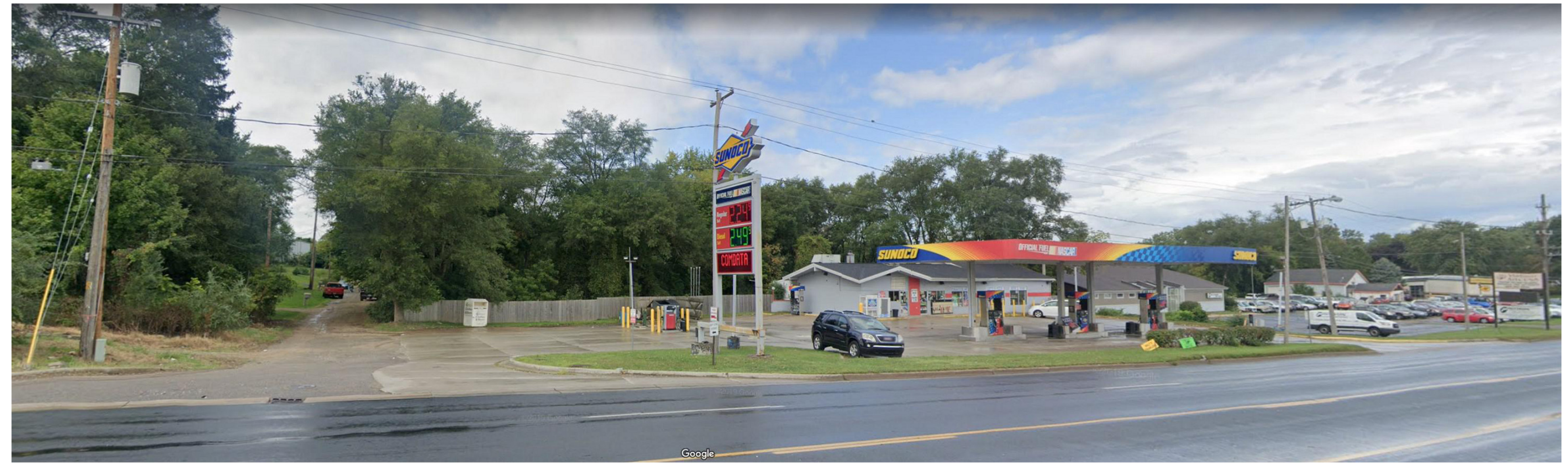
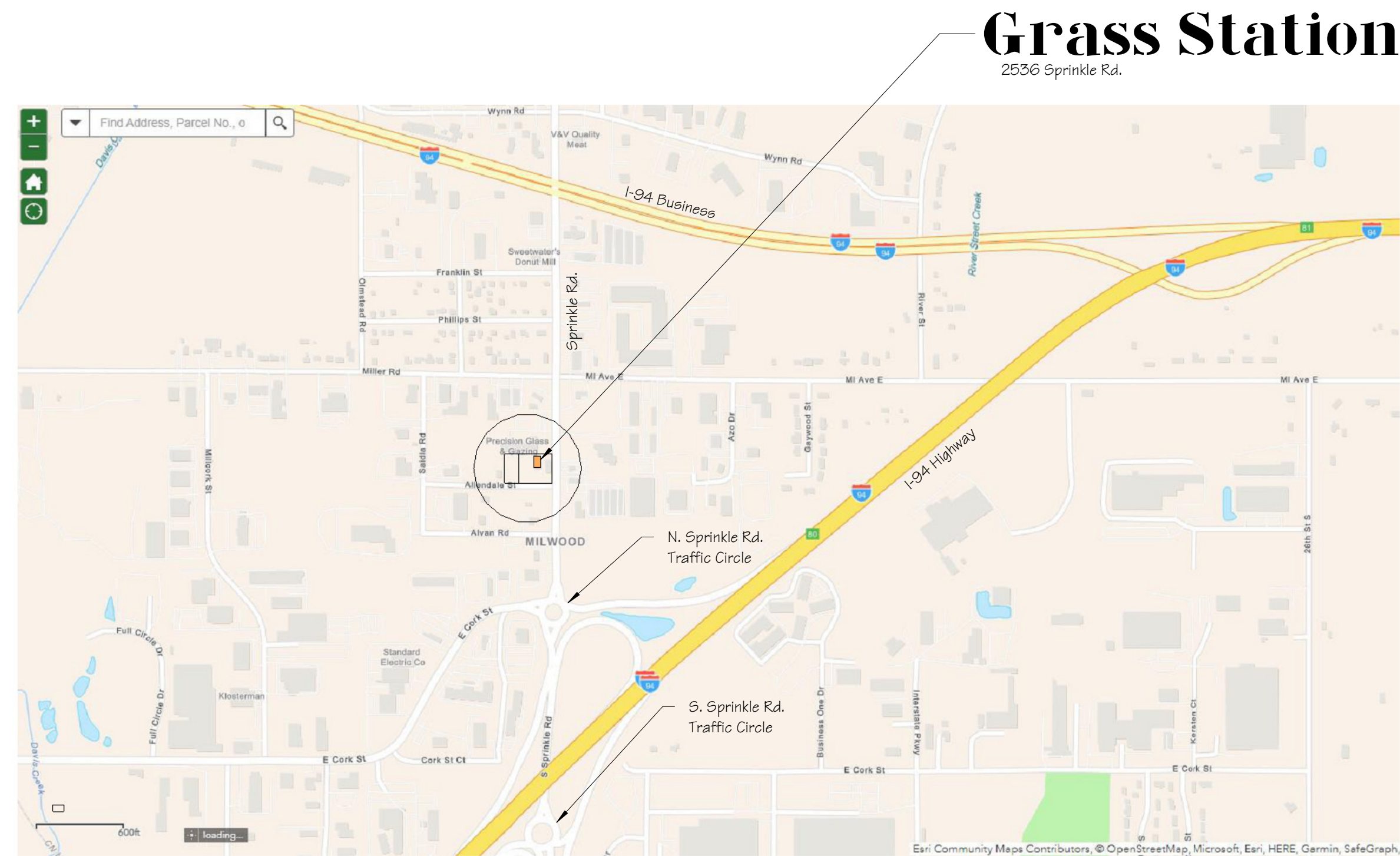


Full Site Plan
 Received: 06/09/2023
 City of Kalamazoo



5 Existing Site, Before Renovation
 Refer to Architectural Plans for proposed "New Renovation Appearance"



4 Area Relationship Map
 SCALE: 1" = 60' - 0" Graphic Scale

Drawing Index:

- A-01 Index, Area Relationship Map, Existing Building
- A-02 Site Plan
- A-02a ALTA Survey
- A-02c Exterior Concrete Sitework
- A-02L Landscape Plan
- A-03 First Floor Plan
- A-04 Roof Plan
- A-05 Cross Sections
- A-06 West & North Elevations
- A-07 East & South Exterior Elevations
- A-08 Architectural Notes & Specifications

The Grass Station

2536 South Sprinkle Road, Kalamazoo, Michigan 49009

Architectural Symbols		
<p>Site Plan</p> <ul style="list-style-type: none"> BM-1 Bench Mark Number (Elevation in Feet) TB-1 Test Boring Number MH Manhole CB Catch Basin Light Pole Fire Hydrant Power or Telephone Pole Curb Inlet Existing Tree to be Removed Existing Tree to Remain New Topo Contour Line Existing Topo Contour Water Line Electric Line F.O. Fuel Oil Line SS Storm Sewer FD Foundation Drain Tile Contract Limit Line Property Line Fence Sanitary Sewer RD Roof Drain Tile Loop G Gas Line T Telephone Line 	<p>Reference Symbols</p> <ul style="list-style-type: none"> North Arrow Designation Plan Views Detail Designation Plan Views & Detail Views Elevation Designation Plan Views Footing Designation Plan Views Step Footing Designation Plan Views Spot Elevation Designation Plan Views Vertical Elevation Designation Plan, Section, Elevation Views Room Number Designation Plan Views Door Number Designation Plan Views Cross Section Designation Plan Views Design Revision Designation Plan, Section, Elevation Views Equipment Number Designation Plan, Section, Elevation Views Column Number Designation Plan Views & Detail Views Lintel Number Designation Plan Views & Detail Views 	<p>Material Indications</p> <ul style="list-style-type: none"> Concrete wall, plan view Brick veneer on stud wall, plan view Rigid insulation, cross section Dimensional Lumber, sized, cross section-continuous member Dimensional Lumber, sized, cross section, intermittent Plywood, cross section Earth, cross section Existing construction to be removed, (wall plan view) Existing construction to remain, (wall plan view) Fire rated wall plan view construction; see notes. Concrete block wall Batts insulation, cross section view Wood stud wall, plan view Steel, cross section Gravel, cross section Shank, cross section Stucco plaster finish, cross section, over concrete block wall Wood flooring, plan view Brick paving, basket weave pattern plan view Tile flooring, plan view Stone paving, plan view Center line, plan view Ceiling core trim, plan view Roof overhang line, plan view Hidden line, all views

Architectural Workshop, Inc.
 Richard Schramm, Architect
 7540 Stadium Drive
 Kalamazoo, MI 49009
 Phone: 269.375.2472
 Fax: 269.372.7272
 www.ArchWorks-us

Index and Rendering
The Grass Station
 2536 South Sprinkle Road, Kalamazoo, Michigan

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Architect's Seal
 NOTE: Official drawings prepared by the Architect bear his embossed seal below.

Date: 04/28/2023
 Revised:
 Drawn by: R.A.S.
 Project: 0994.101
 Sheet Number
A-01

2 Site Data Notes

SCALE: 1/4" = 1'-0"

Business Name: The Grass Station,
2536 S. Sprinkle Rd., Kalamazoo, MI

Applicant: Adam Tucker

Property Owner: 2536 S Sprinkle Rd., LLC

Architect: Richard Schramm, ALA, Architectural Workshop, Inc.
7540 Stadium Drive, Kalamazoo, MI 49009
269/375-2472 richard@archworks.us

Legal Description: **PARCEL #1:** (2536 S Sprinkle Road)
PIN = 06-25-439-001.
DESCRIPTION: G25-33 SEC 25-2-11 BEG AT A PT IN E LI SEC 25 544.5FT S OF E 1/4 POST SD SEC TH S ALG E LI SD SEC 229.13FT TH W PAR TO E/W 1/4 LI SD SEC 255.76FT TH N PAR TO E LI SD SEC 226.61FT TH E 255.76FT TO PL OF BEG, EXC E 33FT & EXC S 25FT THEREOF FOR HWY PURPOSES, 1.04A

PARCEL #2: (3811 Allendale Street)
PIN = 06-25-439-002
DESCRIPTION: G25-33-1C SEC 25-2-11 BEG AT A PT 544.5 FT S & 255.76FT W OF E 1/4 POST SEC 25 TH W PAR TO E & W 1/4 LI SD SEC 111.37FT TH S PAR TO E LI SD SEC 225.49 FT TO A PT 554.07FT N OF S LI NE 1/4 SE 1/4 6D SEC TH E PAR TO SD S LI 111.37 FT TH N 226.61FT TO BEG RES S 25FT FOR HWY

Lot Areas: 1.04 acres 2536 S Sprinkle Road
0.58 acres 3811 Allendale Street
1.62 acres Total Site, both lots

Parcel ID No: PIN = 06-25-439-001, (2536 S Sprinkle Road)
PIN = 06-25-439-002, (3811 Allendale Street)
(Parcels to be combined for this submission)

Site Zoning: "CC" "Community Commercial" zoning district

Existing Use: "Vacant Gasoline Service Station"

Zoning Use: "Retail Services", Marijuana Establishment" (proposed)

Building Code Use Group: "M", Mercantile, Drug Stores (proposed)

Building Area: 77'-9" x 41'-6" = 3,227 sq.ft.

