

**OWNER**  
 215 EM PARTNERS, LLC  
 241 E. MICHIGAN AVE.  
 KALAMAZOO, MI 49007  
 V: (269) 329-1808

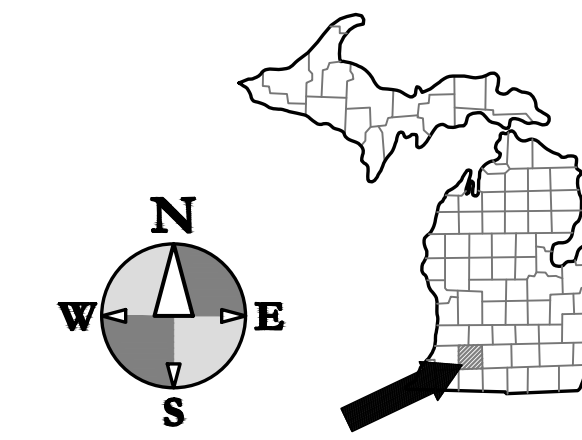
**ARCHITECT/ INTERIOR  
 DESIGN/ MEP**

ECKERT WORDELL, LLC  
 161 EAST MICHIGAN AVE., SUITE 200  
 KALAMAZOO, MI 49007  
 V: (269) 388-7313  
 F: (269) 388-7330

**CONSTRUCTION  
 MANAGER**

CSM GROUP  
 600 E. MICHIGAN AVE., SUITE A  
 KALAMAZOO, MI 49007  
 V: (877) 386-8214

Site Plan Review  
 City of Kalamazoo  
 01-31-2023



**HS**  
 hurley & stewart  
 hurley & stewart, llc  
 2800 s. 11th street  
 kalamazoo, michigan 49009  
 269.552.4960 fax 269.552.4961  
 www.hurleystewart.com

# Civil Plan Set

## 215 E. Michigan Addition

215 E Michigan Ave  
 Kalamazoo  
 Kalamazoo County, MI  
 1/26/23

**OWNER**

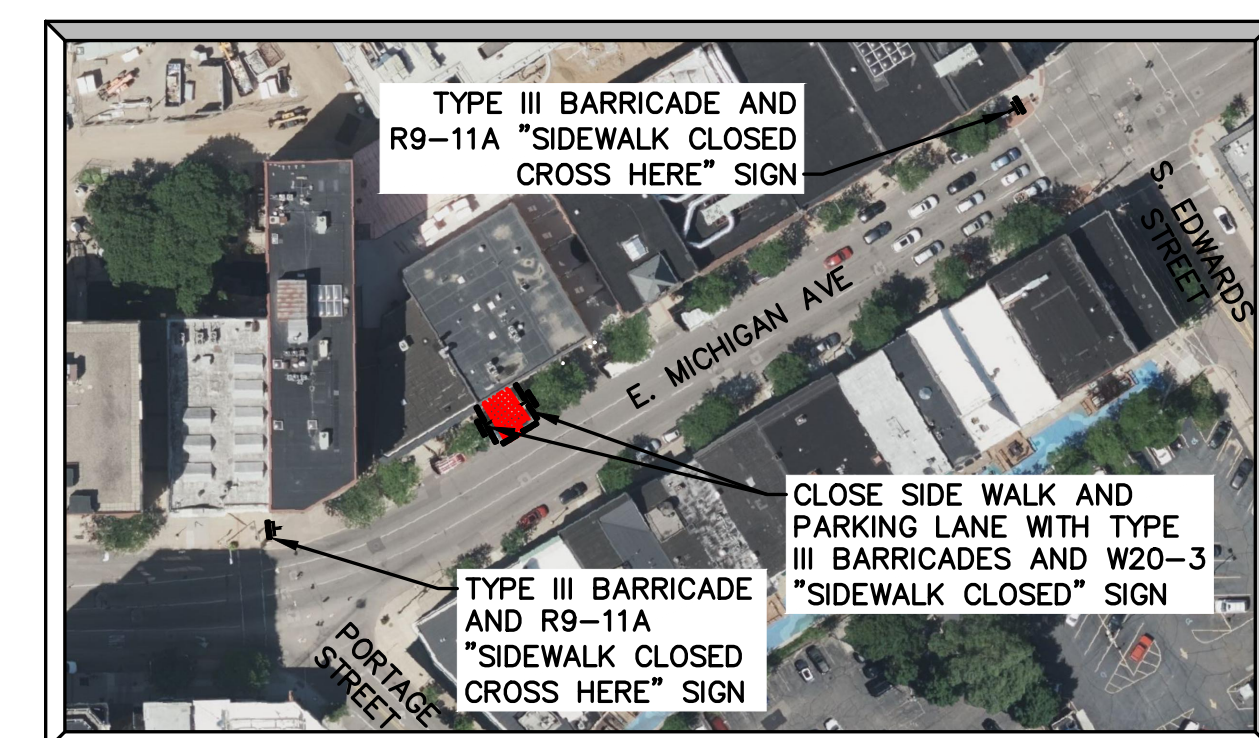
215 EM PARTNERS, LLC  
 541 E MICHIGAN AVE  
 KALAMAZOO, MI 49007

**UTILITY CONTACTS:**

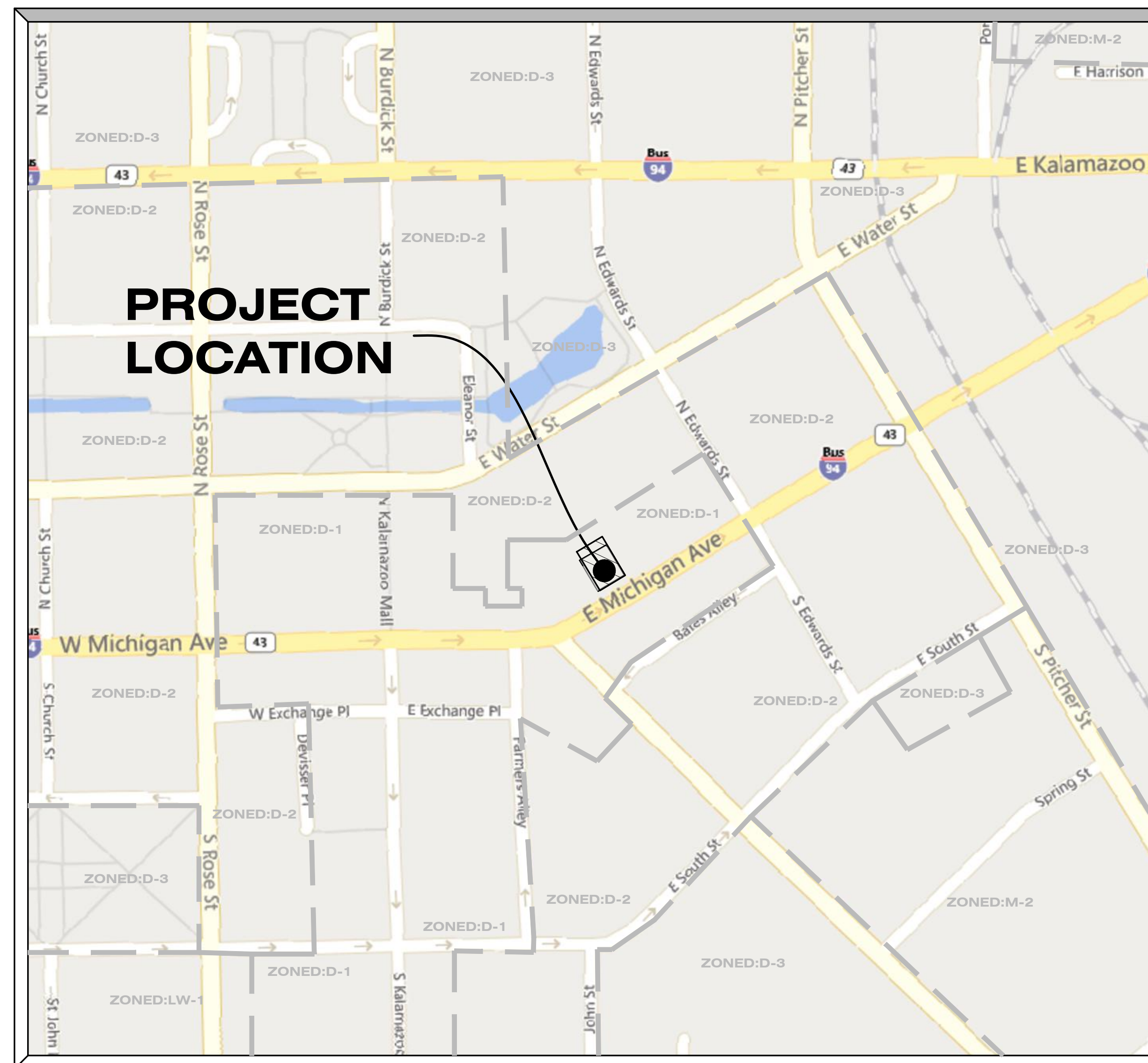
CONSUMERS ENERGY CO. MIKE SOKOLOV 2500 E. CORK STREET KALAMAZOO, MI 49001 269.337.2246	ELECTRIC
CONSUMERS ENERGY CO. KYLE OAK 2500 E. CORK STREET KALAMAZOO, MI 49001 269.337.2366	GAS
CHARTER COMMUNICATIONS MARK BURKE 4176 COMMERCIAL AVE. PORTAGE, MI 49002 269.217.8152	CABLE TELEVISION
AT&T TODD SHIBAYAMA 2919 MILLCORK ST KALAMAZOO, MI 49001 269.384.4436	TELEPHONE
CITY OF KALAMAZOO	WATER/SANITARY



**LAND USE MAP**  
 SCALE: 1" = 120'



**SIDEWALK DETOUR**  
 SCALE: 1" = 100'



**SITE LOCATION MAP**  
 SCALE: 1" = 200'

**SITE NOTES**

ADDRESS:  
 215 E MICHIGAN STREET,  
 KALAMAZOO, MI 49007  
 PIN:  
 06-15-378-098  
 PROPERTY OWNER:  
 215 EM PARTNERS, LLC  
 541 E MICHIGAN AVE,  
 KALAMAZOO, MI 49007  
 SITE AREA:  
 6,683-SQFT (0.15-AC)  
 PARKING SPACES:  
 EXISTING: 5 SPACES  
 PROPOSED: 2 SPACES  
 ENTRANCE TYPE:  
 STOREFRONT

**LOT NOTES**

SPECIAL DISTRICTS OR  
 DESIGNATIONS:  
 HAYMARKET HISTORIC DISTRICT  
 ZONING DISTRICT  
 DOWNTOWN 1  
 LOT TYPE  
 COMMERCE  
 2025 MASTER PLAN DEVELOPMENT  
 DESIGNATION:  
 DOWNTOWN  
 ADJACENT 2025 MASTER PLAN  
 DEVELOPMENT DESIGNATION:  
 DOWNTOWN

**LEGAL DESCRIPTION**

FROM: CITY OF KALAMAZOO PROPERTY INFORMATION SEARCH (EFFECTIVE DATE:  
 JANUARY 19, 2023)  
 276 ORIGINAL PLAT OF THE TOWN (NOW CITY) OF KALAMAZOO, LIBER 6 OF  
 PLATS PAGE 8; COMMENCING ON THE NORTH LINE OF EAST MICHIGAN AVENUE  
 AT A POINT SOUTH 60 DEGREES WEST 264.81 FEET FROM THE WEST LINE OF  
 NORTH EDWARDS STREET, THENCE NORTH 30 DEGREES WEST 100 FEET  
 PARALLEL WITH THE WEST LINE OF NORTH EDWARDS STREET; THENCE SOUTH  
 60 DEGREES WEST 66.83 FEET PARALLEL WITH THE NORTH LINE OF EAST  
 MICHIGAN AVENUE; THENCE SOUTH 30 DEGREES EAST 100 FEET PARALLEL  
 WITH THE WEST LINE OF NORTH EDWARDS STREET TO THE NORTH LINE OF  
 EAST MICHIGAN AVENUE; THENCE NORTH 60 DEGREES EAST 66.83 FEET ALONG  
 THE NORTH LINE OF EAST MICHIGAN AVENUE TO THE POINT OF BEGINNING.

**DRAWING INDEX**

- | SHT #   | DESCRIPTION                          |
|---------|--------------------------------------|
| 1-CG100 | - CIVIL TITLE SHEET                  |
| 1-C100  | - UTILITY LAYOUT PLAN                |
| 1-G103  | - LIFE SAFETY PLANS                  |
| 1-A100  | - BASEMENT FLOOR PLAN                |
| 1-A400  | - EXT ELEVATIONS                     |
| 1-A401  | - EXT ELEVATIONS AND 3D IMAGES       |
| 1-PD100 | - PLUMBING DEMOLITION PLAN - PHASE 1 |
| 1-P100  | - PLUMBING PLANS - PHASE 1           |
| 1-P300  | - PLUMBING SCHEDULES AND DETAILS     |
| 1-E210  | - FIRST FLOOR LIGHTING PLAN          |
| 2-A111  | - FIRST FLOOR EQUIPMENT PLAN         |

**COMMERCE LOT COMPLIANCE**  
**BUILDING SITING**

STREET FRONTAGE:  
 MULTIPLE PRINCIPAL BUILDINGS: N/A  
 FRONT LOT LINE COVERAGE: 100%, 80% MIN  
 OCCUPATION OF CORNER: YES  
 FRONT BUILD-TO-ZONE: 0', 0'-5" ALLOWABLE  
 CORNER BUILD-TO-ZONE: 0', 0'-5" ALLOWABLE  
 ROW ENCROACHMENT: N/A  
 LOT AREA  
 SIDE YARD SETBACK: 0'  
 REAR YARD SETBACK: 0'  
 LOT COVERAGE  
 IMPERVIOUS SURFACE: 100%, 100% MAX  
 SEMI-IMPERVIOUS SURFACE: N/A  
 PARKING, LOADING, AND ACCESS  
 PARKING LOCATION: REAR YARD  
 LOADING/SERVICE LOCATION: REAR YARD  
 VEHICLE ENTRANCE BAY: N/A  
 DRIVEWAY LOCATION: N/A

**HEIGHT**

HEIGHT: 2 STORIES  
 GROUND FLOOR: 14' 9", 14' TO 24' ALLOWABLE  
 UPPER FLOORS: 11' 2", 9' TO 14' ALLOWABLE

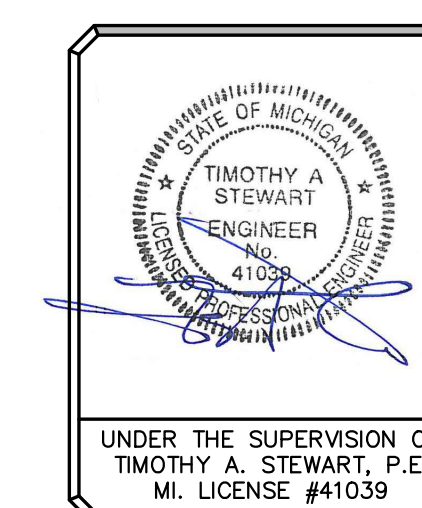
**USES**

GROUND FLOOR: KITCHEN/DINING  
 UPPER FLOORS: OFFICE  
 ACCESSORY USES AND STRUCTURES: N/A

**STREET-FACING FACADES**

TRANSPARENCY  
 GROUND FLOOR: SEE BUILDING ELEVATIONS, 70% MIN  
 UPPER FLOORS: SEE BUILDING ELEVATIONS, 20% MIN  
 ENTRANCE  
 LOCATION: FRONT FACADE  
 ENTRANCE TREATMENT: STOREFRONT  
 ENTRANCES ON STREET FACING FACES: 2  
 ROOF TYPE  
 SEE ARCHITECTURAL PLANS

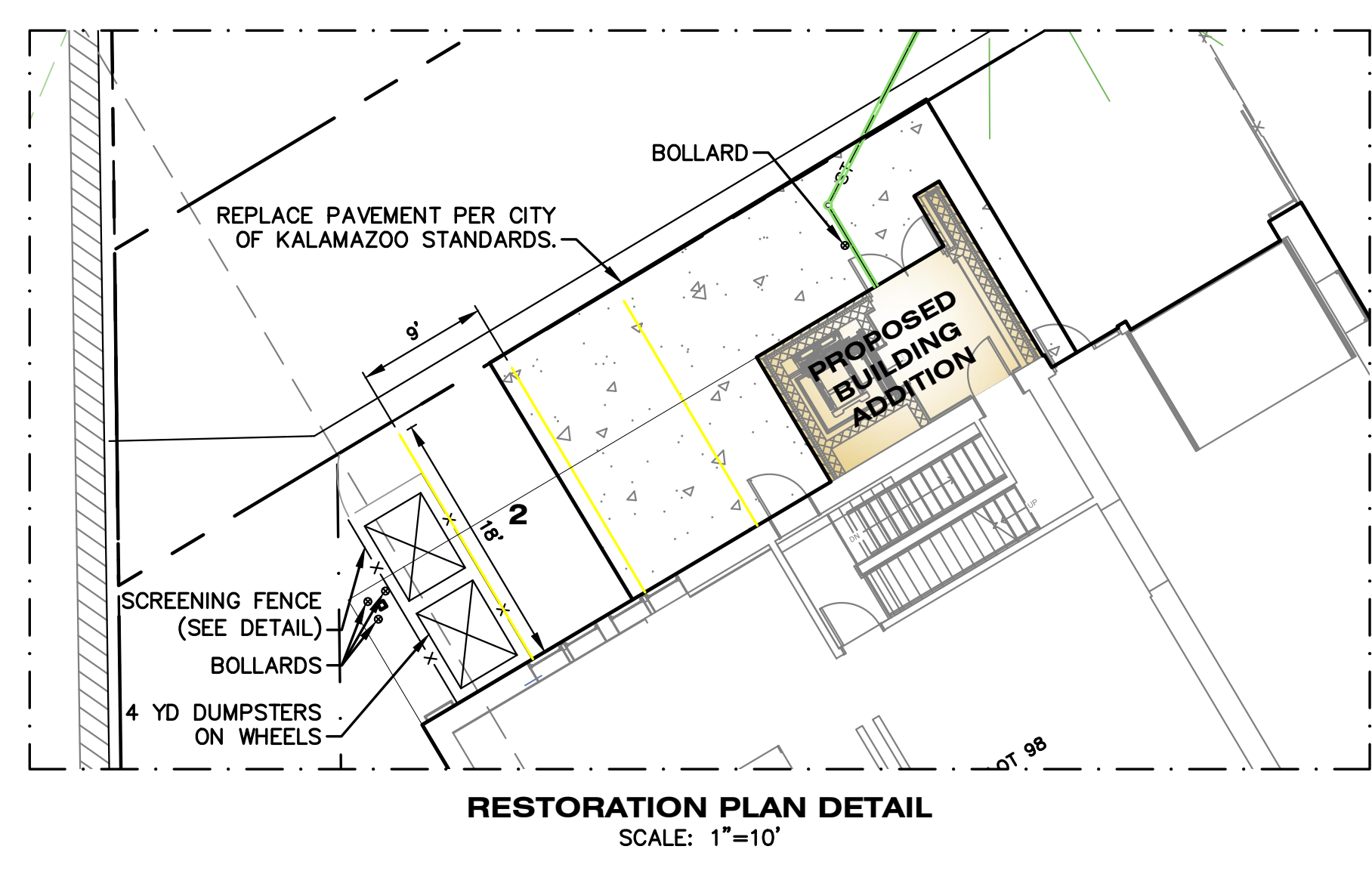
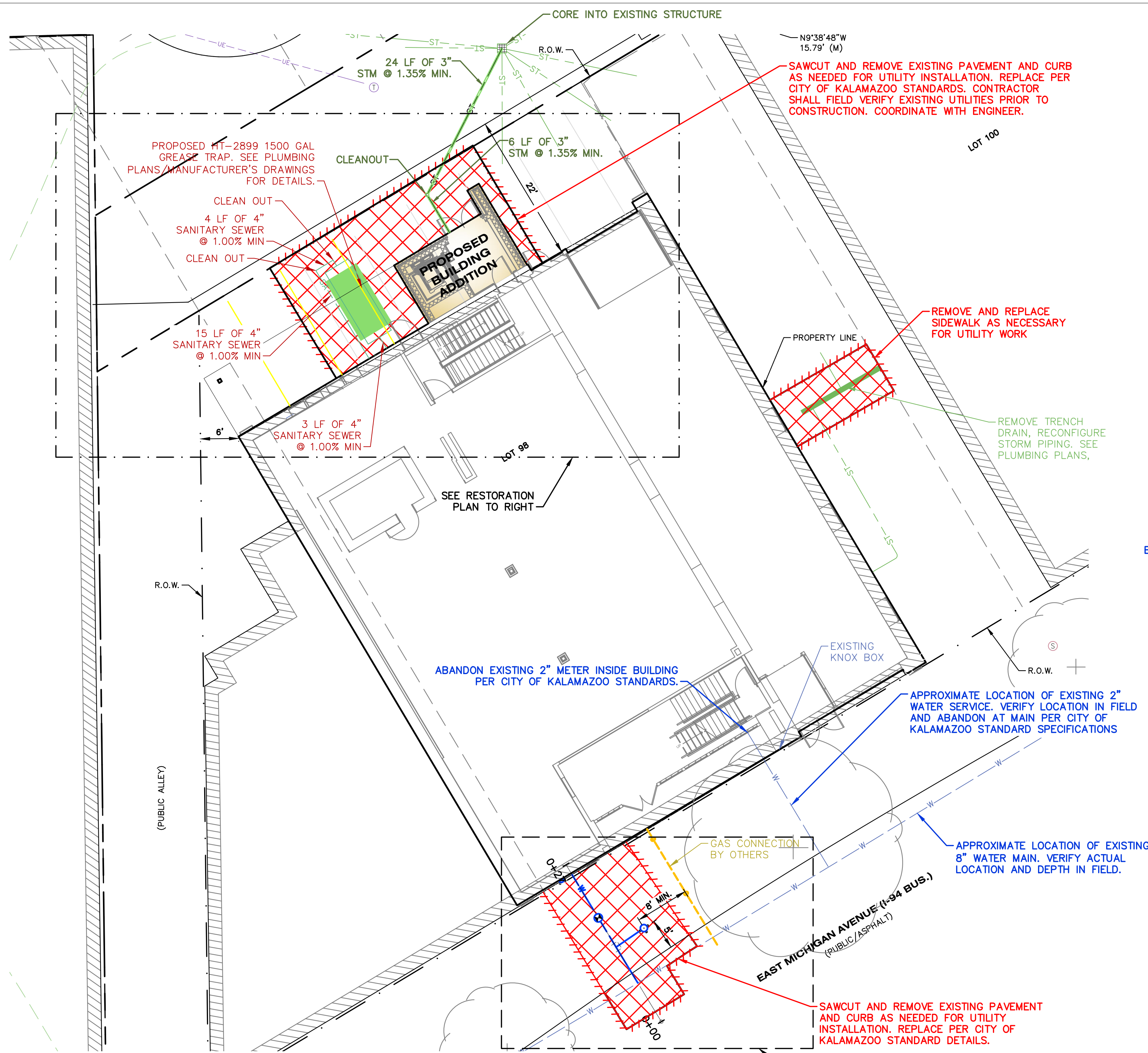
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CIVIL TITLE SHEET

