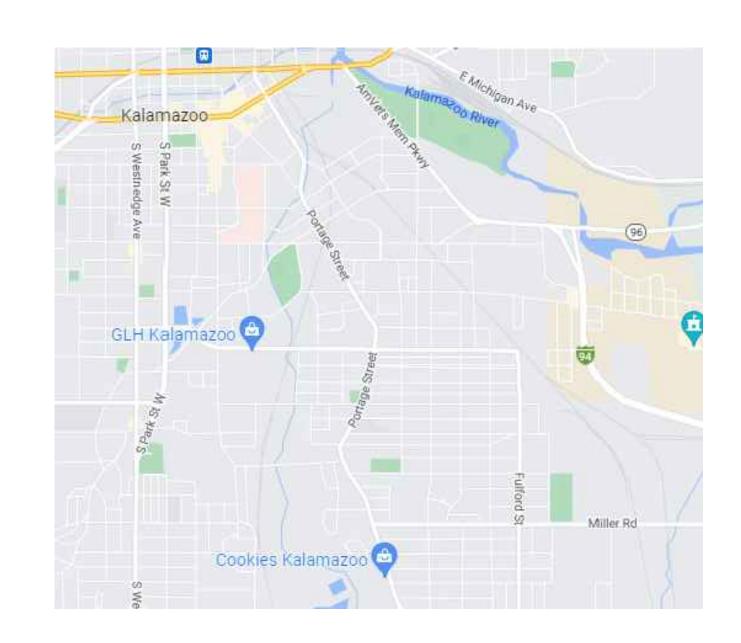


Full Site Plan Received: July 10, 2023 City of Kalamazoo





G001 PROJECT COVER SHEET SURVEY (BY OTHERS)

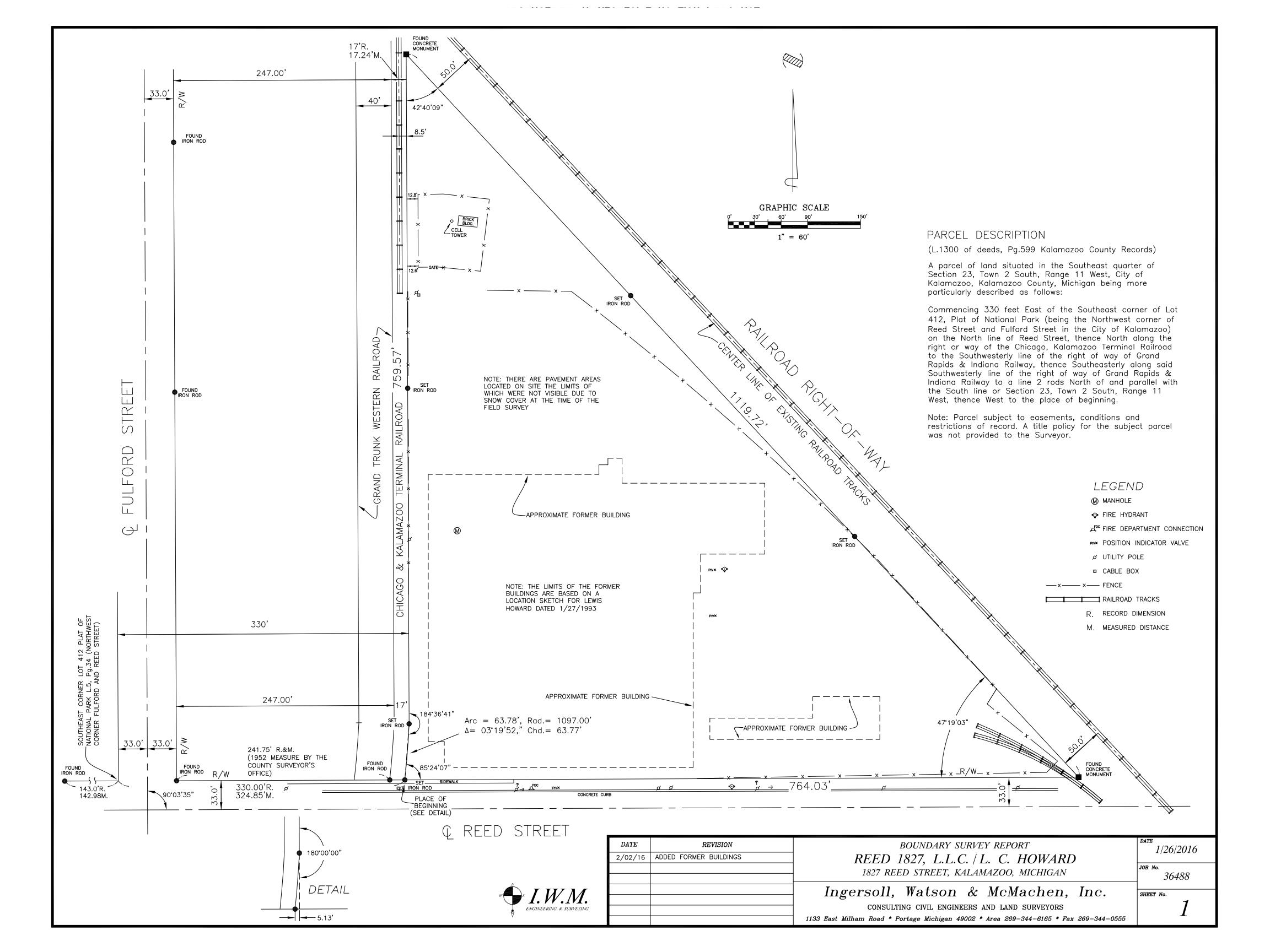
CIVIL
C100 EXISTING CONDITIONS & DEMOLITION PLAN
C200 SITE PLAN
C300 GRADING PLAN
C400 UTILITY PLAN
C410 WATER MAIN PLAN & PROFILE
C420 WATER MAIN PLAN & PROFILE
C600 DETAILS

C610 DETAILS

LANDSCAPE L100 LANDSCAPE PLAN

ELECTRICAL
EC100 SITE LIGHTING PHOTOMETRICS PLAN

ARCHITECTURAL
A110 FLOOR PLAN
A600 EXTERIOR ELEVATIONS & SECTIONS



DEMOLITION NOTES:

- UTILITIES & CONSTRUCTION TO COMPLY WITH REQUIREMENTS OF LOCAL AND STATE AUTHORITIES HAVING JURISDICTION.
- 2. CONTRACTOR SHALL OBTAIN ALL NECESSARY
 PERMITS PRIOR TO START OF WORK. OBTAIN PART 91
 SOIL EROSION & SEDIMENTATION CONTROL PERMIT
 AND MAINTAIN COPY ON SITE AT ALL TIMES.
- 3. HOOK-UP AND TIE IN TO EXISTING UTILITIES TO MEET LOCAL REQUIREMENTS FOR EACH UTILITY INVOLVED: WATER, SEWER, STORM, GAS, ELECTRIC, PHONE,
- VERIFY EXISTING SITE CONDITIONS AND FIELD VERIFY ALL DIMENSIONS.
- 5. FURNISH ALL EQUIPMENT, MATERIALS, LABOR AND SERVICES NECESSARY TO COMPLETE ALL SITE DEMOLITION REQUIRED.
- 6. NOTATIONS ARE MADE IN VARIOUS PLACES ON THE DRAWINGS TO CALL ATTENTION TO DEMOLITION WHICH IS REQUIRED; HOWEVER, THESE DRAWINGS ARE NOT INTENDED TO SHOW EACH AND EVERY ITEM TO BE REMOVED. THE CONTRACTOR AND THE SUBCONTRACTORS FOR THE VARIOUS TRADES SHALL REMOVE THE MATERIALS RELATED TO THEIR RESPECTIVE TRADES AS REQUIRED TO PERMIT THE CONSTRUCTION OF THE NEW WORK AS SHOWN.
- PROTECT ALL EXISTING WORK WHICH IS TO REMAIN AND RESTORE IN AN APPROVED MANNER ANY SUCH WORK WHICH BECOMES DAMAGED.
- 8. RUBBISH AND DEBRIS RESULTING FROM THE WORK SHALL BE REMOVED IMMEDIATELY FROM THE SITE BY THE CONTRACTOR.

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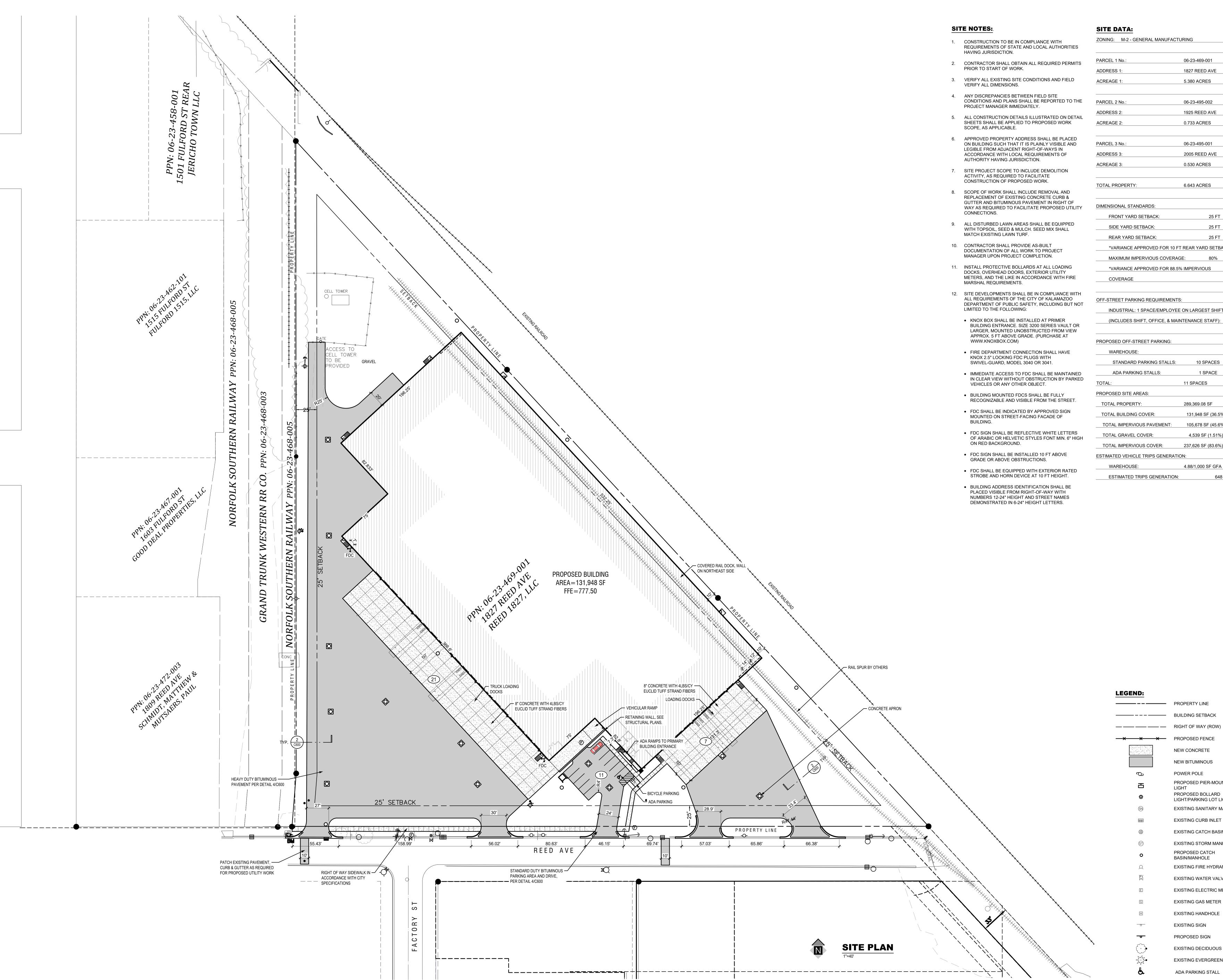
306 S. KALAMAZOO MALL KALAMAZOO, MI 49007 CORPORATE@BYCE.COM W W W . B Y C E . C O M TEL: 269·381·6170 FAX: 269·381·6176