On Site Parking: Retail/Services required, 1 car/330 sq.ft. of building
3,227 sq.ft. / 330 per car = 9.7, 10.0 cars required

On Site Parking: 28 Cars total, 10'-0" x 20'-0" spaces, including 2 A.D.A. spaces

Site Utilities: Existing water service shall remain with interior upgrades.
Existing sewer service shall remain with interior upgrades.
Existing overhead electrical service shall remain with interior upgrades.
Existing telephone service shall remain with interior upgrades.

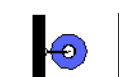


5 Site Plan Notes

SCALE: 1/4" = 1'-0"

- A. Planning/Zoning/NFP**
- The Parking Table has been updated.
 - The Parcels will remain combined.
 - The Landscaping Plan included with submission.
 - The Site Lighting indicated on Site Plan.
 - The existing Building Setback dimensions are shown on the Site Plan.
 - The existing impervious coverage of concrete paving is shown and unchanged.
- B. Building**
- The existing building size is unchanged.
- C. Fire Marshal**
- The existing building shall receive minor interior revisions.
 - The Site Plan indicates new painting of interior and exterior finishes.
- D. Environmental**
- The "Material Safety Data Sheet Manual" includes Chemical Storage Inventory
 - The "Baseline Environmental Assessment" includes environmental reports.
 - The "Airta Survey" includes tank removal areas & monitoring well network locations.
- E. Stormwater**
- The Engineer is providing the separate pre and post development runoff calculations.
 - The roof & site paving are unchanged, the original runoff are unchanged.
 - No roof or gutter work is proposed.
 - The existing sanitary sewer connection will remain unchanged.
 - The underground gasoline tanks have been removed.
- F. Traffic**
- The main service drive is two-way traffic shown on the site plan with perpendicular parking spaces.
 - The "ONE-WAY" driver pick up/delivery services is shown on the Site Plan. It is marked with "ONE-WAY", "ARROW SIGNS" & "DO NOT ENTER" signs.
 - "STOP" signs are noted for the entrance to Sprinkle Road.
 - "STOP" signs are noted for the entrance to Sprinkle Road.
 - Sidewalks are provided on the east & west sides of the building.
 - A Sidewalk is shown servicing the south central parking area.

5 Site Lighting Notes

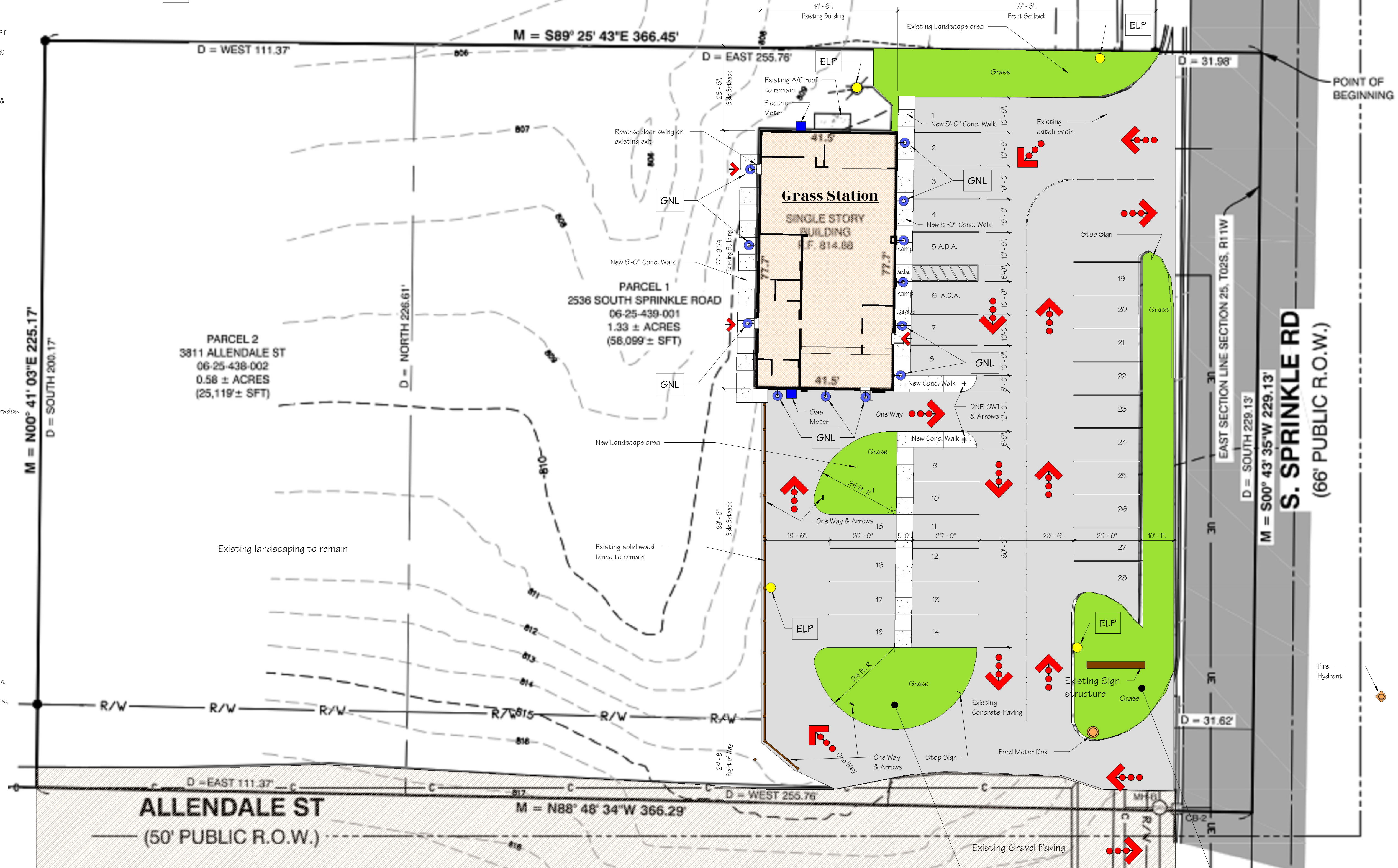
SCALE: 1/16" = 1'-0"

-  GNL New wall mount goose neck light fixture
-  ELP Existing light pole with new fixtures
-  NLP New light pole with new fixtures

4 Traffic Signs

SCALE: 1/16" = 1'-0"

-  Sign No.: OWLA
One Way Left Arrow
-  Sign No.: OWRA
One Way Right Arrow
-  Sign No.: S-S
Stop Sign
-  Sign No.: DNE-OWT
Do Not Enter, One Way Traffic



1 Site Plan

SCALE: 1/16" = 1'-0"

Architect's Seal
NOTE: Official drawings prepared by the Architect bear his embossed seal below.

Date: 04/28/2023
Revised:
Drawn by: R.A.S.
Project: 0994.101

Sheet Number
A-02

Architectural Workshop, Inc.
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www.ArchWorks.us

Site Plan
The Grass Station
2536 South Sprinkle Road, Kalamazoo, Michigan

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LEGEND

- FOUND CAPPED IRON
- EXISTING STREET SIGN
- CONIFEROUS TREE
- DECIDUOUS TREE
- EXISTING FIRE HYDRANT
- UTILITY POLE
- MAILBOX
- SANITARY MANHOLE
- STORM MANHOLE
- LIGHT POLE
- MONITORING WELL
- UNKNOWN MANHOLE
- BOLLARD
- SET X

- WATERMAIN
- ELECTRIC LINE
- SANITARY SEWER LINE
- STORM SEWER LINE
- CABLE LINE
- TELEPHONE LINE

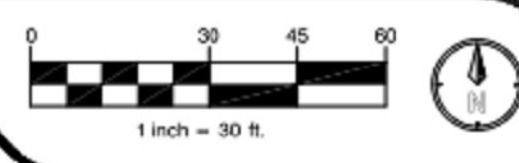
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT AND SIDEWALK

SITE INFORMATION
PER CITY OF KALAMAZOO ZONING ORDINANCE

PARCEL I.D. NUMBER: 06-25-439-001
SITE ZONING: CC COMMERCIAL, COMMUNITY DISTRICT

BUILDING REQUIREMENTS: MAXIMUM HEIGHT = 65'
FRONT SETBACK = -
SIDE SETBACK = -
REAR SETBACK = -

SITE AREA: 1.044 ± ACRES (45,478 ± SFT)



AS PROVIDED PARCEL DESCRIPTION

MAIN STREET TITLE AGENCY LLC, FILE NO MSP149734 REV NO. 3-20-2022

THE LAND REFERRED TO IN THIS COMMITMENT IS DESCRIBED AS FOLLOWS:

PARCEL 1: BEGINNING AT A POINT IN THE EAST LINE OF SECTION 25, TOWN 2 SOUTH, RANGE 11 WEST, 544.5 FEET SOUTH OF THE EAST 1/4 POST OF SAID SECTION AND RUNNING THENCE SOUTH ALONG THE EAST LINE OF SAID SECTION, 229.13 FEET; THENCE WEST, PARALLEL TO THE EAST AND WEST 1/4 LINE OF SAID SECTION, 255.76 FEET; THENCE NORTH, PARALLEL TO THE EAST LINE OF SAID SECTION, 226.61 FEET; THENCE EAST 255.76 FEET TO THE PLACE OF BEGINNING.

PARCEL 2: COMMENCING AT A POINT 544.5 FEET SOUTH AND 255.76 FEET WEST OF THE EAST 1/4 POST OF SECTION 25, TOWN 2 SOUTH, RANGE 11 WEST, THENCE WEST PARALLEL TO THE EAST AND WEST 1/4 LINE OF SAID SECTION, 111.37 FEET; THENCE SOUTH PARALLEL TO THE EAST LINE OF SAID SECTION, 225.49 FEET; TO A POINT 544.07 FEET NORTH OF THE SOUTH LINE OF THE NORTHEAST 1/4 OF SAID SECTION; THENCE EAST PARALLEL TO SAID SECTION LINE, 111.37 FEET; THENCE NORTH 226.60 FEET TO THE PLACE OF BEGINNING.

SURVEY PREPARED BY:

MICHIGAN | INDIANA | ILLINOIS | OHIO
269.250.5961 PHONE | 866.568.0804 FAX
www.ar-engineering.com

DRAWN: BCD
CHECKED: DT

SANITARY SEWER STRUCTURE INFORMATION

MH-A, 4' CONC. STRUCTURE
RIM = 811.00
INV ENE = 6' PVC (INV. = 802.55)
INV S = 6' PVC (INV. = 802.75)
INV WSW = 6' PVC (INV. = 803.18)