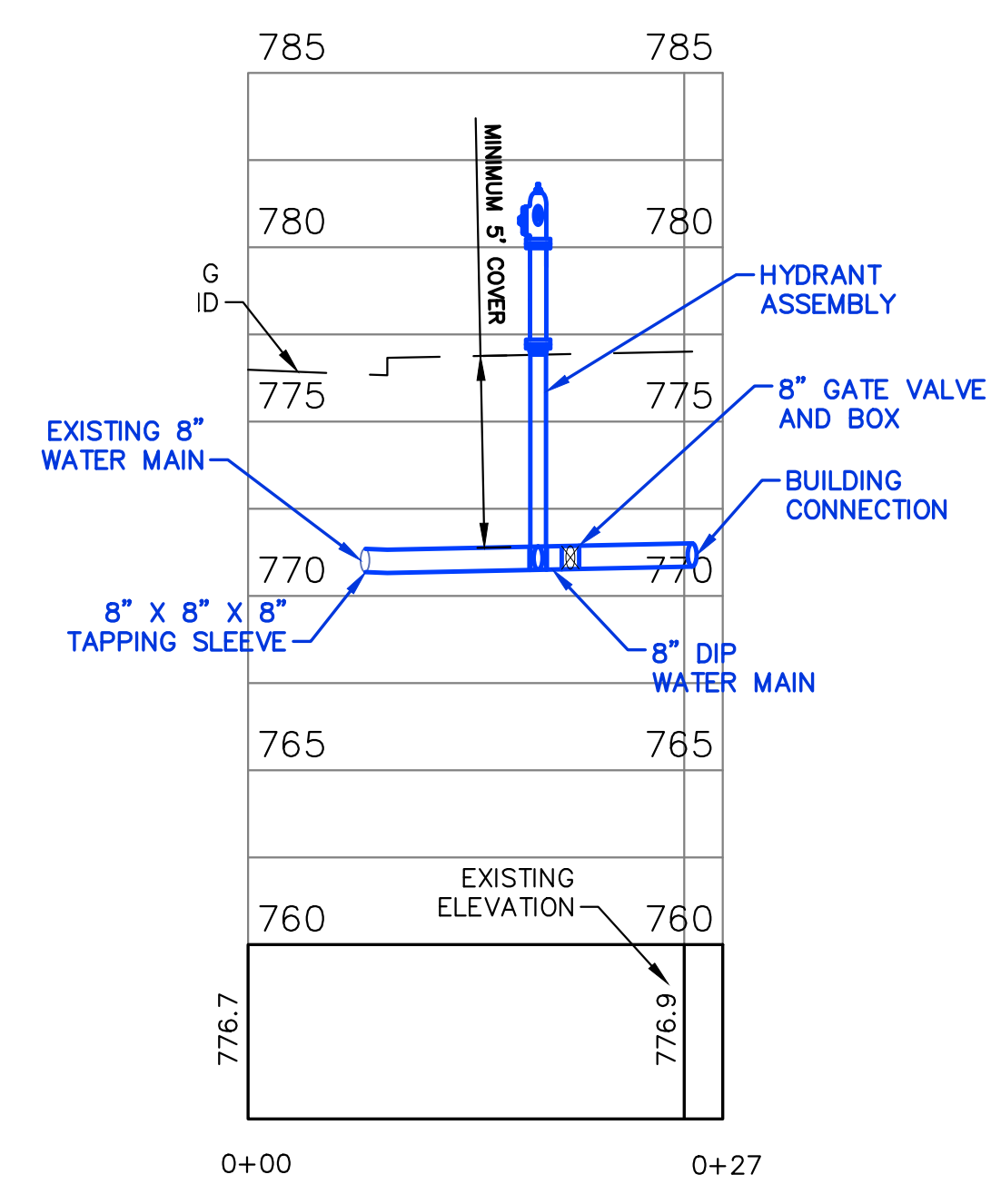
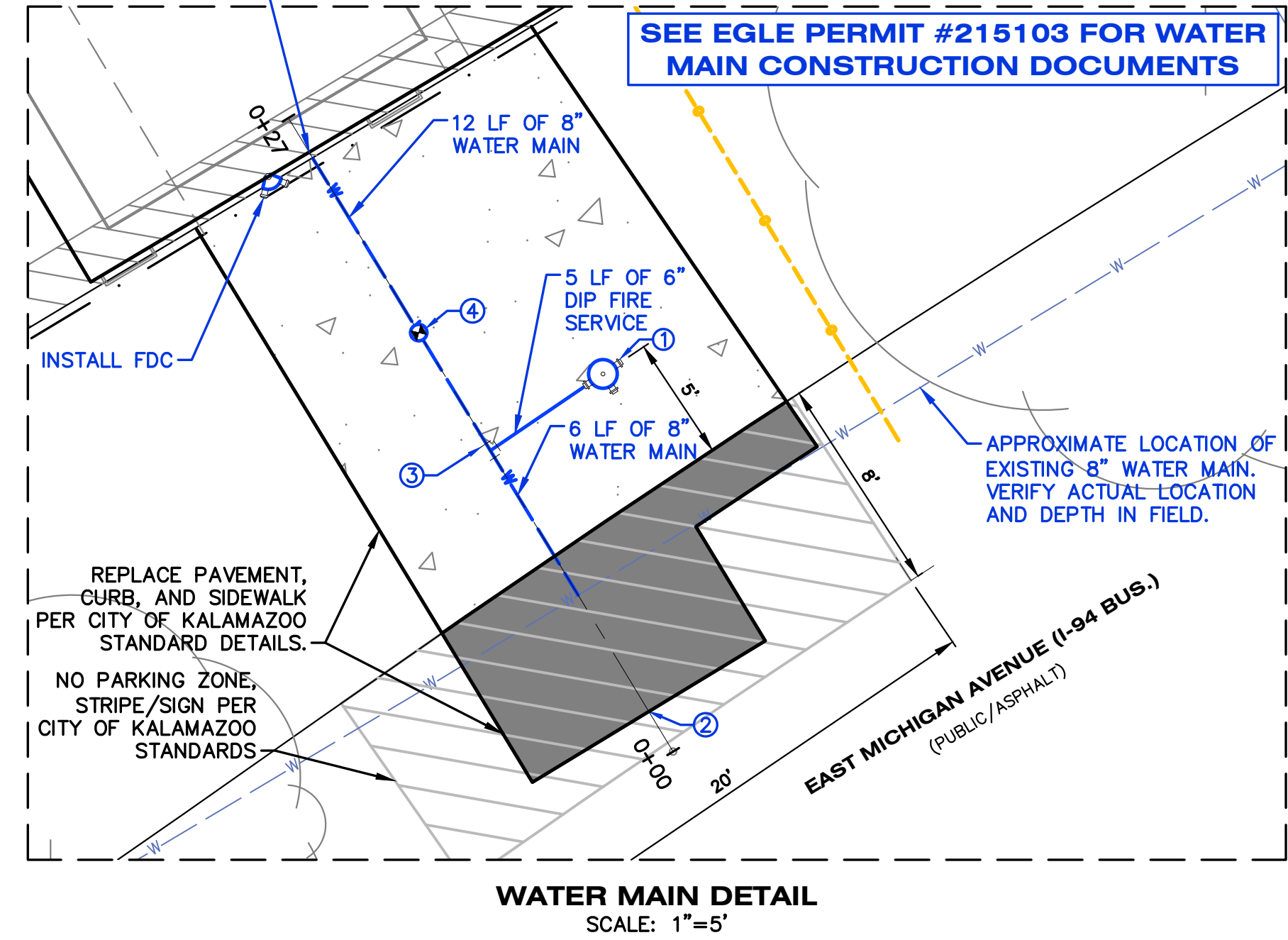
1-CG100



**WATER MAIN FITTING SCHEDULE**

FITTING NUMBER	DESCRIPTION	TOTAL THIS SHEET
1	FIRE HYDRANT ASSEMBLY W/ 6" VALVE & SIGN	1
2	8" x 8" TAPPING SADDLE W/ VALVE	1
3	8" x 8" x 6" TEE	1
4	8" GATE VALVE	1

CONNECT WATER SERVICE TO EX. BLDG. SPLIT FIRE & DOMESTIC INSIDE BUILDING PER CITY STANDARDS. INSTALL 2 - 2" DOMESTIC LINES WITH WATER METERS. COORDINATE W/ BUILDING PLUMBING PLANS.



**SANITARY DESIGN RATE**

1 REU = 250 GPD

0.4 REUS/1000 SQFT OF OFFICE

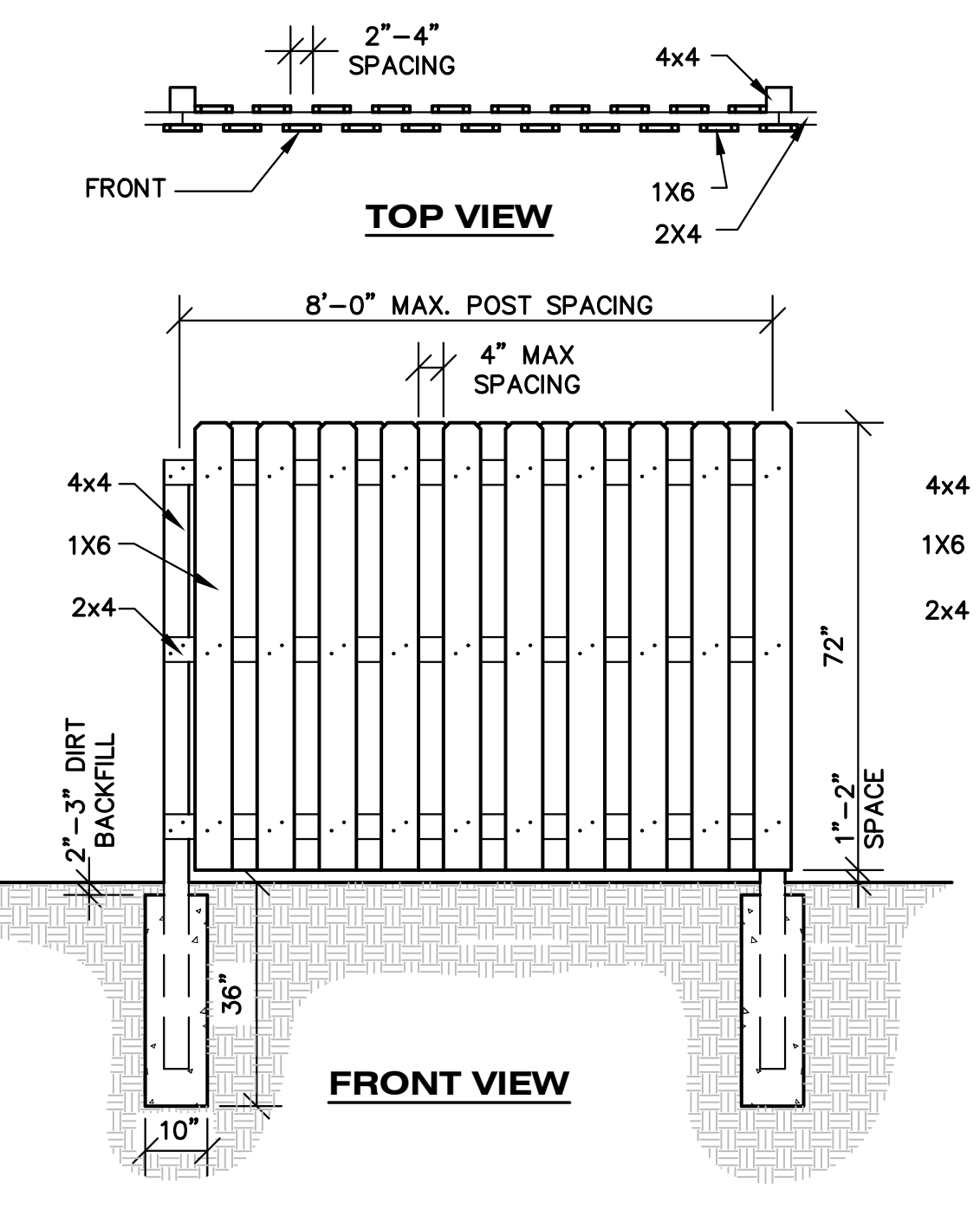
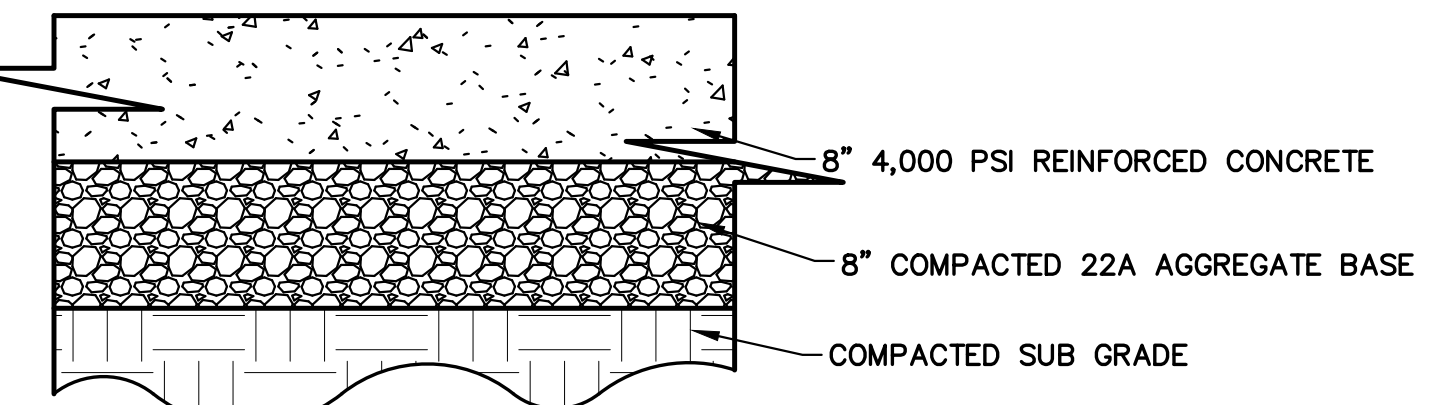
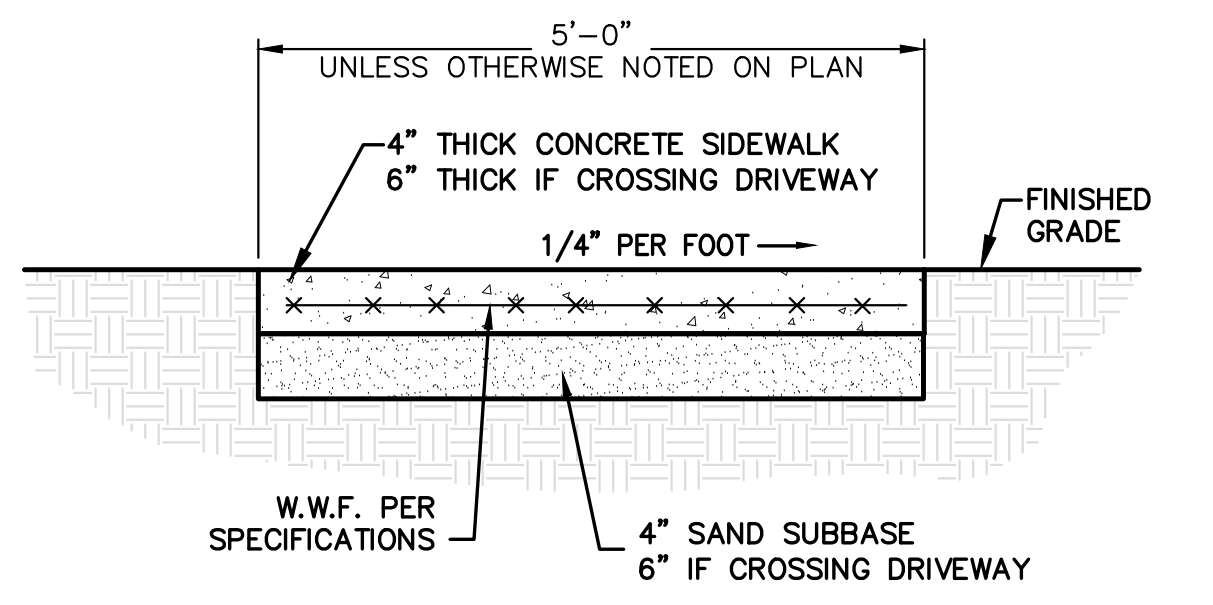
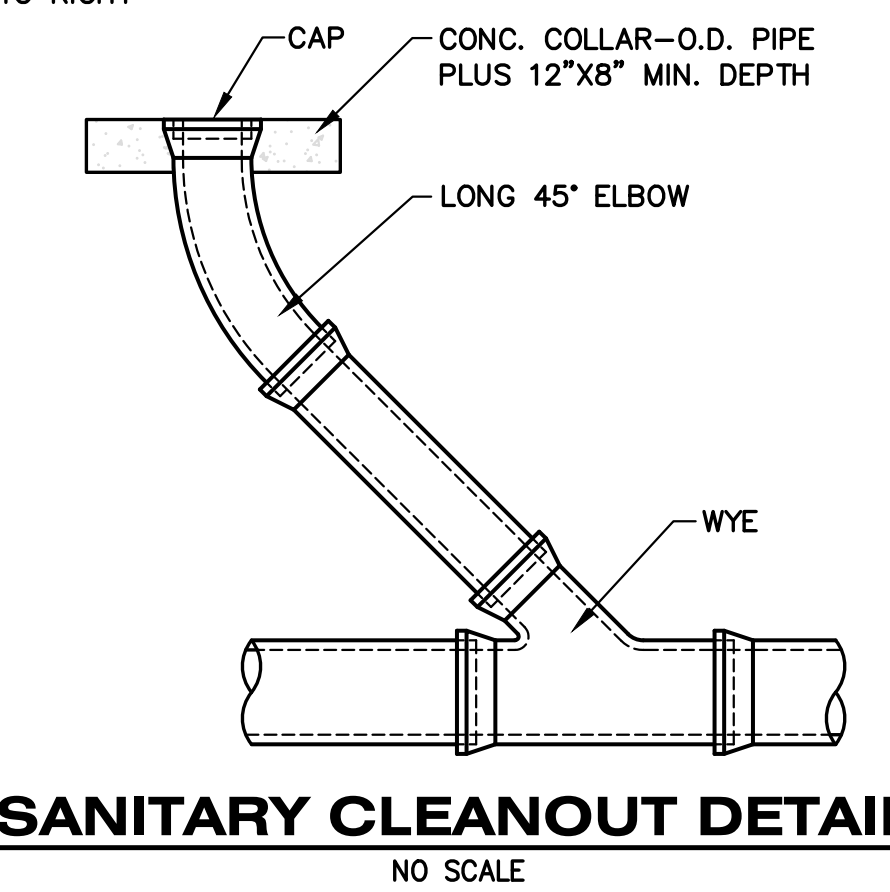
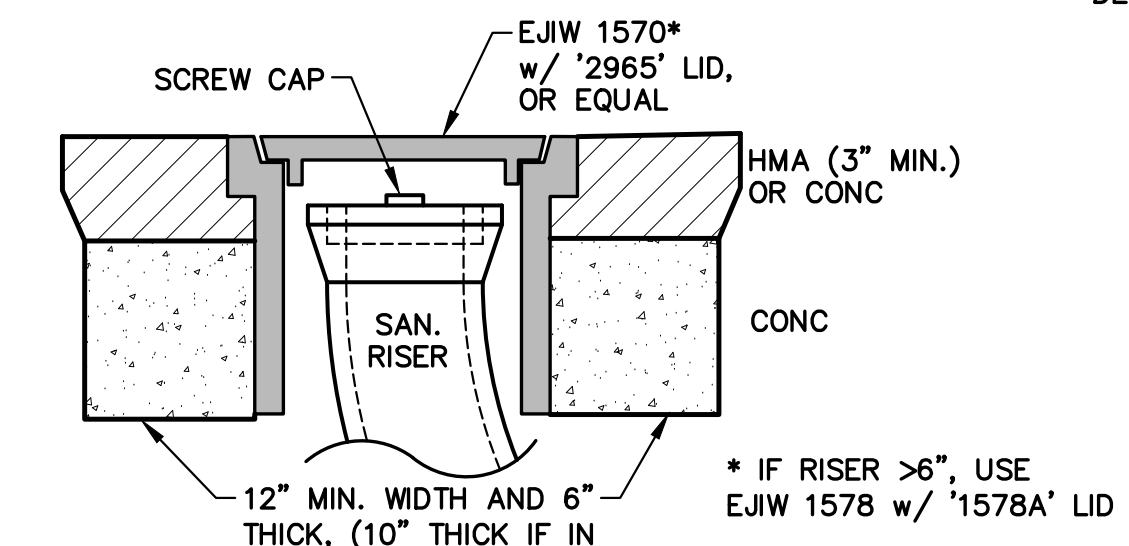
3.0 REUS/1000 SQFT OF RESTAURANT

