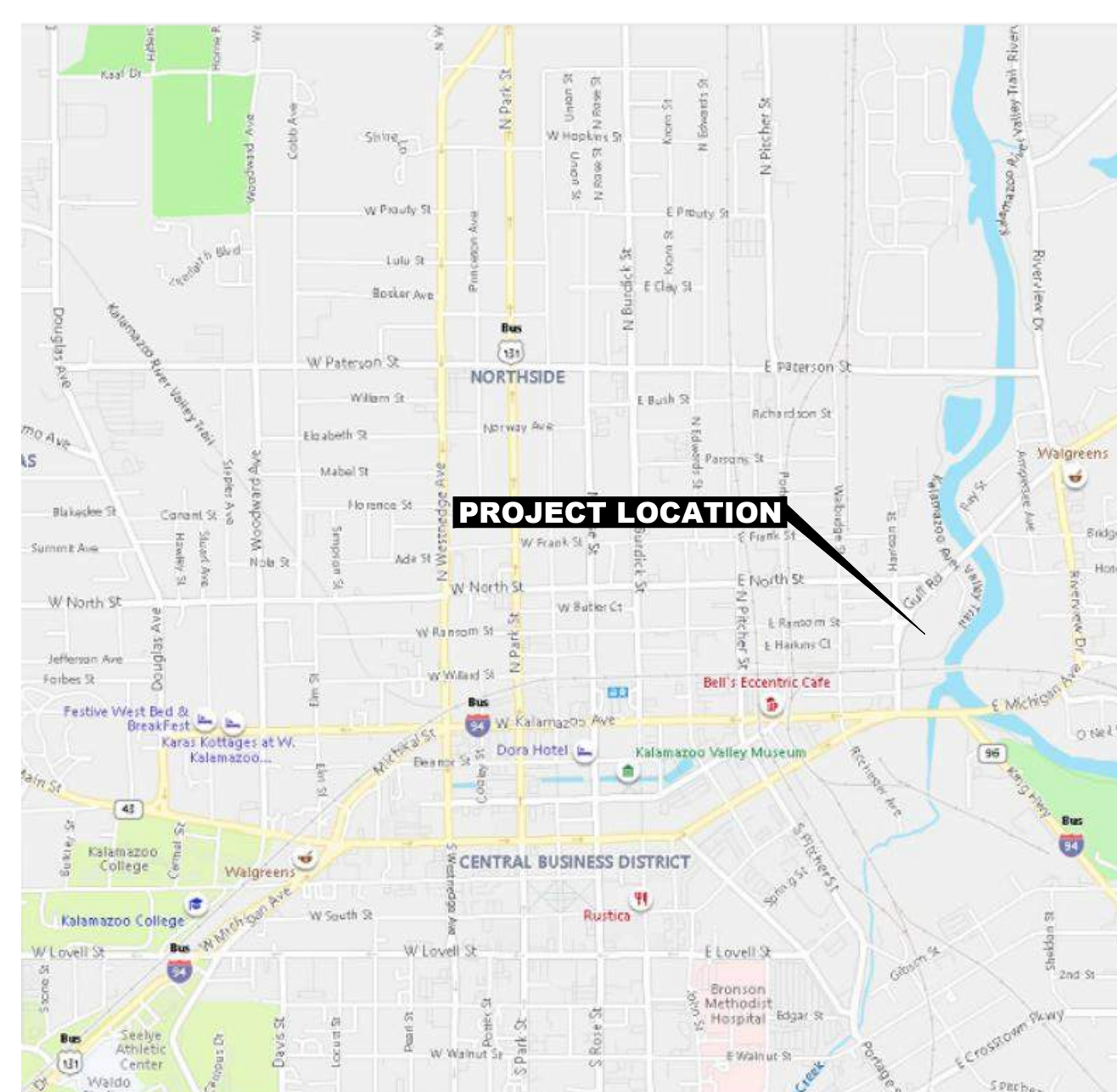


River's Edge Development

508 Harrison Street · Kalamazoo, Michigan

Site Plan Review
1st Revision
City of Kalamazoo
07-20-2022

VICINITY MAP



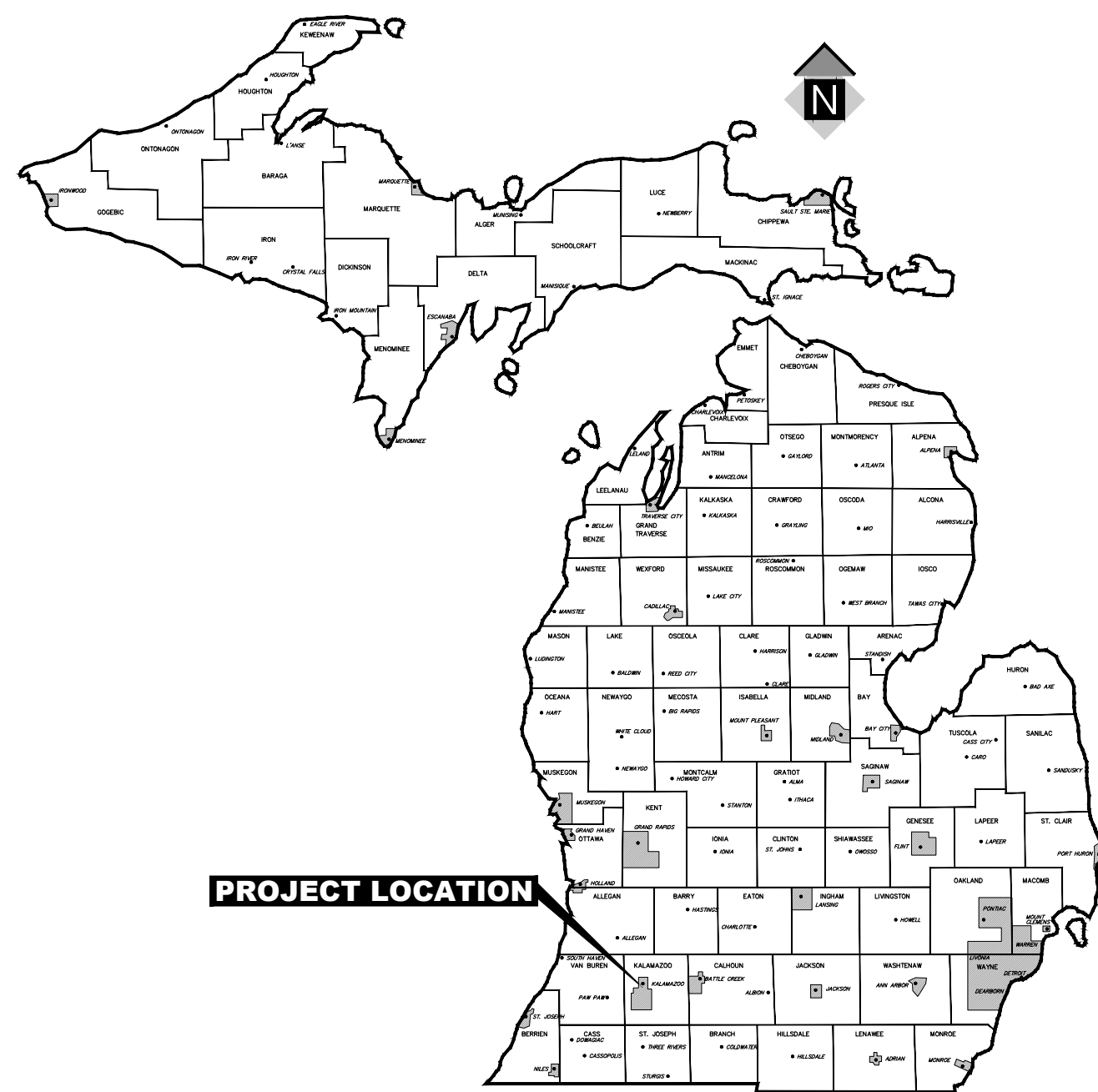
AERIAL EXISTING CONDITIONS PLAN



PROJECT INFORMATION

OWNER: River Caddis Development, LLC 1038 Trowbridge Road East Lansing, Michigan 48823 City of Kalamazoo Brownfield Redevelopment Authority (Property transfer in process)	GROSS BUILDING AREA: BUILDING A: Gross Footprint: 25,000 sf Gross Floor Area: 100,000 sf BUILDING B: Gross Footprint: 25,000 sf Gross Floor Area: 100,000 sf BUILDING C: Gross Footprint: 3,080 sf Gross Floor Area: 3,500 BUILDING D: Gross Footprint: 4,220 sf Gross Floor Area: 8,440 sf
BUILDING SITE ADDRESS: 508 Harrison Street & 660 Gull Road Kalamazoo, Michigan	NUMBER OF STORIES: Building A - Four Story Building B - Four Story Building C - Single Story Building D - Two Story
BUILDING CODE: 2015 Michigan Building Code	

MICHIGAN LOCATION MAP



DRAWING LIST

G001 Project Cover Survey (by others)
CIVIL
CE100 Existing Easement Plan
CE200 Proposed Easement Plan