MH-B, CANNOT OPEN
RIM = 818.30
INV N =
INV S =
INV E =

STORM SEWER STRUCTURE INFORMATION

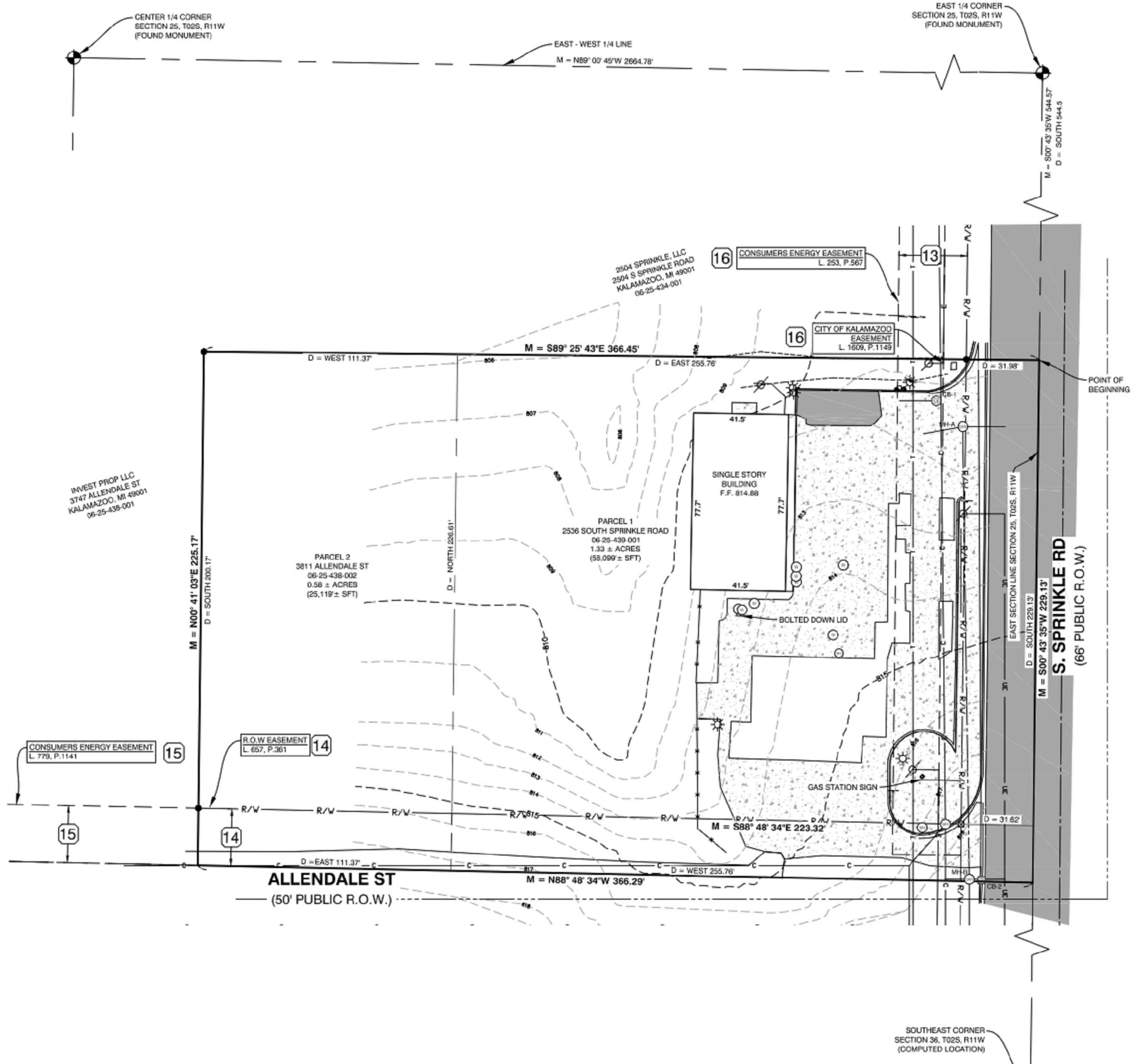
CB-1, 2' CONC. STRUCTURE
RIM = 810.02
INV W = 8' CONC (INV. = 808.27)

CB-2, 2' BLOCK STRUCTURE
RIM = 818.19
INV W = 8' CONC (INV. = 812.09)

UTILITY INFORMATION
PER MISS DIG TICKET 2022082602939

STATION CODE	AUTHORITY NAME	STATUS
ATTD	AT&T TELEPHONE	SHOWN
CHARCTV	CHARTER COMMUNICATIONS CABLE TV	DNR
CHARFBR	CHARTER COMMUNICATIONS FIBER OPTICS	DNR
COMTVACTV	COMCAST CABLE TV	SHOWN
COMTV4FBR	COMCAST FIBER OPTICS	SHOWN
CSTWPSANI	COMSTOCK CHARTER TOWNSHIP SANITARY SEWER	SHOWN
CEEDIS	CONSUMERS ENERGY ELECTRIC	SHOWN
CEGDIS	CONSUMERS ENERGY GAS	DNR
KZOOCYWTR	KALAMAZOO CITY DPS POTABLE WATER	SHOWN
KZOOCSANI	KALAMAZOO CITY DPS SANITARY SEWER	SHOWN
KZOOCYSTRM	KALAMAZOO CITY DPS STORM SEWER	SHOWN

*DNR - DID NOT RECEIVE



SCHEDULE B II EXCEPTIONS

MAIN STREET TITLE COMPANY, COMMITMENT NO. MSP149734 DATE: 03/20/2022

- RIGHT OF WAY IN FAVOR OF CONSUMERS POWER COMPANY (NOW KNOWN AS CONSUMERS ENERGY), AS RECORDED IN LIBER 253 ON PAGE 557, AS TO PARCEL 1.
- RIGHT OF WAY OVER THE SOUTH 25 FEET AS DISCLOSED IN WARRANTY DEED RECORDED IN LIBER 657 ON PAGE 361, AS TO PARCEL 2.
- EASEMENT IN FAVOR OF CONSUMERS POWER COMPANY (NOW KNOWN AS CONSUMERS ENERGY), AS RECORDED IN LIBER 779 ON PAGE 1141.
- EASEMENT TO CITY OF KALAMAZOO, AS RECORDED IN LIBER 1609 ON PAGE 1149, AS TO PARCEL 1.

SURVEYOR'S NOTES

- SUBJECT PROPERTY SHOWN HEREON IS THE PROPERTY DESCRIBED IN MAIN STREET TITLE AGENCY LLC, FILE NO. MSP149734 - DATED MAY 20, 2022. ALL PLOTTABLE B-II EXCEPTIONS LISTED IN TITLE COMMITMENT ARE SHOWN HEREON.
- SUBJECT PROPERTY IS LOCATED WITHIN ZONE "X" OF THE FEMA FLOODPLAIN PER FLOOD INSURANCE RATE MAP NO. 26077C02850 WITH AN EFFECTIVE DATE OF 2/17/2010.
- SUBJECT PROPERTY HAS PEDESTRIAN AND VEHICULAR ACCESS TO ALLENDALE ST, AND SOUTH SPRINKLE ROAD.
- NO CEMETERIES, GRAVE SITES, OR BURIAL GROUNDS WERE DISCLOSED IN THE RECORD DOCUMENTS OR OBSERVED ON THE SURVEYED PROPERTY AT THE TIME OF SURVEY.
- UTILITIES SHOWN HEREON HAVE BEEN LOCATED PER AVAILABLE EVIDENCE ON SITE, OR HAVE BEEN SHOWN PER AVAILABLE MAPS PROVIDED BY UTILITY OWNER AND ARE AN APPROXIMATE LOCATION. ADDITIONAL UTILITIES MAY EXIST BUT ARE UNKNOWN TO THE SURVEYOR.
- SURVEYOR IS NOT AWARE OF ANY CURRENT OR FUTURE RIGHT OF WAY CHANGES.
- EVIDENCE OF RECENT STREET, SIDEWALK, EARTHWORK, OR CONSTRUCTION WAS OBSERVED AT THE TIME OF SURVEY. GAS TANKS AND PUMPS HAVE BEEN REMOVED.
- NO WETLAND FLAGS WERE OBSERVED AT THE TIME OF SURVEY.
- NO ZONING REPORT WAS PROVIDED AT TIME OF SURVEY. SITE/ZONING INFORMATION WAS OBTAINED FROM CITY OF KALAMAZOO ZONING ORDINANCE AND IS SHOWN BELOW.
- NO PARKING SPACES WERE OBSERVED AT TIME OF SURVEY.
- THE NEAREST INTERSECTING STREET IS MILLER RD AND ALLENDALE ST.
- THIS SURVEY WAS PERFORMED ON THE GROUND AND ACCURATELY DEPICTS ANY AND ALL OBSERVABLE BUILDINGS, STRUCTURES AND SITE IMPROVEMENTS AND WAS MADE IN ACCORDANCE WITH LAWS AND/OR MINIMUM STANDARDS OF THE STATE OF MICHIGAN. NO VISIBLE ENCROACHMENTS TO THE SUBJECT PROPERTY OR ADJACENT LAND WERE OBSERVED AT TIME OF SURVEY UNLESS OTHERWISE SHOWN HEREON.
- THE VERTICAL RELIEF SHOW HEREON WAS PROVIDED BY THE CITY OF KALAMAZOO GIS DEPARTMENT, CONTOUR DATA.
- BEARING BASES: MICHIGAN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE.

ALTA / NPS LAND TITLE SURVEY

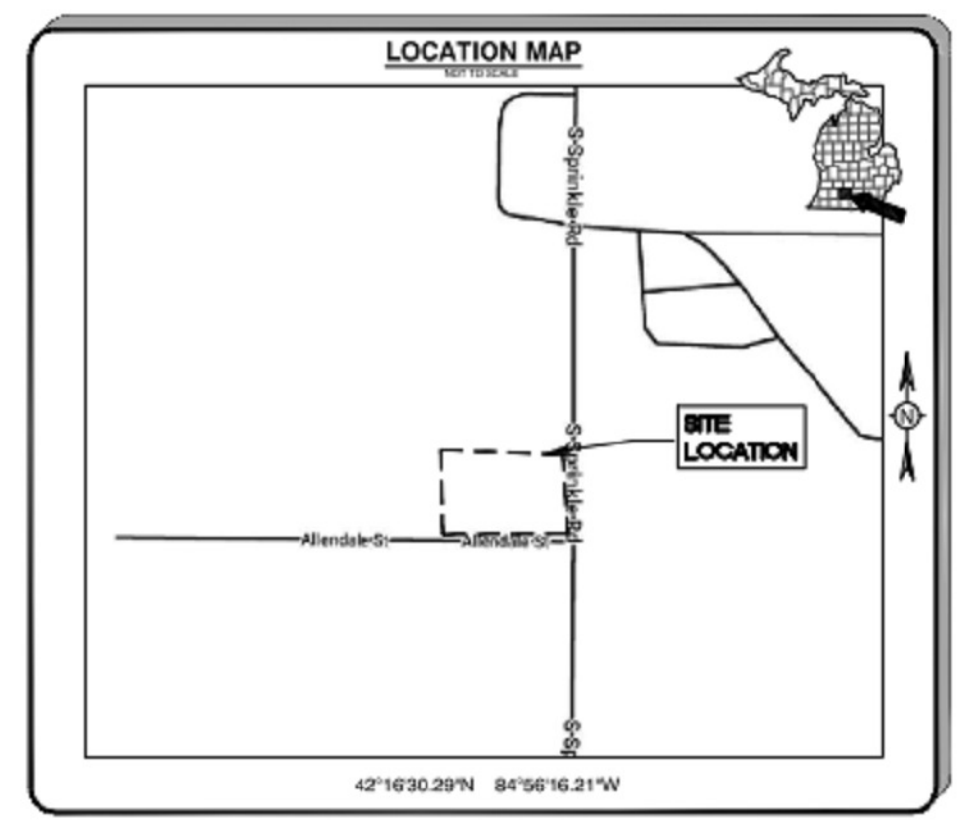
THE GRASS STATION
2536 S SPRINKLE RD, LLC
2536 SOUTH SPRINKLE RD
SECTION 25, T02S, R11W

SHEET TITLE:
PROJECT:
CLIENT:
SITE ADDRESS:
SITE SECTION:

JOB NUMBER
22118001

DATE
09/30/2022

SHEET NUMBER
S1.0



SURVEYOR'S CERTIFICATE

TO: 2536 S. SPRINKLE ROAD, LLC, MAIN STREET TITLE, C&H, LLC, A MICHIGAN LIMITED LIABILITY COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA / NPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 7(A), 7(B)(1), 8, 9, 11(a), 13, 16, 17, 18, OF TABLE A THEROF. THE FIELD WORK WAS COMPLETED ON JULY 12, 2022.