EGEND:

BUILDING SETBACK DEMO CONCRETE **DEMO BITUMINOUS** DEMO GRAVEL/MISC. **IMPERVIOUS** EXISTING POWER POLE EXISTING MANHOLE EXISTING STORM CATCH GATE VALVE EXISTING WATER VALVE EXISTING WATER MANHOLE EXISTING WATER MARKER EXISTING ELECTRIC MARKER EXISTING FIBER OPTIC EXISTING GAS MARKER EXISTING UTILITY BOX EXISTING TELEPHONE MANHOLE EXISTING YARD LIGHT ———— SA ———— **EXISTING SANITARY** ———— ST ———— EXISTING STORM ————W———— EXISTING WATER MAIN EXISTING SPOT ELEVATION

EXISTING CONTOUR



ZONING: M-2 - GENERAL MANUFACTURING

06-23-469-001 1827 REED AVE 5.380 ACRES 06-23-495-002 1925 REED AVE 0.733 ACRES 06-23-495-001 2005 REED AVE 0.530 ACRES

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6.643 ACRES DIMENSIONAL STANDARDS: FRONT YARD SETBACK: 25 FT 25 FT SIDE YARD SETBACK: REAR YARD SETBACK: 25 FT *VARIANCE APPROVED FOR 10 FT REAR YARD SETBACK

OFF-STREET PARKING REQUIREMENTS: INDUSTRIAL: 1 SPACE/EMPLOYEE ON LARGEST SHIFT

PROPOSED OFF-STREET PARKING:	
WAREHOUSE:	
STANDARD PARKING STALLS:	10 SPACES
ADA PARKING STALLS:	1 SPACE
TOTAL:	11 SPACES
PROPOSED SITE AREAS:	
TOTAL PROPERTY:	289,369.08 SF
TOTAL BUILDING COVER:	131,948 SF (36.5%)
TOTAL IMPERVIOUS PAVEMENT:	105,678 SF (45.6%)
	, ()

TOTAL GRAVEL COVER: 4,539 SF (1.51%) TOTAL IMPERVIOUS COVER: 237,626 SF (83.6%) ESTIMATED VEHICLE TRIPS GENERATION: 4.88/1,000 SF GFA

PROPERTY LINE BUILDING SETBACK

X X PROPOSED FENCE NEW CONCRETE NEW BITUMINOUS POWER POLE

> PROPOSED PIER-MOUNTED PROPOSED BOLLARD LIGHT/PARKING LOT LIGHT EXISTING SANITARY MANHOLE EXISTING CURB INLET EXISTING CATCH BASIN EXISTING STORM MANHOLE PROPOSED CATCH BASIN/MANHOLE EXISTING FIRE HYDRANT EXISTING WATER VALVE EXISTING ELECTRIC METER

EXISTING GAS METER EXISTING HANDHOLE EXISTING SIGN

PROPOSED SIGN EXISTING DECIDUOUS TREE

EXISTING EVERGREEN TREE

ADA PARKING STALL

GRADING NOTES:

- VERIFY LOCATIONS OF ALL BELOW GRADE UTILITIES PRIOR TO BEGINNING WORK. CALL 'MISS DIG' 72 HOURS BEFORE YOU DIG AT 1-800-482-7171.
- 2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL REQUIRED EARTHWORK VOLUMES BASED ON PROPOSED FINISH GRADES. IF FILL IS REQUIRED, THE CONTRACTOR SHALL INCLUDE THE REQUIRED VOLUME OF IMPORTED CLASS II SAND IN THE BASE BID PROPOSAL. IF EXCESS SOILS NEED TO

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- TRANSPORT AND DISPOSAL OF SURPLUS SOILS OFF SITE IN THE BASE BID PROPOSAL. NO CONTRACT COST ADJUSTMENTS WILL BE CONSIDERED FOR EARTHWORK REQUIRED TO BALANCE THE SITE. CONCRETE SLABS AT EXTERIOR DOORS SHALL BE
- ALL EXCAVATION AND TRENCHING SHALL BE PERFORMED BY AN EXCAVATION COMPETENT PERSON AND SHALL BE IN COMPLIANCE WITH OSHA STANDARDS AND GUIDELINES.
- ENSURE GRADING ACTIVITY PROMOTES POSITIVE DRAINAGE AWAY FROM PROPOSED FACILITIES,
- 6. STRIP AND STOCKPILE EXISTING TOPSOIL ON SITE FOR FUTURE USE. SURROUND WITH SILT FENCE.
- FURNISH & INSTALL TOPSOIL, SEED AND MULCH TO ALL DISTURBED GRADES NOT PROPOSED TO HAVE OTHER FINISH TREATMENT. TOPSOIL, SEED AND
- 8. FURNISH & INSTALL NORTH AMERICAN GREEN EROSION CONTROL BLANKET SC150 TO ALL SITE AREAS WITH FINISH SLOPES GREATER THAN 1:5, TYPICAL. IN ALL CASES SEED SHALL BE APPLIED PRIOR TO MULCH OR EROSION CONTROL BLANKET APPLICATION.

NEW CONCRETE

NEW BITUMINOUS

SPOT ELEVATION

EXISTING CONTOUR

POWER POLE

HEAVY DUTY BITUMINOUS

EXISTING SPOT ELEVATION

DRAINAGE FLOW DIRECTION

PROPOSED PIER-MOUNTED LIGHT

LIGHT/PARKING LOT LIGHT

EXISTING SANITARY MANHOLE

PROPOSED BOLLARD

EXISTING CURB INLET

EXISTING CATCH BASIN

PROPOSED CATCH BASIN/MANHOLE

EXISTING FIRE HYDRANT

EXISTING WATER VALVE

EXISTING ELECTRIC METER

EXISTING DECIDUOUS TREE

EXISTING EVERGREEN TREE

ADA PARKING STALL

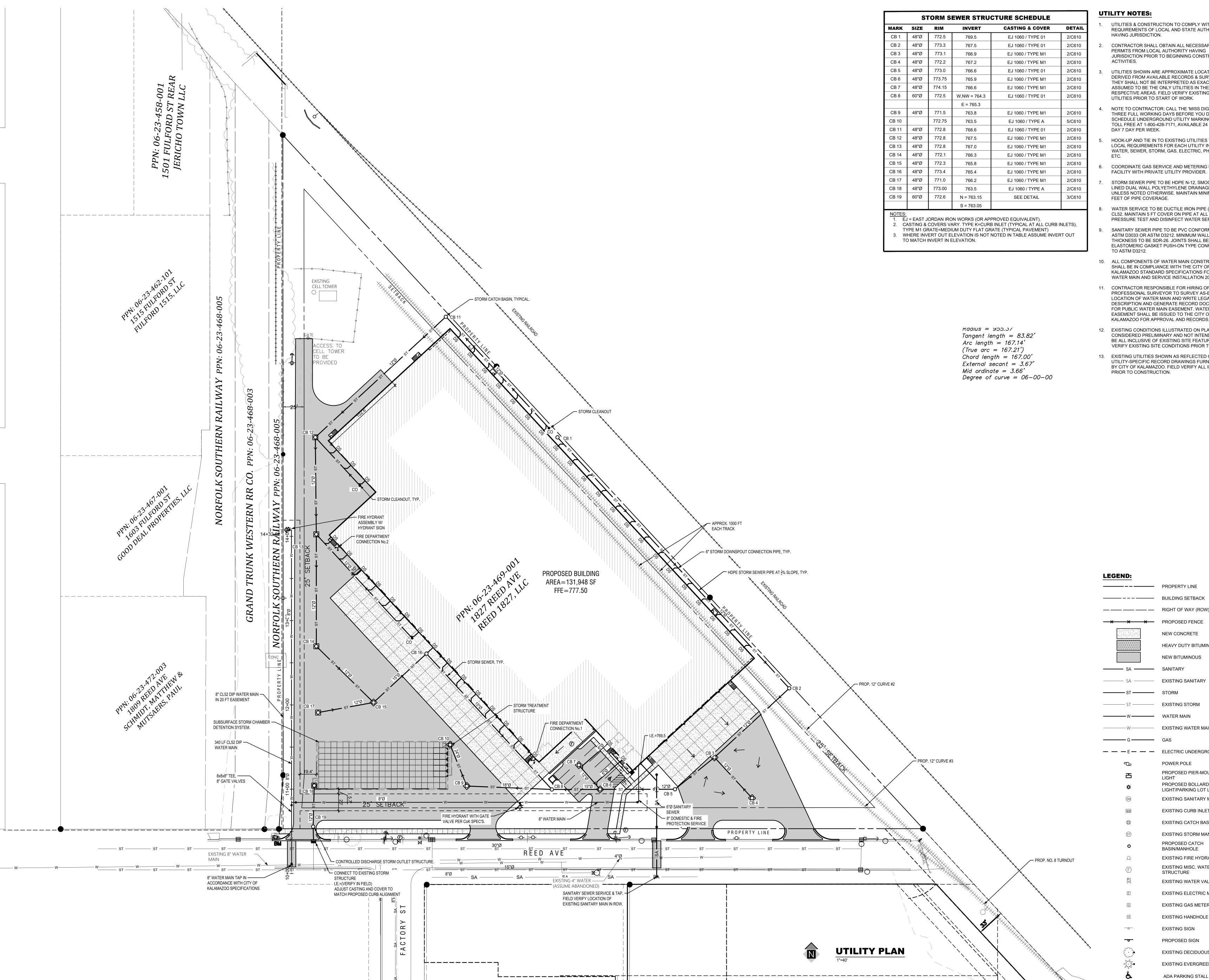
EXISTING GAS METER

EXISTING HANDHOLE

EXISTING SIGN

PROPOSED SIGN

EXISTING STORM MANHOLE



UTILITY NOTES:

