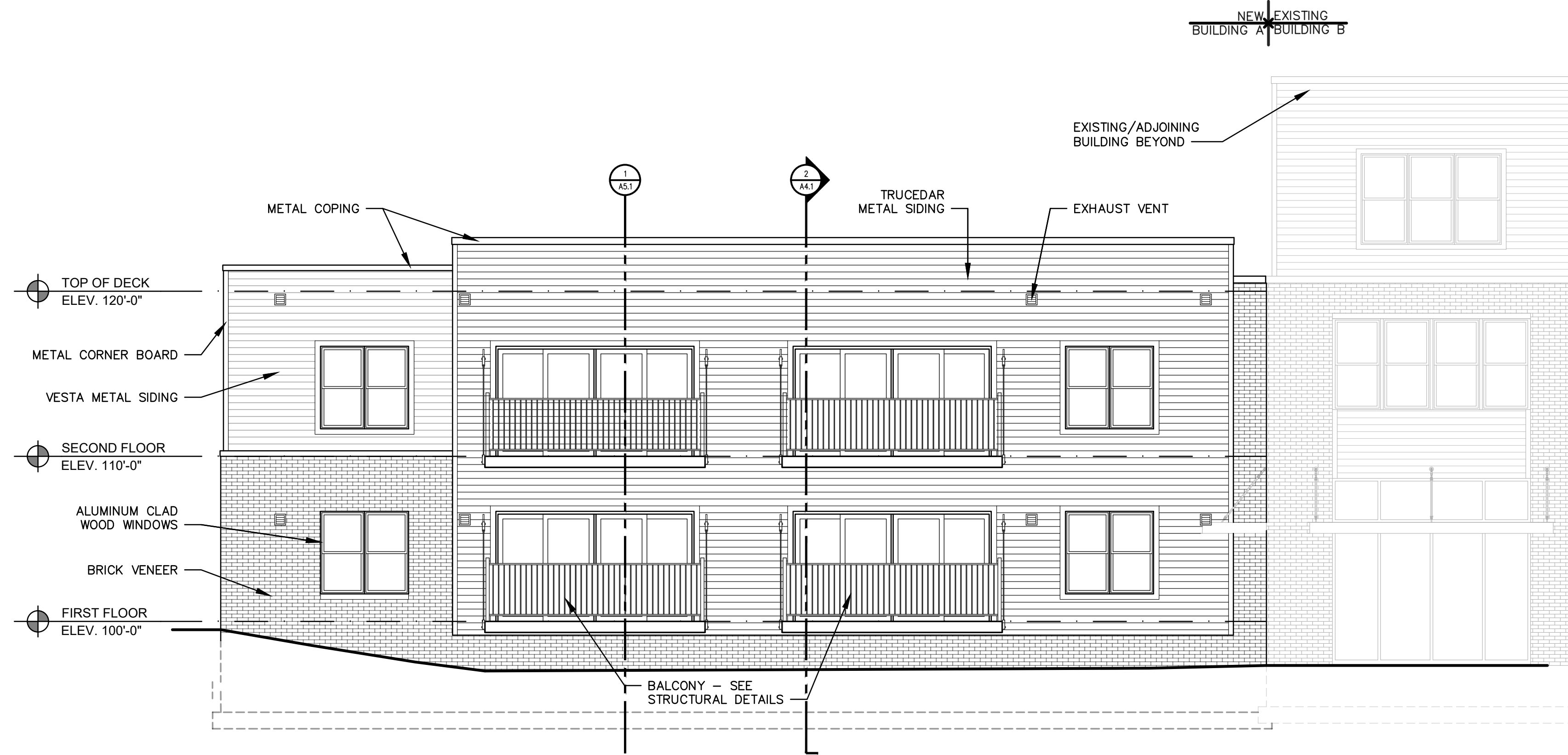
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A1.2 A