* DATE OF PLAT OR MAP: SEPTEMBER 09, 2022
AR ENGINEERING, LLC

DUSTIN RYAN THORNTON
PROFESSIONAL SURVEYOR
No. 400071085

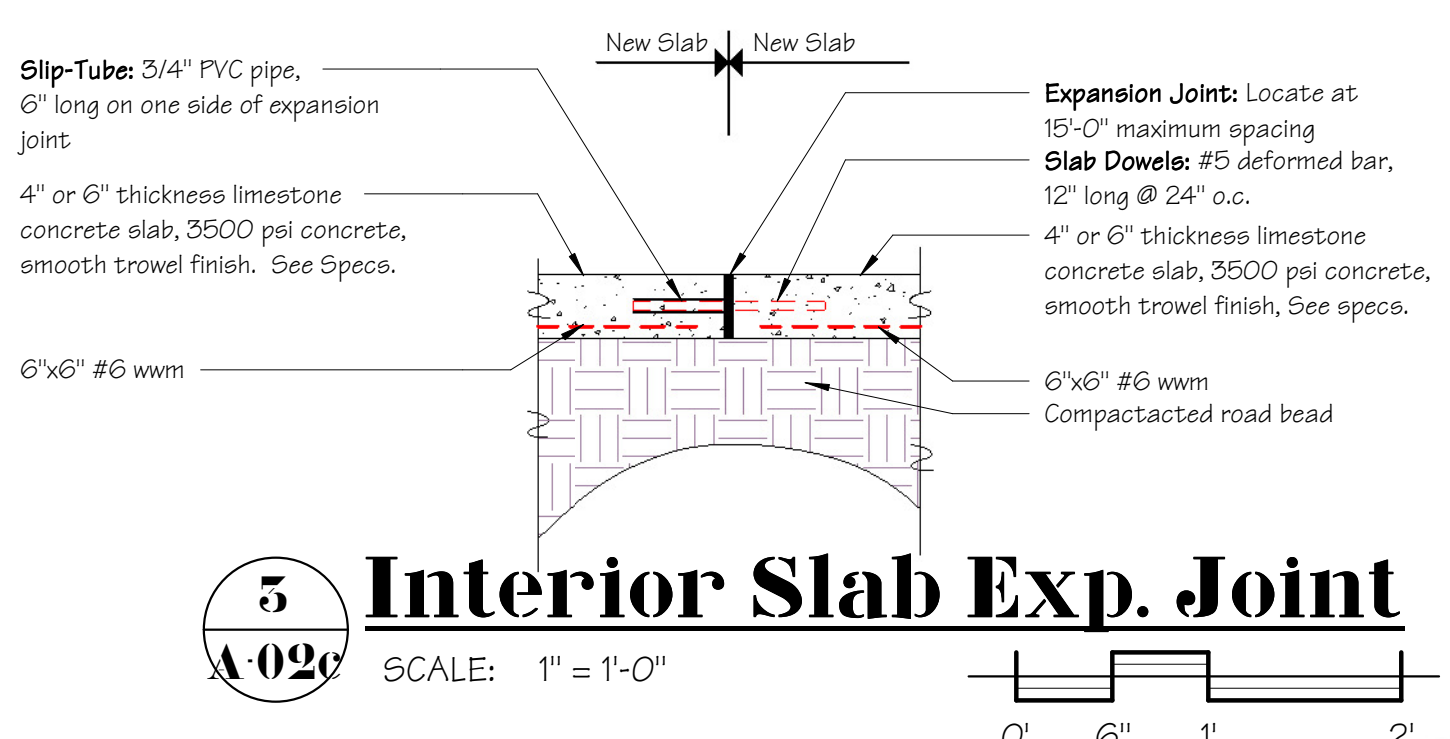
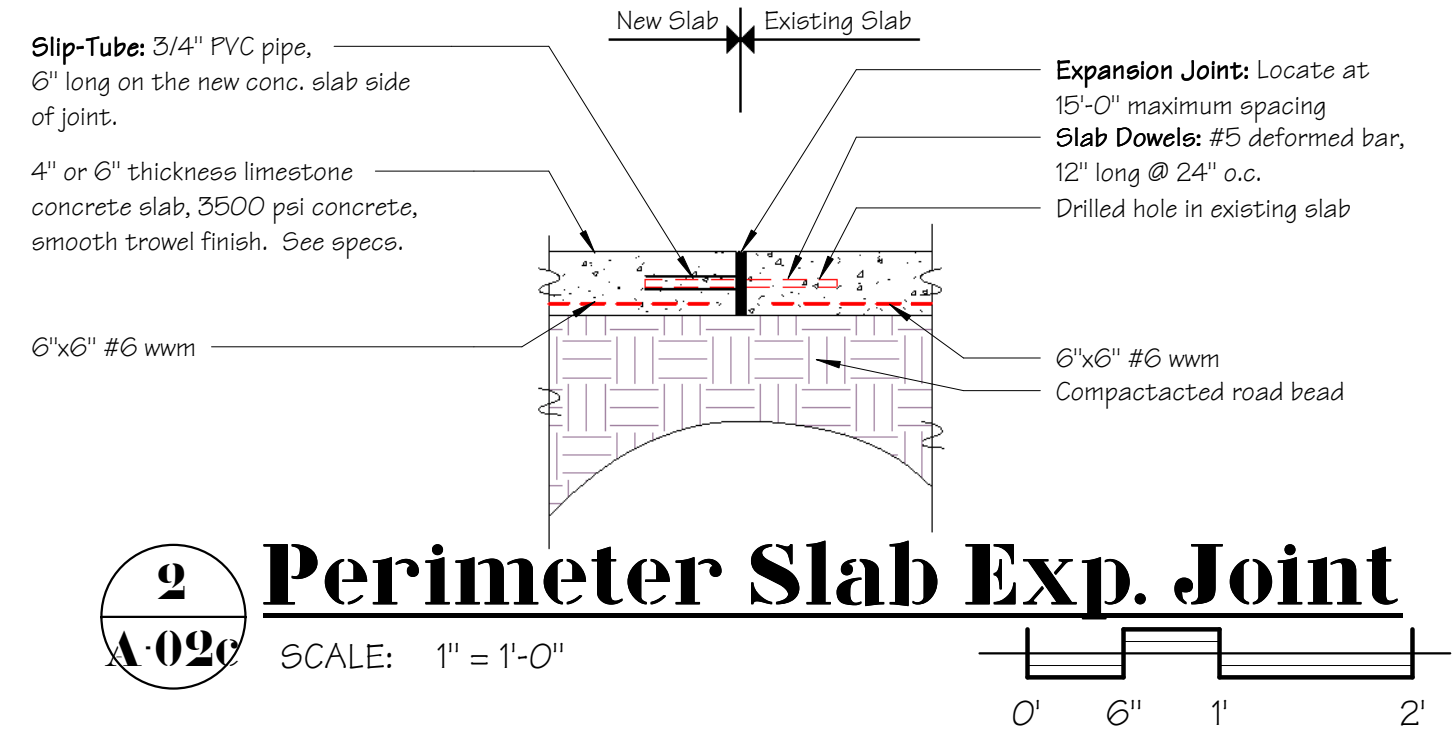
1 ALTA Survey, reduced
A-02a Do Not Scale Drawing, reduced size, use graphic scale

Architectural Workshop, Inc.
Richard Schramm, Architect
7540 Stadium Drive
Kalamazoo, MI 49009
Phone: 269.375.2472
FAX: 269.372.7272
www.ArchWorks-us

Alta Survey
The Grass Station
2536 South Sprinkle Road, Kalamazoo, Michigan

Date: 04/28/2023
Revised:
Drawn by: D.R.T.
Project: 0994.101
Sheet Number
A-02a

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2 Perimeter Slab Exp. Joint
SCALE: 1" = 1'-0"

5 Interior Slab Exp. Joint
SCALE: 1" = 1'-0"

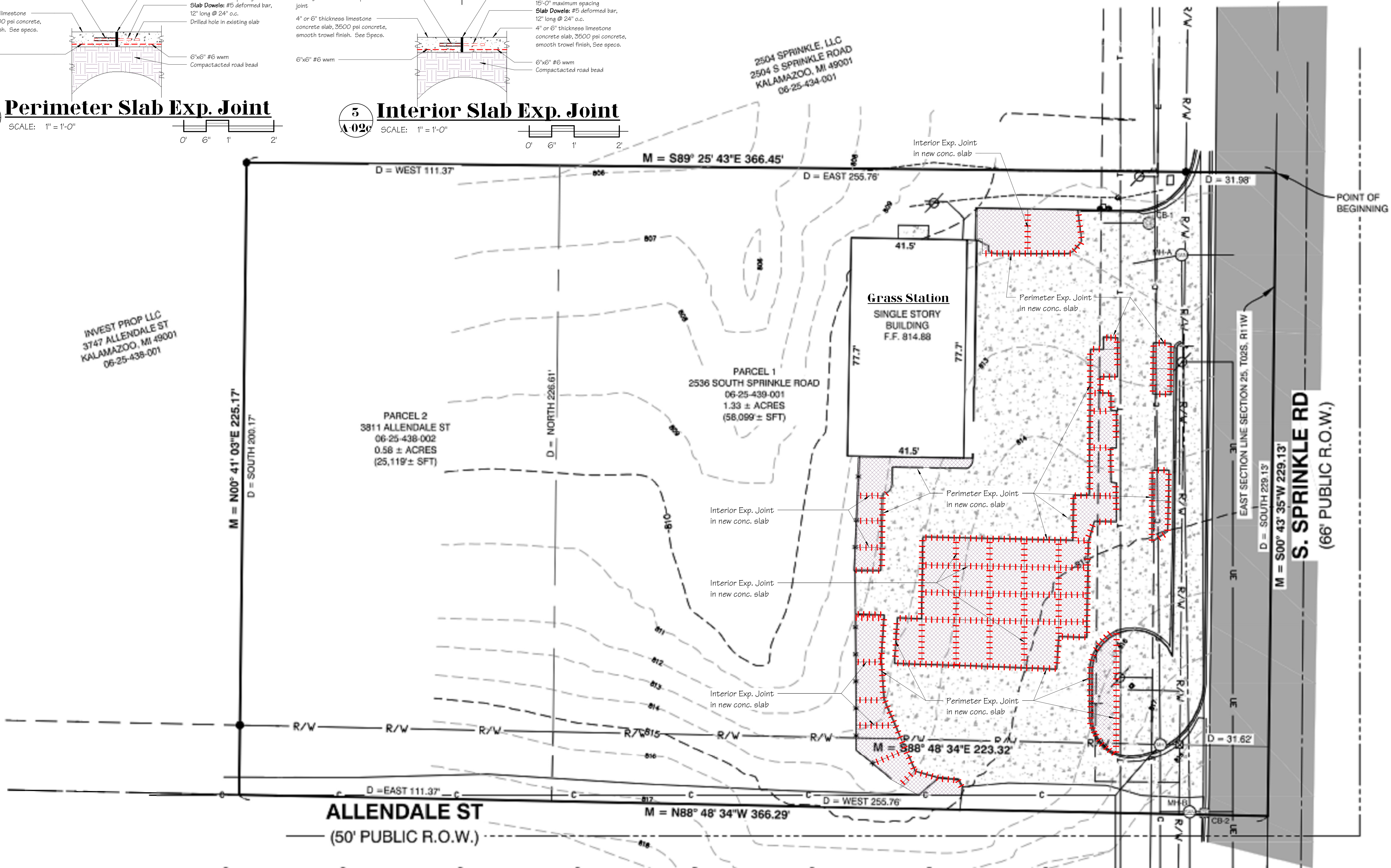
2504 SPRINKLE, LLC
2504 S SPRINKLE ROAD
KALAMAZOO, MI 49001
06-25-434-001

INVEST PROP LLC
3747 ALLENDALE ST
KALAMAZOO, MI 49001
06-25-438-001

PARCEL 2
3811 ALLENDALE ST
06-25-438-002
0.58 ± ACRES
(25,119 ± SFT)

PARCEL 1
2536 SOUTH SPRINKLE ROAD
06-25-439-001
1.33 ± ACRES
(58,099 ± SFT)

Grass Station
SINGLE STORY BUILDING
F.F. 814.88



1 Concrete Paving Plan
SCALE: 1/16" = 1'-0"

Paving Note:
1. The existing gasoline storage tanks, pumps, and piping have been removed.
2. The site is equipped with monitor wells within the property.