TOTAL REUS: 0.4 \* 5600/1000 + 3.0 \* 4909/1000 = 17.0 REUS

AVERAGE FLOW RATE = 250\*17.0 = 4250 GPD

PEAKING FACTOR = 4, PER TO STATE STANDARDS

PEAK FLOW RATE = 11.8 GPM



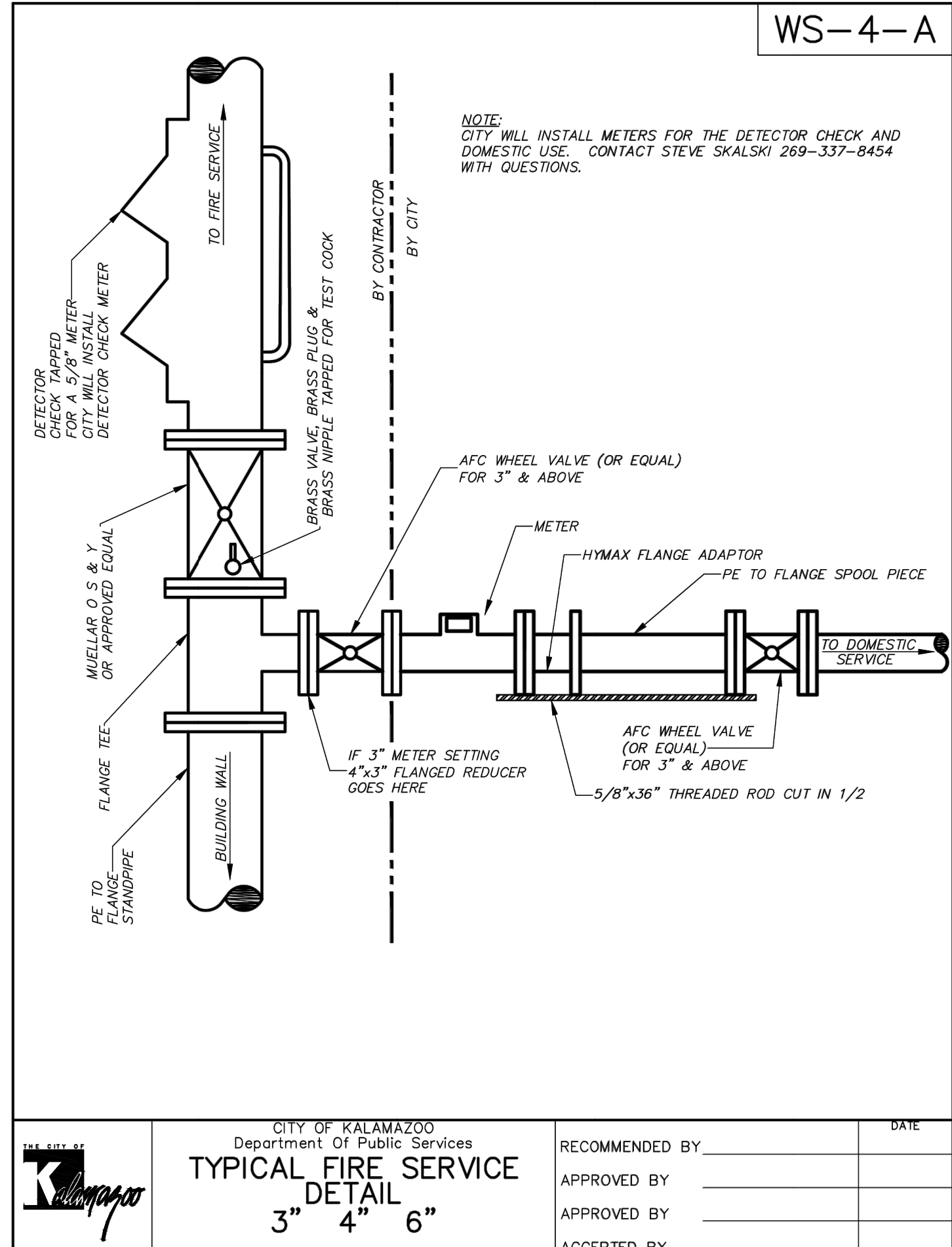
- NOTE:
- WOOD TO BE TREATED PINE, USE GALVANIZED NAILS FOR FASTENING.
  - NUMBER OF BOARDS WILL VARY DEPENDING ON SPACE BETWEEN BOARDS AND ACTUAL WIDTH OF BOARDS.

**UTILITY NOTES**

- COORDINATE ALL UTILITY SERVICE ELEVATIONS WITH MECHANICAL & PLUMBING PLANS.
- COORDINATE ALL SERVICE LEAD LOCATIONS AND TIE IN LOCATIONS WITH CITY OF KALAMAZOO OR RESPECTIVE UTILITY COMPANY.
- ALL SANITARY AND WATER MAIN MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE CITY OF KALAMAZOO 2021 STANDARD SPECIFICATIONS. COORDINATE ALL CONNECTIONS TO EXISTING UTILITIES WITH THE CITY OF KALAMAZOO.
- ALL STRUCTURE CASTINGS TO BE EAST JORDAN IRON WORKS OR APPROVED EQUAL. SEE STRUCTURE TABLE FOR SPECIFIC CASTING AT EACH STRUCTURE. SANITARY SEWER MH CASTINGS SHALL BE PER CITY OF KALAMAZOO STANDARD.
- COORDINATE ALL UTILITY LOCATIONS AND ELEVATIONS WITH MECHANICAL DRAWINGS AND BUILDING CONTRACTOR PRIOR TO INSTALLATION.
- ALL BACKFILL MATERIAL TYPES ARE TO BE CLASS II PER MDOT SPEC. 902
- ACQUIRE RIGHT OF WAY PERMIT FOR CITY OF KALAMAZOO BEFORE FOR STARTING ANY RIGHT OF WAY WORK.
- REMOVE SEDIMENT FROM ALL STRUCTURES ONCE PAVING IS COMPLETE AND REMOVE SILT SACKS.
- SITE CONTRACTOR RESPONSIBLE FOR INSTALLATION OF ALL UTILITIES TO 5' FROM BUILDING WALL.
- THE CONTRACTOR SHALL INSTALL PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT AS REQUIRED PER CITY OF KALAMAZOO STANDARDS.
- CONSTRUCT, CERTIFY, AND TEST ALL WATER AND SANITARY SEWER TO CITY OF KALAMAZOO STANDARDS.
- VERIFY ALL UTILITY CONNECTION POINTS PRIOR TO COMMENCING CONSTRUCTION.
- VERIFY NUMBER OF FITTINGS PRIOR TO ORDERING. TOTALS DO NOT INCLUDE VERTICAL DEFLECTIONS THAT MAY BE NEEDED.
- THE FIRE DEPARTMENT CONNECTION WILL HAVE AN IDENTIFICATION SIGN, LOCKING KNOX PLUGS, AND A STROBE/HORN SYSTEM IN ACCORDANCE WITH THE CITY FIRE MARSHAL

**REMOVAL NOTES**

- REVIEW ALL THE REMOVALS AND PROTECTION WITH OWNER PRIOR TO COMMENCING CONSTRUCTION. INSTALL TEMPORARY SNOW FENCE AROUND ALL TREES REQUIRING PROTECTION. SNOW FENCE SHALL BE PLACED AT EDGE OF DRIP LINE.
- SAWCUT ALL CURB, SIDEWALK, AND PAVEMENTS PRIOR TO REMOVAL. ADDITIONAL SAWCUT MAY BE NECESSARY PRIOR TO REPLACEMENT TO ENSURE CLEAN EDGE.
- ALL REMOVALS SHALL BE TAKEN OFF-SITE AND DISPOSED OF. NO STOCKPILE OR BURNING OF DEBRIS IS ALLOWED.
- COMPLY WITH ALL ASPECTS OF THE SOIL EROSION CONTROL PERMIT AS ISSUED BY CITY OF KALAMAZOO. ALL TEMPORARY CONTROL MEASURES SHALL BE IN PLACE PRIOR TO COMMENCING CONSTRUCTION.
- ALL REMOVALS SHALL BE TO THE LIMITS INDICATED ABOVE UNLESS OTHERWISE DIRECTED BY THE ENGINEER. UNAUTHORIZED REMOVALS AND SUBSEQUENT REPLACEMENT SHALL BE AT THE CONTRACTOR'S EXPENSE.
- REMOVE, STORE, AND RESET ANY EXISTING SIGNS AS DIRECTED BY THE ENGINEER/OWNER.
- IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
- FOR PROTECTION OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL CALL 1-800-482-7171 A MINIMUM OF THREE FULL WORKING DAYS EXCLUDING SATURDAYS, SUNDAYS AND HOLIDAYS PRIOR TO BEGINNING EACH EXCAVATION IN AREAS WHERE PUBLIC UTILITIES HAVE NOT BEEN PREVIOUSLY LOCATED. MEMBERS WILL THIS BE ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING OWNERS WHO MAY NOT BE A PART OF THE "MISS DIG" ALERT SYSTEM.

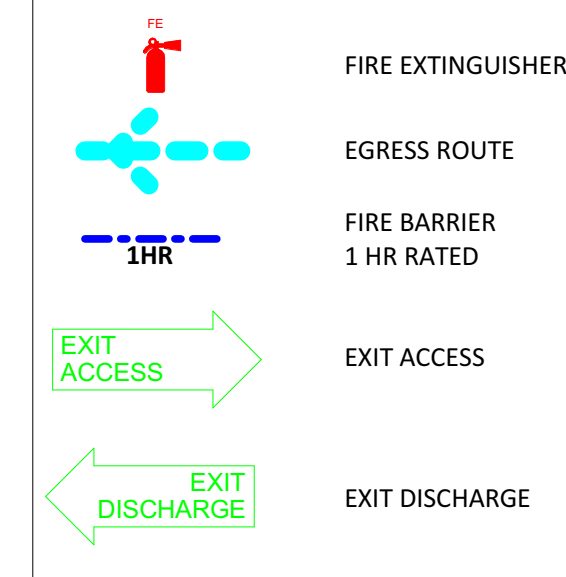


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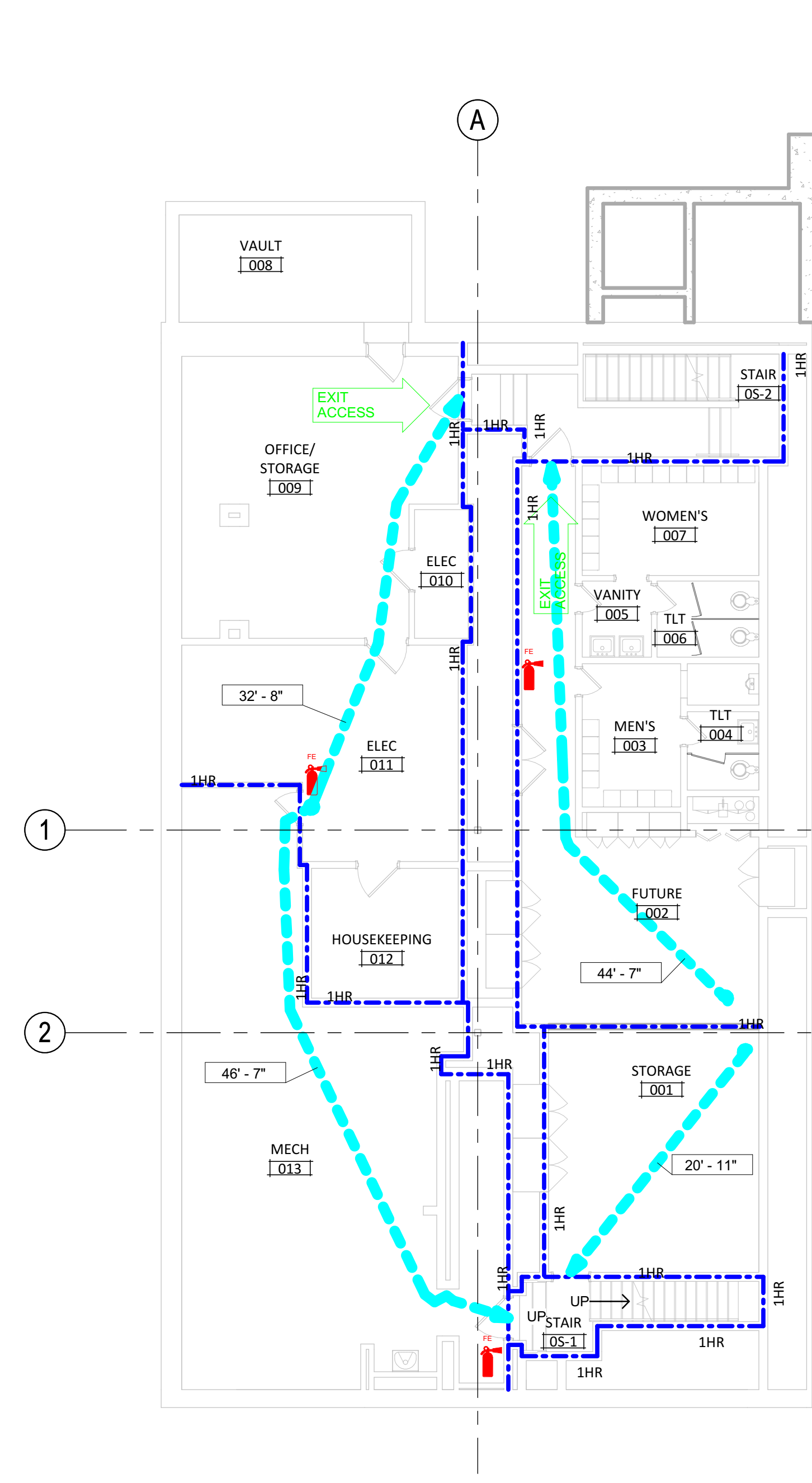
UTILITY LAYOUT PLAN

**LIFE SAFETY LEGEND**

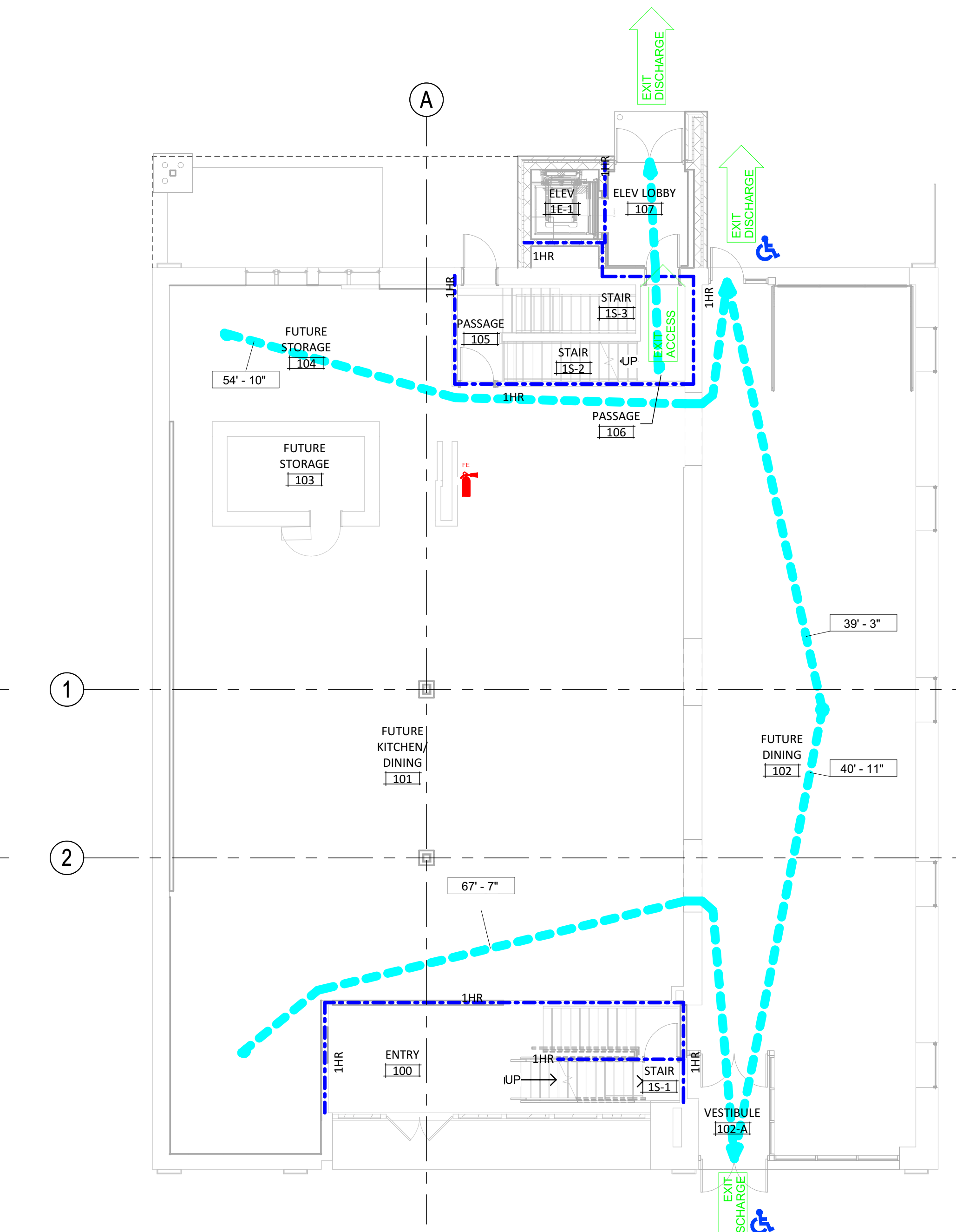


**CODE COMPLIANCE**

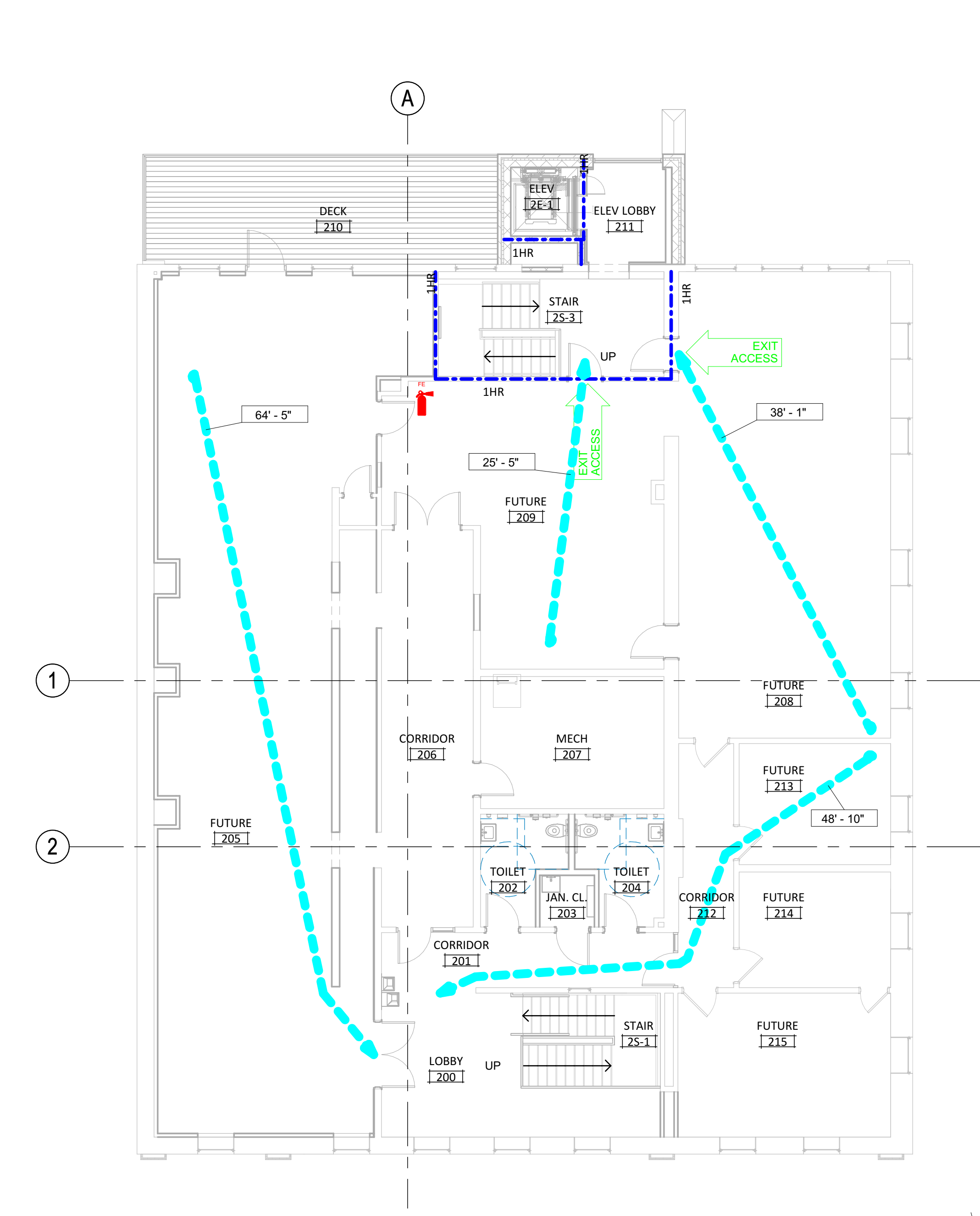
<b>JURISDICTION</b> CITY OF KALAMAZOO, MICHIGAN	<b>MEANS OF EGRESS (TABLE 1004.1.2)</b> REQUIRED DOOR EGRESS WIDTH: 58" PROVIDED DOOR EGRESS WIDTH: 136"
<b>ZONING DISTRICT</b> CCBD	<b>COMMON PATH OF EGRESS TRAVEL: 75'</b> EXIT ACCESS TRAVEL DISTANCE: 250 FEET (A-2), 300 FEET (B) WITH SPRINKLER SYSTEM
<b>APPLICABLE CODES</b> 2015 MICHIGAN BUILDING CODE 2015 MICHIGAN MECHANICAL CODE 2015 MICHIGAN PLUMBING CODE 2017 NATIONAL ELECTRICAL CODE 2009 ICC A117.1 2013 ASHRAE STANDARD 90.1 W/AMENDMENTS 2012 NFPA 101 LIFE SAFETY CODE	<b>OCCUPANT LOAD:</b> <b>BASEMENT:</b> S - STORAGE 2,639 SF (ACCESSORY STORAGE/MECH) OCCUPANT LOAD FACTOR: 300 GROSS MAX OCCUPANCY: 9 <b>B - BUSINESS</b> 808 SF OCCUPANT LOAD FACTOR: 100 GROSS MAX OCCUPANCY: 8
<b>OCCUPANCY TYPE (MIXED USE)</b> ASSEMBLY, A-2 BUSINESS, B  * 1-HOUR SEPARATION OF OCCUPANCIES A-2 AND B REQUIRED (TABLE 508.4)	<b>FIRST FLOOR (FUTURE RESTAURANT TENANT FIT-OUT):</b> A-2 - ASSEMBLY 4,909 SF (1,750 COMMERCIAL KITCHEN, 3,159 ASSEMBLY UNCONCENTRATED) OCCUPANT LOAD FACTOR: 200 GROSS (COMMERCIAL KITCHEN/BACK-OFF-HOUSE), 15 NET (ASSEMBLY UNCONCENTRATED) MAX OCCUPANCY: 220
<b>CONSTRUCTION TYPE</b> V-B, SPRINKLED	<b>SECOND FLOOR (FUTURE OFFICE TENANT AS PLANNED):</b> B - BUSINESS 5,081 SF (4,792 BUSINESS, 246 ACCESSORY STORAGE/MECH) OCCUPANT LOAD FACTOR: 100 GROSS (BUSINESS), 300 GROSS (ACCESSORY STORAGE/MECH) MAX OCCUPANCY: 49
<b>FIRE-RESISTANCE RATING (TABLE 601)</b> PRIMARY STRUCTURAL FRAME = 0 HR EXTERIOR BEARING WALLS = 0 HR INTERIOR BEARING WALLS = 0 HR EXTERIOR NON-BEARING WALLS = 0 HR INTERIOR NON-BEARING WALLS = 0 HR FLOOR CONSTRUCTION = 0 HR ROOF CONSTRUCTION = 0 HR	<b>TOTAL BUILDING OCCUPANT LOAD: 286</b>
<b>BUILDING AREA</b> ALLOWABLE AREA (TABLE 506.2) (A2 - SM) = 18,000 SF ALLOWABLE AREA (TABLE 506.2) (B - SM) = 27,000 SF	<b>PLUMBING FIXTURE REQUIREMENTS (SECOND FLOOR FUTURE TENANT)</b> 2ND FLOOR TENANT AREA TOTAL OCCUPANT LOAD = 49 ASSUME 50% FOR EACH: MALE = 25 / FEMALE = 25
<b>EXISTING BUILDING AREA (GROSS) = 15,275 SF</b> <b>NEW BUILDING ADDITION AREA (GROSS) = 340 SF</b> <b>NEW BUILDING TOTAL AREA (GROSS) = 15,615 SF</b>	<b>WATER CLOSETS:</b> MALE - 1 REQ. / 1 PROVIDED FEMALE - 1 REQ. / 1 PROVIDED
<b>BUILDING HEIGHT</b> EXISTING BUILDING HEIGHT = 2 STORY / 32 FEET	<b>LAVATORIES:</b> MALE - 1 REQ. / 1 PROVIDED FEMALE - 1 REQ. / 1 PROVIDED
<b>INTERIOR FINISHES (TABLE 803.11)</b> TYPE A-2: EXIT ENCLOSURES / PASSAGeways = B CORRIDORS = B ROOMS & ENCLOSED SPACES = C	<b>DRINKING FOUNTAIN:</b> 1 REQ. / 1 PROVIDED <b>SERVICE SINK:</b> 1 REQ. / 1 PROVIDED
<b>TYPE B:</b> EXIT ENCLOSURES / PASSAGeways = B CORRIDORS = C ROOMS & ENCLOSED SPACES = C	