- UTILITIES & CONSTRUCTION TO COMPLY WITH REQUIREMENTS OF LOCAL AND STATE AUTHORITIES HAVING JURISDICTION.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM LOCAL AUTHORITY HAVING JURISDICTION PRIOR TO BEGINNING CONSTRUCTION
- ACTIVITIES. UTILITIES SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM AVAILABLE RECORDS & SURVEY.
- THEY SHALL NOT BE INTERPRETED AS EXACT OR ASSUMED TO BE THE ONLY UTILITIES IN THEIR RESPECTIVE AREAS. FIELD VERIFY EXISTING UTILITIES PRIOR TO START OF WORK.
- NOTE TO CONTRACTOR: CALL THE 'MISS DIG' SYSTEM THREE FULL WORKING DAYS BEFORE YOU DIG TO SCHEDULE UNDERGROUND UTILITY MARKING. CALL TOLL FREE AT 1-800-428-7171, AVAILABLE 24 HRS PER DAY 7 DAY PER WEEK.
- HOOK-UP AND TIE IN TO EXISTING UTILITIES TO MEET LOCAL REQUIREMENTS FOR EACH UTILITY INVOLVED: WATER, SEWER, STORM, GAS, ELECTRIC, PHONE,
- COORDINATE GAS SERVICE AND METERING FOR NEW FACILITY WITH PRIVATE UTILITY PROVIDER.
- STORM SEWER PIPE TO BE HDPE N-12, SMOOTH LINED DUAL WALL POLYETHYLENE DRAINAGE PIPE, UNLESS NOTED OTHERWISE. MAINTAIN MINIMUM 3 FEET OF PIPE COVERAGE.
- WATER SERVICE TO BE DUCTILE IRON PIPE (D.I.P) CL52. MAINTAIN 5 FT COVER ON PIPE AT ALL TIMES. PRESSURE TEST AND DISINFECT WATER SERVICE.
- SANITARY SEWER PIPE TO BE PVC CONFORMING TO ASTM D3033 OR ASTM D3212. MINIMUM WALL THICKNESS TO BE SDR-26. JOINTS SHALL BE OF THE ELASTOMERIC GASKET PUSH-ON TYPE CONFORMING TO ASTM D3212.
- 10. ALL COMPONENTS OF WATER MAIN CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE CITY OF KALAMAZOO STANDARD SPECIFICATIONS FOR WATER MAIN AND SERVICE INSTALLATION 2021.
- 11. CONTRACTOR RESPONSIBLE FOR HIRING OF PROFESSIONAL SURVEYOR TO SURVEY AS-BUILT LOCATION OF WATER MAIN AND WRITE LEGAL DESCRIPTION AND GENERATE RECORD DOCUMENTS FOR PUBLIC WATER MAIN EASEMENT. WATER MAIN EASEMENT SHALL BE ISSUED TO THE CITY OF KALAMAZOO FOR APPROVAL AND RECORDS.
- 12. EXISTING CONDITIONS ILLUSTRATED ON PLAN ARE CONSIDERED PRELIMINARY AND NOT INTENDING TO BE ALL INCLUSIVE OF EXISTING SITE FEATURES. VERIFY EXISTING SITE CONDITIONS PRIOR TO WORK.
- 13. EXISTING UTILITIES SHOWN AS REFLECTED ON UTILITY-SPECIFIC RECORD DRAWINGS FURNISHED BY CITY OF KALAMAZOO. FIELD VERIFY ALL INVERTS PRIOR TO CONSTRUCTION.

NEW CONCRETE

NEW BITUMINOUS

— ELECTRIC UNDERGROUND

PROPOSED PIER-MOUNTED

EXISTING SANITARY MANHOLE

PROPOSED BOLLARD LIGHT/PARKING LOT LIGHT

EXISTING CURB INLET

EXISTING CATCH BASIN

PROPOSED CATCH BASIN/MANHOLE

EXISTING FIRE HYDRANT

EXISTING MISC. WATER

EXISTING WATER VALVE

EXISTING GAS METER

EXISTING HANDHOLE

EXISTING SIGN

PROPOSED SIGN

EXISTING ELECTRIC METER

EXISTING DECIDUOUS TREE

EXISTING EVERGREEN TREE

ADA PARKING STALL

STRUCTURE

EXISTING STORM MANHOLE

POWER POLE

SA — EXISTING SANITARY

HEAVY DUTY BITUMINOUS

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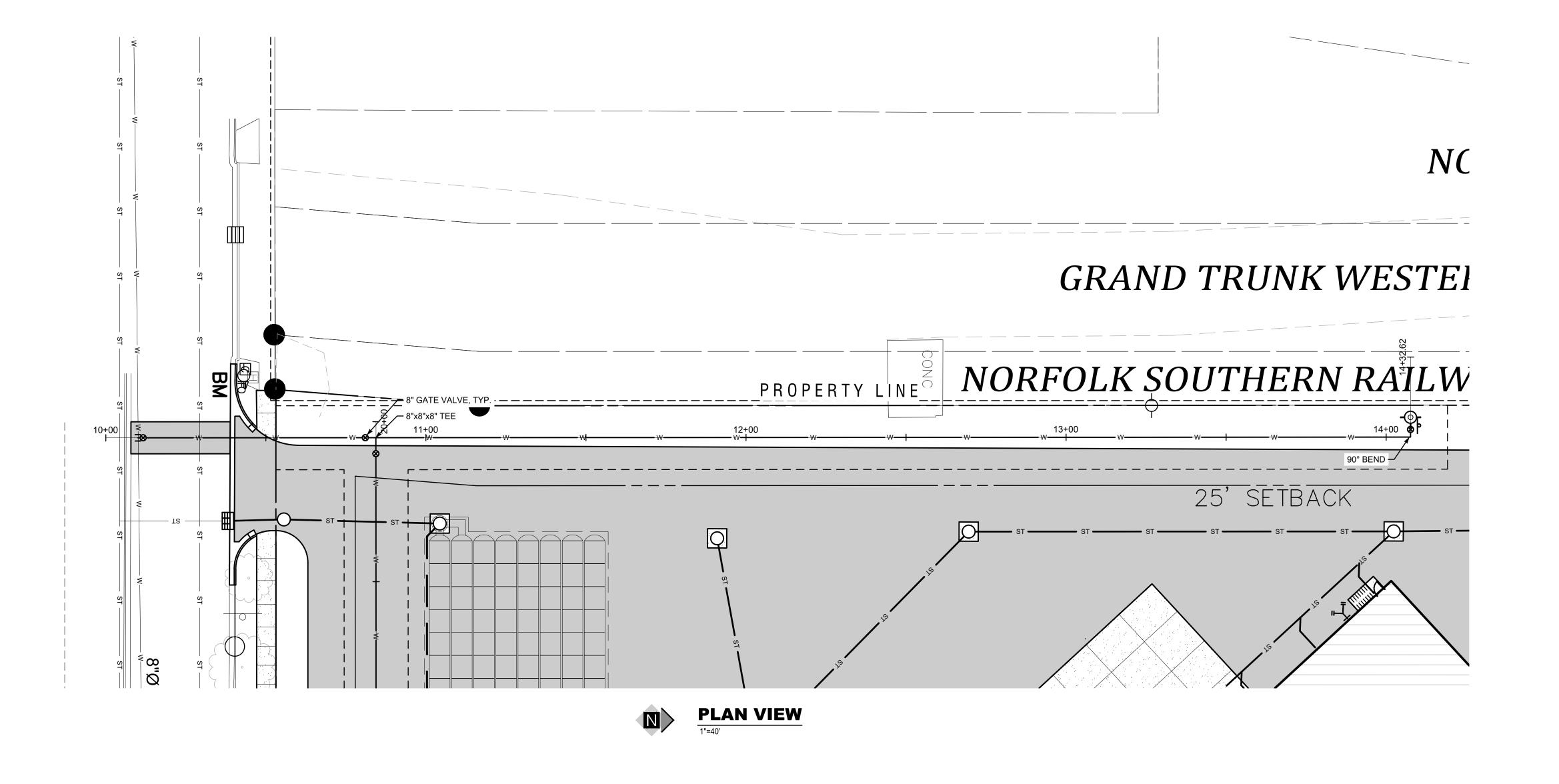
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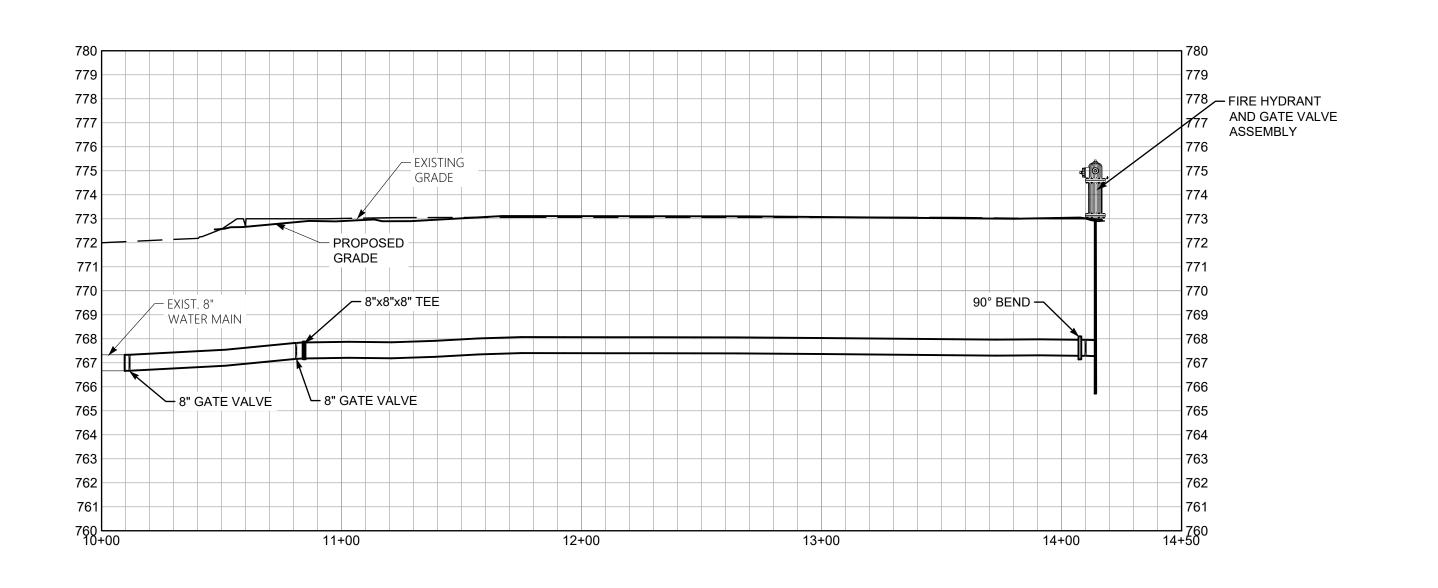
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22100252 **C420**