C100 Demolition Plan
C200 Site Plan
C220 Zoning Map
C230 Floodplain Map
C300 Grading Plan
C310 Site Cross Section A-A
C320 Site Cross Section B-B
C330 Site Cross Section C-C
C340 Site Cross Section D-D
C400 Utility Plan
C420 Water Main Profile
C421 Water Main Profile
C430 Sanitary Sewer Profile
C431 Sanitary Sewer Profile
C500 Soil Erosion & Sedimentation Control Plan
C600 Details
C610 Details
ELECTRICAL
EC100 Site Lighting Plan
LANDSCAPE
L101 Landscape Plan
L102 Landscape Plan
L103 Landscape Plan
ARCHITECTURAL
A1 Overall Plans
A2 Overall Plans
A3 Overall Plans
A4 Overall Plans
B1 Overall Plans
B2 Overall Plans
B3 Overall Plans
B4 Overall Plans
A110 Building A & B Overall First Floor Plan
A120 Building A&B Overall Second & Third Floor Plan
A140 Building A&B Overall Fourth Floor Plan
A210C Building C Floor Plan
A210D Building D First Floor Plan
A220D Building D Second Floor Plan
A510 Apartment Unit Plans
A600A1 Building "A" Elevations
A600A1 Building "A" Perspective Views
A600B1 Building "B" Elevations
A600B2 Building "B" Perspective Views

RIVER'S EDGE: BUILDING "A"



RIVER'S EDGE: BUILDING "B"