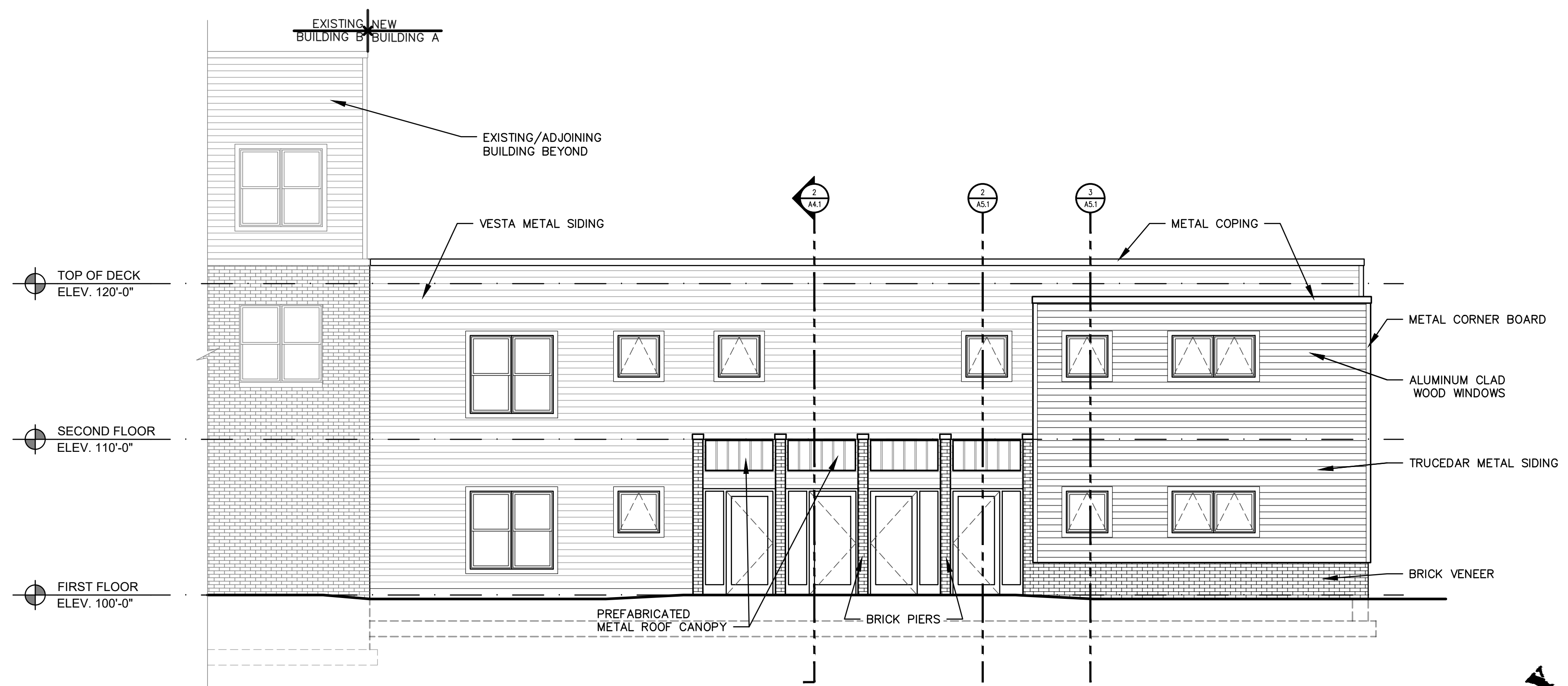
**PRELIMINARY
NOT FOR CONSTRUCTION**



2 EAST ELEVATION
A3.1 SCALE 3/16" = 1'-0"



3 NORTH ELEVATION
A3.1 SCALE 3/16" = 1'-0"



1 SOUTH ELEVATION
A3.1 SCALE 3/16" = 1'-0"

New Construction:
**Eastside Square
Building A**
641-647 Edwin Ave. Kalamazoo, MI 49048

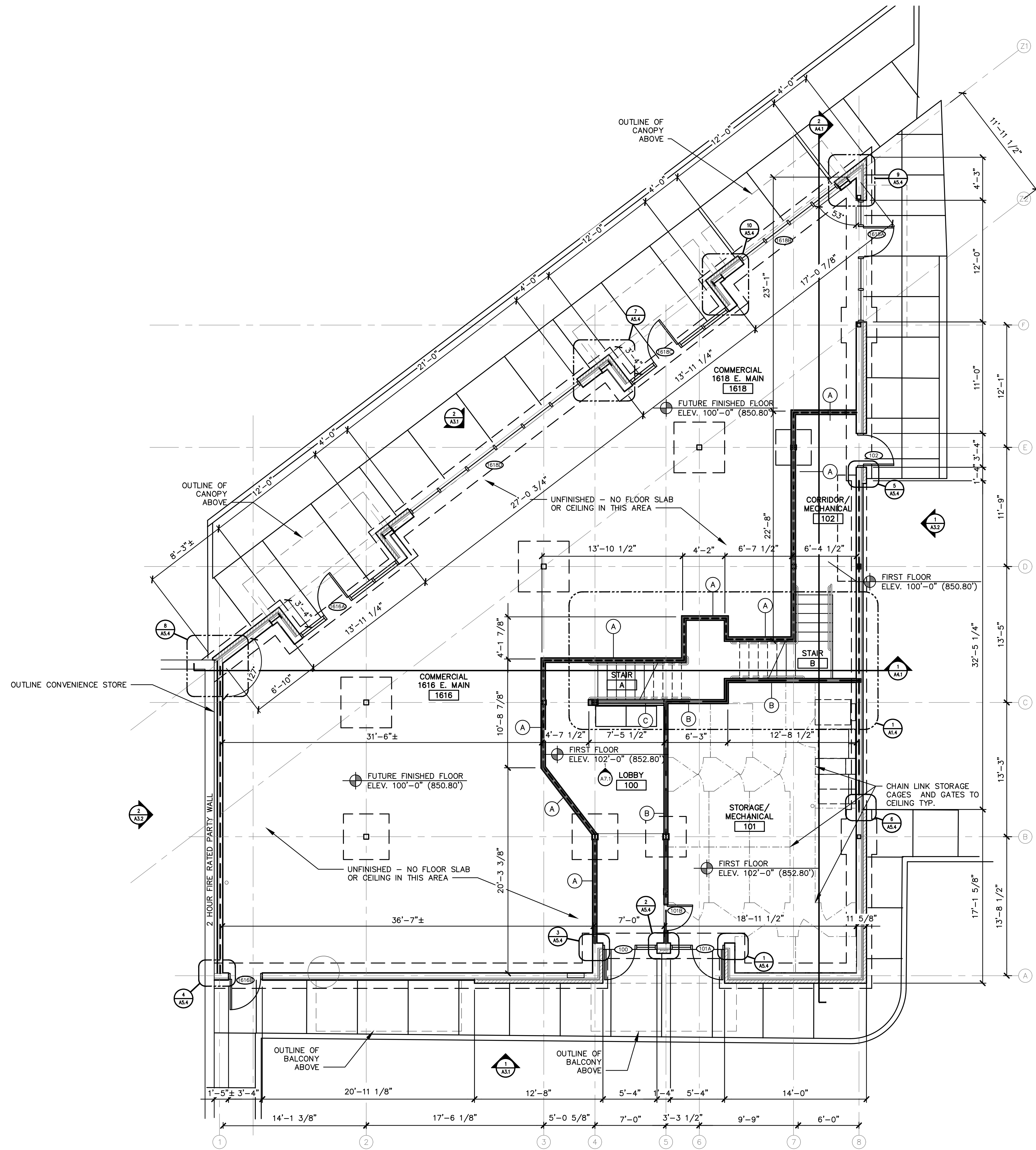
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EXTERIOR ELEVATIONS
project number
21001
drawing date
CONSTRUCTION DOCUMENTS QC REVIEW
07.28.2022
sheet number