WATER MAIN PROFILE

23+00

8" GATE VALVE

12"Ø STORM SEWER @ 0.8% —

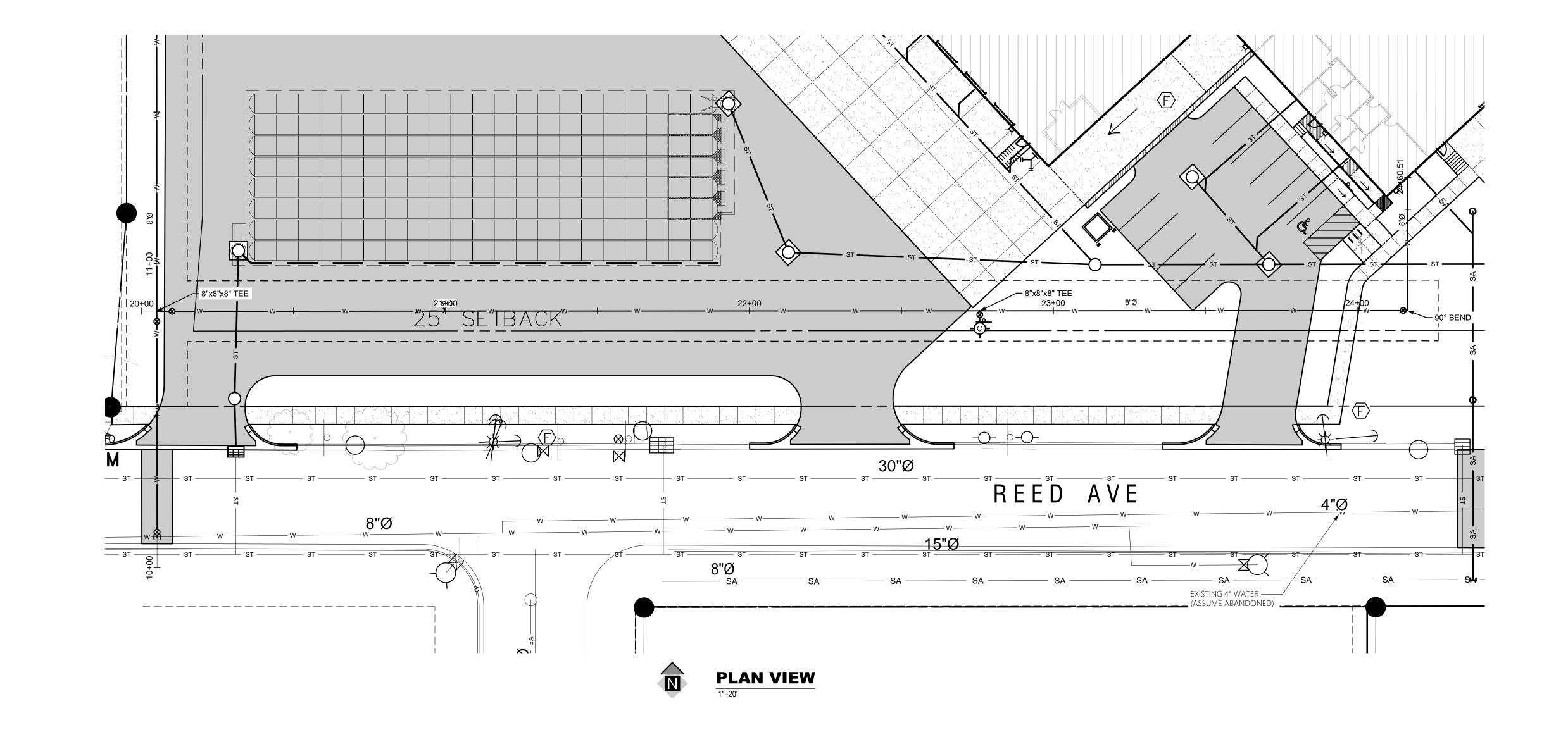
24+00

8"x8"x8" TEE TO FIRE HYDRANT ASSEMBLY

─8"Ø CL 52 DIP WATER MAIN

22+00

PROPOSED -BUILDING





21+00

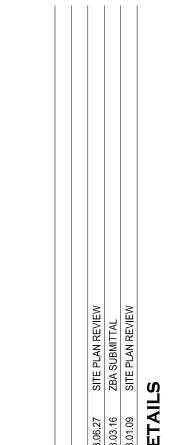
12"Ø STORM SEWER @ 0.8%

8"x8"x8" TEE — 76

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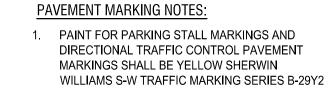
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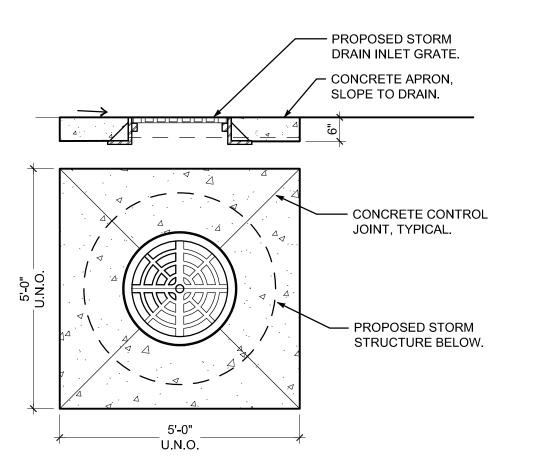




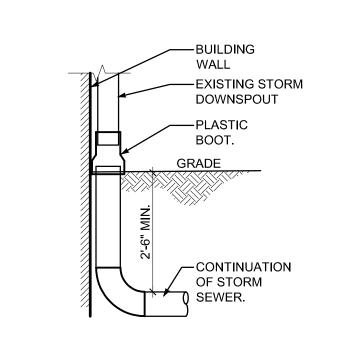
OR EQUAL. 2. PAINT FOR HANDICAP PARKING STALL MARKINGS SHALL BE BLUE, IN COMPLIANCE WITH MICHIGAN BARRIER FREE DESIGN

STANDARD SPECIFICATIONS.