**1 BASEMENT LIFE SAFETY PLAN**  
SCALE: 1/8" = 1'-0"



**2 FIRST FLOOR LIFE SAFETY PLAN**  
SCALE: 1/8" = 1'-0"



**3 SECOND FLOOR LIFE SAFETY PLAN**  
SCALE: 1/8" = 1'-0"

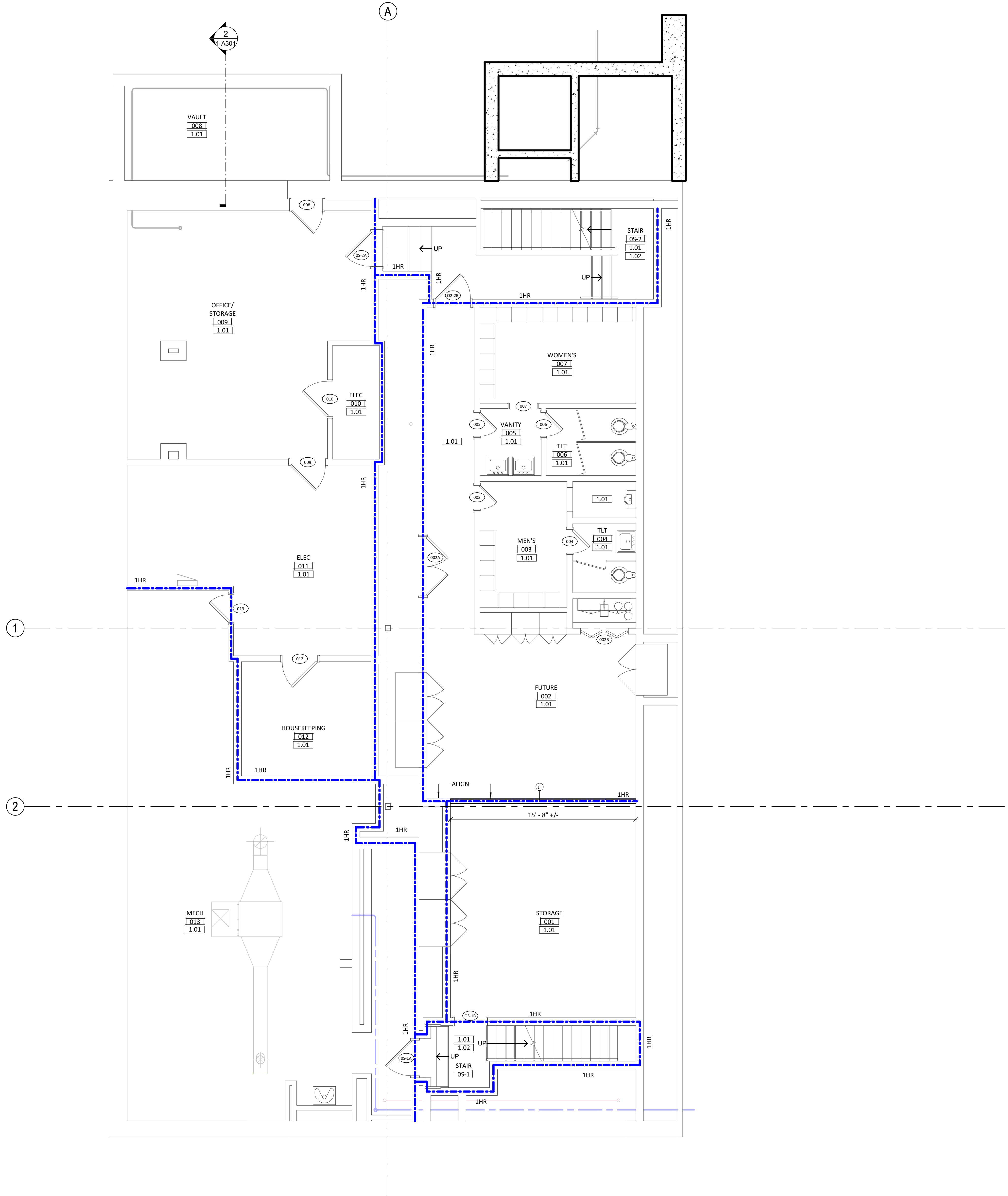
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LIFE SAFETY PLANS

1-G103



1 BASEMENT FLOOR PLAN  
SCALE: 1/4" = 1'-0"

**GENERAL NOTES**

- REFER TO SHEET 1-G100 FOR ABBREVIATIONS AND SYMBOLS LEGEND.
- ALL DIMENSIONS ARE FROM FINISHED FACE TO FINISHED FACE UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL NOT SCALE FROM THESE DRAWINGS - ALL DIMENSIONS SHALL BE FIELD VERIFIED. DIMENSIONS SHALL GOVERN THE SCOPE OF CONSTRUCTION:  
A. VERIFY ON ARCHITECTURAL DRAWINGS FOR CORRECT LOCATION OF PARTITIONS AND MILLWORK.  
B. EXISTING CONDITIONS SUPERSEDE DRAWINGS UNLESS NOTED OTHERWISE. VERIFY WITH ARCHITECT.
- FIELD VERIFY ALL SPECIAL REQUIREMENTS FOR CONSTRUCTION WITH CONSULTANTS AND REPORT ANY DEVIATIONS FROM THE REQUIREMENTS AS LISTED HEREIN TO THE ARCHITECT FOR REVIEW.
- ALL WORK SHALL BE ERRECTED OR INSTALLED PLUMB, LEVEL, SQUARE, TRUE AND IN PROPER ALIGNMENT. ONLY NEW, HIGH QUALITY MATERIALS CONSISTENT WITH BUILDING STANDARD OR EQUAL IN SPECIFICATIONS SHOULD BE USED FOR WORK. ALL STRUCTURAL, MECHANICAL, AND ELECTRICAL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES. ANY DEVIATIONS FROM SUCH CODES SHALL BE BROUGHT TO THE ARCHITECT FOR RESOLUTION.
- ALL DOOR JAMBS TO BE 4 1/2" FROM ADJACENT WALL OR CENTERED IN SPACE UNLESS NOTED OTHERWISE.
- PROVIDE 1X8 MIN BLOCKING FOR ALL WALL-SUPPORTED COUNTERS, CABINETS AND SHELVES. BLOCKING TO BE "NON-COMBUSTIBLE."
- PROVIDE WOOD BLOCKING AS REQUIRED FOR WALL-MOUNTED ACCESSORIES. THESE LOCATIONS CONSISTS OF, BUT ARE NOT LIMITED TO THE FOLLOWING: TOILET ACCESSORIES, TACKBOARDS, HANDRAILS, WALL MOUNTED EQUIPMENT, AND OWNER DESIGNATED EQUIPMENT LOCATIONS.
- SINK LOCATIONS TO BE COORDINATED WITH INTERIOR ELEVATIONS, SEE SHEETS A000.
- ALL PENETRATIONS AT NON-FIRE RATED WALLS SHALL BE SEALED WITH ACOUSTICAL SEALANT.
- REFER TO SHEET A000 FOR PARTITION TYPES.

**WALL LEGEND**

- EXISTING WALL
- NEW STUD WALL
- CMU PARTITION
- 1 HOUR WALL
- PARTITION TYPE

**KEY NOTE LEGEND**

KEY VALUE	KEYNOTE TEXT
1.01	CLEAN BASEMENT TO PRESENTABLE. SCRUB VAT AND TILE FLOORS TO REMAIN. REMOVE DUST/ DEBRIS FROM SURFACES AND CEILINGS. ENSURE ALL LIGHT FIXTURES HAVE WORKING BULBS
1.02	CLEAN ALL STAIR TREADS TO REMAIN

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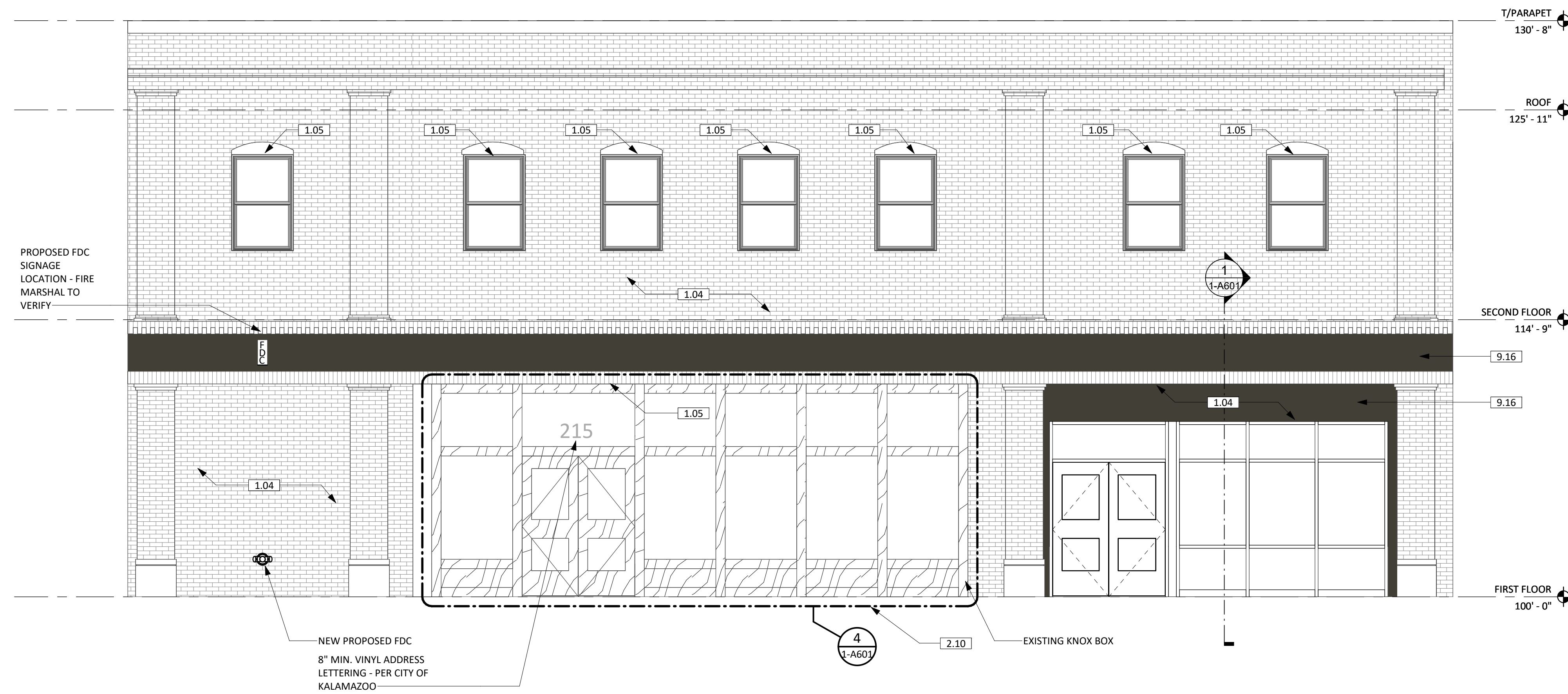
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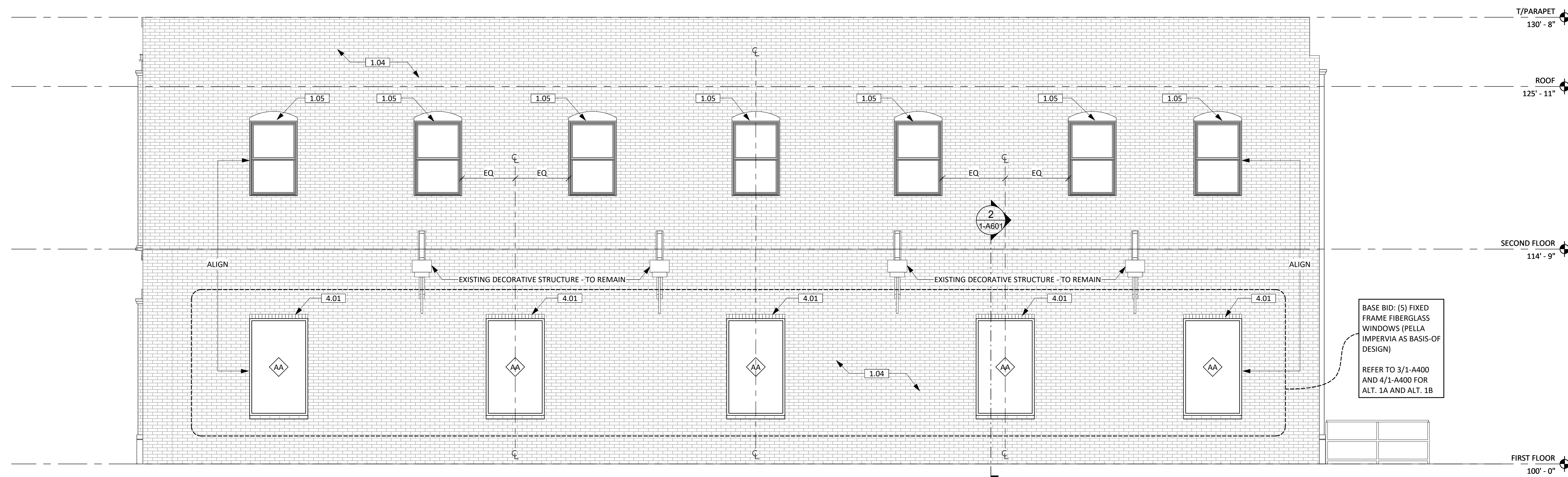
BASEMENT FLOOR PLAN

1-A100

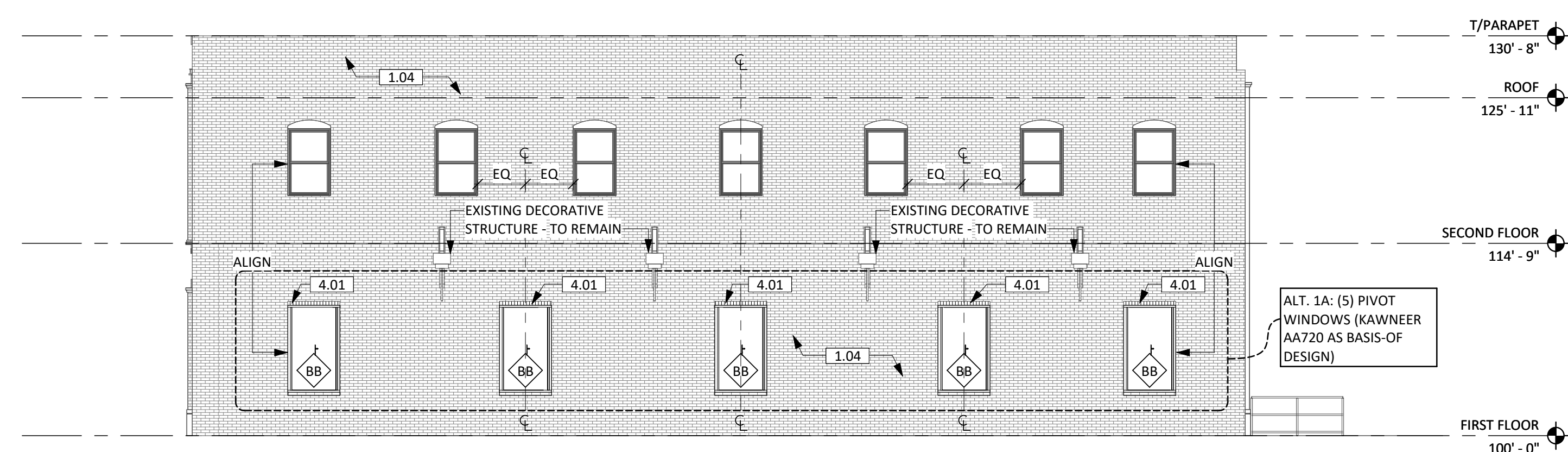
KEY NOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
1.04	POWERWASH AND CLEAN ALL EXISTING EXTERIOR MASONRY INCLUDING STONE SILLS
1.05	PROVIDE ALLOWANCE TO SCRAPE AND PAINT ALL EXISTING STEEL LINTELS WHERE EXPOSED AS FINAL FINISH (EXTERIOR AND INTERIOR)
2.10	SAND AND PREPARE WOOD STOREFRONT TO RECEIVE NEW FINISH. AT ANY AREAS OF ROT, FILL OR REPLACE ROTTEN SECTIONS TO MATCH EXISTING ADJACENT CONDITION
4.01	ROWLOCK MASONRY COURSE - USE SALVAGE BRICK FROM NEW OPENINGS, TYP.
9.16	PAINT EXTERIOR BRICK IPS-7



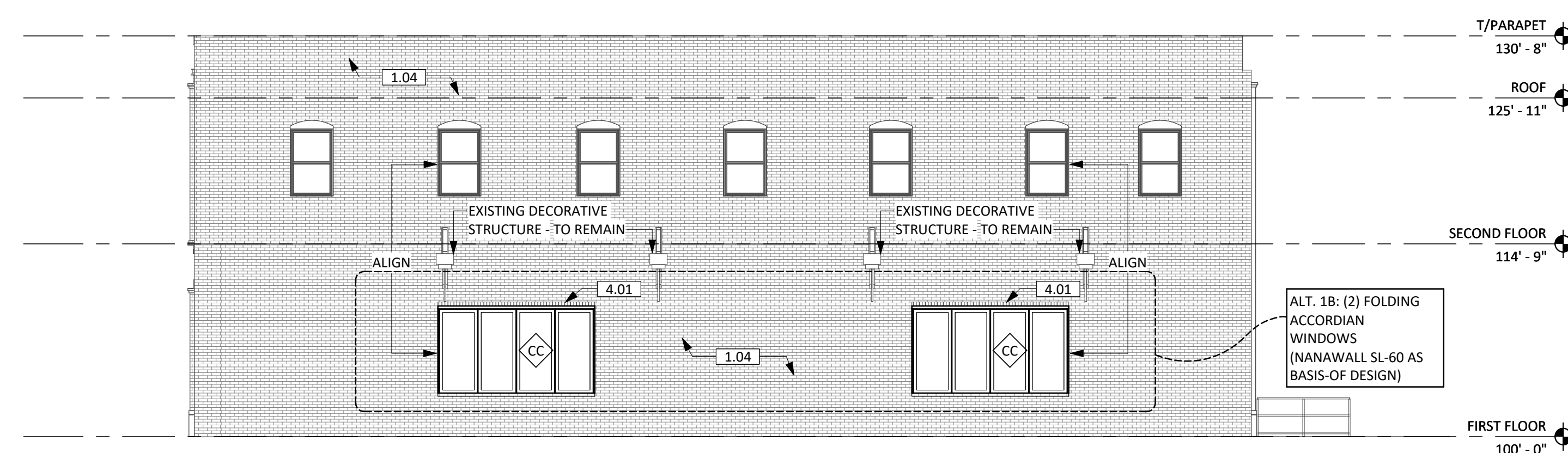
1 SE EXTERIOR ELEVATION  
SCALE: 1/4" = 1'-0"