Architect's Seal
NOTE: Official drawings prepared by the Architect bear his embossed seal below.

Date: 04/28/2023
Revised:
Drawn by: R.A.S.
Project: 0994.101

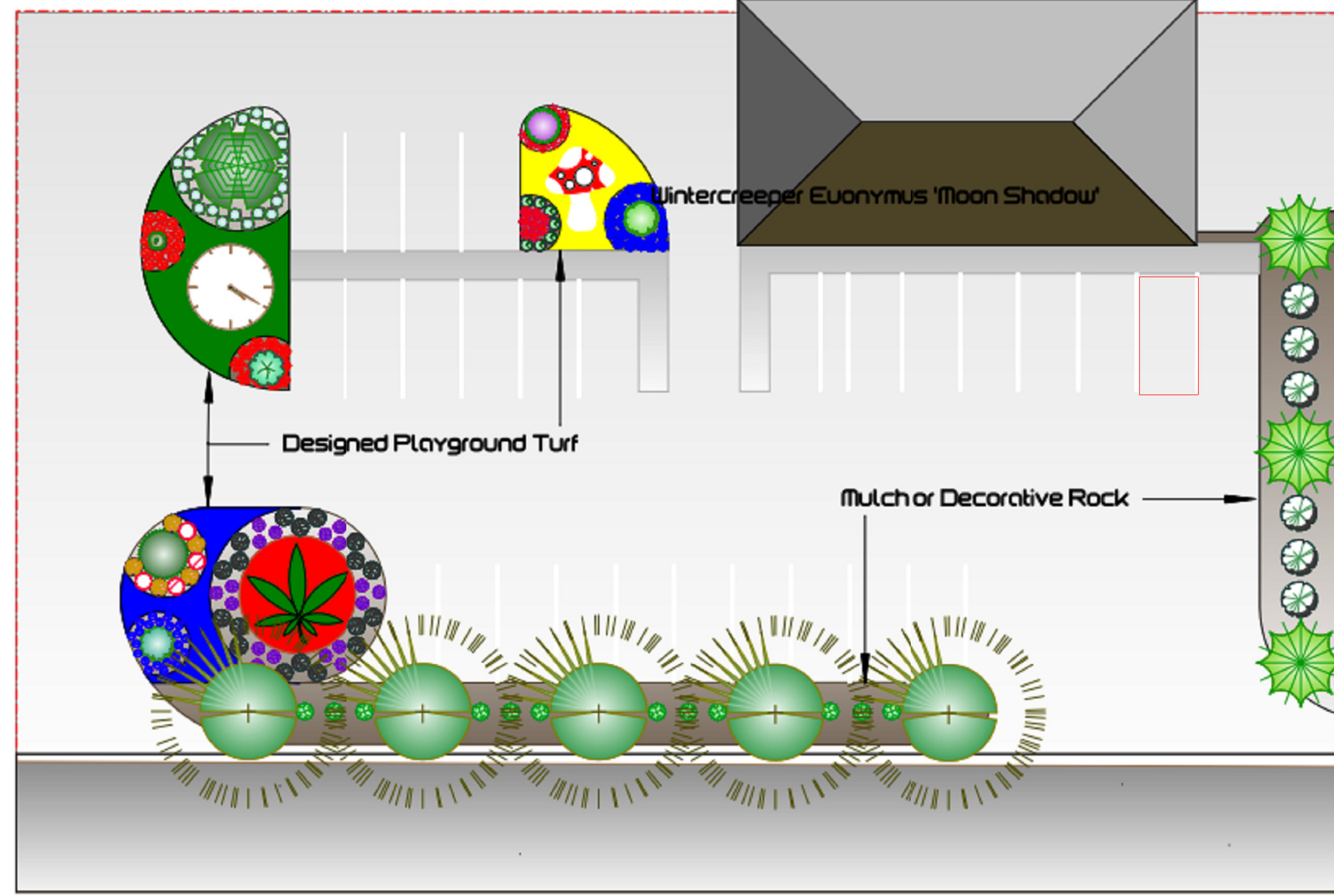
Sheet Number
A-02c

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Kalamazoo, MI 49009
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Exterior Concrete Sitework
The Grass Station
2536 South Sprinkle Road, Kalamazoo, Michigan

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Legend					
Qty	Common Name	Botanical Name	Height	Width	Size
Flower, Grass					
1	Grass, Pampas	Cortaderia selloana Pumila	6' (1.8 m)	6' (1.8 m)	Each
Flower, Perennial					
24	Blue Mirror Delphinium	Blue Mirror Delphinium	24" (60 cm)	2' (60 cm)	Each
8	Globemaster Allium	Aster dumosus	24" (60 cm)	1' (30 cm)	Each
8	Astilbe, Red	Astilbe arendsi	24" (60 cm)	2' (60 cm)	Each
4	Baby's-Breath	Gypsophila repens 'Rosed'	36" (90 cm)	3' (90 cm)	Each
12	Bleeding Heart	Dicentra 'Luxuriant'	18" (45 cm)	15" (38 cm)	Each
18	Chrysanthemum, Dance	Chrysanthemum 'Dance'	18" (45 cm)	24"	Each
7	Liriope, Evergreen Giant	Liriope m. 'Evergreen Giant'	18" (45 cm)	1' (30 cm)	Each
24	Silvermound	Artemisia schmidtiana	12" (30 cm)	1' (30 cm)	Each
22	Speedwell, Goodness Grows	Veronica 'Goodness Grows'	12" (30 cm)	1' (30 cm)	Each
Shrub, Deciduous					
18	Spirea, Bluebeard, Petit Blue	Caryopteris clandonensis 'MiniBleu'	24" (60 cm)	2' (60 cm)	Each
6	Spirea, First Snow	Spiraea x cinerea 'Grefsheim'	6' (1.8 m)	6'	Each
12	Spirea, Froebeli	Spiraea x bumalda 'Froebeli'	36" (90 cm)	3' (90 cm)	Each
5	Spirea, Goldmound, Neon Flash	Spiraea japonica 'Neon Flash'	48" (1.2 m)	3' (90 cm)	Each
Shrub, Evergreen					
34	Boxwood 'Green Gem'	Buxus 'Green Gem'	24" (60 cm)	2' (60 cm)	Each
1	Larx decidua, Pendula	Larch, Weeping European	10' (3 m)	6' (1.8 m)	Each
1	Boxwood, Faulkner	Buxus microphylla Faulkner	36" (90 cm)	3' (90 cm)	Each
1	Boxwood, Green Mtn. 3 Ball	Buxus Green Mountain	6' (1.8 m)	3' (90 cm)	Each
1	Boxwood, Green Mtn. Hindu Pan	microphylla var. koreana x B. sempervirens	6' (1.8 m)	4' (1.2 m)	Each
Tree, Deciduous					
3	Weeping Cherry Tree	Prunus subhirtella	20' (6 m)	10' (3 m)	Each
Tree, Evergreen					
1	Bonsai	Juniperus chinensis procumbens	15' (4.5 m)	10' (3 m)	Each
1	Cedar, Alaska, Weeping	Chamaecyparis nootkatensis	30' (9 m)	15' (4.5 m)	Each



1 Landscape Plan
 SCALE: 1/16" = 1'-0"
 0' 8' 16' 32'

RESIDENCE:

Cannamazoo - 2536 S. Sprinkle Rd., Kalamazoo, MI

SCALE: 1" = 16' **DESIGNER: Jim Robinson**

DESIGN #: 2316

DATE: 3-06-23 **(269) 312-0544**

STYLE: Funk

Landscape Plan

The Grass Station

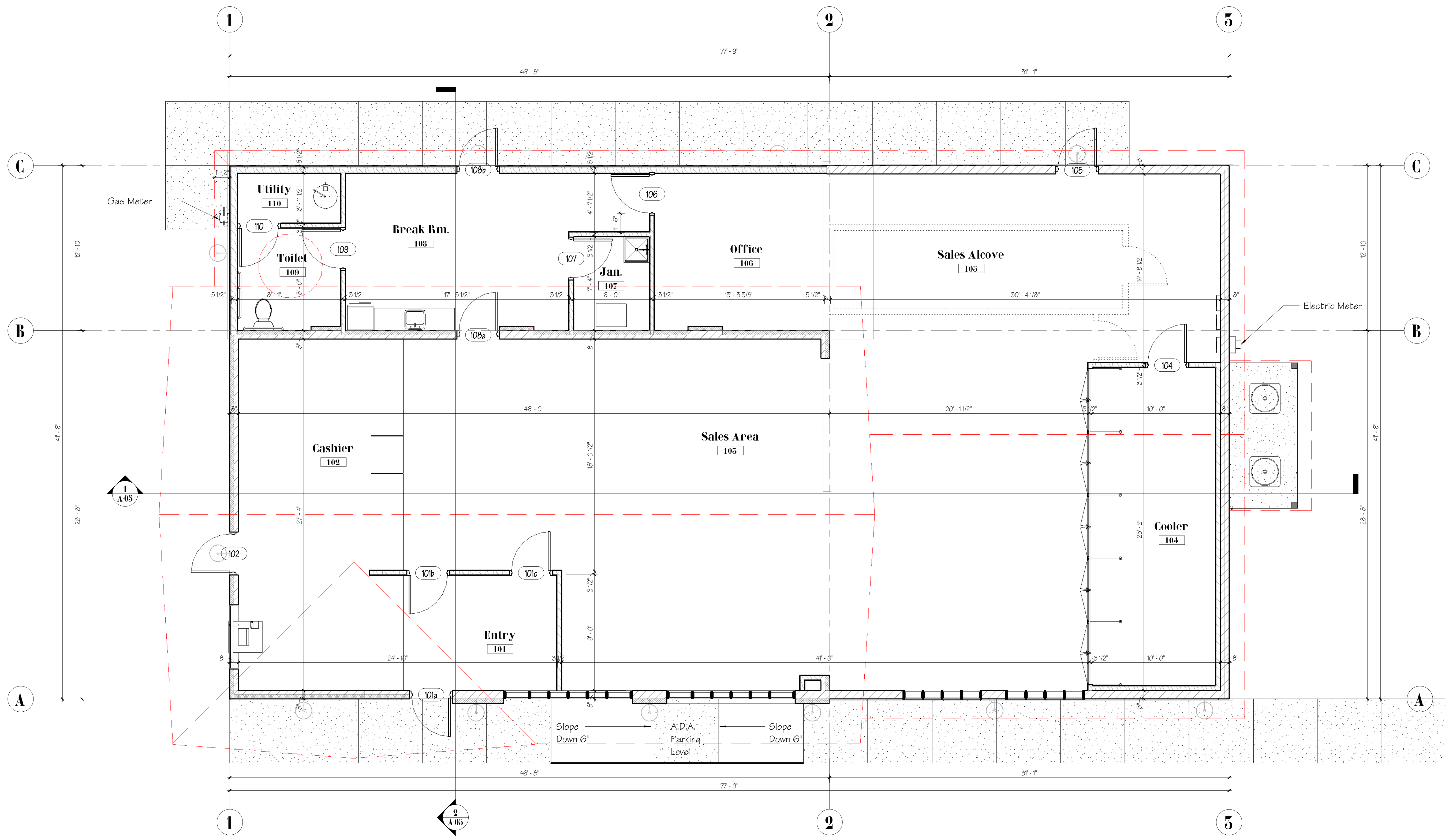
2536 South Sprinkle Road, Kalamazoo, Michigan

Kelly Plumbing Company
 15367 Flowerfield Road, Three Rivers, MI 49093
 Rob Kelly 269-744-6066 robplumberkelly@gmail.com

Date: 04/28/2023
 Revised:
 Drawn by: Author
 Project: 0994.101

Sheet Number
A-02L

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1
A-05 **First Floor Plan**
SCALE: 1/4" = 1'-0"
0' 2' 4' 8'