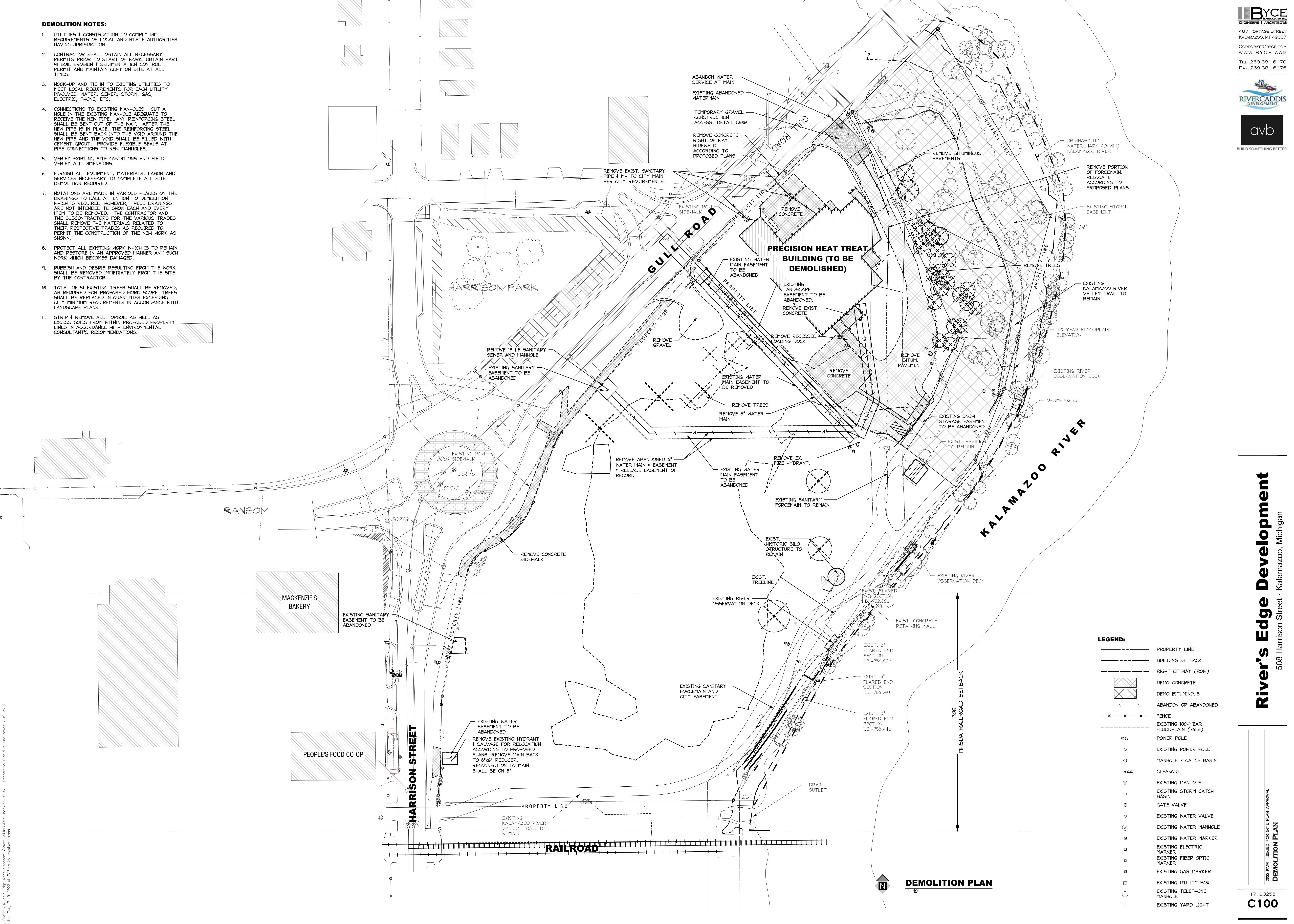
River's Edge Development
508 Harrison Street · Kalamazoo, Michigan

2022.04.01 15:03:02 EPG SITE PLAN REVIEW
COVER SHEET

17100255
G001

DEMOLITION NOTES:

- UTILITIES & CONSTRUCTION TO COMPLY WITH REQUIREMENTS OF LOCAL AND STATE AUTHORITIES HAVING JURISDICTION.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO START OF WORK. OBTAIN PART 9 SOIL EROSION & SEDIMENTATION CONTROL PERMIT AND MAINTAIN COPY ON SITE AT ALL TIMES.
- HOOK-UP AND TIE IN TO EXISTING UTILITIES TO MEET LOCAL REQUIREMENTS FOR EACH UTILITY INVOLVED: WATER, SEWER, STORM, GAS, ELECTRIC, PHONE, ETC..
- CONNECTIONS TO EXISTING MANHOLES: CUT A HOLE IN THE EXISTING MANHOLE ADEQUATE TO RECEIVE THE NEW PIPE. ANY REINFORCING STEEL SHALL BE BENT OUT OF THE WAY. AFTER THE NEW PIPE IS IN PLACE, THE REINFORCING STEEL SHALL BE BENT BACK INTO THE VOID AROUND THE NEW PIPE AND THE VOID SHALL BE FILLED WITH CEMENT GROUT. PROVIDE FLEXIBLE SEALS AT PIPE CONNECTIONS TO NEW MANHOLES.
- VERIFY EXISTING SITE CONDITIONS AND FIELD VERIFY ALL DIMENSIONS.
- FURNISH ALL EQUIPMENT, MATERIALS, LABOR AND SERVICES NECESSARY TO COMPLETE ALL SITE DEMOLITION REQUIRED.
- NOTATIONS ARE MADE IN VARIOUS PLACES ON THE DRAWINGS TO CALL ATTENTION TO DEMOLITION WHICH IS REQUIRED; HOWEVER, THESE DRAWINGS ARE NOT INTENDED TO SHOW EACH AND EVERY ITEM TO BE REMOVED. THE CONTRACTOR AND THE SUBCONTRACTORS FOR THE VARIOUS TRADES SHALL REMOVE THE MATERIALS RELATED TO THEIR RESPECTIVE TRADES AS REQUIRED TO PERMIT THE CONSTRUCTION OF THE NEW WORK AS SHOWN.
- PROTECT ALL EXISTING WORK WHICH IS TO REMAIN AND RESTORE IN AN APPROVED MANNER ANY SUCH WORK WHICH BECOMES DAMAGED.
- RUBBISH AND DEBRIS RESULTING FROM THE WORK SHALL BE REMOVED IMMEDIATELY FROM THE SITE BY THE CONTRACTOR.
- TOTAL OF 51 EXISTING TREES SHALL BE REMOVED, AS REQUIRED FOR PROPOSED WORK SCOPE. TREES SHALL BE REPLACED IN QUANTITIES EXCEEDING CITY MINIMUM REQUIREMENTS IN ACCORDANCE WITH LANDSCAPE PLANS.
- STRIP & REMOVE ALL TOPSOIL AS WELL AS EXCESS SOILS FROM WITHIN PROPOSED PROPERTY LINES IN ACCORDANCE WITH ENVIRONMENTAL CONSULTANT'S RECOMMENDATIONS.



LEGEND:

	PROPERTY LINE
	BUILDING SETBACK
	RIGHT OF WAY (ROW)
	DEMO CONCRETE
	DEMO BITUMINOUS
	ABANDON OR ABANDONED
	FENCE
	EXISTING 100-YEAR FLOODPLAIN (761.3)
	POWER POLE
	EXISTING POWER POLE
	MANHOLE / CATCH BASIN
	CLEANOUT
	EXISTING MANHOLE
	EXISTING STORM CATCH BASIN
	GATE VALVE
	EXISTING WATER VALVE
	EXISTING WATER MANHOLE
	EXISTING WATER MARKER
	EXISTING ELECTRIC MARKER
	EXISTING FIBER OPTIC MARKER
	EXISTING GAS MARKER
	EXISTING UTILITY BOX
	EXISTING TELEPHONE MANHOLE
	EXISTING YARD LIGHT

DEMOLITION PLAN
1"=40'

River's Edge Development
508 Harrison Street · Kalamazoo, Michigan

2022.07.19 ISSUED FOR SITE PLAN APPROVAL
DEMOLITION PLAN

4417100255 River's Edge Industrial Development (RiverCaddis) Drawings\055-C100 - Demolition Plan.dwg last saved 7/19/2022
Plotted Tue, 7/19/2022 at 11:00am by msgraham

SITE DATA:

ZONING DISTRICT: CMU COMMERCIAL MIXED USE

- * RF-O 4 SUB-AREA 4 OF RIVERFRONT OVERLAY
- * NFP OVERLAY DISTRICT
- * BROWNFIELD RE-DEVELOPMENT PROPERTY

DIMENSIONAL STANDARDS - CMU:

FRONT YARD SETBACK: N/A

REAR SETBACK: N/A OR 15 FT IF ABUTTING R

SIDE SETBACK: N/A OR 15 FT IF ABUTTING R

MAX. BUILDING HEIGHT: 50 FT

MAX. IMPERVIOUS COVER: 65%

MIN. LOT AREA/DWELLING UNIT: 1,800 SF

DIMENSIONAL STANDARDS - RF-O SUB AREA 4:

STREET-FACING FACADE: 0-10 FT

REAR SETBACK: 10 FT

SIDE SETBACK (ABUTTING RESIDENTIAL): 15 FT

MIN./MAX. BUILDING HEIGHT: 20-50 FT

LOT AREA/DWELLING UNIT: 1,000-5,000 SF

COMMERCIAL USE LOT AREA: 5,000 - 25,000 SF

MINIMUM DIMENSIONAL REQUIREMENTS (ZBA APPROVED):

FRONT SETBACK: 0-30 FT

DWELLING UNIT DENSITY: 1,234 SF/DWELLING UNIT FOR 222 DWELLING UNITS

PROPOSED SITE AREAS:

TOTAL DEVELOPMENT PARCEL: 315,458.5 SF (7.24 ACRE)

DWELLING UNIT DENSITY: 1,395 SF/DWELLING UNIT FOR 226 DWELLING UNITS

BUILDING COVER (A-D): 58,200 SF (18%)

PAVEMENT COVER: 125,003 SF (40%)

SEMI-IMPERVIOUS COVER (COUNTED AT HALF): 2,224 SF (0.71%)

TOTAL IMPERVIOUS COVER: 185,427 SF (59%)

OFF-STREET PARKING REQUIREMENTS:

PRIVATE DEVELOPMENT:

RESIDENTIAL BUILDING A (111 APTS)

ZONING: 1 SPACE PER DWELLING UNIT: 111

RESIDENTIAL BUILDING B (111 APTS)