**PRELIMINARY
NOT FOR CONSTRUCTION**

A3.1A

WALL TYPE LEGEND

VIEW ON PLAN DETAIL	DESCRIPTION
	EXISTING CONSTRUCTION TO REMAIN
	<p>1 HOUR FIRE WALL AND/OR WALL BETWEEN UNITS</p> <ul style="list-style-type: none"> 5/8" GYPSUM BOARD 2x4 WOOD STUDS WITH SOUND ATTENUATION BATTS RC-1 RESILIENT CHANNEL 5/8" GYPSUM WALL BOARD STC 50 MIN. USE UL 263 DESIGN NO. U311 WHERE FIRE RATED FOR 1 HOUR ASSEMBLY
	<p>TYPICAL INTERIOR WALL</p> <ul style="list-style-type: none"> 5/8" GYPSUM WALL BOARD 2x4 WOOD STUDS WITH SOUND ATTENUATION BATTS 5/8" GYPSUM WALL BOARD USE UL 263 DESIGN NO. U317 WHERE FIRE RATED FOR 1 HOUR ASSEMBLY
	<p>INTERIOR WALL NO SOUND ATTENUATION</p> <ul style="list-style-type: none"> 5/8" GYPSUM WALL BOARD 2x4 WOOD STUDS 5/8" GYPSUM WALL BOARD
	<p>SHAFT WALL</p> <ul style="list-style-type: none"> 5/8" TYPE 'X' GYPSUM BOARD 2 1/2" C-H STUDS @ 24" O.C. 1" GYPSUM BOARD LINER PANEL 1 HOUR ASSEMBLY UL U415



NORTH
FIRST FLOOR PLAN - BUILDING B
SCALE: 3/16" = 1'-0"

New Construction:
**Eastside Square
Building B**
1616 E. Main ST. KALAMAZOO, MI 49048

sheet name
FIRST FLOOR PLAN - BUILDING B

project number
21002

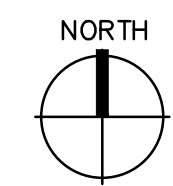
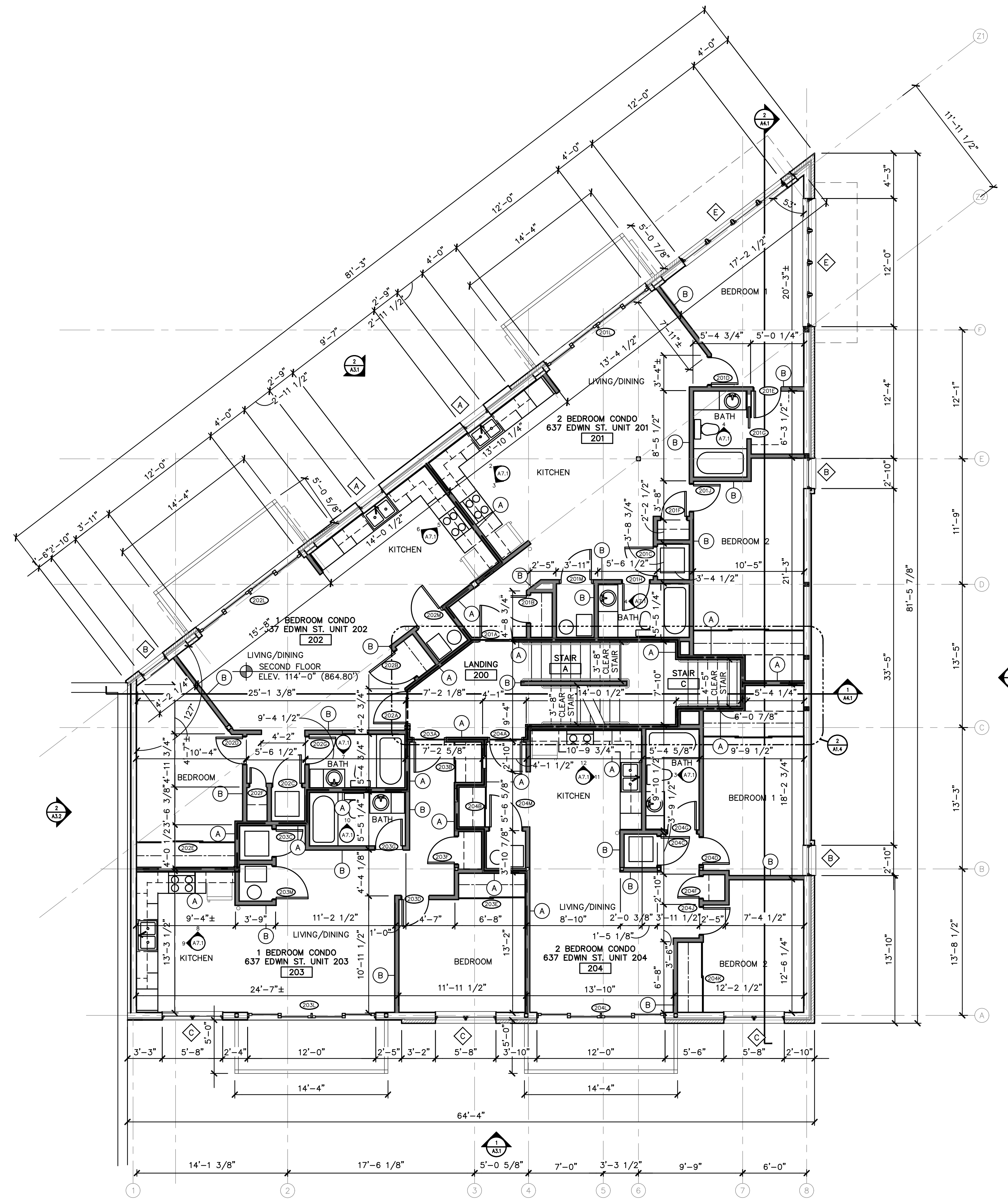
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CONSTRUCTION DOCUMENTS QC REVIEW
07.28.2022