Architectural Workshop, Inc.
Richard Schramm, Architect
7540 Stadium Drive
Kalamazoo, MI 49009
www-ArchWorks-us
Phone: 269.375.2472
Fax: 269.372.7272

First Floor Plan
The Grass Station
2536 South Sprinkle Road, Kalamazoo, Michigan

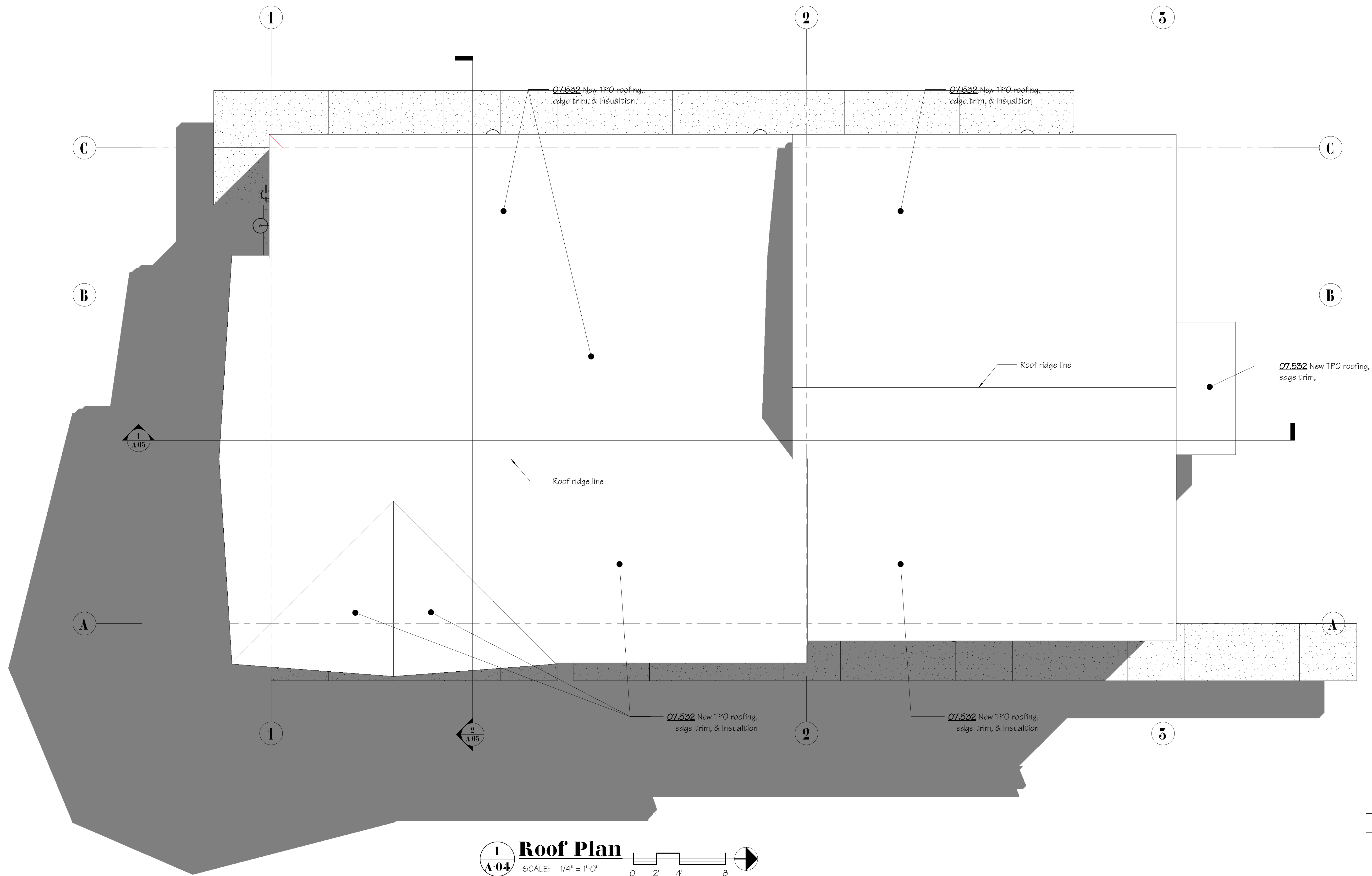
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Architect's Seal
NOTE: Official drawings prepared by the Architect bear his embossed seal below.

Date: 04/28/2023
Revised:
Drawn by: R.A.S.
Project: 0994.101

Sheet Number
A-05

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1
A-04 **Roof Plan**
SCALE: 1/4" = 1'-0"
0' 2' 4' 8'

Architect's Seal
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Date: 04/28/2023
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Project: 0994.101

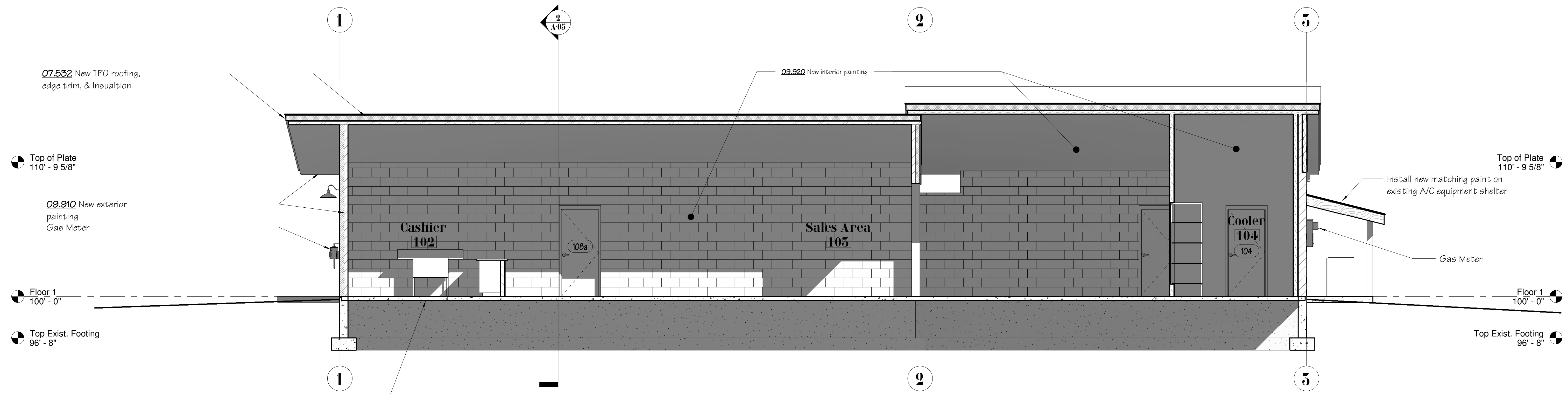
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A-04

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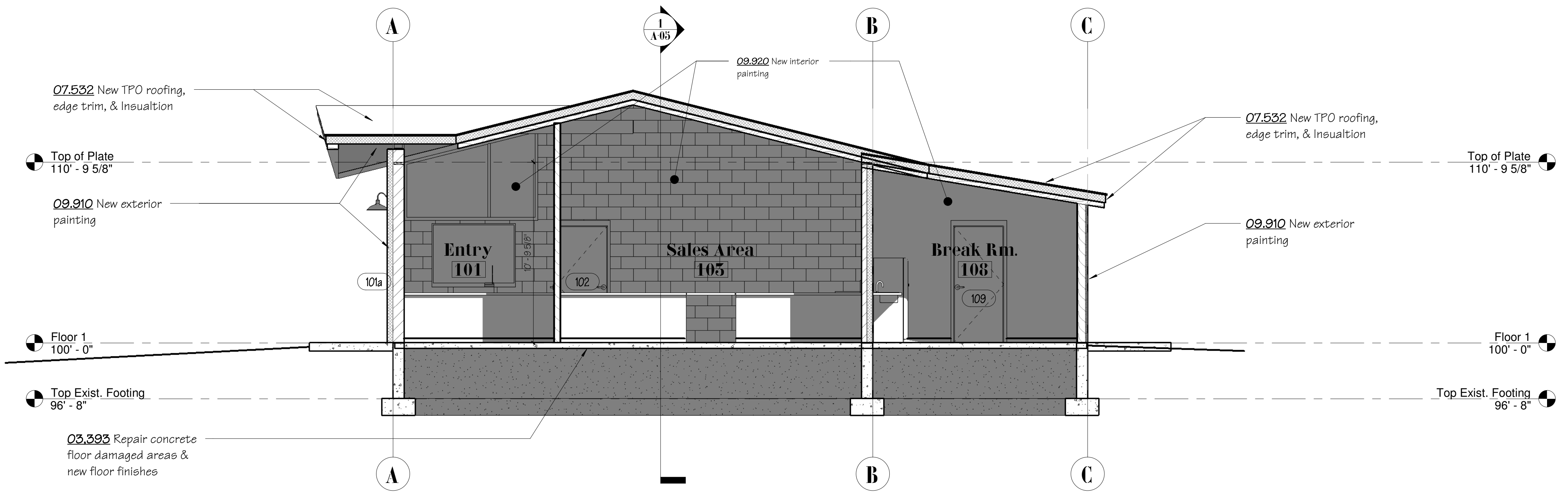
Roof Plan
The Grass Station
2536 South Sprinkle Road, Kalamazoo, Michigan

Architectural Workshop, Inc.
Richard Schramm, Architect
7540 Stadium Drive
Kalamazoo, MI 49009
www-ArchWorks-us
Phone: 269.375.2472
Fax: 269.372.7272

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1
A-05 Longitudinal Section
SCALE: 1/4" = 1'-0"