2 NE EXTERIOR ELEVATION - BASE BID (FIXED WINDOWS)  
SCALE: 1/4" = 1'-0"



3 NE EXTERIOR ELEVATION - ALT. 1A (PIVOT WINDOWS)  
SCALE: 1/8" = 1'-0"



4 NE EXTERIOR ELEVATION - ALT. 1B (ACCORDIAN WINDOWS)  
SCALE: 1/8" = 1'-0"

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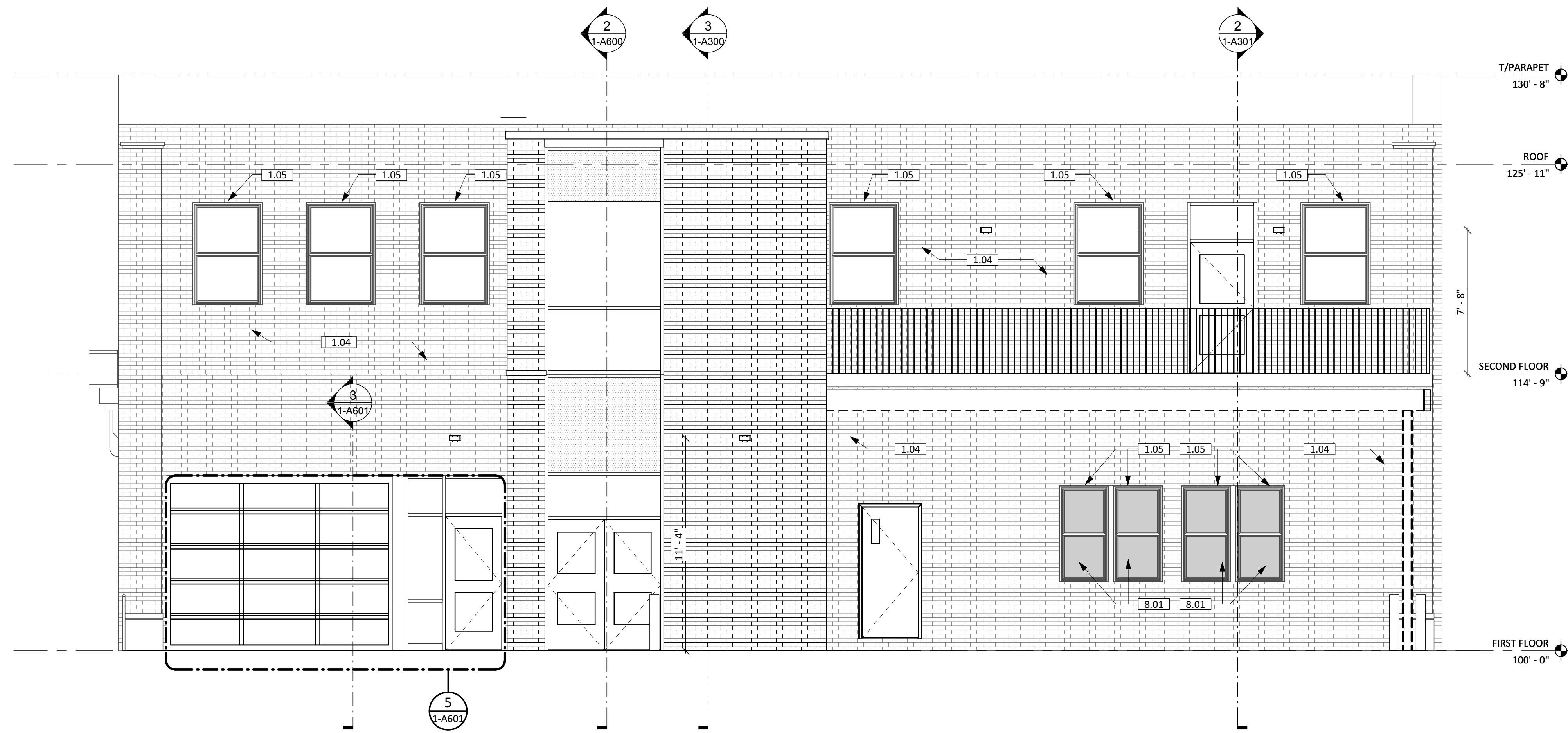
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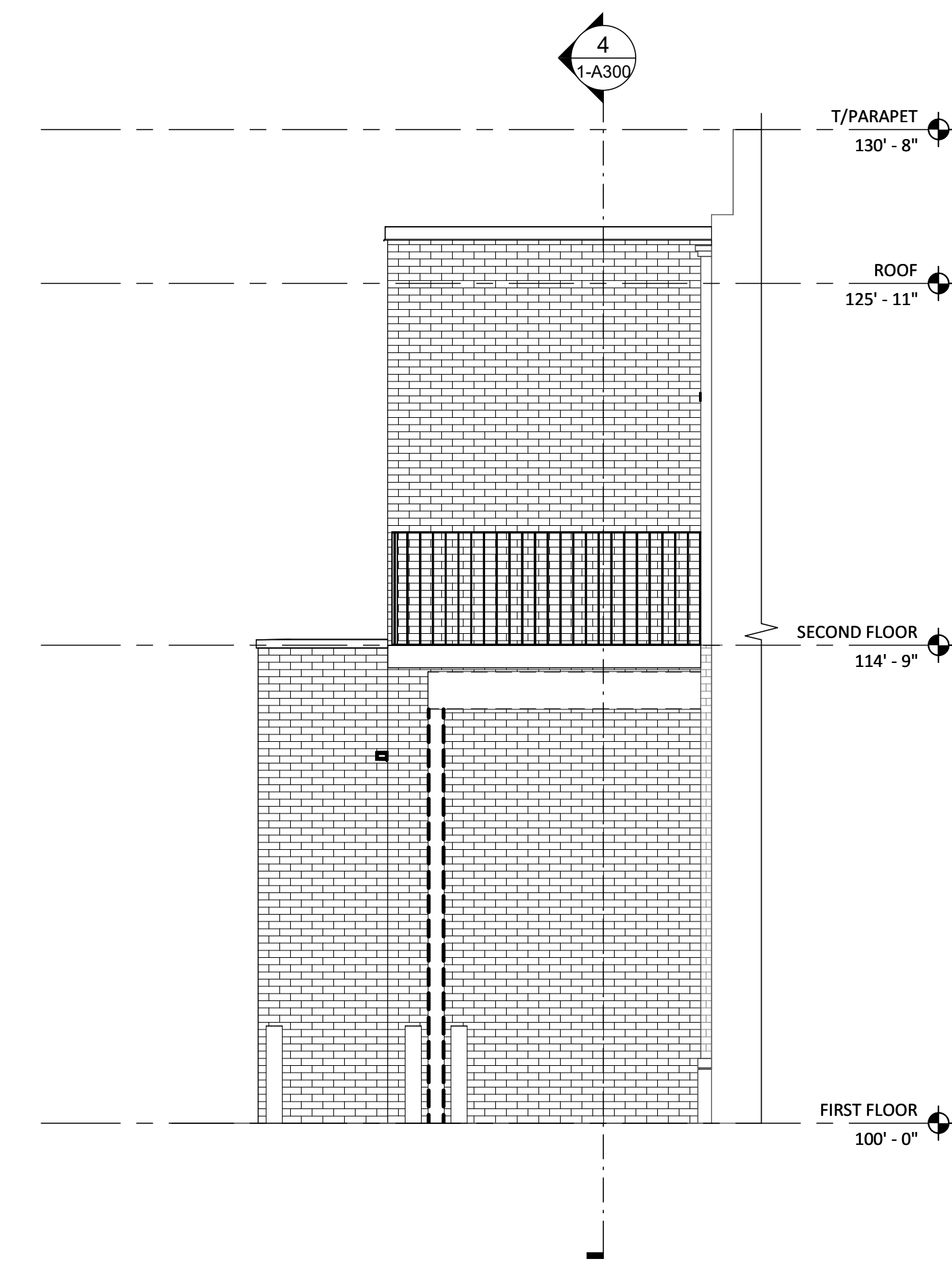
EXT ELEVATIONS

1-A400

KEY NOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
1.04	POWERWASH AND CLEAN ALL EXISTING EXTERIOR MASONRY INCLUDING STONE SILLS
1.05	PROVIDE ALLOWANCE TO SCRAPE AND PAINT ALL EXISTING STEEL LINTELS WHERE EXPOSED AS FINAL FINISH (EXTERIOR AND INTERIOR)
8.01	ADD BLACKOUT WINDOW FILM TO WINDOW INTERIOR



1 NW EXTERIOR ELEVATION  
SCALE: 1/4" = 1'-0"



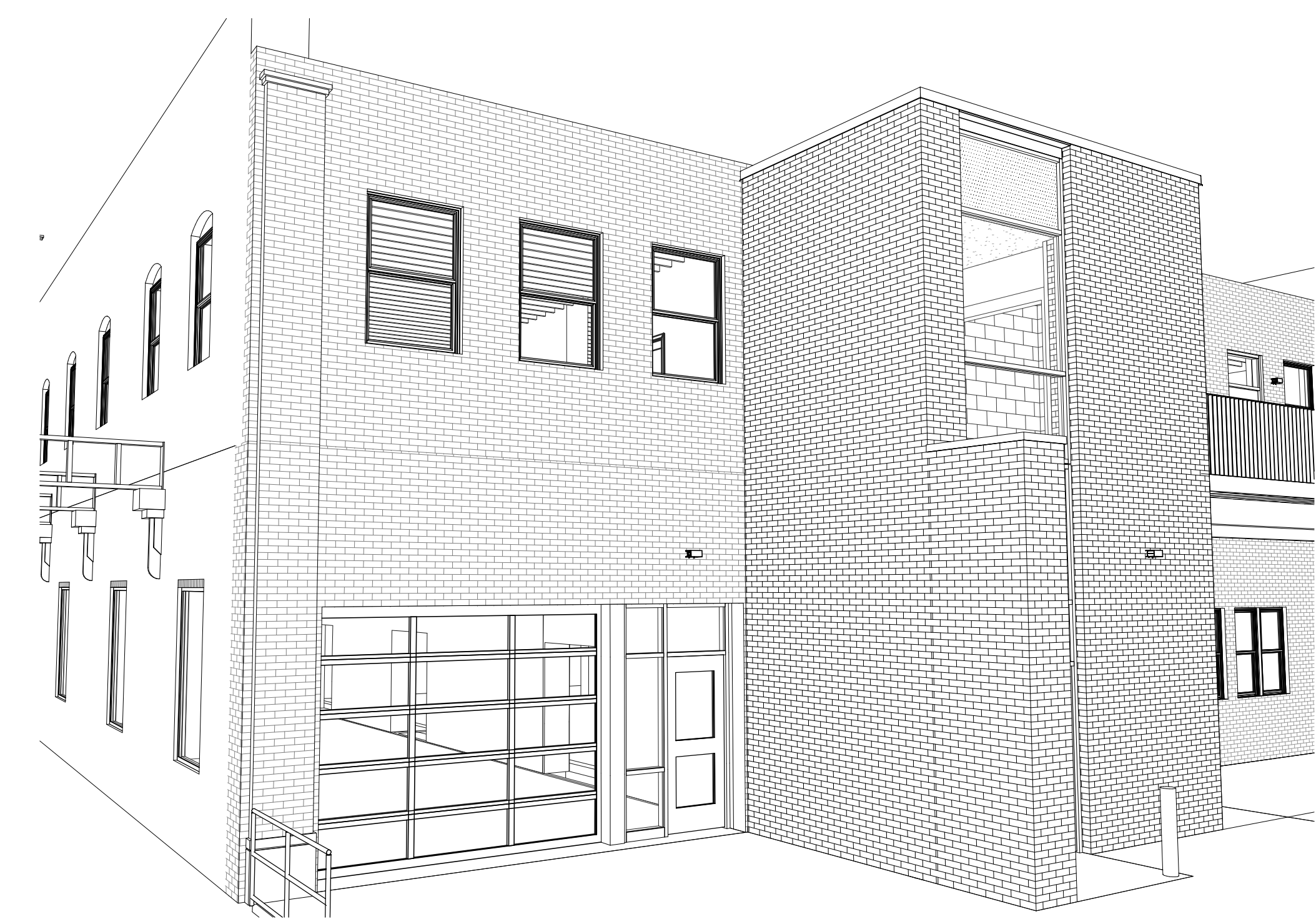
2 SW EXTERIOR ELEVATION  
SCALE: 1/4" = 1'-0"



3 3D VIEW  
SCALE:



4 3D VIEW  
SCALE:



5 3D VIEW  
SCALE:

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EXT ELEVATIONS AND 3D  
IMAGES

1-A401

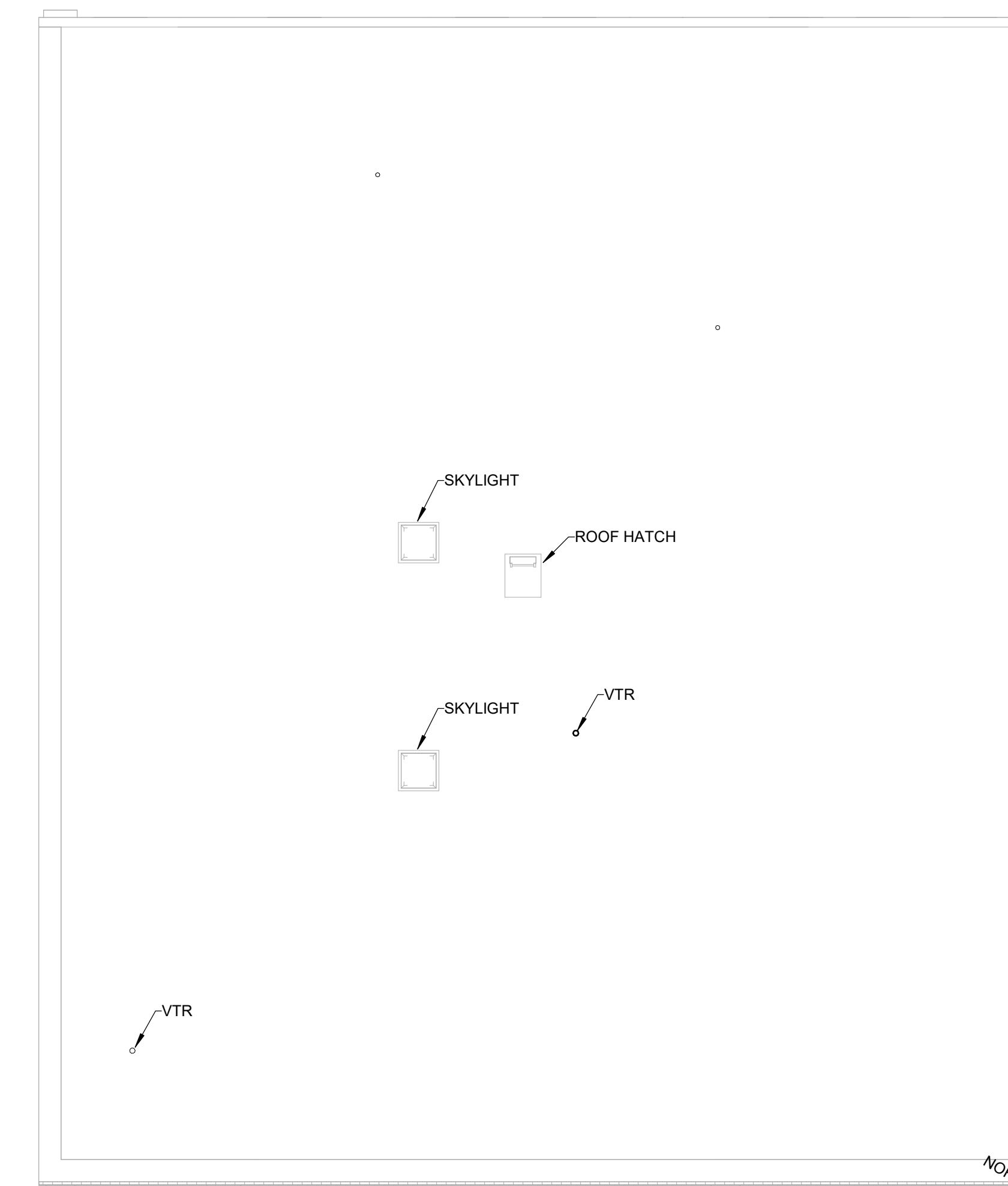
**GENERAL NOTES**

1. IT IS UNDERSTOOD AND AGREED BY THE INSTALLER THAT WORK HEREIN DESCRIBED SHALL BE COMPLETE IN EVERY DETAIL. EVEN THOUGH EVERY ITEM INVOLVED IS NOT PARTICULARLY MENTIONED, INSTALLER SHALL BE HELD TO PROVIDE ALL LABOR AND MATERIALS NECESSARY FOR THE WORK INTENDED AND DESCRIBED FOR A COMPLETE AND OPERATIONAL SYSTEM. SUCH MATERIALS SHALL INCLUDE PIPING, VALVES, TRAPS, GAUGES, CONTROLS, ETC. THIS ALSO INCLUDES EQUIPMENT REQUIRED BY STATE AND LOCAL CODES.

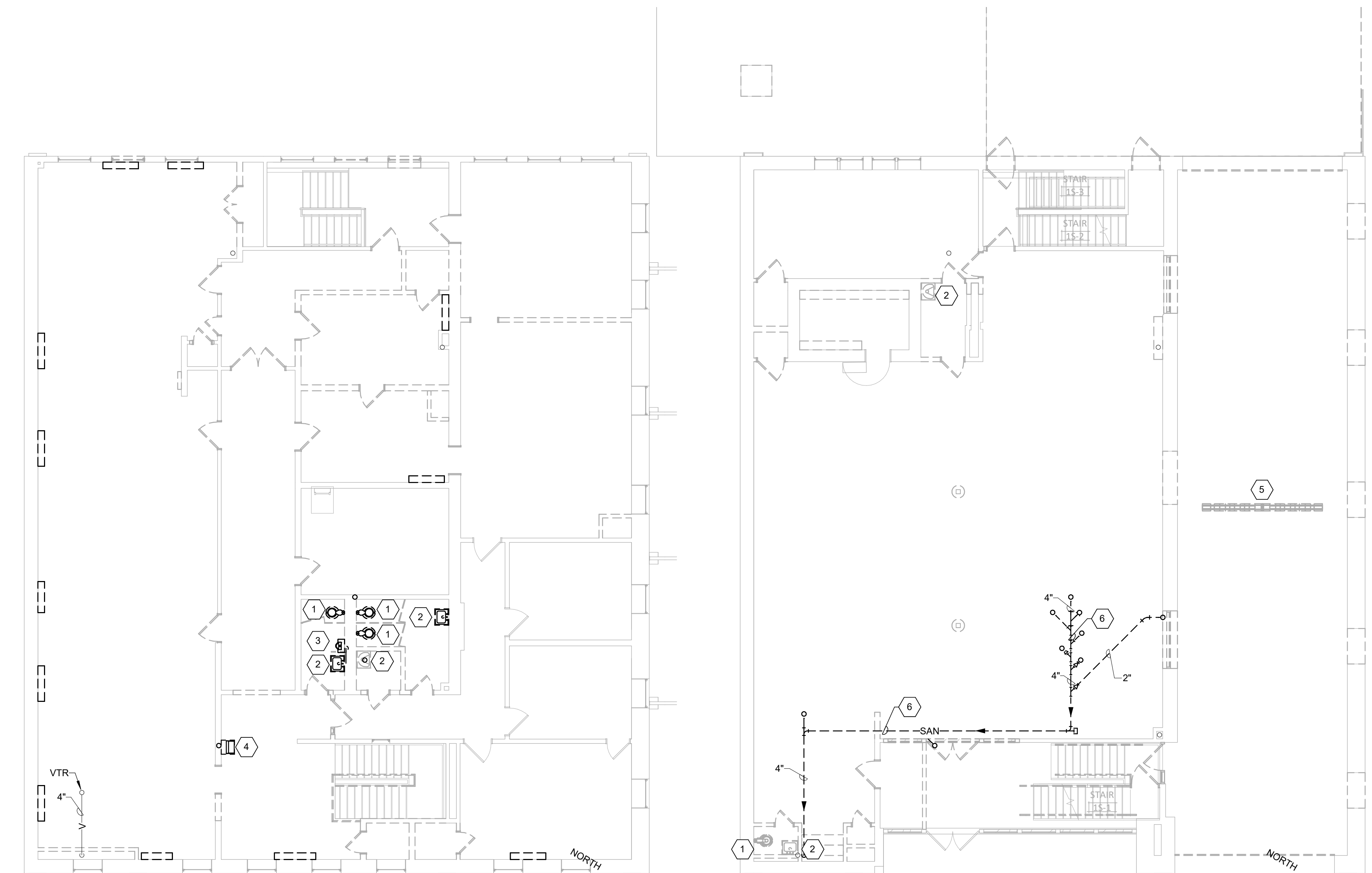
2. CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL EQUIPMENT AND MATERIALS WITH ALL OTHER TRADES.

**KEYED NOTES**

1. REMOVE TOILET AND RECONFIGURE PIPING FOR NEW BATHROOM LAYOUT. REFER TO SHEET 1-P100 FOR NEW WORK PLAN.
2. REMOVE LAV, SINK AND RECONFIGURE PIPING FOR NEW BATHROOM LAYOUT. REFER TO SHEET 1-P100 FOR NEW WORK PLAN.
3. REMOVE URINAL AND PIPING BACK TO MANS FOR NEW BATHROOM LAYOUT. REFER TO SHEET 1-P100 FOR NEW WORK PLAN.
4. REMOVE ELECTRIC WATER COOLER AND RECONFIGURE PIPING FOR NEW ELECTRIC WATER COOLER. REFER TO SHEET 1-P100.
5. REMOVE TRENCH DRAIN AND RECONFIGURE ASSOCIATED STORM PIPING. REFER TO SHEET 1-P100 FOR NEW WORK PLAN.
6. REMOVE PIPING.