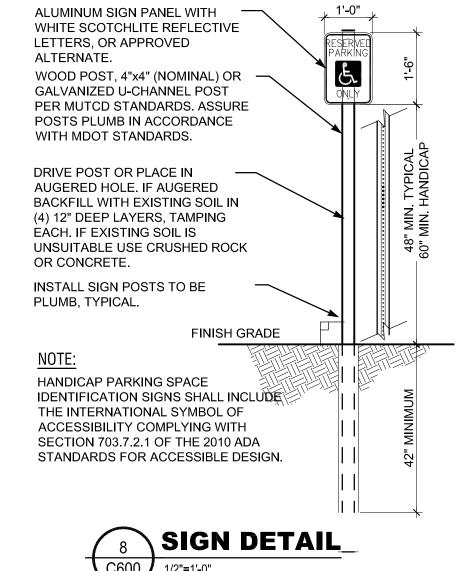


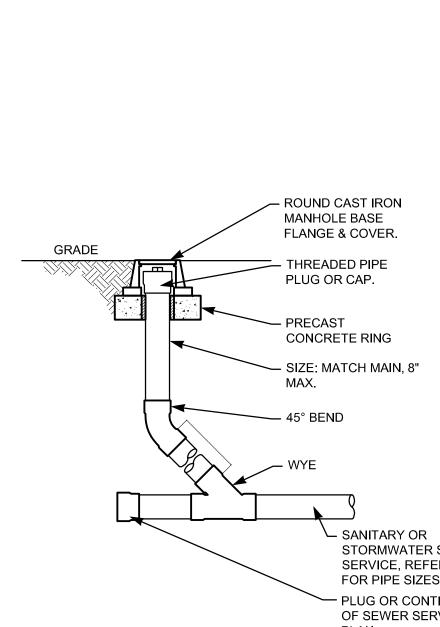


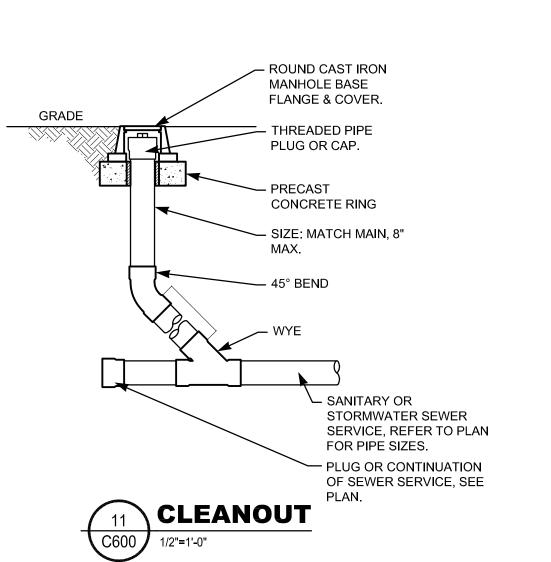




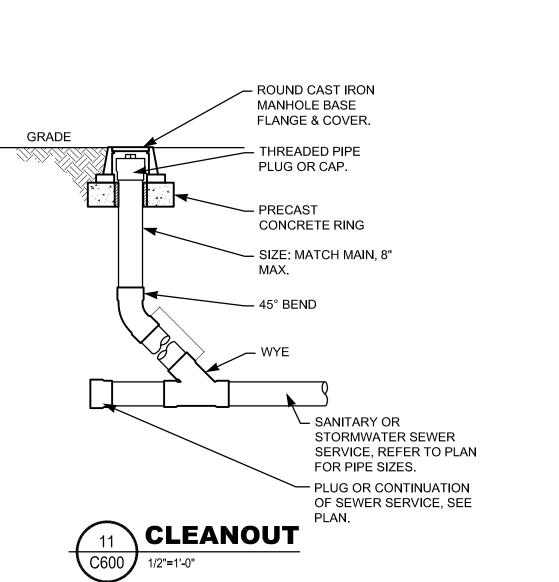


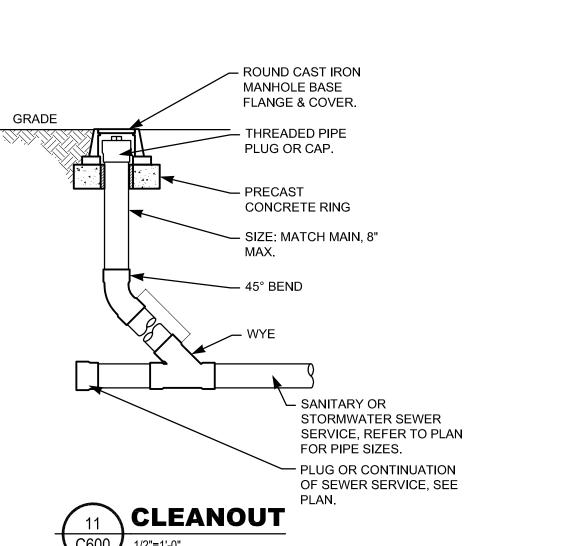






10 SILT FENCE DETAIL





— FILL WITH CONCRETE,

ROUND & SMOOTH TOP.

← 6"SS PIPE. PAINT YELLOW OR

CONCRETE FOOTING,

PITCH TOP TO DRAIN.

FINISH GRADE

✓ WRAP FABRIC AROUND FENCE POST, TYPICAL.

SPACING 6' MAX.

DRIVE FENCE -

GROUND 1 FT MIN.

POST(S) INTO

GEOTEXTILE -

PER PLANS.

FURNISH & INSTALL

18"Ø

C600 1/2"=1'-0"

GEOTEXTILE

UPHILL SIDE,

DISRUPTION.

COMPACTED

€ 6"x6" ANCHOR

TRENCH

- RIDGE OF

EARTH.

UNDISTURBED -

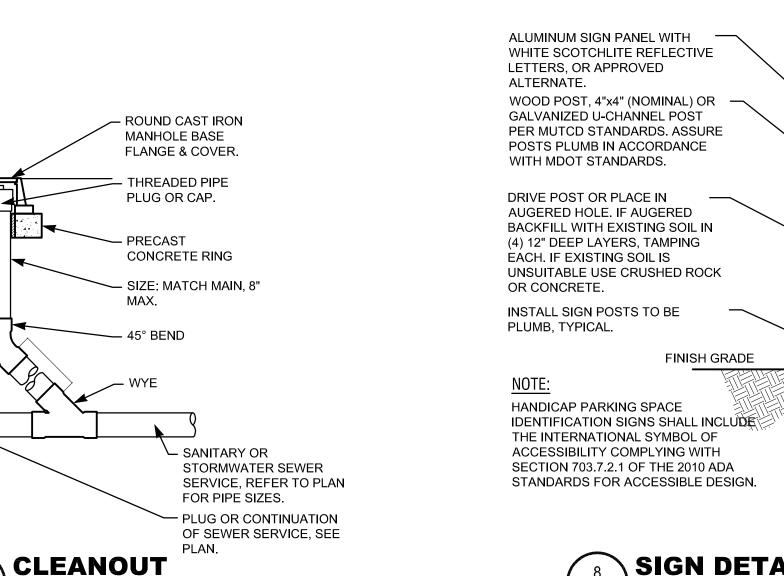
VEGETATION

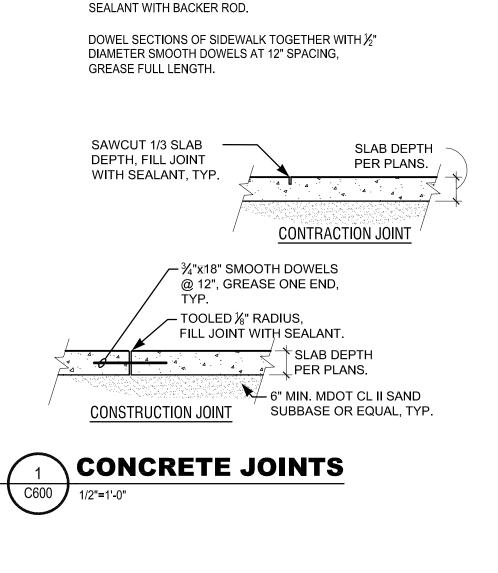
FABRIC. FASTEN TO

TOWARDS EARTH

9 EXTERIOR BOLLARD

BOLLARD SLEEVE, TYP.



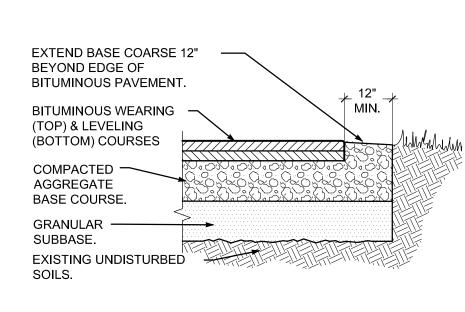


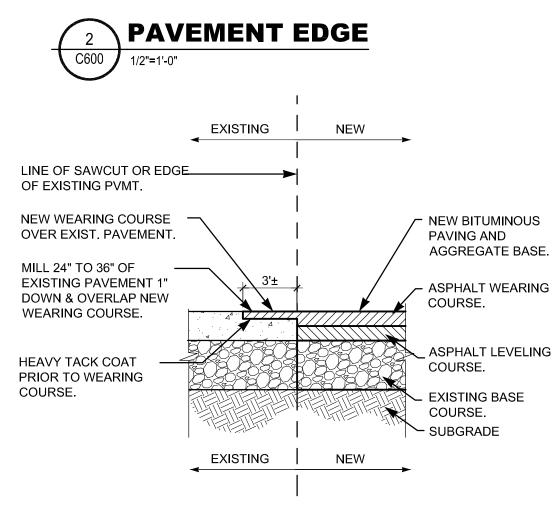
CONCRETE EXPANSION JOINT NOTES:

SIDEWALKS AND BUILDING WALLS.

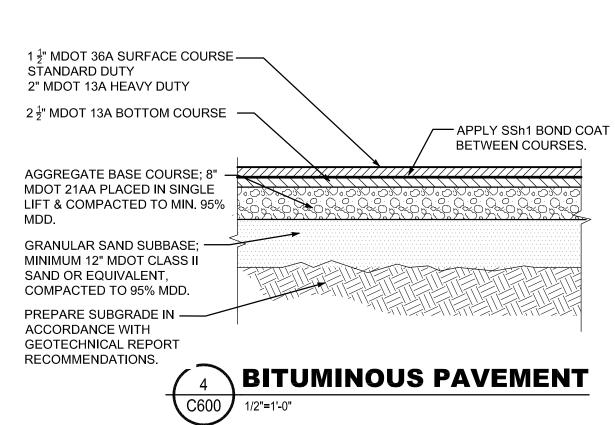
PLACE EXPANSION JOINTS AT 40 FT SPACING ALONG

USE ½" EXPANSION JOINT MATERIAL AND POURABLE









60' MINIMUM

LENGTH OF STABILIZED ROAD

SEDIMENT SUMP

PLAN VIEW

FINISH GRADE AS NOTED ON

TOPSOIL OR PAVEMENT

─FINAL BACKFILL MATERIAL.

INITIAL BACKFILL MATERIAL;

APPROVED EQUAL. INSTALL IN ACCORDANCE WITH ASTM

BEDDING MATERIAL; 4" MIN.

SUBBASE PER PLANS.

MDOT CLASS II OR

- SPRINGLINE OF PIPE.

MDOT CLASS II OR

APPROVED EQUAL.

SUITABLE FOUNDATION;

STANDARD PROCTOR.

MAINTAIN CITY

PLANS.

REQUIRED MINIMUM

COVER ON WATER

MAIN AT ALL TIMES.

– FINISH GRADE, PER

- UNDISTURBED SOIL.

SAND BACKFILL MATERIAL

EQUAL) COMPACTED TO NOT LESS THAN 95% OF

MECHANICAL TAMPING

(MDOT CLASS 11 OR

ITS MAXIMUM DRY

DENSITY (USING

TOOLS).

IN-SITU SOILS OR CLASS II SAND COMPACTED TO 95%

PLANS, TYPICAL.

PROFILE.

TRENCH WIDTH

13 STORM PIPE TRENCH

\ CONSTSRUCTION ACCESS

— 2"-3" CRUSHED ROCK

(8" DEPTH)

-NON-WOVEN

GEOTEXTILE FABRIC

— EXISTING GROUND

CONSTRUCTION ACCESS NOTES:

ACTIVITIES.