ZONING: 1 SPACE PER DWELLING UNIT: 111

LEASING/COMMERCIAL BUILDING C (3,600 SF)

ASSEMBLY USE (1,200 SF)

BUILDING CODE REQ: 1 PERSON/15 SF=80 PERSONS

ZONING: (ASSEMBLY): 1 SPACE PER 3 PERSONS 27 OFFICE (2,400 SF)

ZONING: 1 SPACE PER 300 SF 8

BUILDING D (PROPOSED): 4,600 SF, 4 APTS)

UPPER LEVEL APARTMENTS (4 APTS, 2 FUTURE)

ZONING: 1 SPACE PER DWELLING UNIT: 6

LOWER LEVEL OFFICE (4,600 SF, 2,400 SF FUTURE)

ZONING: 1 SPACE PER 300 SF 24

TOTAL MIN. REQUIRED PARKING (COK): 287

ALLOWED 10% INCREASE MAX.: 316

TOTAL MIN. REQUIRED PARKING (MSHDA): 291

OFF-STREET PARKING PROPOSED:

STANDARD PARKING: 284

ADA PARKING: 7

TOTAL PROPOSED PARKING: 291

- SITE NOTES:**
- CONSTRUCTION TO BE IN COMPLIANCE WITH REQUIREMENTS OF STATE AND LOCAL AUTHORITIES HAVING JURISDICTION. CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO START OF WORK.
 - CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FURNISHED BY PSI FOR REQUIRED DEPTHS OF PAVEMENT SUBBASE AND BASE COURSES, UNLESS NOTED OTHERWISE ON CIVIL PLANS AND DETAILS.
 - ALL CONSTRUCTION DETAILS ILLUSTRATED ON SHEETS C600 AND C610, SHALL BE APPLIED TO PROPOSED WORK.
 - CONTRACTOR SHALL FURNISH AND INSTALL KNOX LOCKING DEVICES AT EACH POINT OF BUILDING ENTRY IN ACCORDANCE WITH CITY PUBLIC SAFETY REQUIREMENTS. MOUNT 3200 SERIES OR LARGER KNOX BOX(ES), UNOBSTRUCTED AND VISIBLE, 5 FT ABOVE FINISH GRADE NEAR MAIN BUILDING ACCESS DOOR. DEVICES MAY ONLY BE PURCHASED AT WWW.KNOXBOX.COM.
 - FURNISH & INSTALL KNOX ELEVATOR KEY BOX ADJACENT TO ALL ELEVATORS IN ACCORDANCE WITH FIRE MARSHAL REQUIREMENTS.
 - BUILDING FIRE DEPARTMENT CONNECTION (FDC) SHALL SATISFY ALL CITY PUBLIC SAFETY REQUIREMENTS.
 - FDC SHALL BE IDENTIFIED BY A FIRE DEPARTMENT APPROVED SIGN, MOUNTED STREET FACING SIDE OF BUILDING.
 - FDC SHALL HAVE KNOX 5" LOCKING STORZ FDC PLUGS MODEL 5002.
 - INSTALL FDC SIGN: BUILDING MOUNTED, 10 FT ABOVE GRADE & A SECOND SIGN MOUNTED ABOVE OBSTRUCTION (TERRACE WALK).
 - FDC SIGN SHALL ILLUSTRATE FDC LETTERS AT 6" MIN HT. IN ARABIC OR HELVETIC STYLE FONT. SIGN SHALL BE REFLECTIVE WITH WHITE LETTERS & RED BACKGROUND.
 - FDC SHALL HAVE EXTERIOR RATED HORN AND STROBE DEVICE ABOVE THE FDC AT A MINIMUM OF 10' ABOVE GRADE. DEVICE SHALL BE IN CLEAR VIEW TO APPROACHING FIRE APPARATUS. HORN AND STROBE SHALL REMAIN ACTIVE UNTIL MANUALLY RESET.
 - FDC SIGNS & LOCATIONS ARE SUBJECT TO FIRE MARSHAL APPROVAL.
 - INSTALL PROTECTIVE EXTERIOR CONCRETE FILLED BOLLARDS AT ALL EXPOSED ELECTRICAL OR GAS DEVICES, METERS OR EQUIPMENT.
 - BUILDING SITE ADDRESS SHALL BE IDENTIFIED PLAINLY LEGIBLE AND VISIBLE FROM ADJACENT ROAD FRONTAGES; SITE ADDRESS TO BE IDENTIFIED AS FOLLOWS:
 - ADDRESS NUMBERS AND STREET NAME SHALL CONTRAST WITH THEIR BACKGROUND.
 - PROPERTIES FRONTING MORE THAN ONE STREET SHALL IDENTIFY THE ADDRESS BY BOTH NUMBER AND STREET NAME ON EACH SIDE OF ROAD FRONTAGE.
 - COMMERCIAL STRUCTURES SHALL HAVE ADDRESS NUMBERS AT LEAST 12" TO 24" HT.
 - ADDRESS LETTERS INDICATING STREET NAMES SHALL BE 6" TO 24" HT. TO BE APPROVED.
 - THE AHJ RESERVES RIGHT TO IMPLEMENT FIELD ADJUSTMENTS AS NEEDED.
 - ALL EXTERIOR DOORS FOR EQUIPMENT ROOMS SHALL BE LABELED ACCORDINGLY.
 - WHERE ITEMS ARE BEING PATCHED OR REPAIRED, PAVEMENT AND CURB & GUTTER SECTIONS SHALL MATCH EXISTING ADJACENT OR AS OTHERWISE NOTED ON PLANS.
 - A BUILDING EVALUATION SHALL BE CONDUCTED TO DETERMINE IF BI-DIRECTIONAL AMPLIFICATION IS NEEDED FOR PUBLIC SAFETY COMMUNICATIONS. CONTACT ROE-COPII AT 800-421-2621 TO SURVEY SITE ONCE BUILDING EXTERIOR AND INTERIORS ARE IN PLACE. FURNISH RESULTS OF BI-DIRECTIONAL AMPLIFICATION STUDY TO CITY OF KALAMAZOO.
 - DIMENSIONS ARE TO FACE OF CURB OR EDGE OF PAVEMENT, UNLESS NOTED OTHERWISE.
 - ADA ACCESSIBLE WALKWAYS, PARKING AREAS, CURB RAMPS, AND ALL OTHER ACCESSIBLE SITE FEATURES SHALL BE IN COMPLIANCE WITH MICHIGAN BARRIER FREE DESIGN STANDARDS.