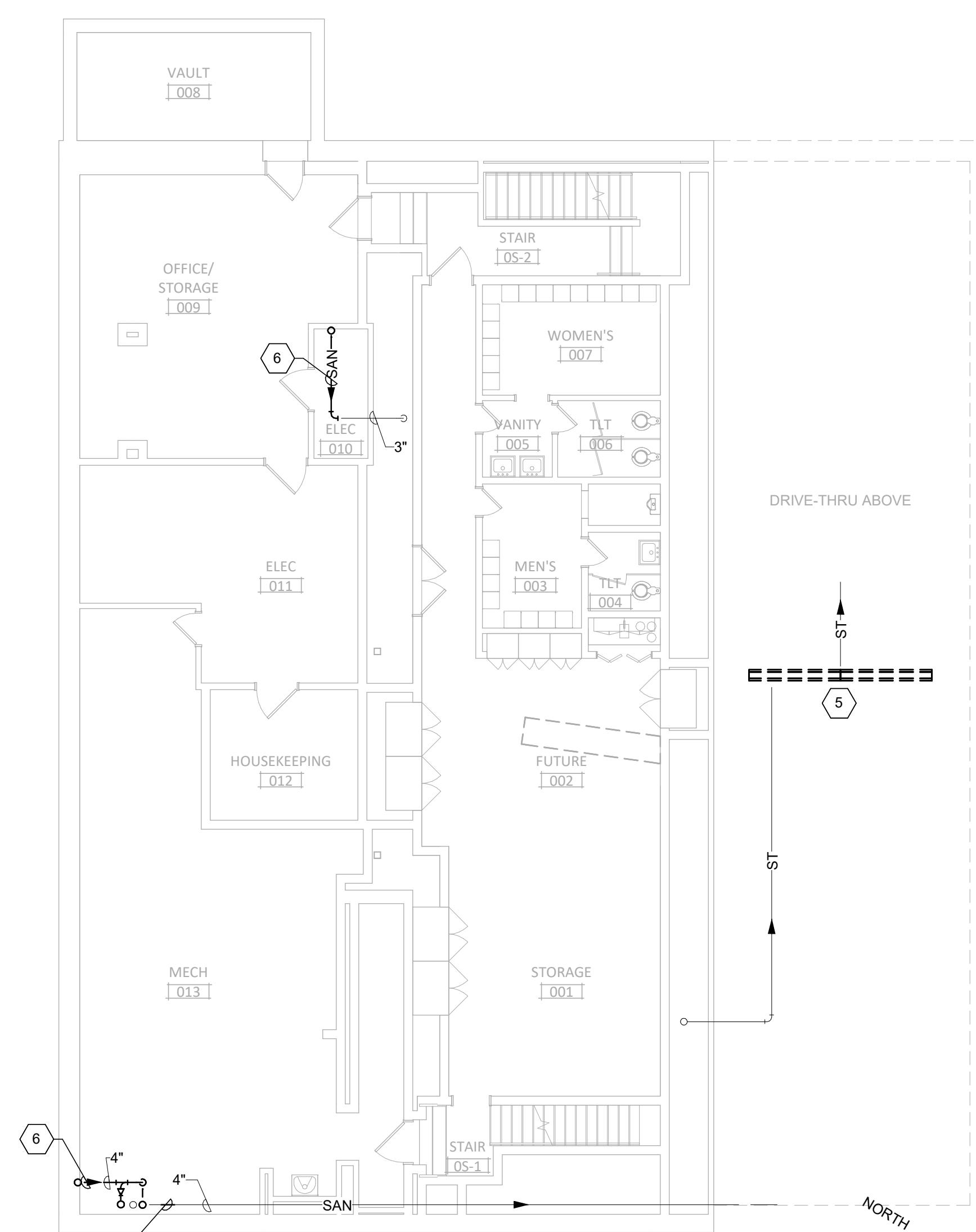


**4 ROOF MECHANICAL PLUMBING DEMOLITION PLAN**  
SCALE: 1/8" = 1'-0"



**3 SECOND FLOOR PLUMBING DEMOLITION PLAN**  
SCALE: 1/8" = 1'-0"

**2 FIRST FLOOR PLUMBING DEMOLITION PLAN**  
SCALE: 1/8" = 1'-0"



**1 BASEMENT PLUMBING DEMOLITION PLAN**  
SCALE: 1/8" = 1'-0"

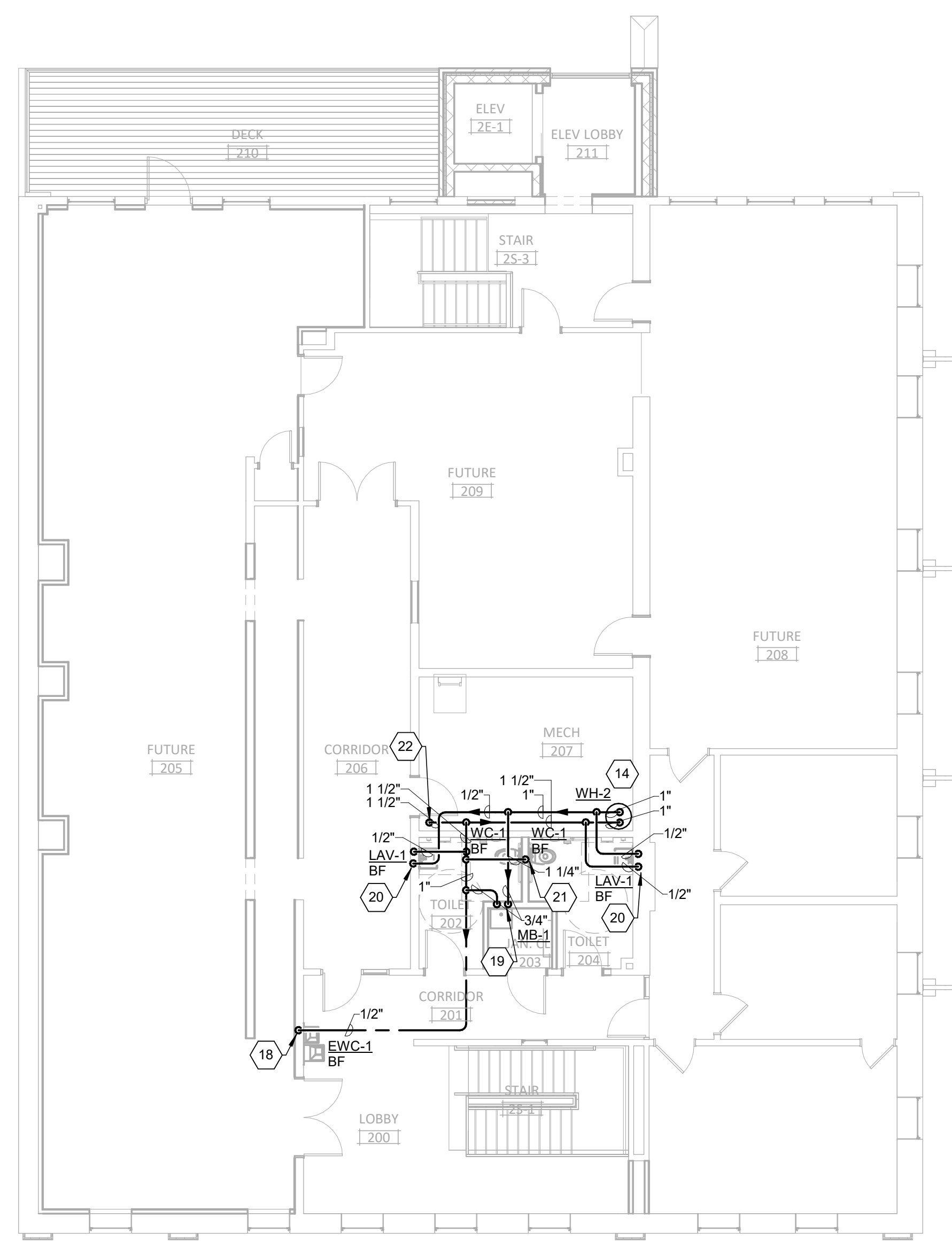
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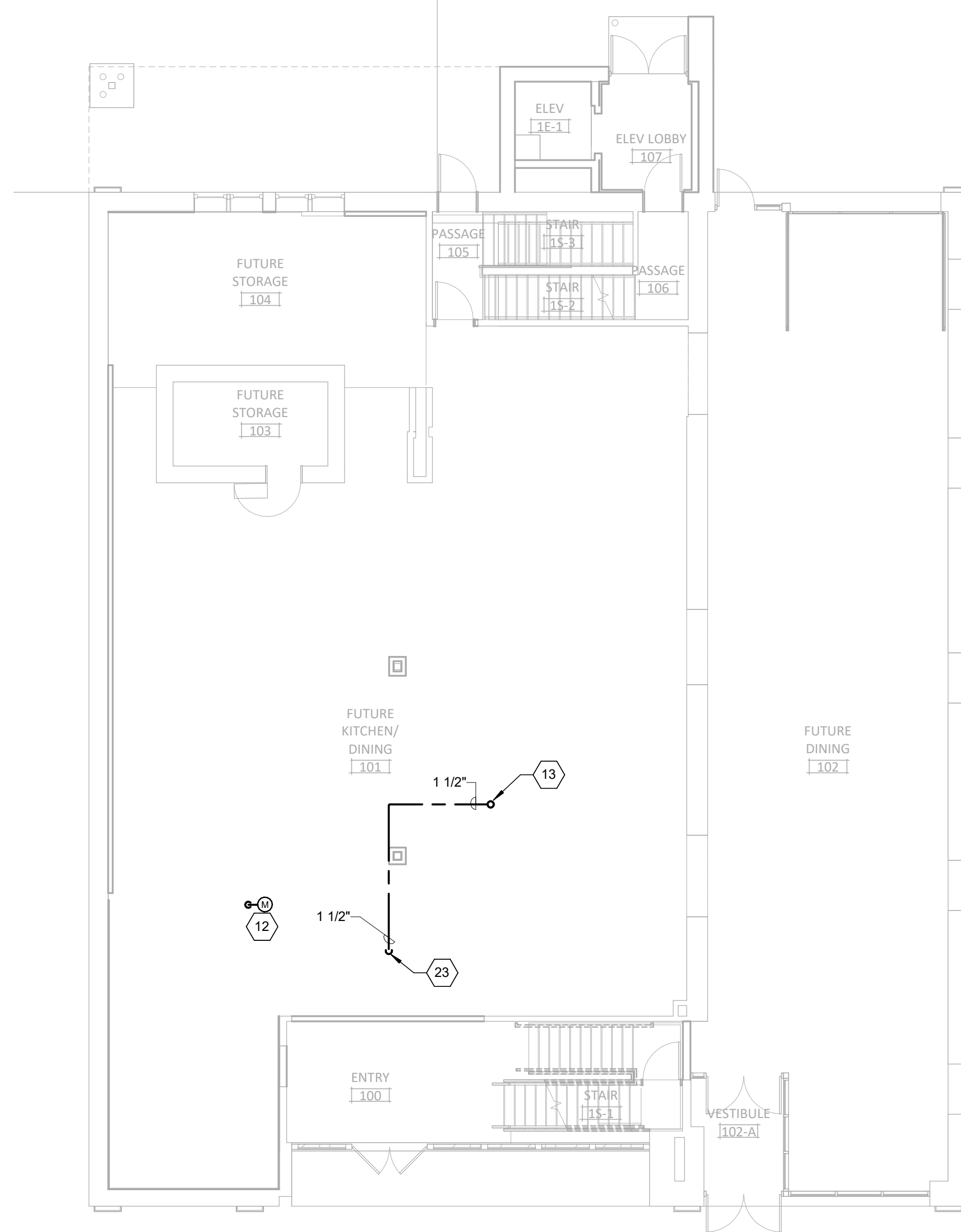
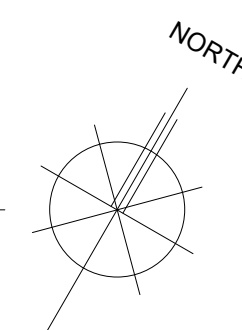
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**PLUMBING DEMOLITION PLANS**  
- PHASE 1

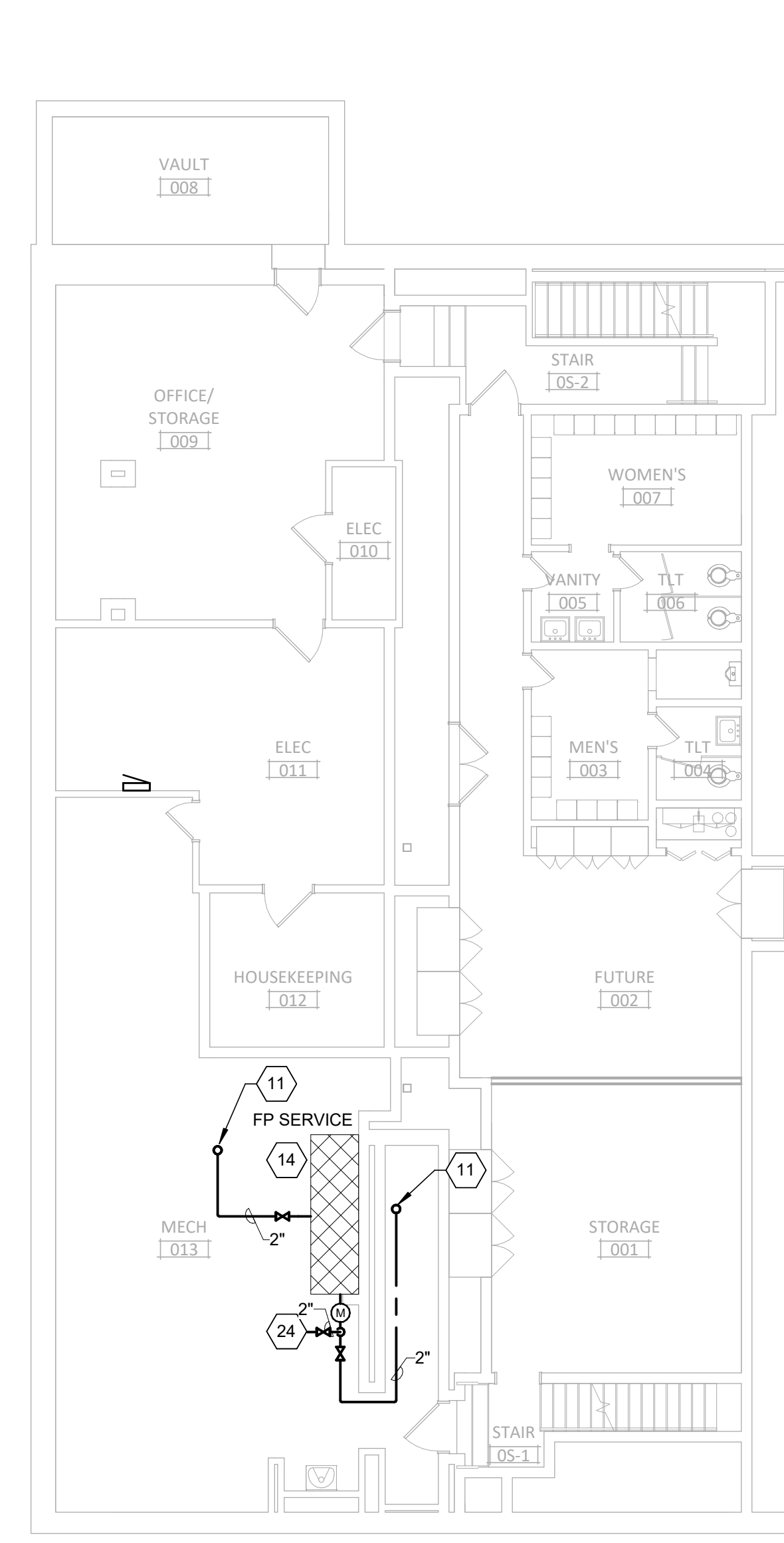
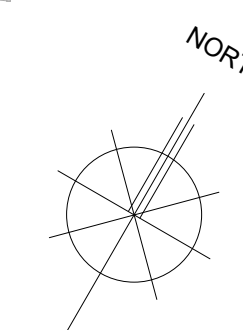
**1-PD100**



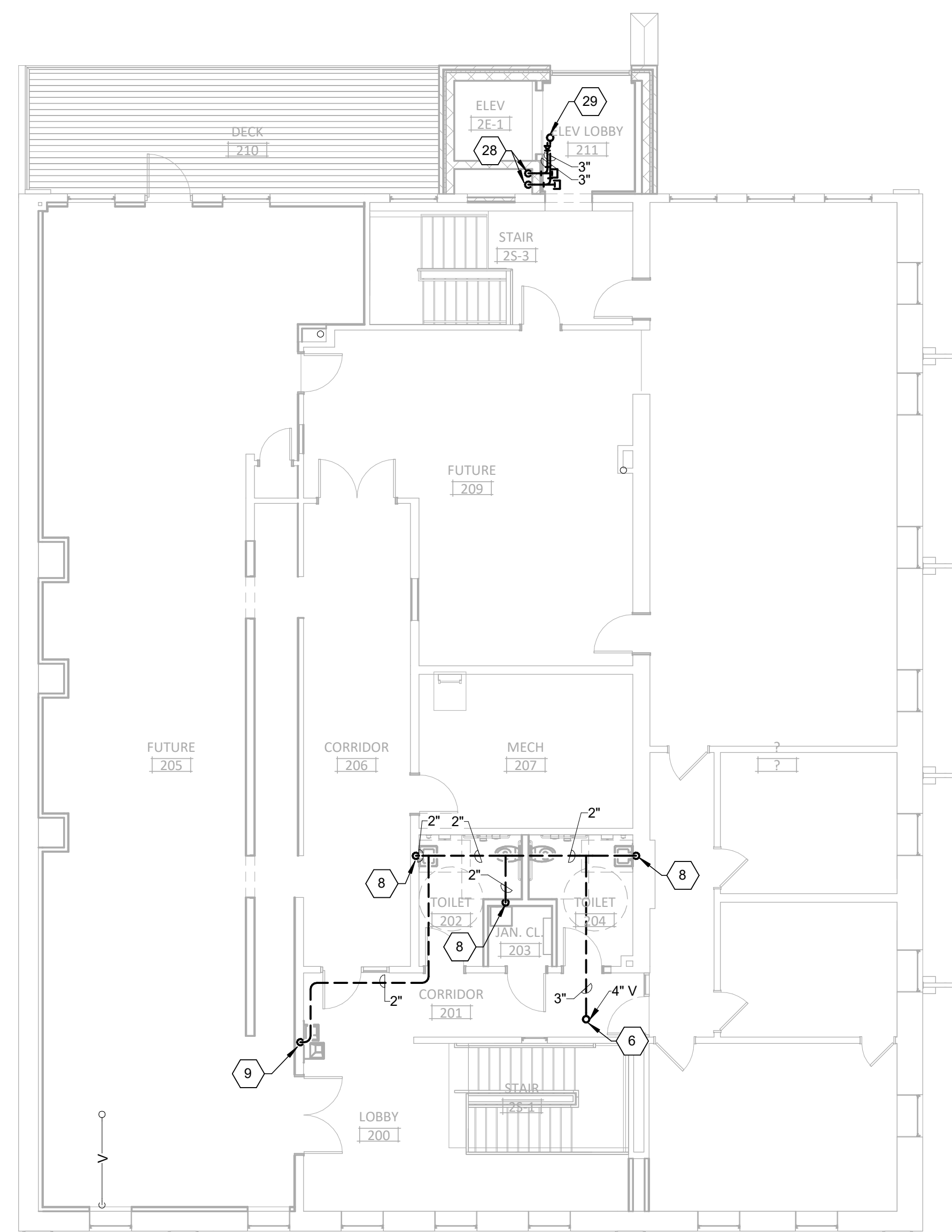
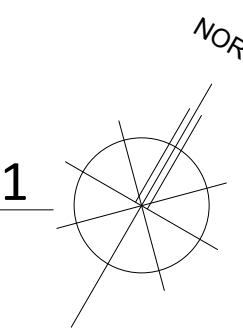
6 SECOND FLOOR DOMESTIC WATER PLAN - PHASE 1  
SCALE: 1/8" = 1'-0"



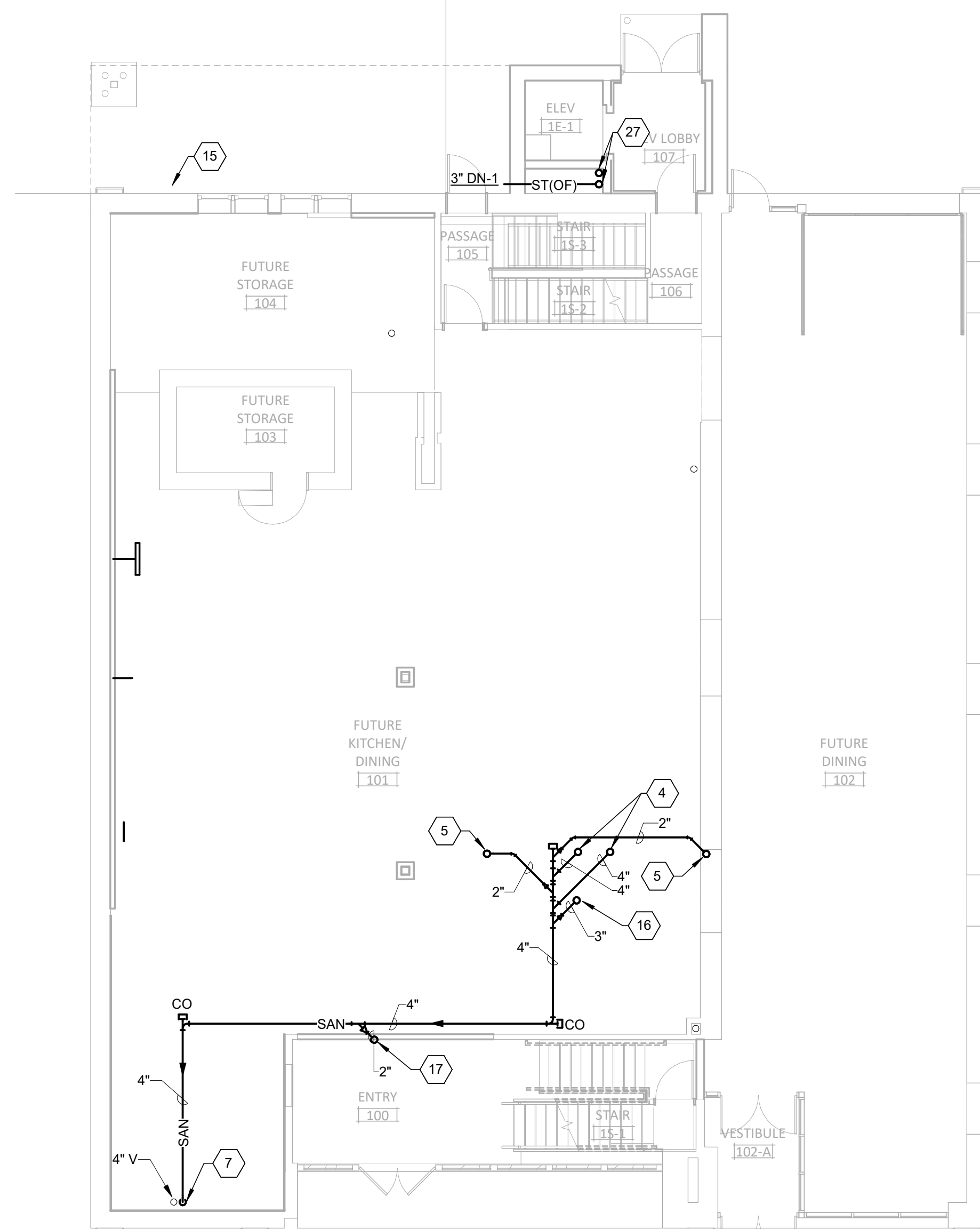
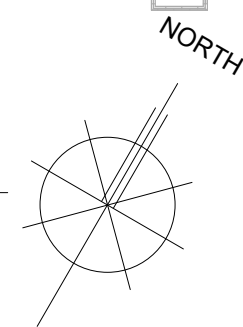
5 FIRST FLOOR DOMESTIC WATER PLAN - PHASE 1  
SCALE: 1/8" = 1'-0"