sheet number

PRELIMINARY
NOT FOR CONSTRUCTION

A.I.I.
B

VIEW ON PLAN DETAIL	DESCRIPTION
	EXISTING CONSTRUCTION TO REMAIN
	1 HOUR FIRE WALL AND/OR WALL BETWEEN UNITS <ul style="list-style-type: none"> 5/8" GYPSUM BOARD 2x4 WOOD STUDS WITH SOUND ATTENUATION BATTS RC-1 RESILIENT CHANNEL 5/8" GYPSUM WALL BOARD STC 50 MIN. USE UL 263 DESIGN NO. U311 WHERE FIRE RATED FOR 1 HOUR ASSEMBLY
	TYPICAL INTERIOR WALL <ul style="list-style-type: none"> 5/8" GYPSUM WALL BOARD 2x4 WOOD STUDS WITH SOUND ATTENUATION BATTS 5/8" GYPSUM WALL BOARD USE UL 263 DESIGN NO. U317 WHERE FIRE RATED FOR 1 HOUR ASSEMBLY
	INTERIOR WALL NO SOUND ATTENUATION <ul style="list-style-type: none"> 5/8" GYPSUM WALL BOARD 2x4 WOOD STUDS 5/8" GYPSUM WALL BOARD
	SHAFT WALL <ul style="list-style-type: none"> 5/8" TYPE 'X' GYPSUM BOARD 2 1/2" C-H STUDS @ 24" O.C. 1" GYPSUM BOARD LINER PANEL 1 HOUR ASSEMBLY UL U415



SECOND FLOOR PLAN - BUILDING B
SCALE: 3/16" = 1'-0"

New Construction:
**Eastside Square
Building B**
1616 E. Main ST. KALAMAZOO, MI 49048

sheet name
SECOND FLOOR PLAN - BUILDING B

project number
21002

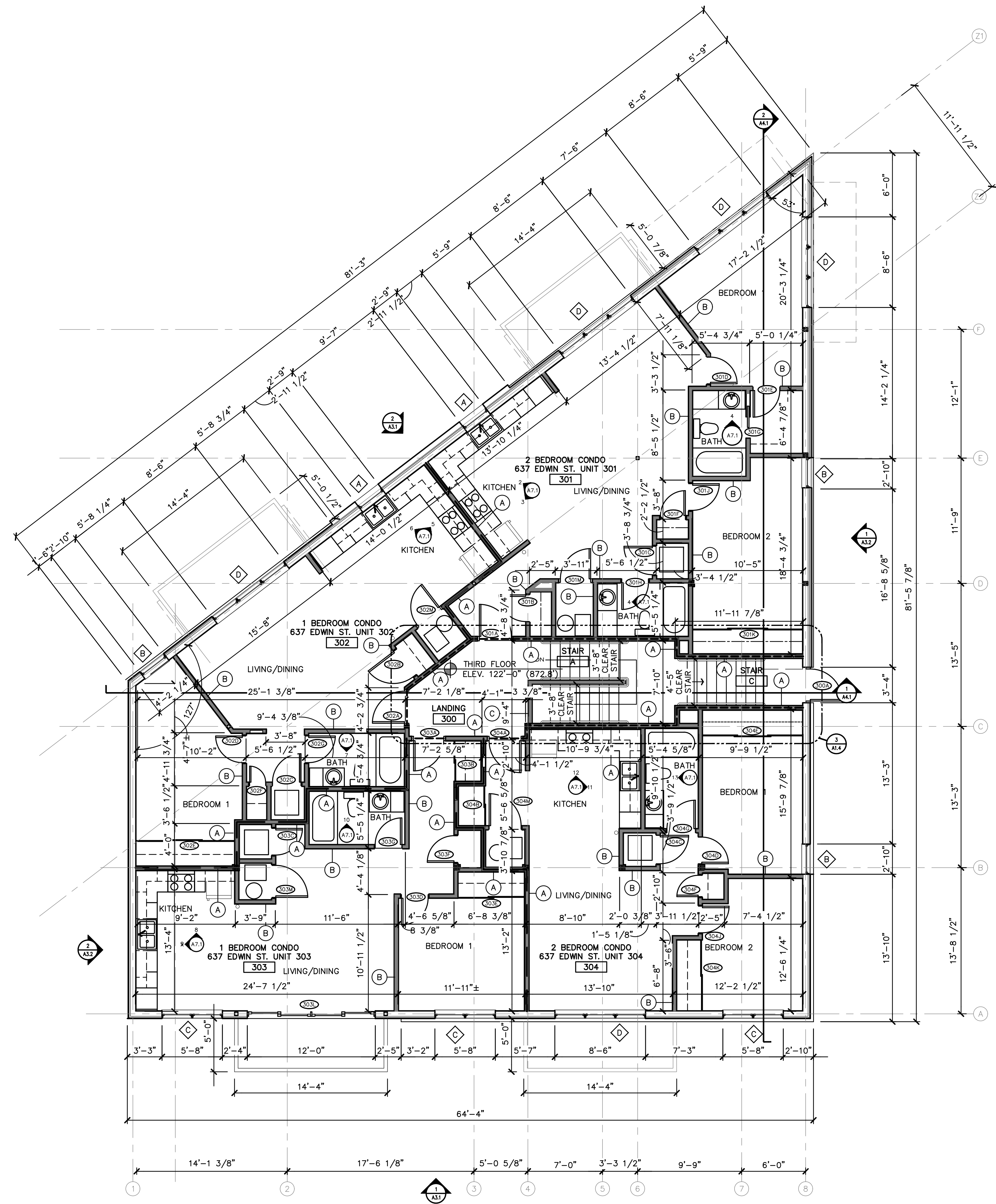
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CONSTRUCTION DOCUMENTS QC REVIEW
07.28.2022