BODIES.

ESTABLISH STABILIZED CONSTRUCTION ENTRANCE

MOVEMENT INTO ADJACENT WETLANDS OR WATER

NECESSARY TO ALLOW SEDIMENT DEPOSITS WITHIN

CRUSHED ROCK. CLEAN CRUSHED SURFACE WHEN

C600 NOT TO SCALE

TEMPORARY

SPRINGLINE

PIPE INVERT

PIPE | TRENCH

DIAM. WIDTH

MIDDLE BEDDING MATERIAL —

SHALL BE LOOSELY PLACED &

UNCOMPACTED.

PRIOR TO THE INITIATION OF SITE CONSTRUCTION

CARE SHOULD BE TAKEN TO PREVENT SOILS

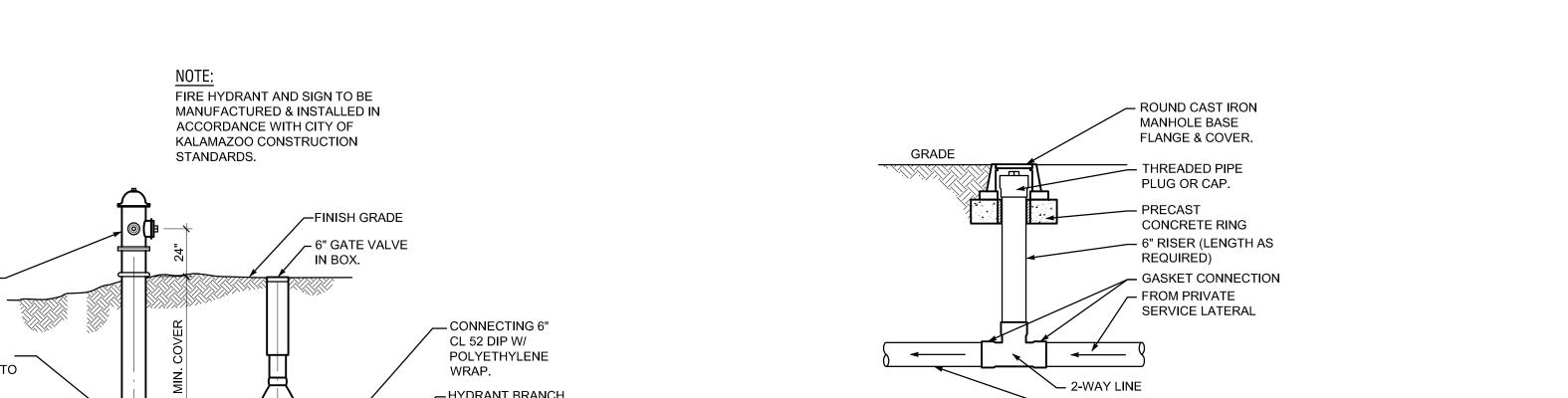
MAINTAIN CONSTRUCTION ACCESS DRIVE AS

SEDIMENT HAS FILLED VOIDS.

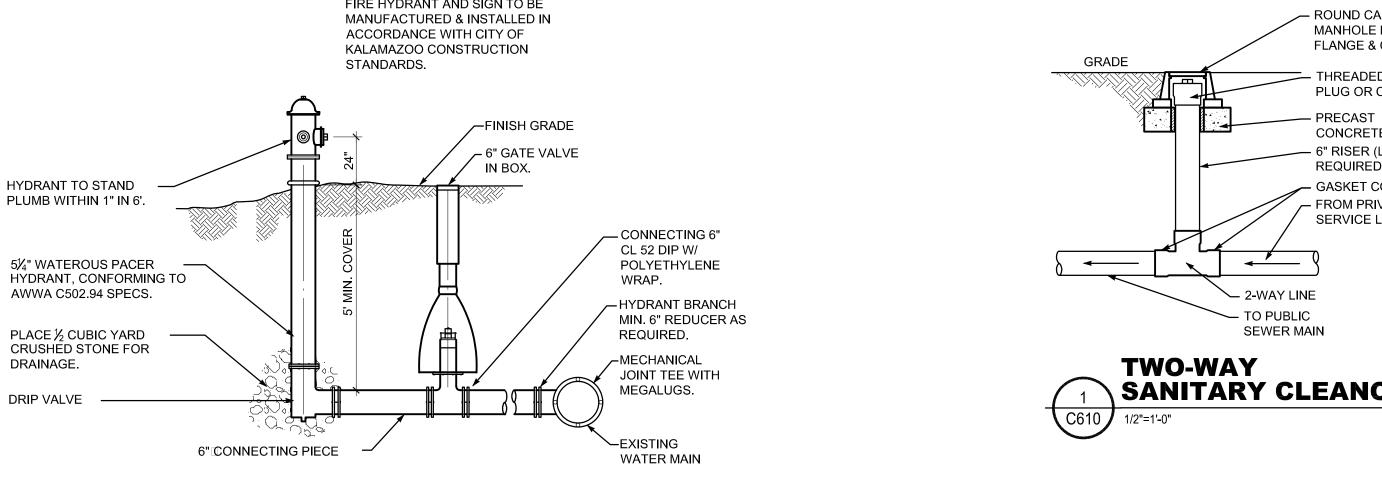


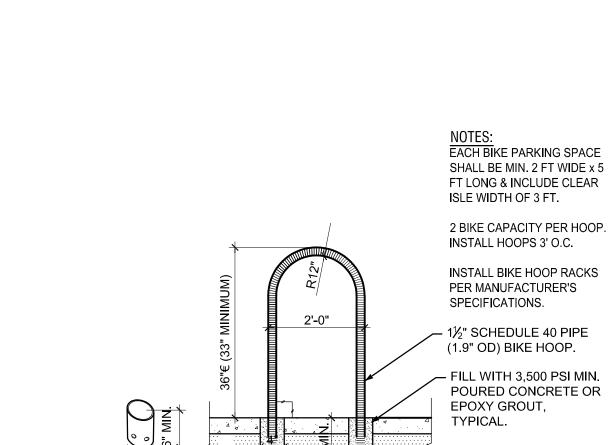


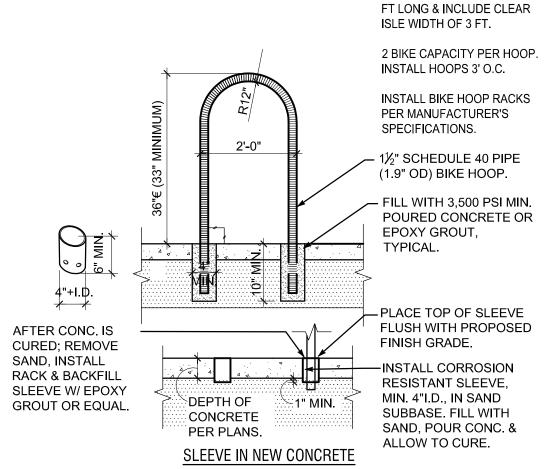




TWO-WAY SANITARY CLEANOUT

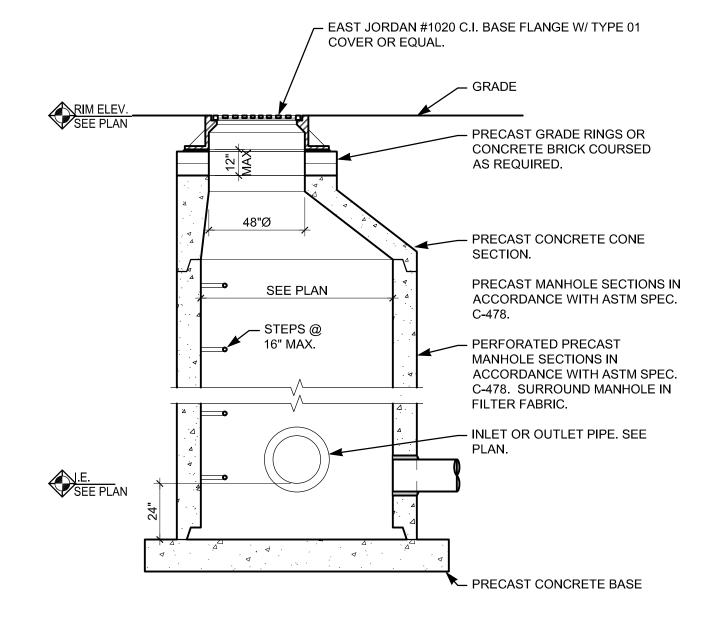






6 BIKE PARKING HOOP

4 FIRE HYDRANT
C610 NO SCALE



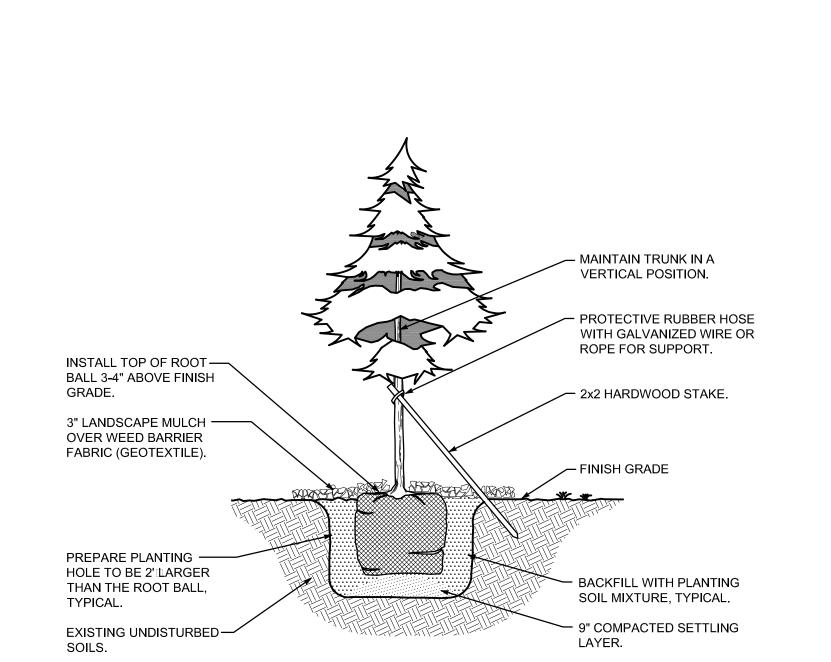
- EAST JORDAN IRON WORKS #1585 C.I. FRAME WITH TYPE M

FLAT GRATE, OR APPROVED

EQUIVALENT.