2
A-05 Cross Section
SCALE: 1/4" = 1'-0"

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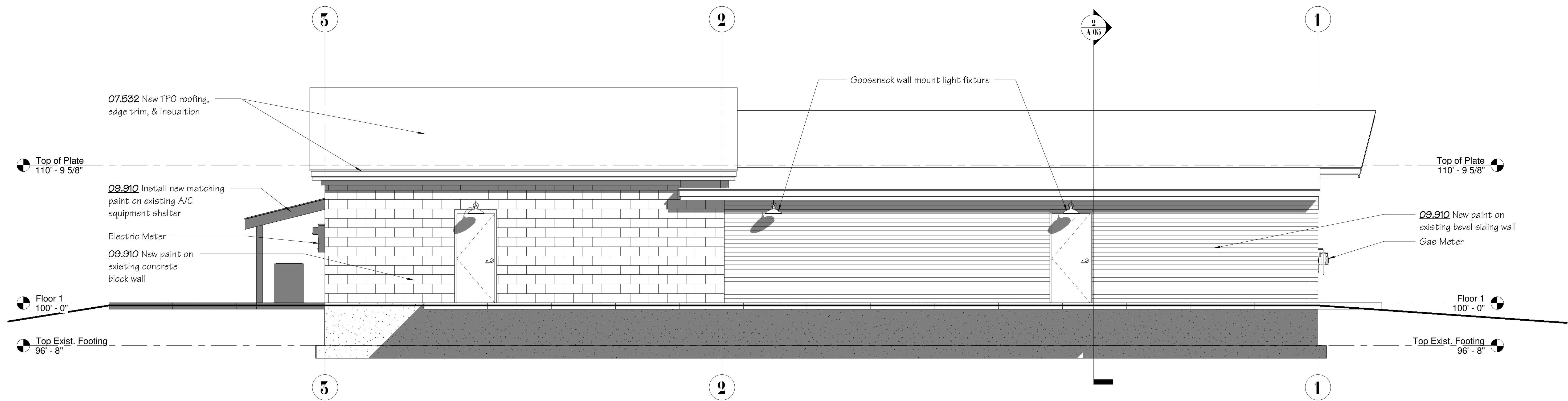
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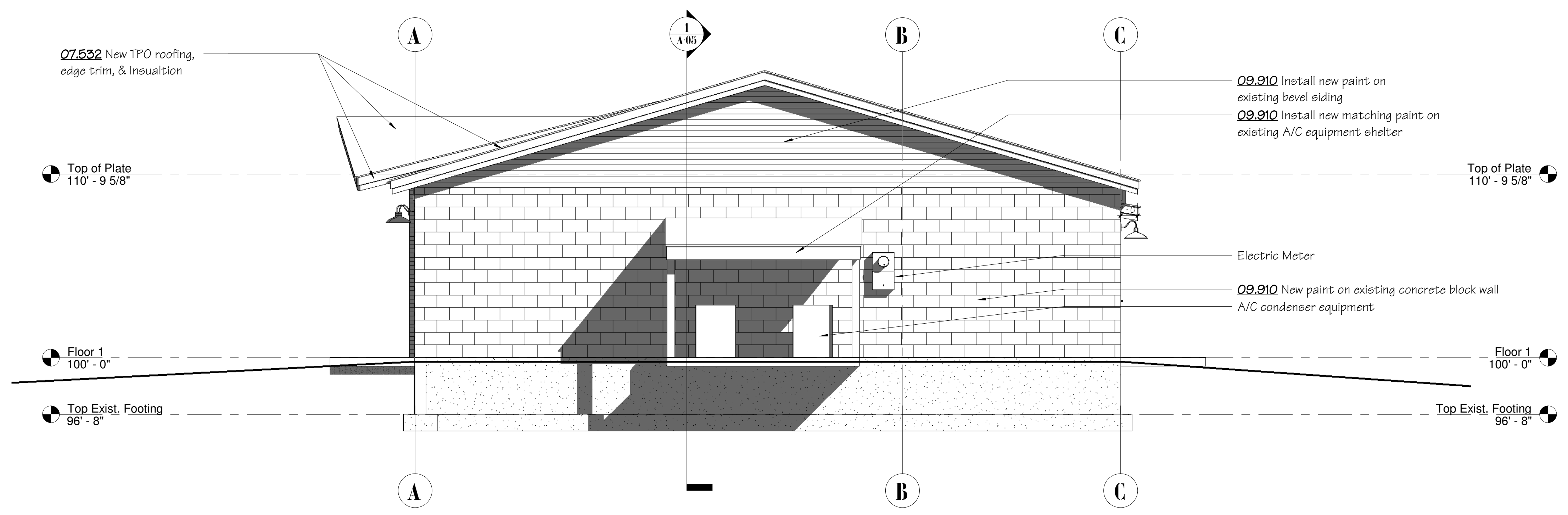
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Project: 0994.101

Sheet Number
A-05

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1 West Elevation
 SCALE: 1/4" = 1'-0"
 0' 2' 4' 8'



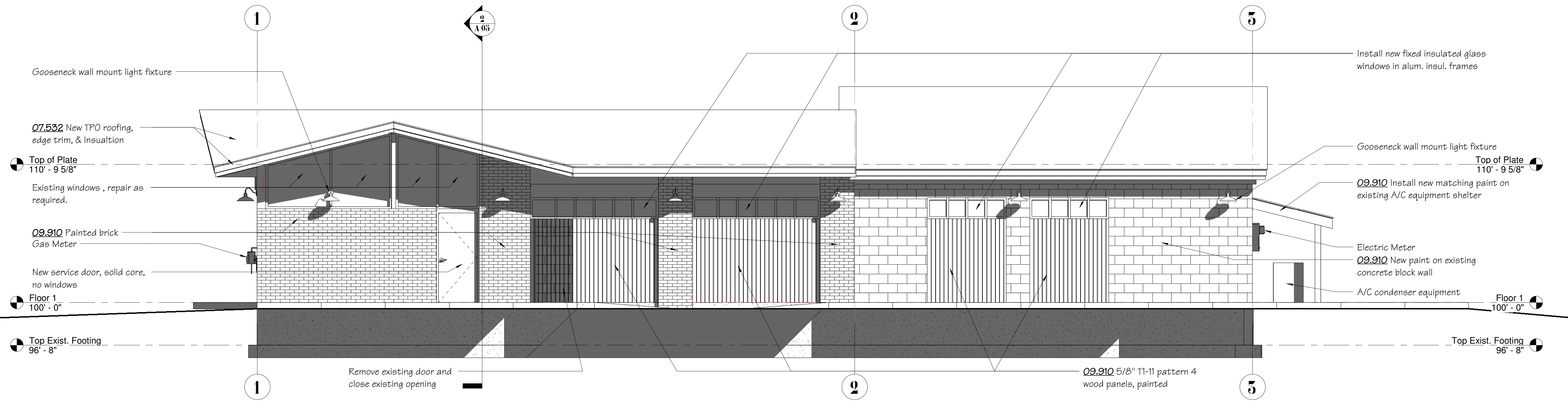
2 North Elevation
 SCALE: 1/4" = 1'-0"
 0' 2' 4' 8'

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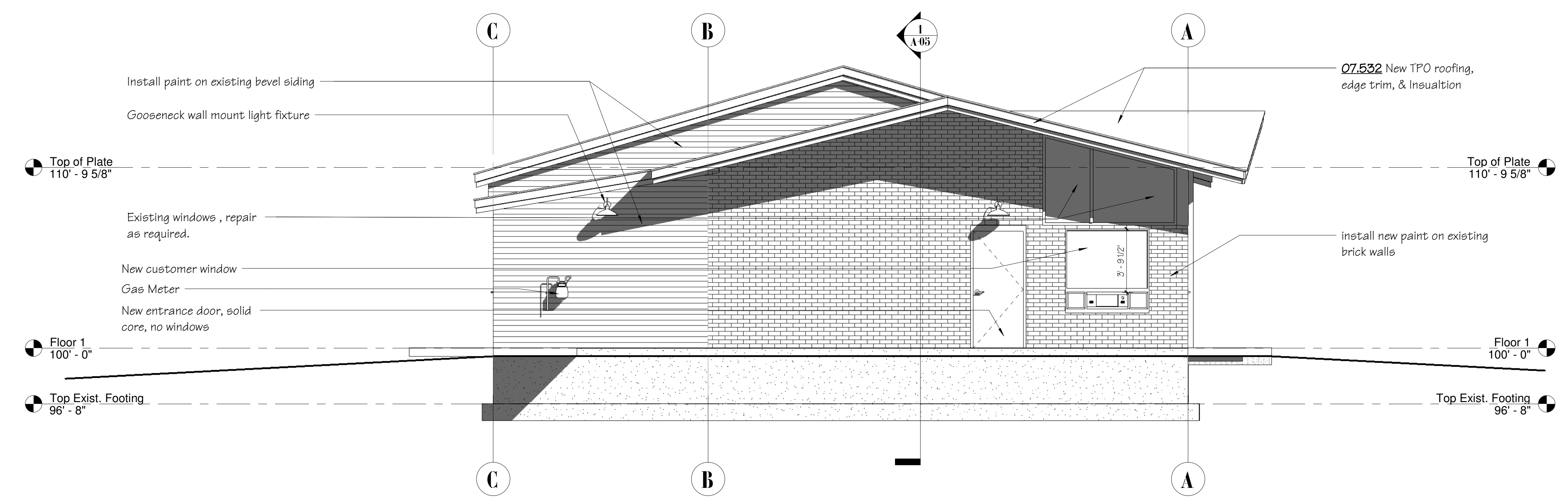
W. & N. Exterior Elevations
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Sheet Number	
A-06	

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1 East Elevation
 SCALE: 1/4" = 1'-0"
 0' 2' 4' 8'



2 South Elevation
 SCALE: 1/4" = 1'-0"
 0' 2' 4' 8'

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Sheet Number
A-07

03.302 NEW INTERIOR 6" CONCRETE SLAB: (Trowel Finished and Polished)

The existing interior concrete slab on the East portion of the building shall be completely removed, see plan notes for location.

Soil Test Report Required: The Contractor shall have a Soil Engineer test the existing soil conditions, provide a written report with design recommendations and preparations necessary prior to installation of the new 6" concrete slab. It may be necessary to install a subsurface drain tile, sump, and sump pump. The new 6" interior concrete floor slabs shall be installed as indicated on the drawings and as required by code.

Grading and Compaction: Establish grades for the concrete slab thickness as specified and compact all soils as required in the Soil Test Report.

Waterproof Membrane: After final grading, install 6 mil thickness moisture barrier commonly known as "Visqueen", single sheet for each room, lap 24" as may be required. The moisture barrier shall be a manufactured by Polar Plastics of Rochester, Inc., 13 Crest Road, East Rochester, NY 14445, 585/385.346, www.PolarPlastics.net.

Concrete: The new 6" interior concrete floor slabs shall be installed as indicated on the drawings consistent with the Soil Test Report, and as required by code. 3,500 p.s.i. compressive strength, minimum with crushed limestone aggregate.

Expansion/Control Joints: Tooled control joints shall be provided consistent with the Soil Test Reports and as indicated on the plans. If not indicated, expansion joints provided at a minimum of 20'-0" on center.

Welded Wire Mesh: Welded wire mesh shall 6" x 6" #6 ga. size.

Termite Protection: All termite protection shall be installed prior to pouring concrete.

Protection of Building: The Contractor shall protect all existing building surfaces.

Concrete Finish: The concrete shall be installed, secreted, and steel trowel finished. During the polishing process an internal Impregnating sealer shall be applied. The steel trowel finish then be polished to a smooth finish. After the broom finish has been completed apply "H&C Endurapolish" clear liquid hardener & densifier, an amorphous colloidal silica solution designed to both harden and densify concrete. Install as recommended by H & C Concrete, 101 W. Prospect Ave., Cleveland, Ohio 44115, 800-867-8246, hc-concrete@sherwin.com.

03.303 REPAIR EXISTING INTERIOR CONCRETE SLABS: (Trowel Finished and Polished)

Repairs & Restoration Existing Floor: The existing interior concrete floor slabs shall be repaired where required, steel trowel finished and prepped for polishing the complete interior slabs.

Protection of Building: The Contractor shall protect all existing building surfaces.

Concrete Finish: The complete existing concrete areas shall be polished to a smooth finish. After the broom finish has been completed apply "H&C Endurapolish" clear liquid hardener & densifier, an amorphous colloidal silica solution designed to both harden and densify concrete. Install as recommended by H & C Concrete, 101 W. Prospect Ave., Cleveland, Ohio 44115, 800-867-8246, hc-concrete@sherwin.com.

03.304 NEW EXTERIOR 6" CONCRETE SLAB: (Broom Finish)

The exterior concrete slabs on the North and West portion of the building shall be installed where noted on the plans.

Soil Test Report Required: The Contractor shall have a Soil Engineer test the existing soil conditions, provide a written report with design recommendations and preparations necessary prior to installation of the new 6" concrete slab. It may be necessary to install a subsurface drain tile, sump, and sump pump. The new 6" interior concrete floor slabs shall be installed as indicated on the drawings and as required by code.

Grading and Compaction: Establish grades for the concrete slab thickness as specified and compact all soils as required in the Soil Test Report.

Waterproof Membrane: After final grading, install 6 mil thickness moisture barrier commonly known as "Visqueen", single sheet for each room, lap 24" as may be required. The moisture barrier shall be a manufactured by Polar Plastics of Rochester, Inc., 13 Crest Road, East Rochester, NY 14445, 585/385.346, www.PolarPlastics.net.

Concrete: The new 6" exterior concrete floor slabs shall be installed as indicated on the drawings consistent with the Soil Test Report, and as required by code. 3,500 p.s.i. compressive strength, minimum with crushed limestone aggregate.

Expansion/Control Joints: Tooled control joints shall be provided consistent with the Soil Test Report as and as indicated on the plans. If not indicated, expansion joints provided at a minimum of 20'-0" on center.

Welded Wire Mesh: Welded wire mesh shall 6" x 6" #6 ga. size.

Termite Protection: All termite protection shall be installed prior to pouring concrete.