sheet number

A1.2 B

PRELIMINARY
NOT FOR CONSTRUCTION

VIEW ON PLAN DETAIL	DESCRIPTION
	EXISTING CONSTRUCTION TO REMAIN
	1 HOUR FIRE WALL AND/OR WALL BETWEEN UNITS <ul style="list-style-type: none"> 5/8" GYPSUM BOARD 2x4 WOOD STUDS WITH SOUND ATTENUATION BATTS RC-1 RESILIENT CHANNEL 5/8" GYPSUM WALL BOARD STC 50 MIN. USE UL 263 DESIGN NO. U311 WHERE FIRE RATED FOR 1 HOUR ASSEMBLY
	TYPICAL INTERIOR WALL <ul style="list-style-type: none"> 5/8" GYPSUM WALL BOARD 2x4 WOOD STUDS WITH SOUND ATTENUATION BATTS 5/8" GYPSUM WALL BOARD USE UL 263 DESIGN NO. U317 WHERE FIRE RATED FOR 1 HOUR ASSEMBLY
	INTERIOR WALL NO SOUND ATTENUATION <ul style="list-style-type: none"> 5/8" GYPSUM WALL BOARD 2x4 WOOD STUDS 5/8" GYPSUM WALL BOARD
	SHAFT WALL <ul style="list-style-type: none"> 5/8" TYPE 'X' GYPSUM BOARD 2 1/2" C-H STUDS @ 24" O.C. 1" GYPSUM BOARD LINER PANEL 1 HOUR ASSEMBLY UL U415



NORTH
THIRD FLOOR PLAN - BUILDING B
 SCALE: 3/16" = 1'-0"

New Construction:
**Eastside Square
 Building B**
 1616 E. Main ST. KALAMAZOO, MI 49048

sheet name
THIRD FLOOR PLAN - BUILDING B

project number
21002

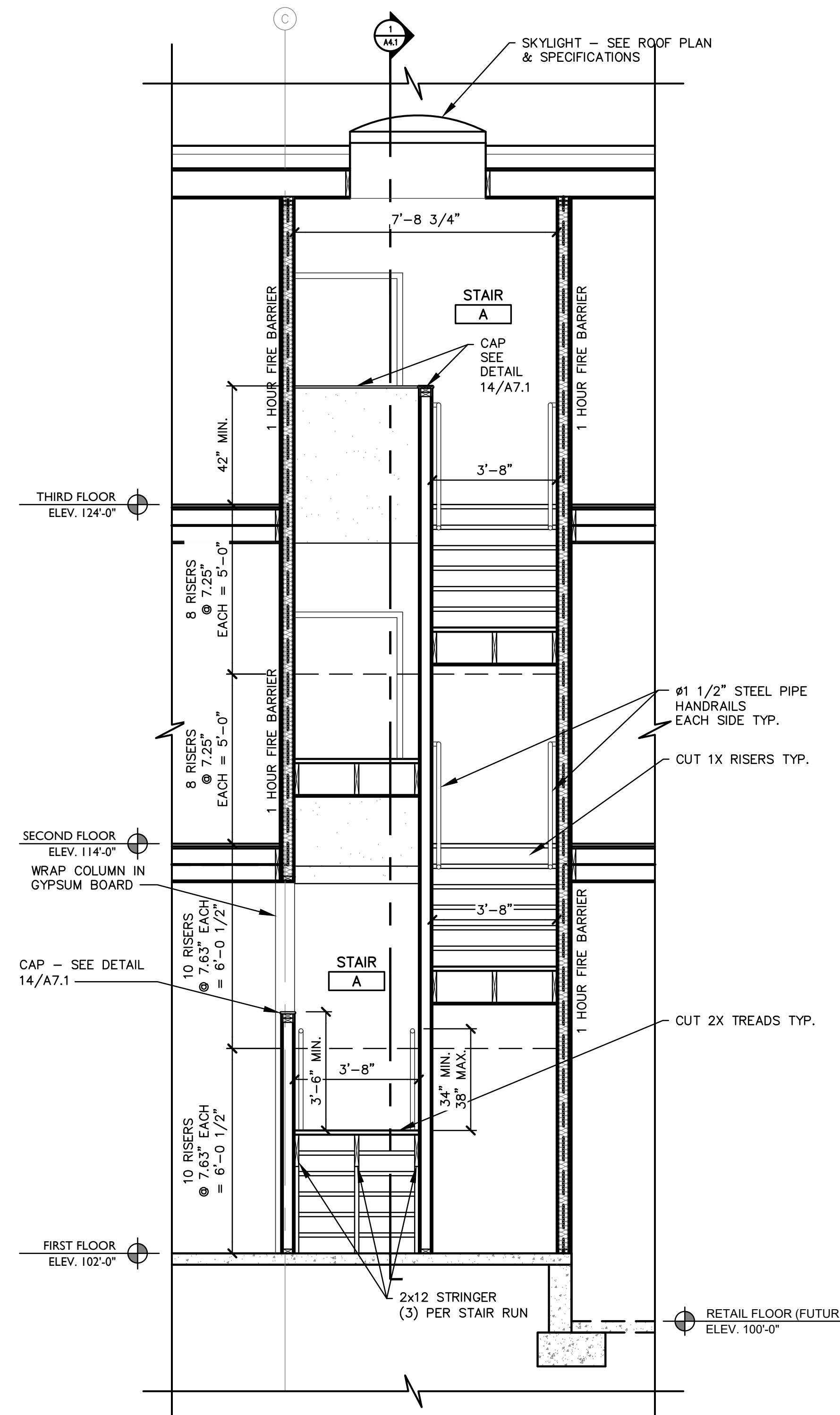
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CONSTRUCTION DOCUMENTS QC REVIEW
 07.28.2022