BUILDING DATA:

BUILDING A:

FOOTPRINT: 25,000 SF

FLOOR AREA: 100,000 GSF

BUILDING B:

FOOTPRINT: 25,000 SF

FLOOR AREA: 100,000 GSF

BUILDING C:

FOOTPRINT: 3,600 SF

FLOOR AREA: 3,600 GSF

BUILDING D:

FOOTPRINT: 4,600 SF

FLOOR AREA: 9,200 GSF

SIGN SCHEDULE

MARK	S-1	S-2	S-3	S-4	S-5
SIGN VISUAL					
DIMENSION	12"x18"	12"x18"	8"x18"	8"x18"	30"x30"
QUANTITY	6	2	6	6	4

MACKENZIE'S BAKERY

ZONING: CMU

ADA RAMP WITH TACTILE WARNING SURFACE PER COK STANDARDS

EXISTING PUBLIC SIDEWALK TO REMAIN.

ADA RAMP WITH TACTILE WARNING SURFACE PER COK STANDARDS

MONUMENT SIGN

HARRISON PARK

GULL RD (PUBLIC ROW)

BUILDING A
FE = 704.5

BUILDING B
FE = 704.5

BUILDING C
FE = 703.0

EXISTING ROW SIDEWALK
30610
30612
30614

HARRISON ST

RAILROAD

ZONING: RMU

CITY OF KALAMAZOO OWNED PUBLIC SIDEWALK EASEMENT; WIDTH VARIES PER PLANS.

EXISTING ROW SIDEWALK

4 FT DECORATIVE METAL FENCE. LIMITS APPROX.
CONCRETE CURB & GUTTER (MIDOT TYPE 'M' OR SIMILAR, MATCH EXISTING) AT EXISTING DRIVEWAY OPENING.

PROPOSED PUBLIC SIDEWALK PER COK STANDARD SPECIFICATIONS, TYP.

BIKE RACK, TYP.

LANDSCAPE ISLAND W/ CURB

4" THICKENED EDGE CONC. SIDEWALK

4" HIGH DECORATIVE METAL FENCE

6" CONC. DUMPSTER PAD, DETAIL 4/C600

WOOD SCREEN DUMPSTER ENCLOSURE, TYP.

HEAVY DUTY BITUMINOUS PAVEMENT

EXISTING KALAMAZOO RIVER VALLEY TRAIL TO REMAIN

THICKENED EDGE CONCRETE SIDEWALK

THICKENED EDGE CONCRETE SIDEWALK

ADA RAMP WITH TACTILE WARNING SURFACE PER COK STANDARDS

EXIST. COUNTY PARKS SIGN

SITE MONUMENT SIGN

4 FT DECORATIVE METAL FENCE. LIMITS APPROX. THICKENED EDGE CONCRETE SIDEWALK

ORDINARY HIGH WATER MARK (OHWM) KALAMAZOO RIVER

6" CONC. DUMPSTER PAD, DETAIL 4/C600

WOOD SCREEN DUMPSTER ENCLOSURE, TYP.

HEAVY DUTY BITUMINOUS PAVEMENT DECORATIVE METAL FENCE, TYP.

EXISTING KALAMAZOO RIVER VALLEY TRAIL TO REMAIN

100-YEAR FLOODPLAIN ELEVATION

EXISTING RIVER OBSERVATION DECK

OHWM=756.75±

EXISTING RIVER OBSERVATION DECK

PAVILION TO REMAIN

OUTDOOR PATIO

CONCRETE BIKE PARKING AREA W/ BIKE HOOPS, TYP.