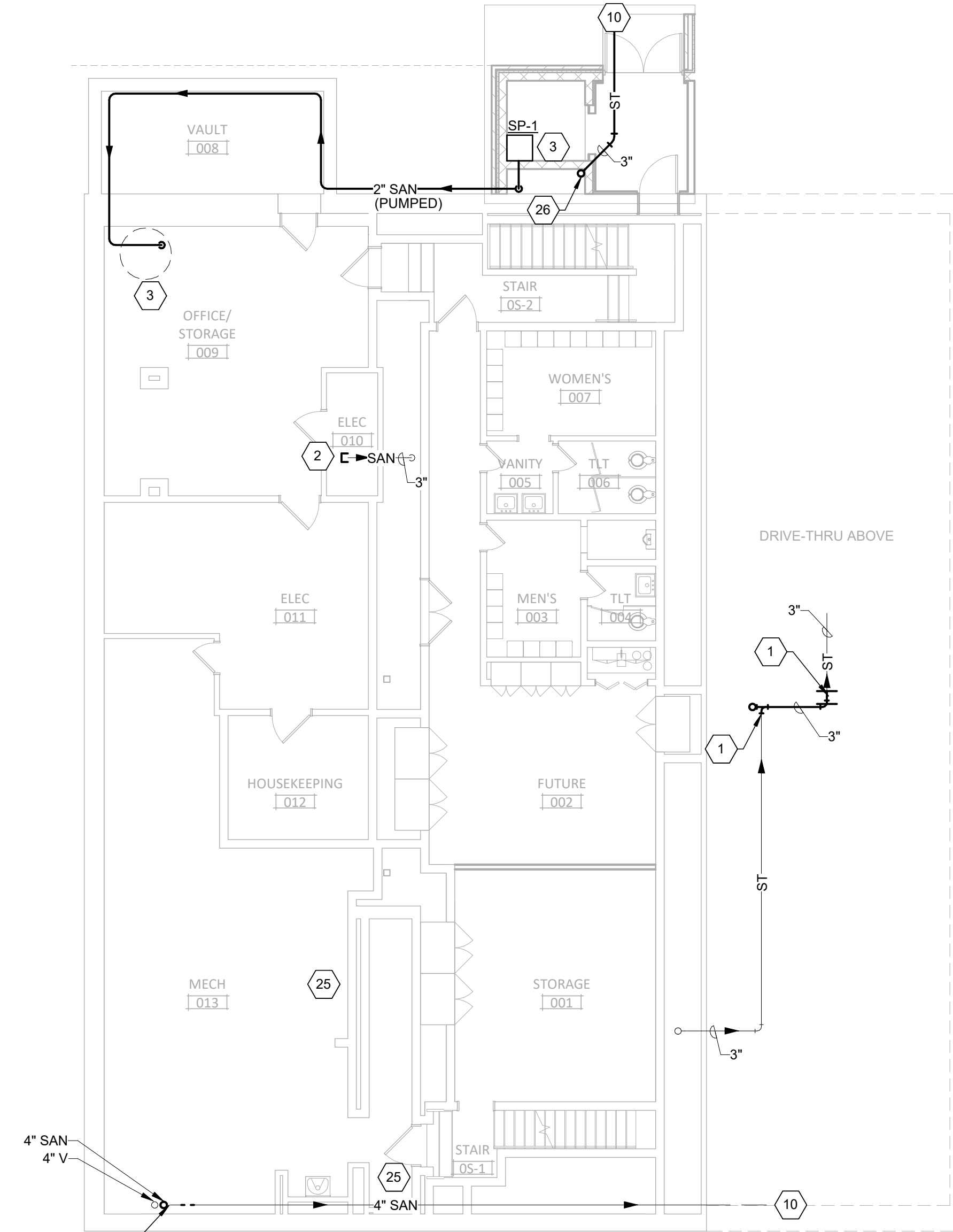
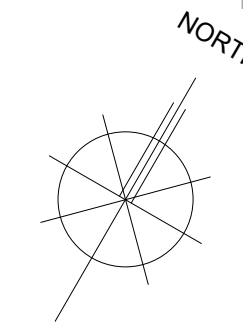
4 BASEMENT DOMESTIC WATER PLAN - PHASE 1  
SCALE: 1/8" = 1'-0"



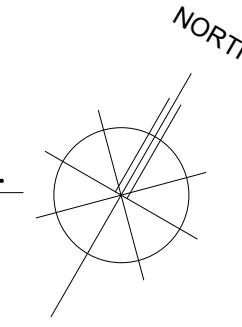
3 SECOND FLOOR DRAINAGE AND VENTING PLAN - PHASE 1  
SCALE: 1/8" = 1'-0"



2 FIRST FLOOR DRAINAGE AND VENTING PLAN - PHASE 1  
SCALE: 1/8" = 1'-0"



1 BASEMENT DRAINAGE AND VENTING PLAN - PHASE 1  
SCALE: 1/8" = 1'-0"



**GENERAL NOTES**

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- CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL EQUIPMENT AND MATERIALS WITH ALL OTHER TRADES.

**KEYED NOTES**

- CONNECT TO EXISTING. FIELD VERIFY EXACT TIE IN LOCATION. RECONFIGURE PIPING AS REQUIRED.
- CAP SANITARY PIPING.
- SEWAGE EJECTOR PROVIDED IN PHASE 2. REFER TO SHEET 2-P200.
- 4" SANITARY DOWN FROM WATER CLOSET ON FLOOR ABOVE.
- 2" SANITARY DOWN FROM LAV/ SINK.
- 3" VENT UP TO 4" VTR.
- SANITARY DOWN TO FLOOR BELOW.
- 2" VENT DOWN TO SINK/ LAV. 2" SANITARY DOWN TO FLOOR BELOW.
- 2" VENT DOWN TO ELECTRIC WATER COOLER. 2" SANITARY DOWN TO FLOOR BELOW.
- REFER TO SITE PLAN FOR CONTINUATION.
- 2" CW UP TO FLOOR ABOVE.
- 2" CW CAPPED FOR PHASE 2 WORK. REFER TO SHEET 2-P200 FOR CONTINUATION.
- 1-1/2" CW UP TO FLOOR ABOVE.
- REFER TO PIPING DETAIL ON SHEET P300.
- VENT UP FROM BELOW.
- 3" SANITARY FROM MOP BASIN BELOW.
- 2" SANITARY FROM ELECTRIC WATER COOLER ABOVE.
- 1/2" CW DOWN TO ELECTRIC WATER COOLER.
- 3/4" HW AND 3/4" CW DOWN TO MOP BASIN.
- 1/2" HW AND 1/2" DOWN TO LAV.
- 1-1/4" CW DOWN. DISTRIBUTE 1" CW TO EACH WATER CLOSET.
- 1-1/2" CW FROM FLOOR BELOW.
- 2" CW FROM FLOOR BELOW.
- REFEED EXISTING COLD WATER SYSTEM.
- ROUTE DRAIN FROM FIRE PROTECTION BACKFLOW BREVENTOR AND RBPB AT WATER METER TO EXISTING FLOOR DRAIN.
- 3" STORM FROM FLOOR ABOVE.
- 3" STORM AND STORM (OF) TO FLOOR ABOVE.
- 3" STORM AND STORM (OF) FROM ROOF DRAIN ABOVE.

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**PLUMBING PLANS - PHASE 1**

**1-P100**

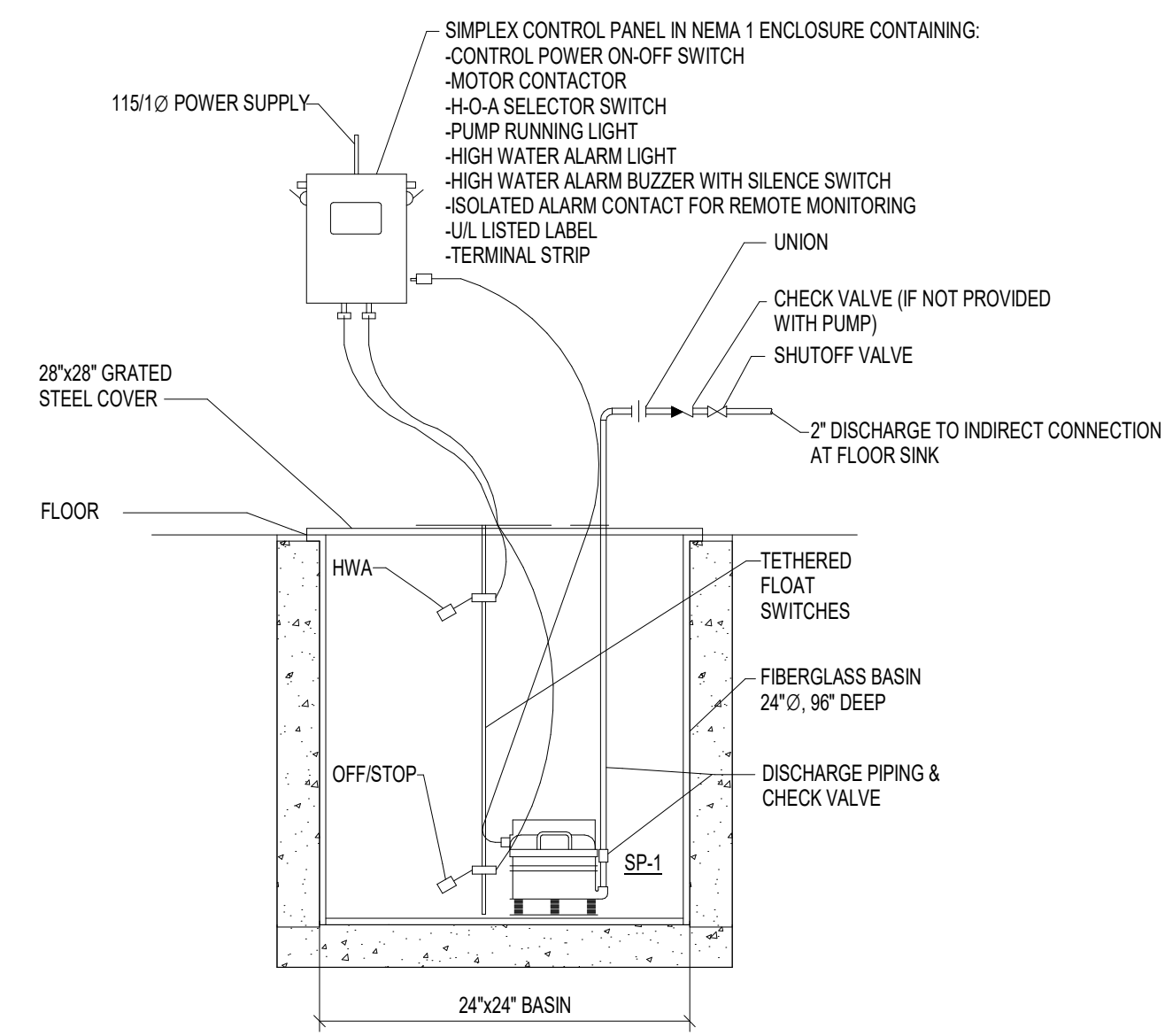


**SYMBOLS**

AW	ACID WASTE	-----	HOT WATER RETURN (DOMESTIC)
AWV	ACID WASTE VENT	-----	HOT WATER SUPPLY (DOMESTIC)
○	BALANCING VALVE	Ⓜ	HUMIDISTAT
BCW	BUILDING CHILLED WATER	LCW	CAMPUS LOOP CHILLED WATER
BCS	BUILDING CHILLED WATER SUPPLY	LCS	CAMPUS LOOP CHILLED WATER SUPPLY
BCR	BUILDING CHILLED WATER RETURN	LCR	CAMPUS LOOP CHILLED WATER RETURN
BHW	BUILDING HOT WATER	LHW	CAMPUS LOOP HOT WATER
BHS	BUILDING HOT WATER SUPPLY	LHS	CAMPUS LOOP HOT WATER SUPPLY
BHR	BUILDING HOT WATER RETURN	LHR	CAMPUS LOOP HOT WATER RETURN
↔	BUTTERFLY VALVE	○	OUTSIDE STEM AND YOKE VALVE
Ⓜ	CALIBRATED BALANCING VALVE	O <sub>2</sub>	OXYGEN
∩	CAP	∩	PRESSURE GAUGE
∩	CHECK VALVE	∩	PRESSURE REDUCING VALVE
CR	CHILLER RETURN	∩	PRESSURE RELIEF VALVE
CS	CHILLER SUPPLY	∩	PRESSURE / TEMPERATURE TAPPING
CWR	CHILLED WATER RETURN	PC	PUMPED CONDENSATE
CWS	CHILLED WATER SUPPLY	∩	REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTER
---	COLD WATER (DOMESTIC)	SAN	SANITARY SEWER (ABOVE FLOOR)
A	COMPRESSED AIR	SAN	SANITARY SEWER (BELOW FLOOR)
COND	CONDENSATE	∩	SHUT-OFF VALVE
CD	CONDENSATE DRAIN	∩	SMOKE DAMPER
∩	CONTROL VALVE	SCW	SOFT COLD WATER
TR	COOLING TOWER RETURN	SHW	SOFT HOT WATER
TS	COOLING TOWER SUPPLY	SHWR	SOFT HOT WATER RETURN
DW	DOMESTIC WATER	∩	SPRING CHECK VALVE
DCW	DOMESTIC COLD WATER	STM (#)	STEAM
DHW	DOMESTIC HOT WATER	∩	STEAM TRAP
DHWR	DOMESTIC HOT WATER RETURN	ST	STORM SEWER (ABOVE FLOOR)
∩	FIRE DAMPER (HORIZONTAL)	ST (OF)	STORM SEWER (OVERFLOW SYSTEM)
∩	FIRE DAMPER (VERTICAL)	ST	STORM (BELOW FLOOR)
∩	FIRE SMOKE DAMPER	∩	STRAINER
FP	FIRE PROTECTION	∩	TEMPERATURE SENSOR
∩	FLOW METER (PROBE TYPE)	∩	THERMOMETER
∩	FLOW METER (WAFER TYPE)	∩	THERMOSTAT
∩	FLOW SWITCH	∩	THREE-WAY CONTROL VALVE
FD	FOOTING DRAIN	∩	THROTTILING VALVE
G	GAS	∩	TRIPLE DUTY VALVE (ANGLE)
∩	GAS COCK	∩	TRIPLE DUTY VALVE (STRAIGHT)
HR	HEATING HOT WATER RETURN	VAC	VACUUM
HS	HEATING HOT WATER SUPPLY	∩	VACUUM BREAKER
HPR	HEAT PUMP RETURN	V	VENT
HPS	HEAT PUMP SUPPLY	∩	RETURN EXHAUST DIFFUSER
∩	BALANCE DAMPER		
∩	SUPPLY DIFFUSER		

**ABBREVIATIONS**

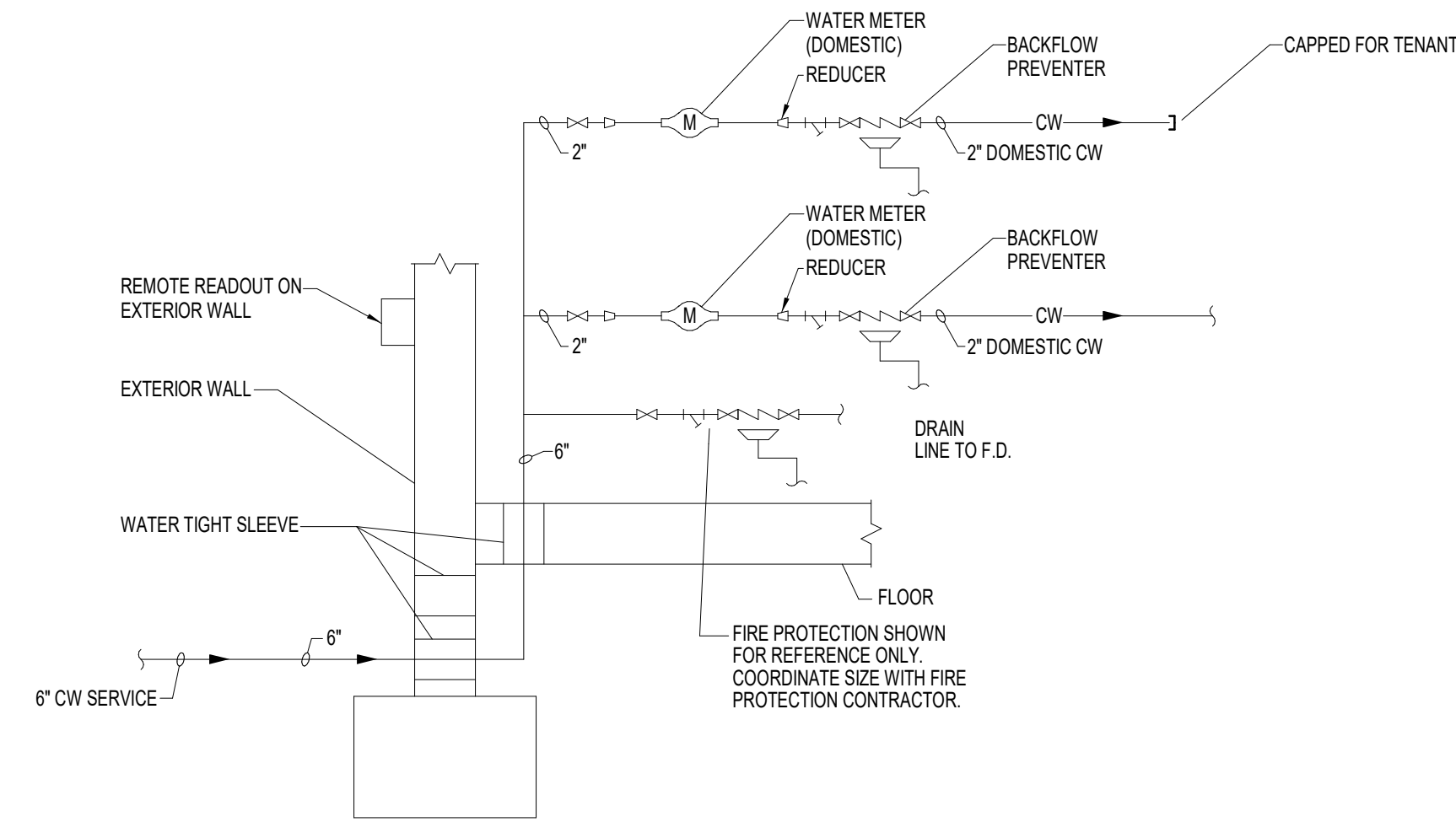
AFF	ABOVE FINISHED FLOOR	HP	HORSE POWER	RA	RETURN AIR
APD	AIR PRESSURE DROP	HW	DOMESTIC HOT WATER	RAV	RELIEF AIR VENT
BD	BALANCING DAMPER	HWHR	DOMESTIC HOT WATER RETURN	RD	ROOF DRAIN
BF	BARRIER FREE	IE	INVERT ELEVATION	RH	RELATIVE HUMIDITY
BTUH	BRITISH THERMAL UNIT PER HOUR	LAT	LEAVING AIR TEMPERATURE	RPM	REVOLUTIONS PER MINUTE
BV	BALANCING VALVE	LAV	LAUNDRY	RPPBP	REDUCED PRESSURE PRINCIPAL BACKFLOW PREVENTER
CB	CATCH BASIN	LOB	LEAVING DRY BULB	RV	RELIEF VALVE
CBV	CALIBRATED BALANCING VALVE	LVR	LEAVING WATER TEMPERATURE	RW	RAW WATER (UNSOFTENED)
CFH	CUBIC FEET PER HOUR	LWT	LEAVING WATER TEMPERATURE	SA	SUPPLY AIR
CFM	CUBIC FEET PER MINUTE	MA	MIXED AIR	SENS	SENSIBLE
CH	CABINET HEATER	MAT	MIXED AIR TEMPERATURE	SH	SHOWER
CI	CAST IRON	MAX	MAXIMUM	SK	SINK
CM	CEILING MOUNTED	MB	MOP BASIN	SOV	SHUT-OFF VALVE
CO	CLEAN OUT	MBH	BRITISH THERMAL UNIT PER HOUR (THOUSANDS)	SP	STATIC PRESSURE
CV	CONTROL VALVE	MH	MANKLE	TEMP	TEMPERATURE
CW	DOMESTIC COLD WATER	MIN	MINIMUM	TOT	TOTAL
DF	DRINKING FOUNTAIN	MTG	MOUNTING	TR	TEMPERATURE RISE
DN	DOWN	MV	MANUAL AIR VENT	TS	TIP SPEED
EA	EXHAUST AIR	NC	NORMALLY CLOSED	TSP	TOTAL STATIC PRESSURE
EAT	ENTERING AIR TEMPERATURE	NF	NORMALLY OPEN	UH	UNIT HEATER
EDB	ENTERING DRY BULB	NFWH	NON-FREEZE WALL HYDRANT	UR	URINAL
EF	EXHAUST FAN	NIC	NOT IN CONTRACT	VAV	VARIABLE AIR VOLUME BOX
ESP	EXTERNAL STATIC PRESSURE	NO	NORMALLY OPEN	V	VENT
EWB	ENTERING WET BULB	OA	OUTSIDE AIR	VEL	VELOCITY
EW	ELECTRIC WATER COOLER	OAI	OUTSIDE AIR INTAKE	VIF	VERIFY IN FIELD
EWT	ENTERING WATER TEMPERATURE	PD	PRESSURE DROP	VTR	VENT THRU ROOF
EXST	EXISTING	PIV	POST INDICATOR VALVE	W	WASTE
FD	FLOOR DRAIN	PRV	PRESSURE REDUCING VALVE	WC	WATER CLOSET
FPM	FEET PER MINUTE	PR	PANEL RADIATION	WPD	WATER PRESSURE DROP
FR	FIN RADIATION	PT	PRESSURE TEMPERATURE TAPPING		
HS	HOSE BIBB				
GPM	GALLONS PER MINUTE				



**SUBMERSIBLE SIMPLEX ELEVATOR SUMP PUMP SP-1**

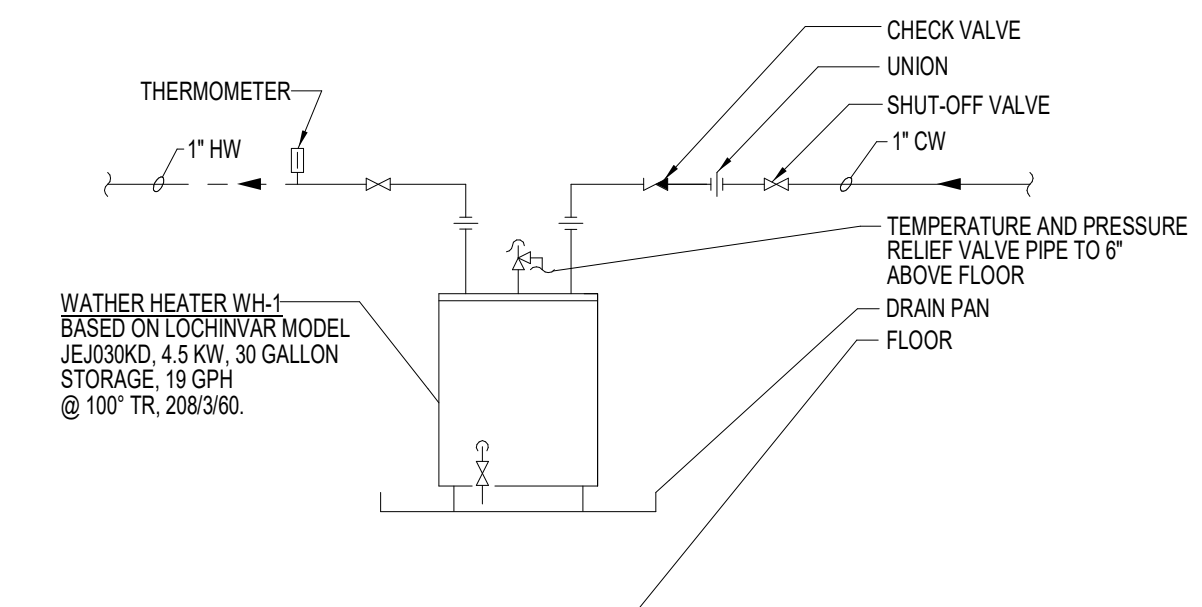
Scale: NONE

SP-1 SUMP PUMP  
BASED ON WEL SUBMERSIBLE WASTEWATER PUMP MODEL 1200, 50  
GPM @ 20 FT TOTAL DISCHARGE HEAD, 1750 RPM, 0.75 HP, 5.25"  
IMPELLER, DOUBLE SEAL, 2" DISCHARGE, 0.75" MAX. SOLID SIZE.  
SERIES ELEVATOR PIT, 1200/1000. REFER TO DETAIL FOR ADDITIONAL  
ACCESSORIES (FLOAT SWITCHES, CONTROL PANEL, ETC.)