FINISH GRADE



3,000 PSI CONCRETE TO SUPPORT & — LEVEL MH FRAME, TYP. DO NOT ALLOW

<u>PLAN VIEW</u>

STORM TREATMENT STRUCTURE NOTES:

110-MICRON PARTICLE SIZE.

ON 3RD PARTY INDEPENDENT TESTING.

5. TREATMENT STRUCTURE SHALL HAVE INTERNAL BYPASS ABILITY.

- MIN. REQUIRED TREATMENT VOLUME: 24,137 CF

- MIN. REQUIRED TREATMENT FLOW RATE: 7.94 CFS

FRAME & COVER

— INTERNAL BAFFLES.

─MANUFACTURER TO PROVIDE

12" LONG STUB-OUT FOR PIPE

6. TREATMENT STRUCTURE SHALL BE SIZED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:

BY CONTRACTOR.

— OCTAGONAL BASE PLATE.

CONNECTIONS. PIPE COUPLING

1. INSTALL STORM TREATMENT STRUCTURE IN ACCORDANCE WITH MANUFACTURERS INSTALLATION INSTRUCTIONS.

2. INSTALL TO WITHSTAND H25 HEAVY DUTY TRAFFIC LOADING IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS.

4. SUBMIT SHOP DRAWINGS TO ENGINEER FOR REVIEW, INCLUDING PROOF OF NJDEP CERTIFIED TREATMENT FLOWS BASED

3. STRUCTURE SHALL TREAT 100% OF RUNOFF FROM 2-YR, 24-HR STORM EVENT & REMOVE A MIN. 80% TSS BASED ON A

\ STORM TREATMENT STRUCTURE

MH FRAME TO REST ON RISER.

BACKFILL COMPACTED TO

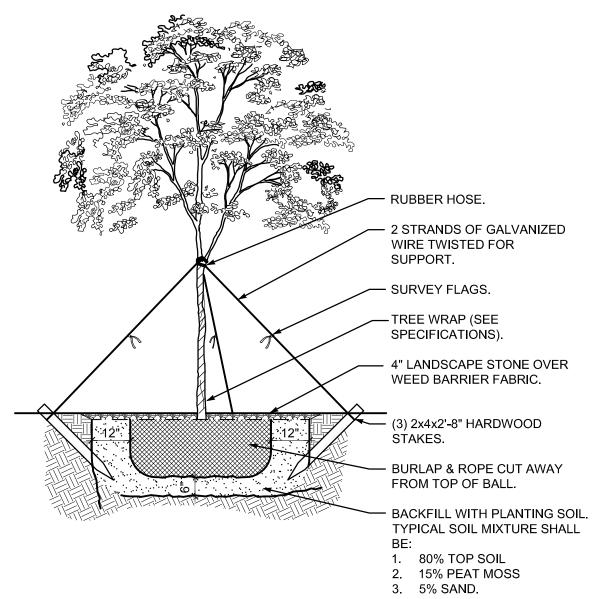
INSTALL 1" COMPRESSIBLE

EXPANSION JOINT MATERIAL

90% PROCTOR DENSITY.

AROUND TOP OF RISER.

 \longrightarrow



__ GRATE & FRAME PROVIDED

BY MANUFACTURER.

INLET & OUTLET PIPES,

SIZES & INVERTS PER

- ARCHED BAFFLES,

FILTRATION MEDIA.

PROVIDE 18" MIN.

BACKFILL AROUND

\\STRUCTURE, FOR FULL

HEIGHT INCLUDING RISER.

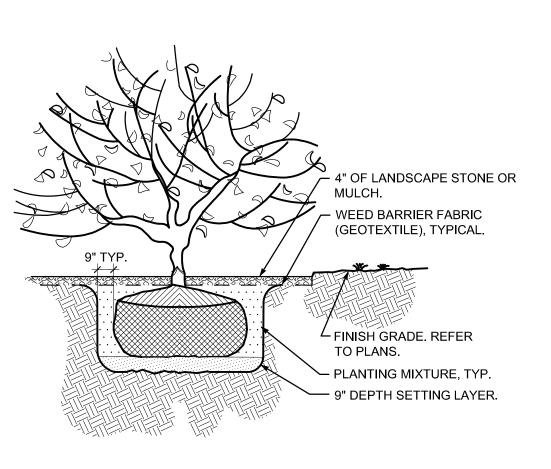
DRAINAGE.

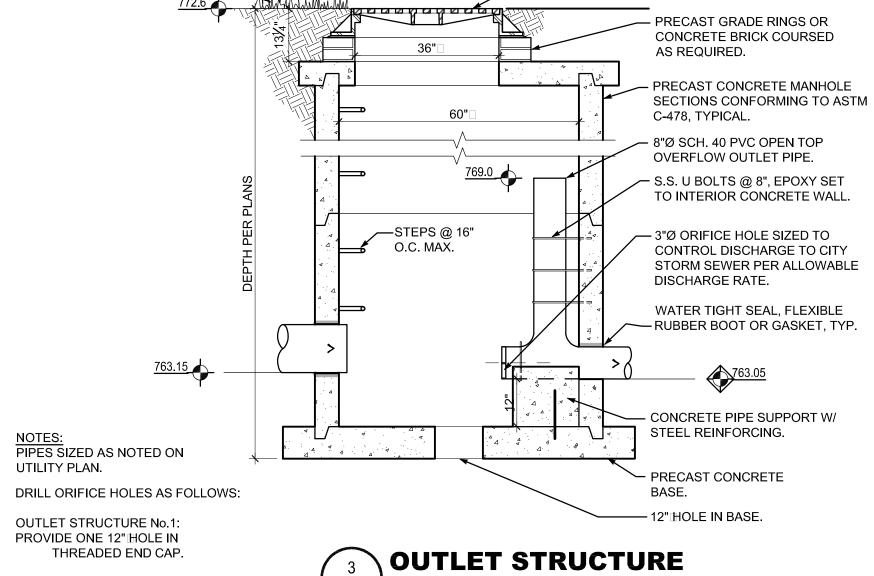
PERIMETER OF

— RISER

FOUNDATION STONE.

UNDISTURBED SOIL

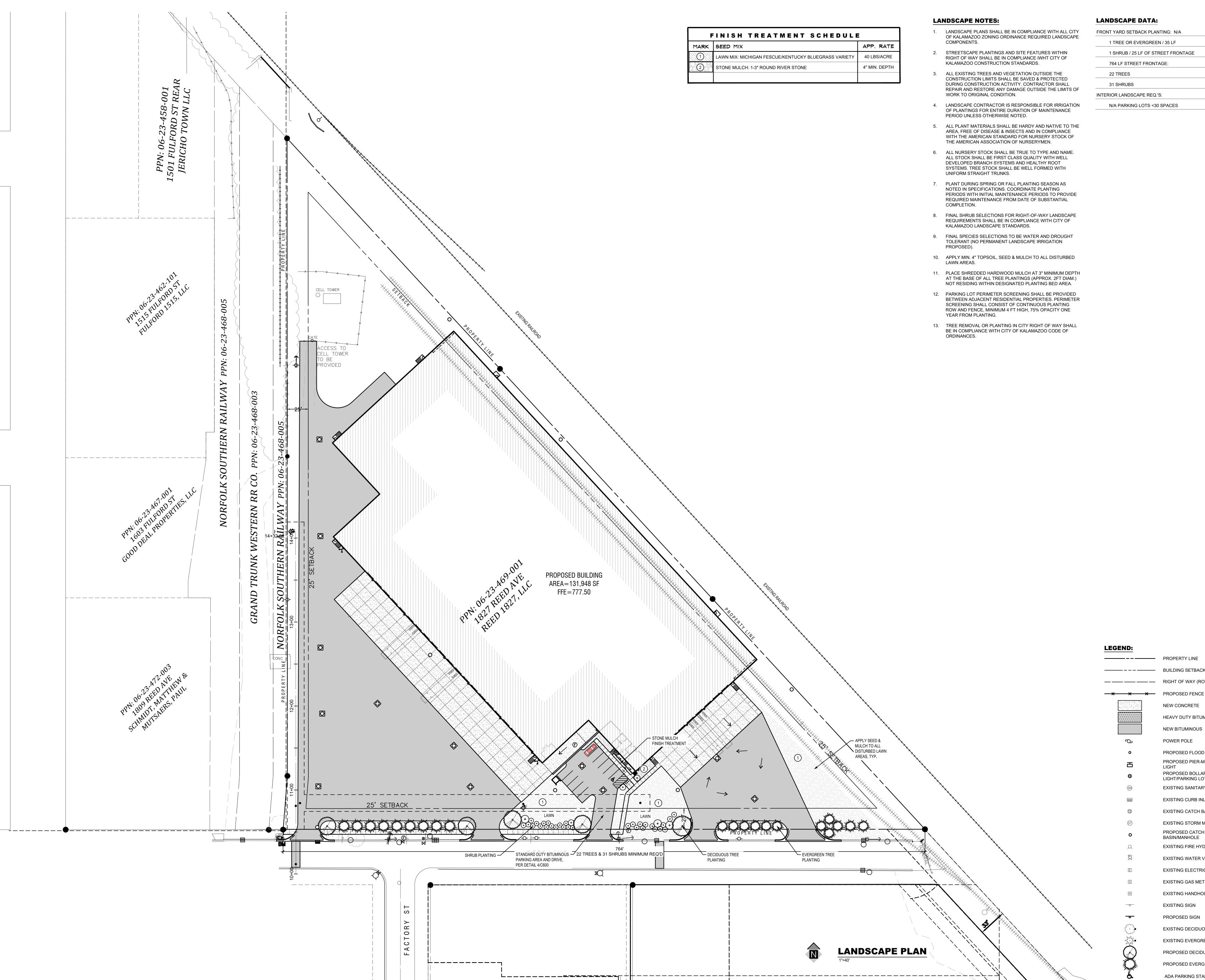












LANDSCAPE DATA:

- FRONT YARD SETBACK PLANTING: N/A 1 TREE OR EVERGREEN / 35 LF
 - 1 SHRUB / 25 LF OF STREET FRONTAGE 764 LF STREET FRONTAGE: 22 TREES
 - 31 SHRUBS

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306 S. KALAMAZOO MALL



NEW CONCRETE

NEW BITUMINOUS

POWER POLE

HEAVY DUTY BITUMINOUS

PROPOSED FLOOD LIGHT

PROPOSED BOLLARD LIGHT/PARKING LOT LIGHT

EXISTING CURB INLET

PROPOSED CATCH BASIN/MANHOLE

EXISTING CATCH BASIN

EXISTING FIRE HYDRANT

EXISTING WATER VALVE

EXISTING GAS METER

EXISTING HANDHOLE

EXISTING SIGN

PROPOSED SIGN

EXISTING ELECTRIC METER

EXISTING DECIDUOUS TREE

EXISTING EVERGREEN TREE

PROPOSED DECIDUOUS TREE

PROPOSED EVERGREEN TREE

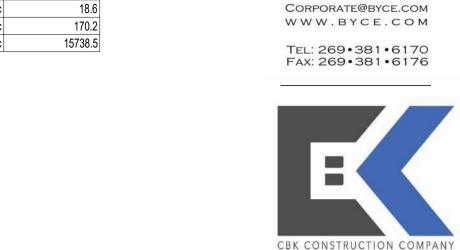
ADA PARKING STALL

EXISTING STORM MANHOLE

PROPOSED PIER-MOUNTED

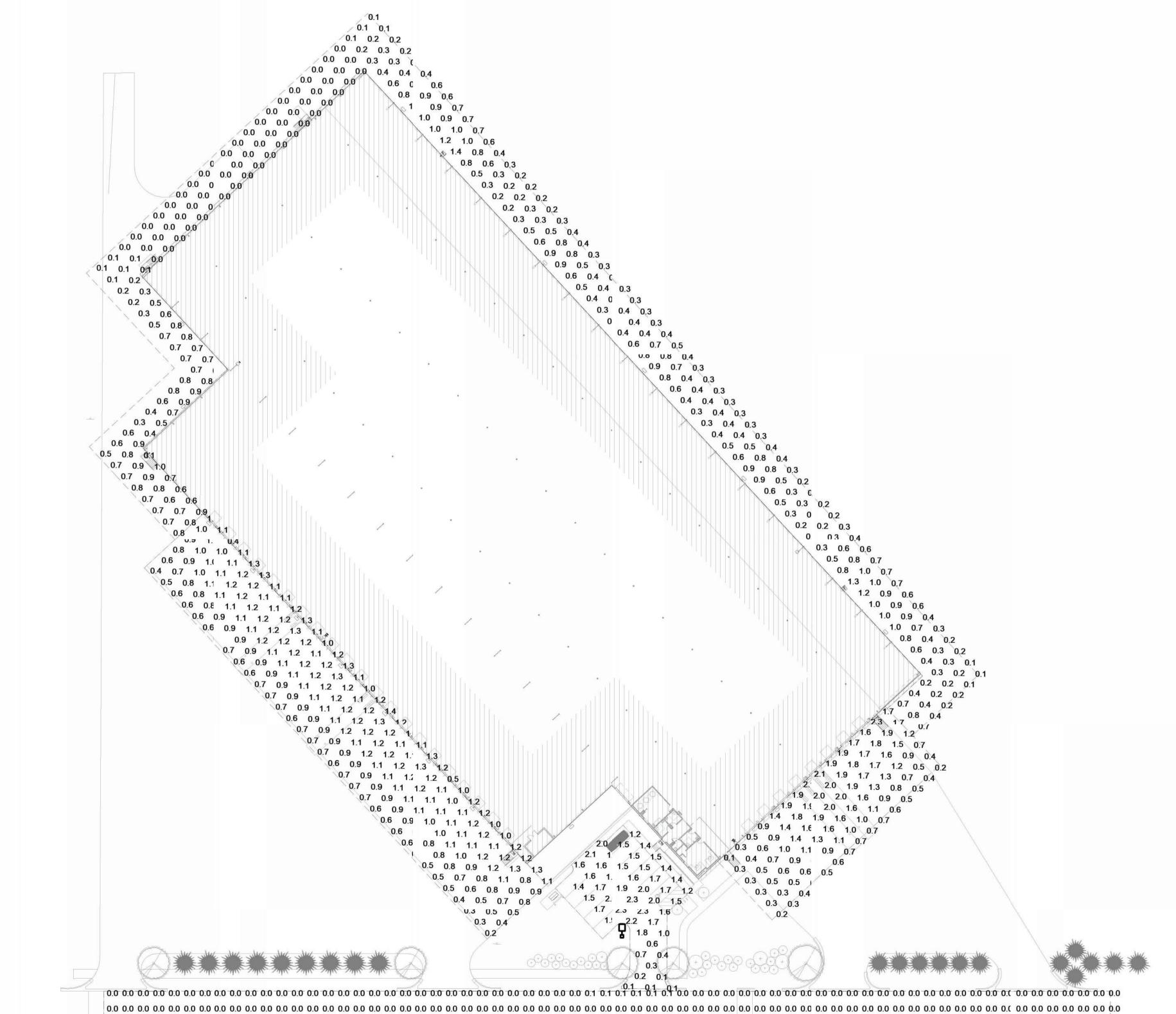
EXISTING SANITARY MANHOLE

22100252 L100



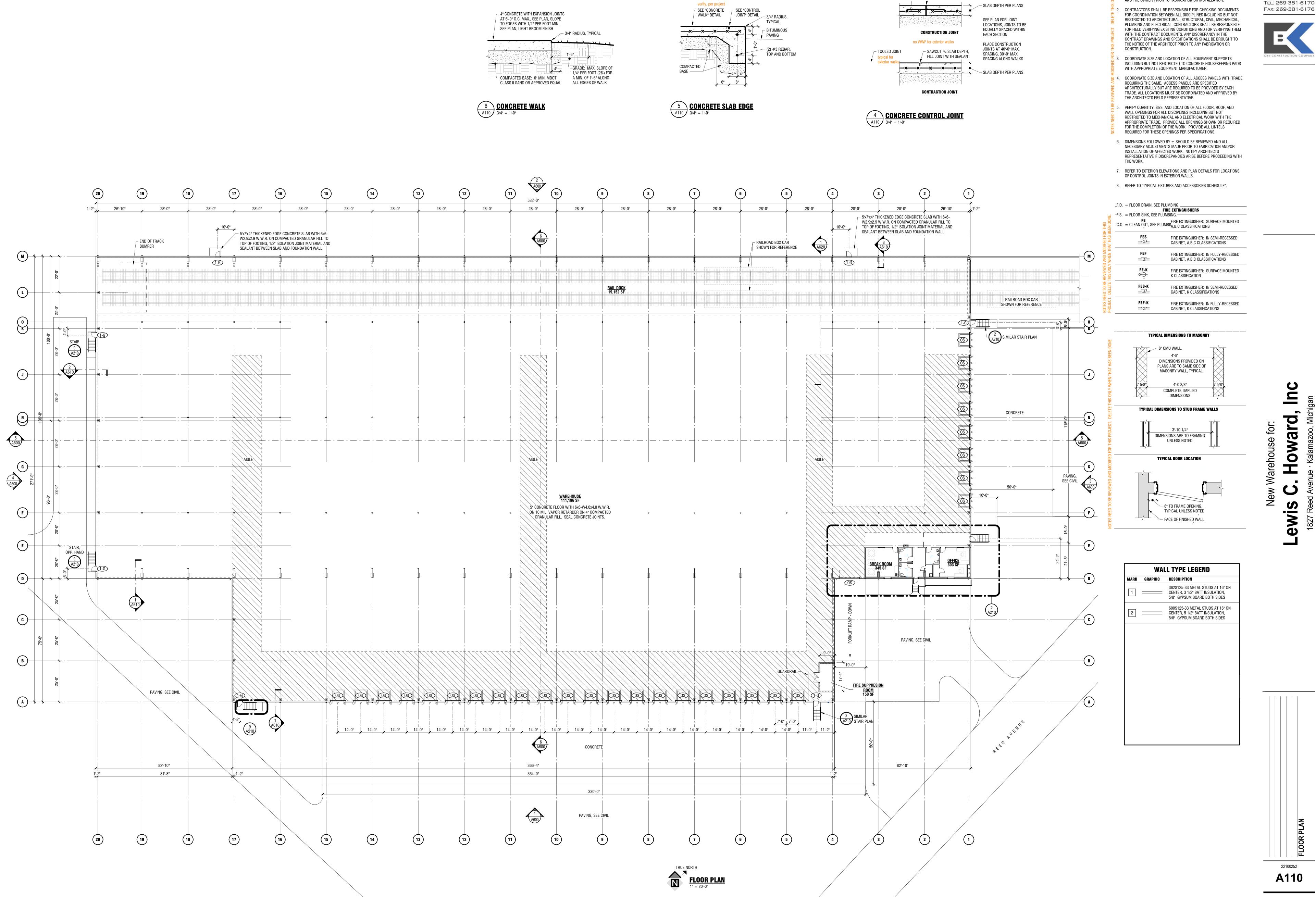
BYCE & ASSOCIATES, INC.

ENGINEERS | ARCHITECTS 306 S KALAMAZOO MALL кацамахоо мі 49007



Howard,

C



FLOOR PLAN NOTES:

__ 1/2"Ø x 18" SMOOTH DOWELS AT 12" O.C.,

 $_{/\!\!/}$ 1/2" JOINT, TOOLED 1/8" RADIUS EDGES,

BACKER ROD OR JOINT FILL MATERIAL

FILL WITH POURABLE SEALANT ON

COAT ONE END WITH BOND BREAKER

. DRAWINGS ESTABLISH THE DESIGN INTENT OF WORK TO BE PERFORMED. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE HIGHEST INDUSTRY STANDARDS. ALL PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. ALL TRADES SHALL CAREFULLY COORDINATE WORK OF ALL OTHER TRADES. ANY DISCREPANCIES OR CONFLICTS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT AND THE OWNER PRIOR TO FABRICATION OR INSTALLATION.

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EXTERIOR ELEVATIONS & SECTIONS