EXISTING RIVER OBSERVATION DECK

EXIST. CONCRETE RETAINING WALL

EXISTING RIVER OBSERVATION DECK

EXIST. CONCRETE RETAINING WALL

EXISTING RIVER OBSERVATION DECK

EXIST. CONCRETE RETAINING WALL

EXISTING RIVER OBSERVATION DECK

EXIST. CONCRETE RETAINING WALL

EXISTING RIVER OBSERVATION DECK

EXIST. CONCRETE RETAINING WALL

EXISTING RIVER OBSERVATION DECK

EXIST. CONCRETE RETAINING WALL

EXISTING RIVER OBSERVATION DECK

EXIST. CONCRETE RETAINING WALL

- LEGEND:**
- PROPERTY LINE
 - BUILDING SETBACK
 - RIGHT OF WAY (ROW)
 - NEW CONCRETE
 - NEW BITUMINOUS
 - NEW HEAVY DUTY BITUMINOUS
 - NEW GRAVEL
 - STORM EASEMENT
 - ITEMS PLANNED FOR FUTURE
 - PROPOSED 100-YEAR FLOODPLAIN (741.3)
 - FENCE
 - POWER POLE
 - EXISTING POWER POLE
 - MANHOLE / CATCH BASIN
 - CLEANOUT
 - EXISTING MANHOLE
 - EXISTING STORM CATCH BASIN
 - GATE VALVE
 - EXISTING WATER VALVE
 - EXISTING WATER MANHOLE
 - EXISTING WATER MARKER
 - EXISTING ELECTRIC MARKER
 - EXISTING FIBER OPTIC MARKER
 - EXISTING GAS MARKER
 - EXISTING UTILITY BOX
 - EXISTING TELEPHONE MANHOLE
 - EXISTING YARD LIGHT

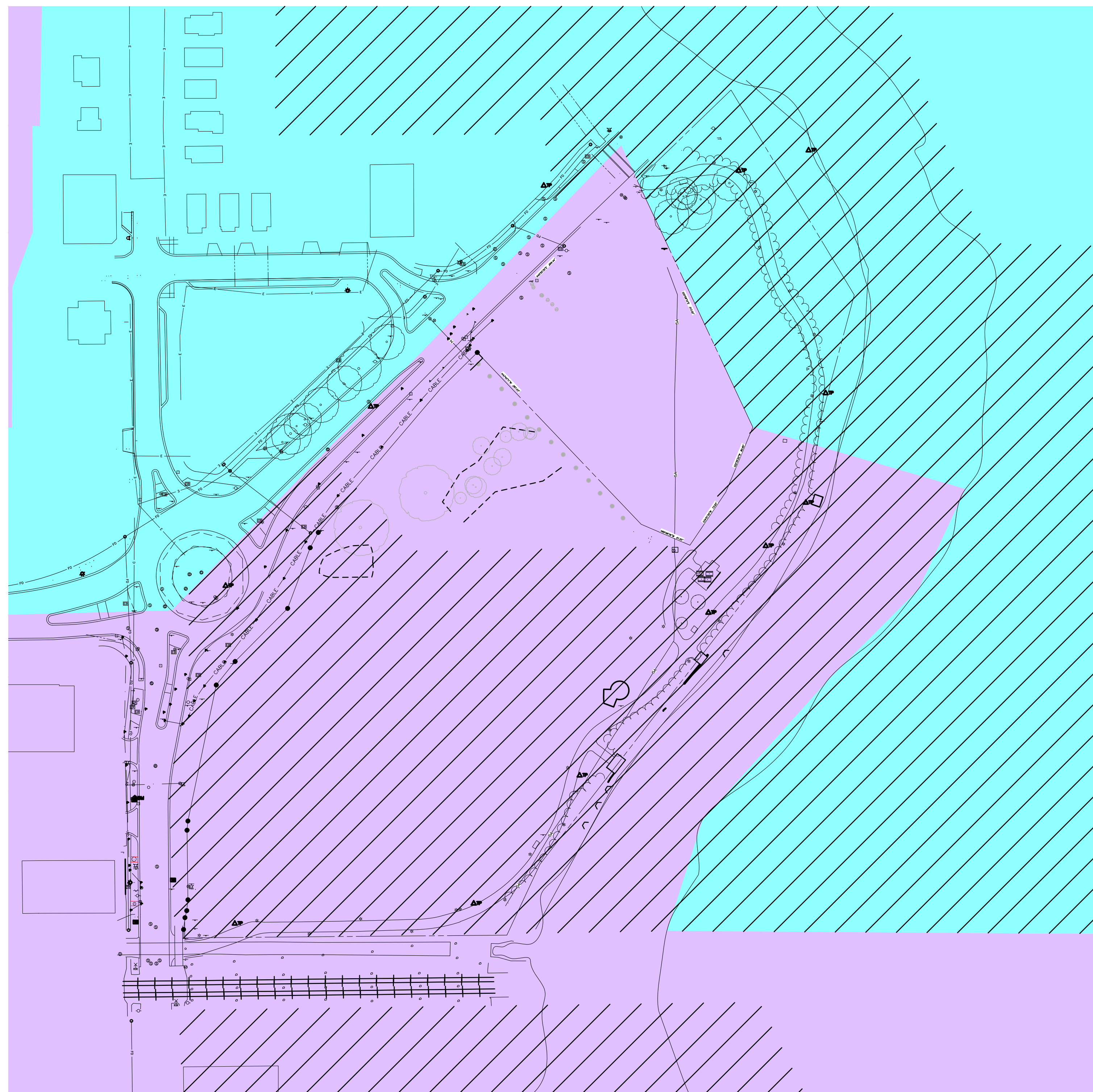
SITE PLAN
1"=40'