**WATER SERVICE DETAIL**

SCALE: NONE



**WATER HEATER DETAIL**

Scale: NONE

NOTE:  
ELECTRIC HEATING ELEMENT SHALL HAVE AN INDIVIDUALLY ADJUSTABLE SURFACE MOUNTED THERMOSTAT WITH A BUILT-IN MANUAL RESET HIGH LIMIT CONTROL. PLUMBING CONTRACTOR SHALL ADJUST MULTIPLE THERMOSTATS TO PROVIDE STAGED TEMPERATURE CONTROL TO MEET HOT WATER DEMAND (2-3 DEGREES BETWEEN STAGES).

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**PLUMBING SCHEDULES AND DETAILS**

**1-P300**

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B. CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL EQUIPMENT, EQUIPMENT LOCATIONS AND MATERIALS WITH ALL OTHER TRADES, INCLUDING OWNER.

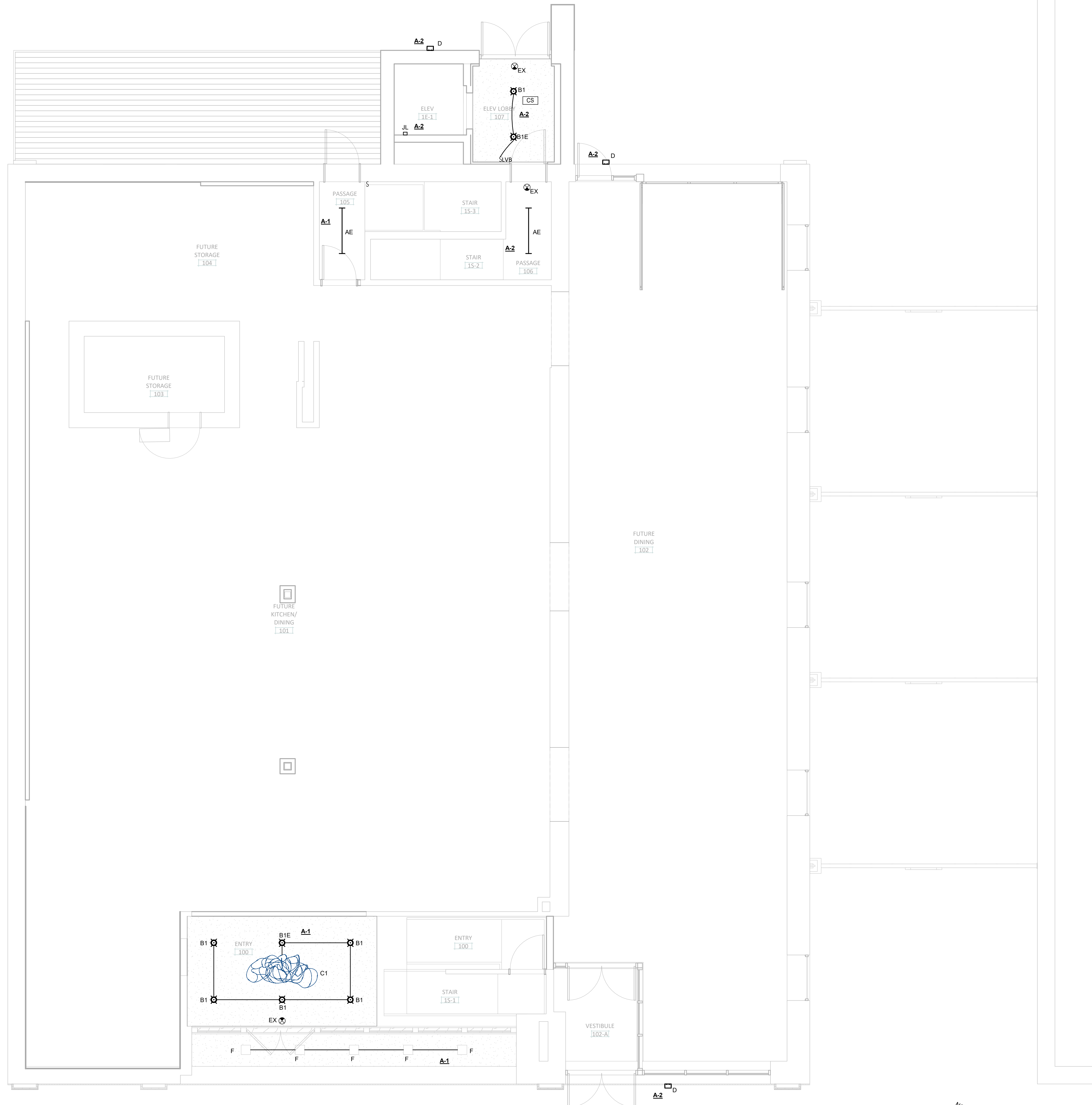
**LIGHTING NOTES**

1. WALL MOUNT EXIT SIGN 'EX' CENTERED OVER DOORS. WHERE WALL MOUNTING IS NOT PRACTICAL, MOUNT TO THE CEILING. EXIT SIGNS MOUNTED TO THE CEILING ARE TO BE SUPPORTED BY A SECONDARY MEANS AND NOT SOLELY FROM THE CEILING TILE. WIRE EXITS TO THE GENERAL OVERHEAD LIFE SAFETY CIRCUIT AHEAD OF ANY SWITCHING.

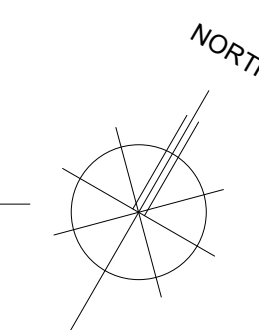
2. COORDINATE MOUNTING HEIGHT FOR FIXTURE TYPE 'C1' WITH INTERIOR ELEVATIONS.

3. FIXTURES WITH 'E' AT THE END HAVE INTERNAL BATTERY BACK-UP. CONNECT FIXTURE SO IT IS SWITCHABLE FROM THE ROOM SWITCH BUT WILL AUTOMATICALLY TURN ON UPON LOSS OF POWER.

4. LOCATE AND AIM SENSORS AS TO AVOID FALSE TRIGGERING AND TO KEEP LIGHTS ON WHILE MOTION IS PRESENT. ADJUST AS NECESSARY ONCE BUILDING IS OCCUPIED.



**1** FIRST FLOOR LIGHTING PLAN  
SCALE: 1/4" = 1'-0"

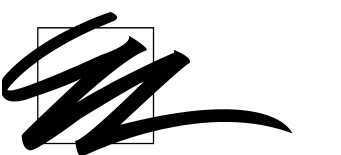


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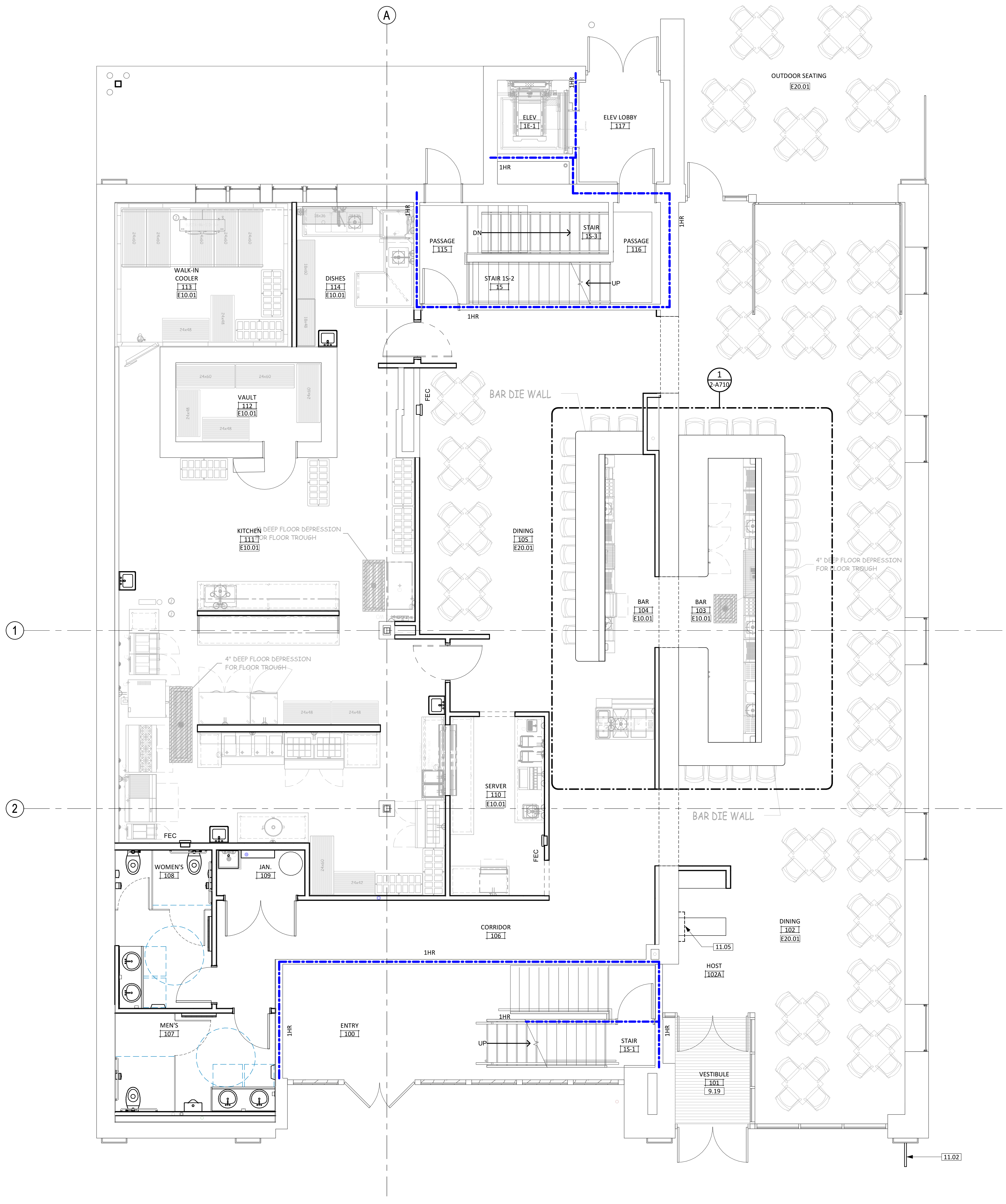


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**FIRST FLOOR LIGHTING PLAN**

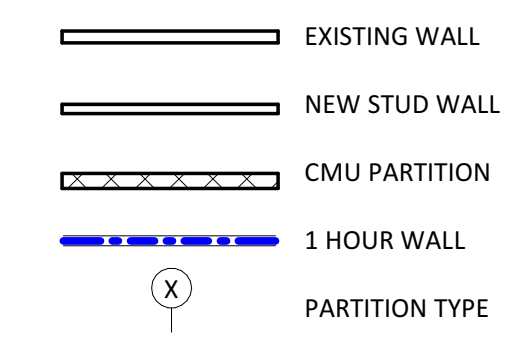
**1-E210**



**GENERAL NOTES**

- REFER TO SHEET 2-G101 FOR ABBREVIATIONS AND SYMBOLS LEGEND.
- ALL DIMENSIONS ARE FROM FINISHED FACE TO FINISHED FACE UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL NOT SCALE FROM THESE DRAWINGS - ALL DIMENSIONS SHALL BE FIELD VERIFIED. DIMENSIONS SHALL GOVERN THE SCOPE OF CONSTRUCTION.  
A. VERIFY ON ARCHITECTURAL DRAWINGS FOR CORRECT LOCATION OF PARTITIONS AND MILLWORK.  
B. EXISTING CONDITIONS SUPERSEDE DRAWINGS UNLESS NOTED OTHERWISE. VERIFY WITH ARCHITECT.
- FIELD VERIFY ALL SPECIAL REQUIREMENTS FOR CONSTRUCTION WITH CONSULTANTS AND REPORT ANY DEVIATIONS FROM THE REQUIREMENTS AS LISTED HEREIN TO THE ARCHITECT FOR REVIEW.
- ALL WORK SHALL BE ERECTED OR INSTALLED PLUMB, LEVEL, SQUARE, TRUE AND IN PROPER ALIGNMENT. ONLY NEW, HIGH QUALITY MATERIALS CONSISTENT WITH BUILDING STANDARD OR EQUAL IN SPECIFICATIONS SHOULD BE USED FOR WORK. ALL STRUCTURAL, MECHANICAL, AND ELECTRICAL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES. ANY DEVIATIONS FROM SUCH CODES SHALL BE BROUGHT TO THE ARCHITECT FOR RESOLUTION.
- ALL DOOR JAMBS TO BE 4 1/2" FROM ADJACENT WALL OR CENTERED IN SPACE UNLESS NOTED OTHERWISE.
- PROVIDE 1x8 MIN BLOCKING FOR ALL WALL-SUPPORTED COUNTERTOPS, CABINETS AND SHELVES. BLOCKING TO BE "NON-COMBUSTIBLE."
- PROVIDE WOOD BLOCKING AS REQUIRED FOR WALL-MOUNTED ACCESSORIES. THESE LOCATIONS CONSISTS OF, BUT ARE NOT LIMITED TO THE FOLLOWING: TOILET ACCESSORIES, TACKBOARDS, HANDRAILS, WALL MOUNTED EQUIPMENT, AND TENANT DESIGNATED EQUIPMENT LOCATIONS.
- SINK LOCATIONS TO BE COORDINATED WITH INTERIOR ELEVATIONS, SEE SHEETS 2-A310.
- ALL PENETRATIONS AT NON-FIRE RATED WALLS SHALL BE SEALED WITH ACOUSTICAL SEALANT.
- REFER TO SHEET 2-A000 FOR PARTITION TYPES.
- AT AREAS WHERE NEW GYP. BD. WALLS MEET EXISTING MASONRY, SCRIBE GYP. BD. TO MASONRY AND FILL GAP WITH PAINTABLE CAULK.

**WALL LEGEND**



**KEY NOTE LEGEND**

KEY VALUE	KEYNOTE TEXT
9.19	0'-4" x 9'-0" PREDIMANT M1 RECESSED WALK-OFF CARPET AS BASIS-OF-DESIGN. REFER TO DETAIL 2/2-A300
11.02	OWNER PROVIDED, CUSTOM BLADE SIGNAGE WITH LIGHT - REFER TO ELECTRICAL
11.05	WALL MOUNTED "SACRED HEART" METAL ART PIECE ABOVE HOST STATION, CENTERED AT APPROX. 8'-0" AFF. VERIFY FINAL INSTALLATION WITH OWNER. TENANT ARTIST TEAM TO PROVIDE AND INSTALL ART. REFER TO ELECTRICAL FOR OUTLET LOCATION.
E10.01	FOOD SERVICE EQUIPMENT SHOW AS DIAGRAMMATIC ONLY. REFER TO FOOD SERVICE DRAWINGS FOR FINAL LAYOUT
E20.01	SEATING LAYOUT SHOW AS DIAGRAMMATIC ONLY. FINAL SEATING COUNT MAY VARY. FURNISHINGS ARE BY TENANT (NIC)

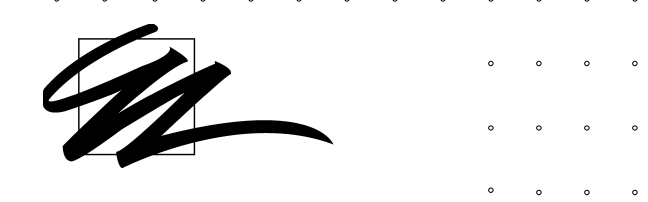
**1 FIRST FLOOR EQUIPMENT PLAN**  
SCALE: 1/4" = 1'-0"

**BARRIO - KALAMAZOO**

215 E. MICHIGAN AVE., SUITE 100  
KALAMAZOO, MI 49007

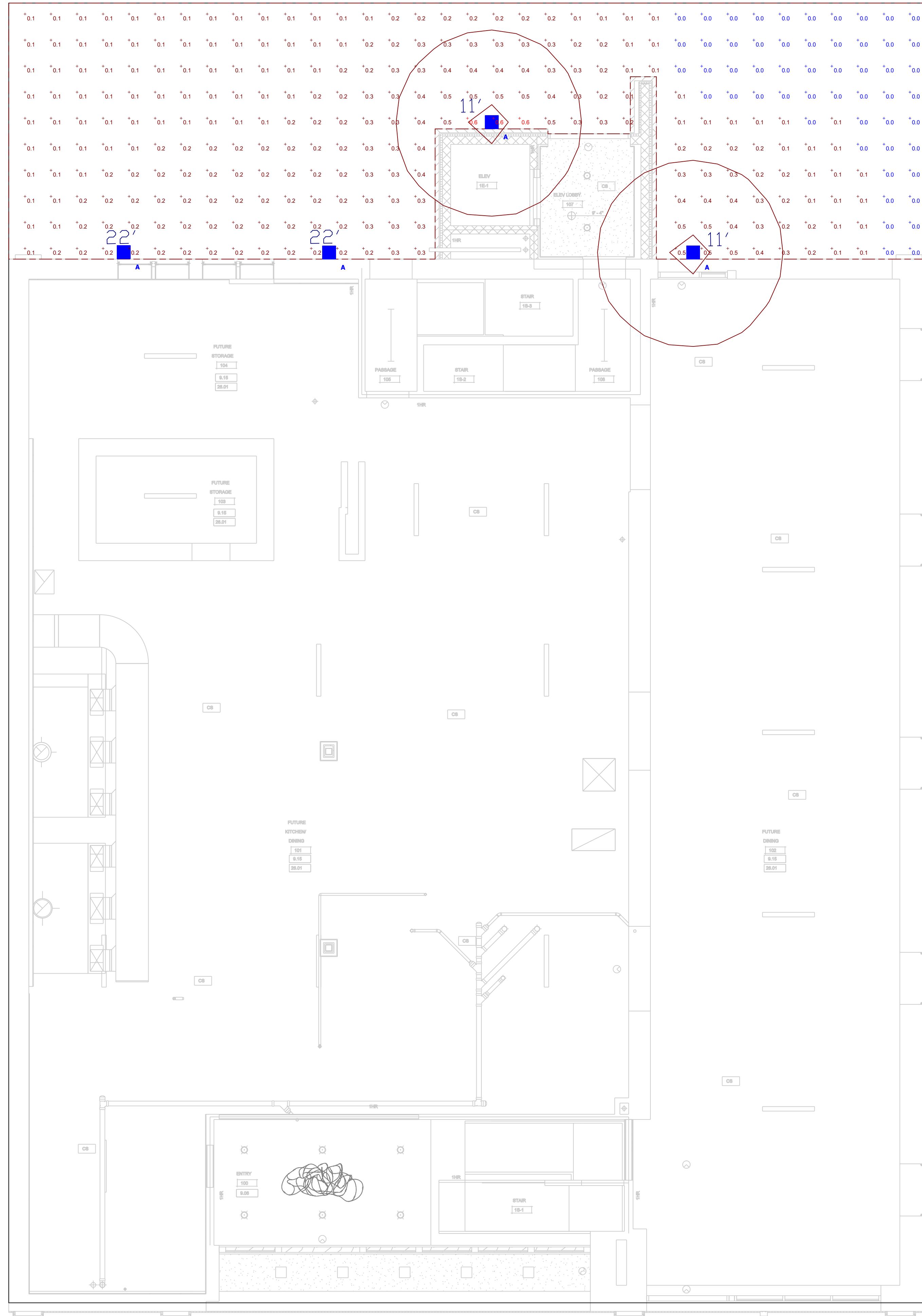
PROJ. NO.: 2022-11-043

11/26/2022 ISSUED FOR BID AND PERMIT



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**FIRST FLOOR EQUIPMENT PLAN**



Plan View  
Scale - 1" = 5ft

### Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Outdoor lighting	+	0.2 fc	0.6 fc	0.0 fc	N/A	N/A

### Schedule

Symbol	Label	Image	Quantity	Manufacturer	Catalog Number	Number Lamps	Lumens Per Lamp	Light Loss Factor	Description	Wattage	Plot
□	A		4	KUZCO LIGHTING	EW36206-BK	1	264	1	Exterior Wall Mount / Sconce	6.1	