Protection of Building: The Contractor shall protect all existing building surfaces.

Concrete Finish: The concrete shall be installed, secreted, and steel troweled and a broom finished applied. After the broom finish has been completed apply "H&C Endurapolish" clear liquid hardener & densifier, an amorphous colloidal silica solution designed to both harden and densify concrete. Install as recommended by H & C Concrete, 101 W. Prospect Ave., Cleveland, Ohio 44115, 800-867-8246, hc-concrete@sherwin.com.

05.520 METAL HANDRAILS:

Handrails, Guardrails, and Gates: All hand rails, guard rails, and stairs railings shall be included in the work. Where indicated on the plans, removable sections and/or hinged gates shall be provided.

Shop Drawings: Contractor shall submit Shop Drawings illustrating all railings to the Architect for review prior to fabrication.

Handrail Design: All stairs shall be equipped with a 1 1/2" steel pipe handrails, with a painted enamel finish in a color to be selected by the Architect. All rail turns and run extensions shall be curved or mitered with continuous smooth runs as required by code and as indicated on the Shop Drawings.

Mounting Brackets: The handrails, wall mounting brackets, floor mounting supports, intermediate supports & rails, mounting height & spacing shall conform with all code requirements and shall be constructed as indicated on the approved shop drawings.

05.521 DOOR BOLLARDS:

Steel Pipe Bollards: All door protection bollards shall be included in the work. Where indicated on the plans install 6" diameter steel pipe columns, filled with concrete finished creating a domed top. The bollards shall extend to a height of 48" above the floor line and shall be embedded in a bored 16" diameter concrete footing extending 42" into the ground.

Shop Drawings: Contractor shall submit Shop Drawings illustrating all bollards to the Architect for review prior to fabrication.

Paint: All bollards shall be painted with outdoor enamel paint in a color selected by the Owner to match the exterior siding.

07.532 ELASTIC SHEET TPO ROOFING, & INSULATION: (Firestone)

The Contractor shall install the new roof insulation in the specified thickness and "R" value as recommended by the insulation and roofing manufacturers. The Contractor shall provide Firestone "Elevate" "Ultraply TPO Invisiweld System" elastic sheet roofing in Owner specified color on all "low-pitch roof" areas as indicated on the plans. The roofing shall be "TPO type sheet roofing, as manufactured by "Firestone" for all flat roof areas. TPO coated steel perimeter flashing materials as manufactured by Firestone. The membrane shall be the unballasted type. The complete installation shall be as recommended by the manufacturer. The Contractor shall provide a 40 year guarantee to fix any and all leaks.

08.110 STEEL DOORS & HARDWARE:

Shop Drawings: The Contractor shall provide complete shop drawings of the doors, frames, and hardware for review by the Architect prior to ordering the materials.

Doors: All doors shall be 3'-0" wide x 7'-0" height where possible unless noted otherwise. The doors shall be flush 18 gage galv. steel doors & frames, painted, as indicated on the plans. The doors shall comply with Steel Door Institute "Recommended Specifications for Standard Steel Doors and Frames: (SDI-100)", Grade II, heavy-duty, Model 2 with minimum 18-gage faces and exterior doors shall be insulated. Provide units that display appropriate UL or FM labels for fire rating indicated on the plans or door schedule. The doors shall be manufactured by Steelcraft/Div. American Standard Co.. Shop drawings shall be provided for review by the Architect.

Frames: Comply with SDI-100, of the types and styles indicated, for materials quality, 18 gage metal, and construction details. Prepare frames to receive 2 silencers on strike jambs of single-swing frames and on heads of double-swing frames. Provide 26-gage steel plaster guards or mortar boxes, welded to frame, at back of hardware cutouts where installed in concrete, masonry or plaster openings.

Hardware: The door assembly shall be equipped with 3 hinges per door, door silencers, Schlage "AL Series", "Accom" design lever handle lockset, lock function shall be keyed lock on one side, and a "privacy function" with "thumb turn" on the other for bidding purposes (the actual lock function shall be approved by the Owner & Architect prior to ordering the hardware), an automatic door closer, dead bolt locking device, keyed as directed by the Architect, and panic hardware as required by code, head/jamb/threshold weather stripping and all related accessories. Each door shall be equipped with a base mounted spring type door stop with rubber cap and spring. All hardware shall be "US26D" or "Schlage 626 Satin Chromium Plated" finish.

Installation: Install hollow-metal units in accordance with manufacturer's instructions and final shop drawings. Fit doors to frames and floors with clearances specified in SDI-100.

09.910 EXTERIOR PAINTING: (Sherwin Williams Paints)

Manufacturer's Recommendations: All painting shall be installed as per Sherwin Williams specifications & recommendations.

Color Schedule: The Architect shall prepare a color schedule illustrating Sherwin Williams color names & numbers.

Sample Approval: Contractor shall submit 12"x12" samples of the scheduled colors for the Architect's approval prior to starting work.

Paint Type: "SuperPaint" Exterior Latex Satin, A89-Series, see specification 102.10A

Surface Preparation:

Use on these properly prepared surfaces as per Sherwin Williams specifications.

Aluminum, Aluminum Siding, & Galvanized Steel Surfaces:

2 coats SuperPaint Exterior Latex

Concrete Block, CMU, Split Face Block Surfaces:

1 coat Loxon Acrylic Block Surfacer

2 coats SuperPaint Exterior Latex

Brick, Stucco, Cement, Concrete Surfaces:

1 coat Loxon Concrete and Masonry Primer® or Loxon Conditioner

2 coats Superpaint Exterior Latex

Cement Composition Siding/Panels Surfaces:

1 coat Loxon Concrete and Masonry Primer® or Loxon Conditioner

2 coats SuperPaint Exterior Latex

Plywood Panel Surfaces:

1 coat Exterior Latex Primer

2 coats SuperPaint Exterior Latex

Vinyl Siding Surfaces:

2 coats SuperPaint Exterior Latex

Installation Requirements: All exterior painting shall be installed as recommended by the SW manufacturer.

09.920 INTERIOR PAINTING: (Sherwin Williams Paints)

Manufacturer's Recommendations: All painting shall be installed as per Sherwin Williams specifications & recommendations.

Color Schedule: The Architect shall prepare a color schedule illustrating Sherwin Williams color names & numbers.

Sample Approval: Contractor shall submit 12"x12" samples of the scheduled colors for the Architect's approval prior to starting work.

Paint Type: "Loxon Paint" Exterior Latex Satin, A89-Series, see specification 102.10A

Surface Preparation:

Use on these properly prepared surfaces as per Sherwin Williams specifications.

Concrete Masonry, Cement

1 coat Loxon Concrete & Masonry Primer

2 coats Superpaint Exterior Latex

Stucco, Fiber Cement Siding, EIFS, Plaster, Mortar, Gyp.Board

1 coat Loxon Concrete & Masonry Primer

2 coats Superpaint Exterior Latex

Aluminum and Aluminum Siding, Galvanized Steel

2 coats SuperPaint Exterior Latex

Cement Composition Siding/Panels

1 coat Loxon Concrete and Masonry Primer

or Loxon Conditioner

2 coats SuperPaint Exterior Latex

Plywood Panels

1 coat Exterior Latex Primer

2 coats SuperPaint Exterior Latex

PART III, INSTALLATION:

All interior painting shall be installed as recommended by the SW manufacturer.

09.250 4" METAL STUD WALL:

Floor Base Track: Provide 2x4" floor track bolted to the concrete floor.

Stud Wall Framing: Install 2x4" 18 gage galv. metal studs @ 16" o.c.

Top Plate & Connection: Top plate 2x4" to bottom of Lft floor joists

Gypsum Wall Board: The smooth surface finish shall be 1/2" drywall gypsum wall board shall be used on both sides of the studs. Metal corner beads shall be used at all exterior corners, corner tape shall be used on interior corners.

Wall Board Finish: All gypsum board shall be taped and finished to a smooth surface, and shall receive two coats of paint.

10.810 TOILET ROOM ACCESSORIES:

Each toilet room shall be equipped with the following chrome plated accessories, toilet paper holder, towel bar, and a medicine cabinet with hinged mirror door as selected by the owner.

14.450 PEDESTAL SINK:

Kohler "Elmbrook 24", pedestal sink in white, with widespread valve set & drain in polished chrome, connected to sanitary sewer, and hot & cold water supply with stops.

14.450 TOILET:

Kohler Gleam 2-Piece Chair Height Elongated Skirted 1.28 GPF Single Flush Toilet in White with Slow Close Seat, connected to sanitary sewer, and cold water supply with stop.

14.451 LAUNDRY TUB:

The Laundry Tub shall be Mustee brand, Untiltub Combo, 20" x 24" x 33", thermoplastic, Floor Mount, Laundry, complete with valve set, drain plug with chain, top cover, connected to sanitary sewer, and hot & cold water supply with stops.

15.424 DOMESTIC GAS WATER HEATER:

The Contractor shall furnish and install a gas fired domestic water heater 40 gallon capacity complete with pressure/temperature relief valve, drain valve, hot & cold water stops, cold water line insulation, vent to exterior. The Contractor shall provide shop drawings of layout and manufacture's specifications for review by the Architect prior to the ordering the equipment.

15.432 WMCB: Washing Machine Connection Box:

Washing Machine Connection Box. Guy Gray Supply Valve Outlet Box, Mfr. Model #82033, 12.25 in x 8.75 in Galvanized Metal Washing Machine Outlet Box with 1/2 in MIP Inlet Connection. Contractor shall provide dryer vent to exterior rain shield, and backdraft damper. The Contractor shall furnish and install natural gas piping to dryer. The Stackable Washer/Dryer unit shall be selected by the Owner and delivered to the site for connection of utilities by the Contractor. The Contractor shall provide shop drawings of layout and manufacture's specifications for review by the Architect prior to the ordering the equipment.

15.400 DESIGN/BUILD PLUMBING SYSTEM:

Concept Design: The Architect has provided conceptual drawings of the plumbing system. The Plumbing Contractor shall complete detailed design and sizing of the system, obtain the required permits and approvals for the complete project.

General Notes: The major plumbing fixtures have been noted on the plumbing drawings. The Plumbing Contractor shall provide the complete system in accordance with all code requirements. The Plumbing Contractor shall submit specifications and/or samples of the plumbing elements not noted on the plumbing items for review by the Architect prior to the ordering the fixtures and equipment. The Plumbing Contractor shall provide shop drawings of plumbing layout and manufacture's specifications for review by the Architect prior to the ordering the equipment.

15.801 DESIGN/BUILD H.V.A.C. SYSTEM:

Concept Design: The Architect has provided conceptual drawings of the HVAC system. The HVAC Contractor shall complete detailed design and sizing of the system, obtain the required permits and approvals for the complete project.

General Notes: Provide a minimum of 150,000 btu gas fired furnace & A/C system & exterior condenser complete with gas & vent piping, electric power connections, condensate drain, heat/cool seven-day thermostat, air filters, make-up air system, and linear ceiling duct distribution system. The HVAC Contractor shall provide shop drawings of ductwork layout and manufacture's specifications for review by the Architect prior to the ordering the equipment.

16.400 DESIGN/BUILD ELECTRICAL SYSTEM:

Concept Design: The Architect has provided conceptual drawings of the electrical system. The Electrical Contractor shall complete detailed design and sizing of the system, obtain the required permits and approvals for the complete project.

General Notes: The major electrical fixtures have been noted on the electrical drawings. The Electrical Contractor shall provide the complete system in accordance with all code requirements. The Electrical Contractor shall submit specifications and/or samples of the electrical elements not noted on the electrical drawings for review by the Architect prior to the ordering the fixtures and equipment. The Electrical Contractor shall provide shop drawings of electrical layout and manufacture's specifications for review by the Architect prior to the ordering the equipment.

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A-08

1 **Architectural Notes & Specs**

A-08 SCALE: 1/4" = 1'-0"