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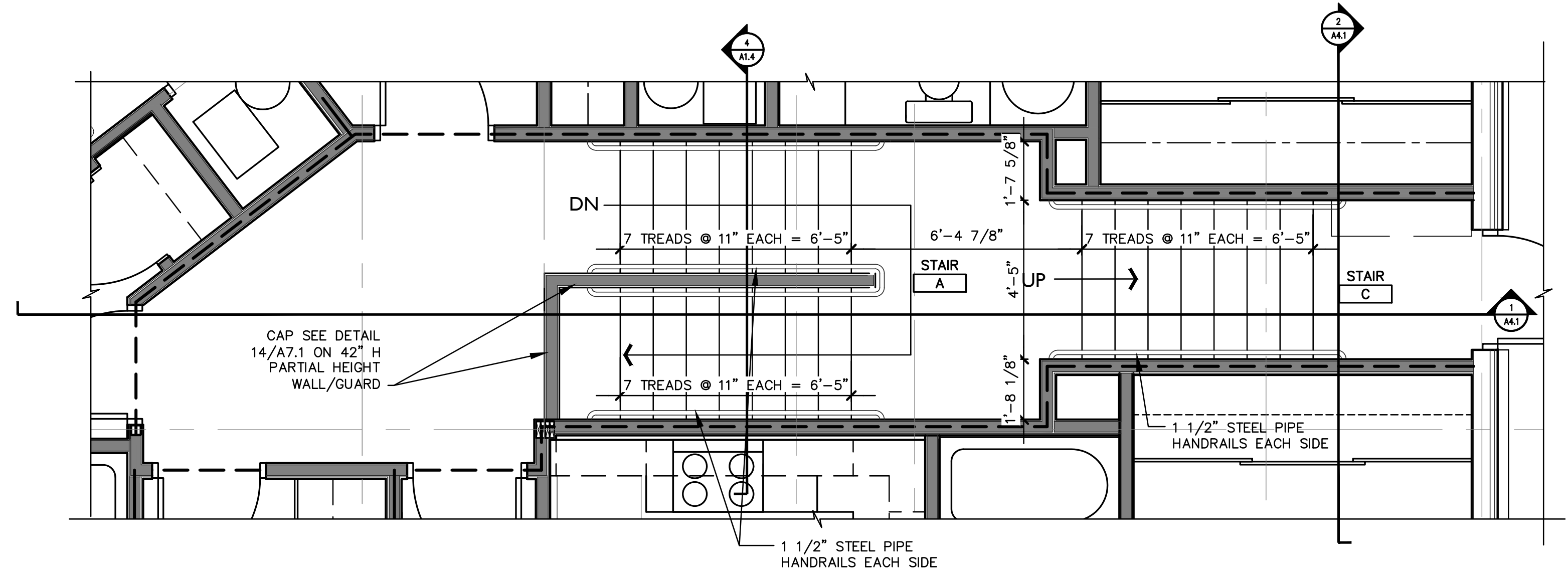
A1.3_B

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 NOT FOR CONSTRUCTION

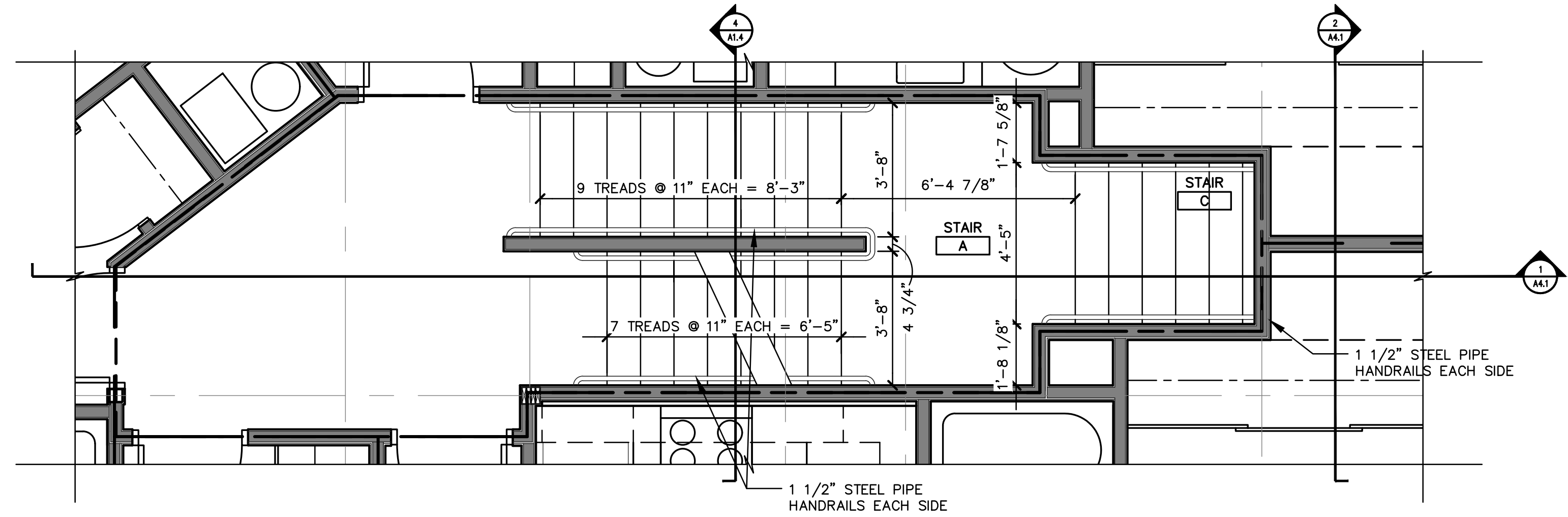
New Construction:
**Eastside Square
Building B**
1616 E. Main ST. KALAMAZOO, MI 49048



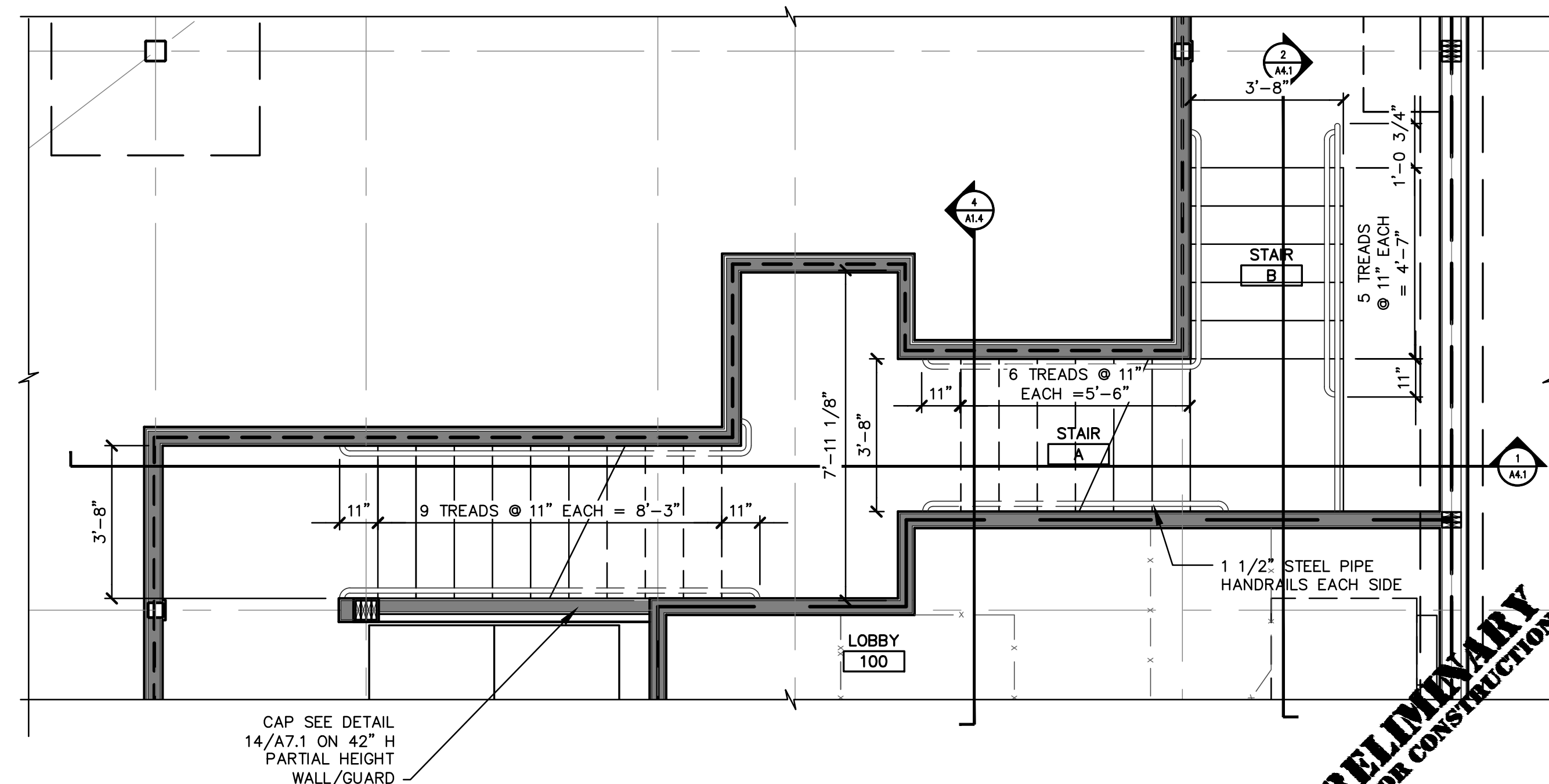
4 STAIR SECTION
A1.4 SCALE 3/8" = 1'-0"



3 THIRD FLOOR ENLARGED STAIR PLAN
A1.4 SCALE 3/8" = 1'-0"



2 SECOND FLOOR ENLARGED STAIR PLAN
A1.4 SCALE 3/8" = 1'-0"

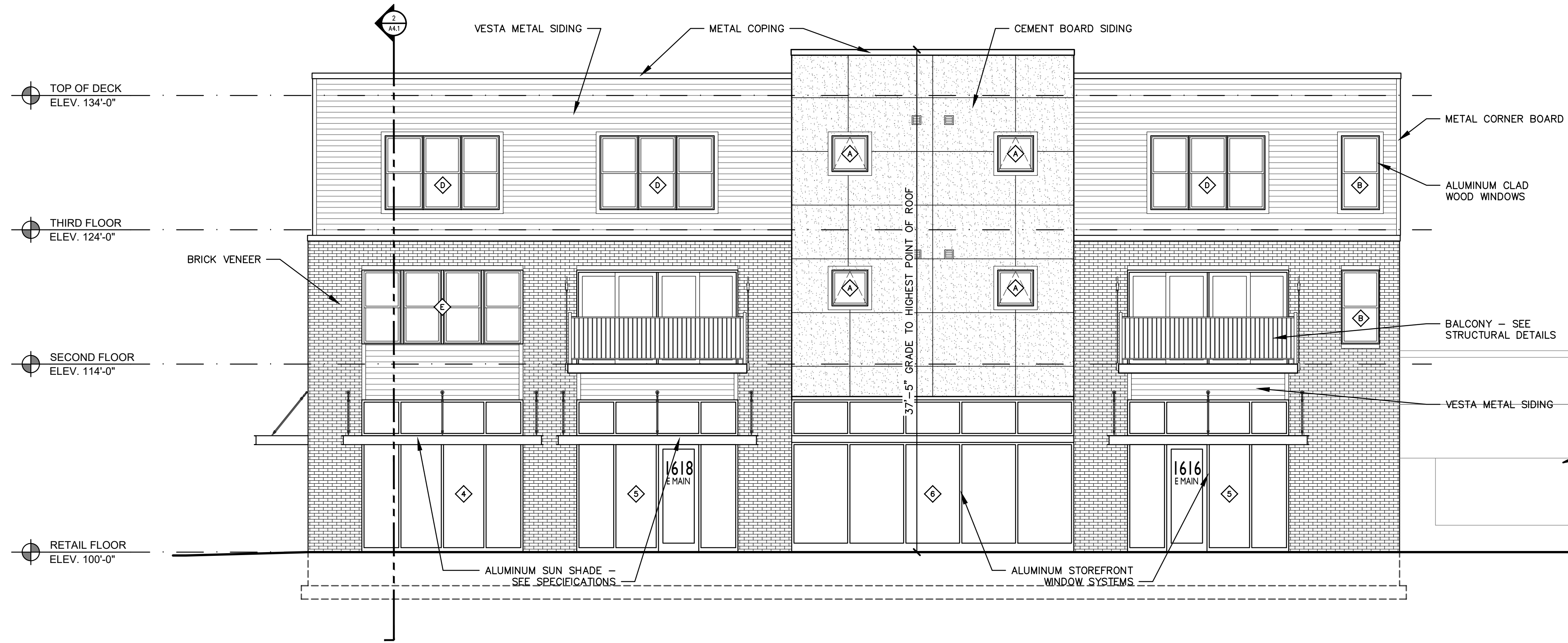


1 FIRST FLOOR ENLARGED STAIR PLAN
A1.4 SCALE 3/8" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

sheet name	ENLARGED STAIR PLANS
project number	21002
drawing date	CONSTRUCTION DOCUMENTS QC REVIEW 07.28.2022
sheet number	

A1.4 B



2 NORTHWEST ELEVATION
SCALE 3/16" = 1'-0"



1 SOUTH ELEVATION
SCALE 3/16" = 1'-0"

New Construction:
**Eastside Square
Building B**
1616 E. Main ST. KALAMAZOO, MI 49048

sheet name

EXTERIOR ELEVATIONS

project number

21002

drawing date

CONSTRUCTION DOCUMENTS QC REVIEW
07.28.2022

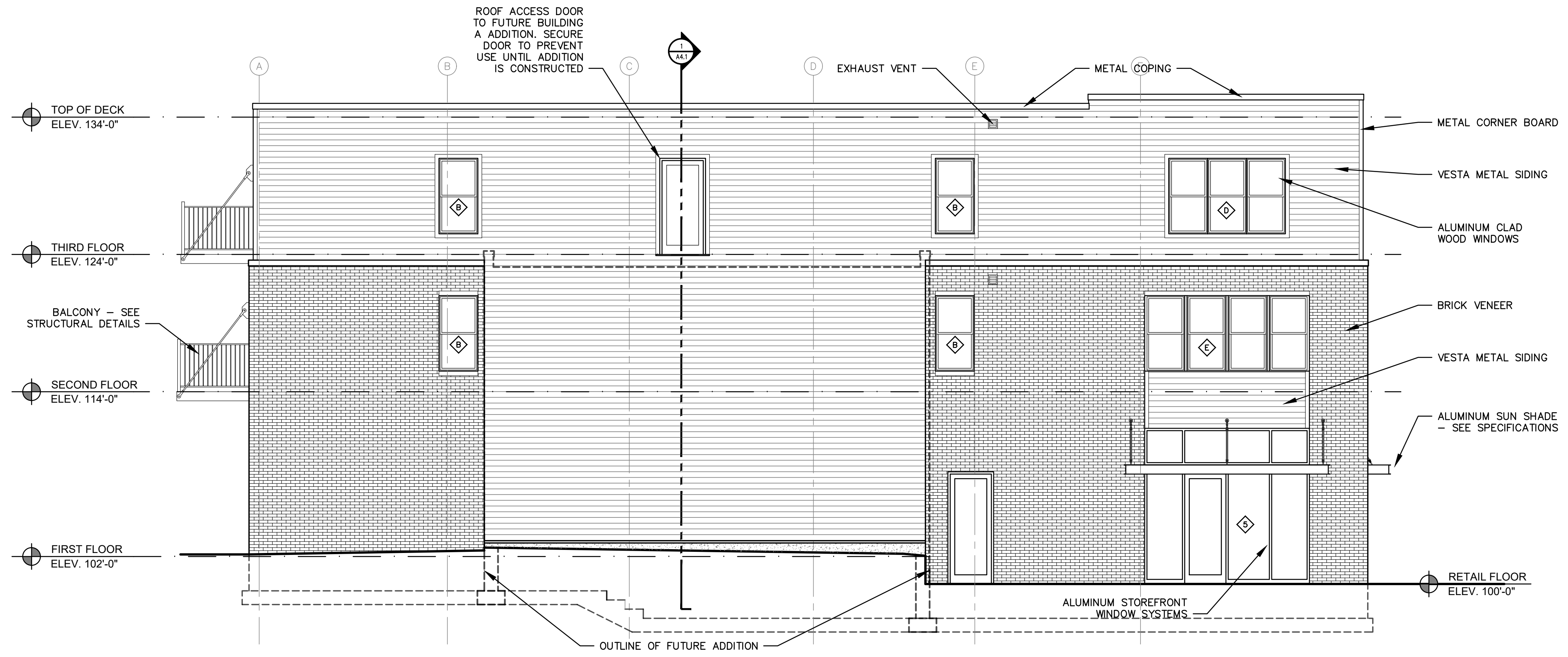
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A3.1B

**PRELIMINARY
NOT FOR CONSTRUCTION**



2 WEST ELEVATION
A3.2 SCALE 3/16" = 1'-0"



1 EAST ELEVATION
A3.2 SCALE 3/16" = 1'-0"

New Construction:
**Eastside Square
Building B**
1616 E. Main ST. KALAMAZOO, MI 49048

sheet name

EXTERIOR ELEVATIONS

project number

21002

drawing date
CONSTRUCTION
DOCUMENTS QC REVIEW
07.28.2022

sheet number

A3.2B

**PRELIMINARY
NOT FOR CONSTRUCTION**