River's Edge Development
508 Harrison Street · Kalamazoo, Michigan

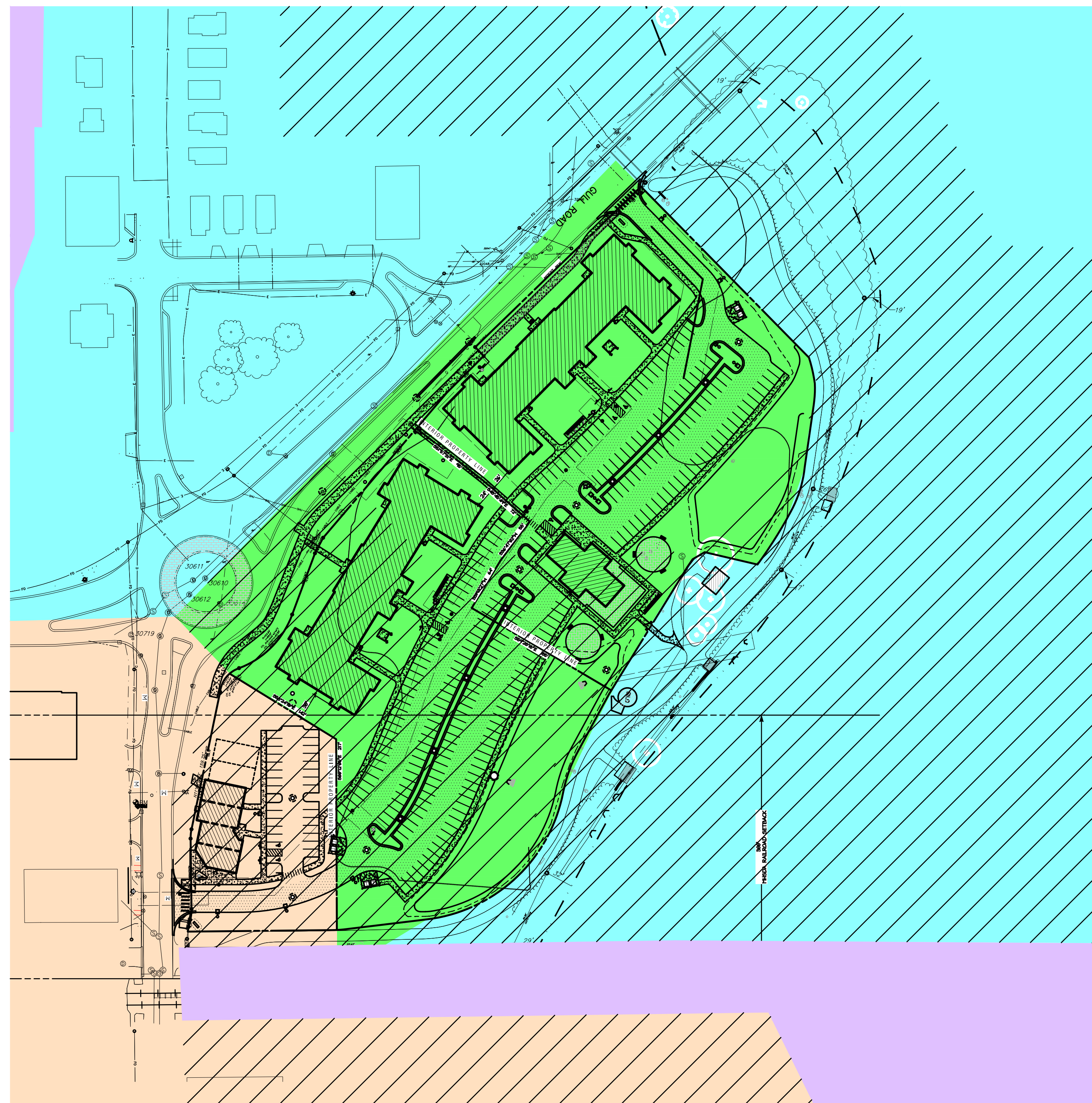
17100255
C200

2022.07.15 ISSUED FOR SITE PLAN APPROVAL
SITE PLAN

44170255: River's Edge Redevelopment - (RiverCaddis)Drawings/C200 - Site Plan.dwg last saved 7-15-2022
Plotted: Tue, 7-15-2022 at 11:20am by mgrammham



PRE DEVELOPMENT ZONING MAP
1"=80'



POST DEVELOPMENT ZONING MAP
1"=80'

ZONING PLANS
1"=80'

ZONING LEGEND:

- RMU
- CMU
- LIVE-WORK
- NODE
- RF-O 4

ZONING DATA:

FUTURE LIVE-WORK 2 (RESIDENTIAL):	
	273,883 SF
	(6.29 ACRE)
BUILDING COVER (A-C):	53,600 SF (19%)
PAVEMENT COVER:	187,065 SF (34%)
SEMI-PERVIOUS PAVERS (COUNTED AT HALF):	
	2,224 SF (0.78%)
TOTAL IMPERVIOUS COVER:	162,889 SF (59%)
FUTURE NODE DISTRICT:	
	41,575 SF
	(0.95 ACRE)
BUILDING D:	4,600 SF (15%)
PAVEMENT COVER:	17,472 SF (42%)
TOTAL IMPERVIOUS COVER:	22,072 SF (53%)

4/17/2025: River's Edge Redevelopment: (RiverCaddis) Drawings: 055-C220 - Zoning Mapping Set, sheet 7-13-2022
 Plotted: Tue, 7/14/2025 at 11:23am by: magnumtman



PRE DEVELOPMENT FLOODPLAIN MAP

1"=80'



POST DEVELOPMENT FLOODPLAIN MAP

1"=80'



FLOODPLAIN MAPS

1"=80'

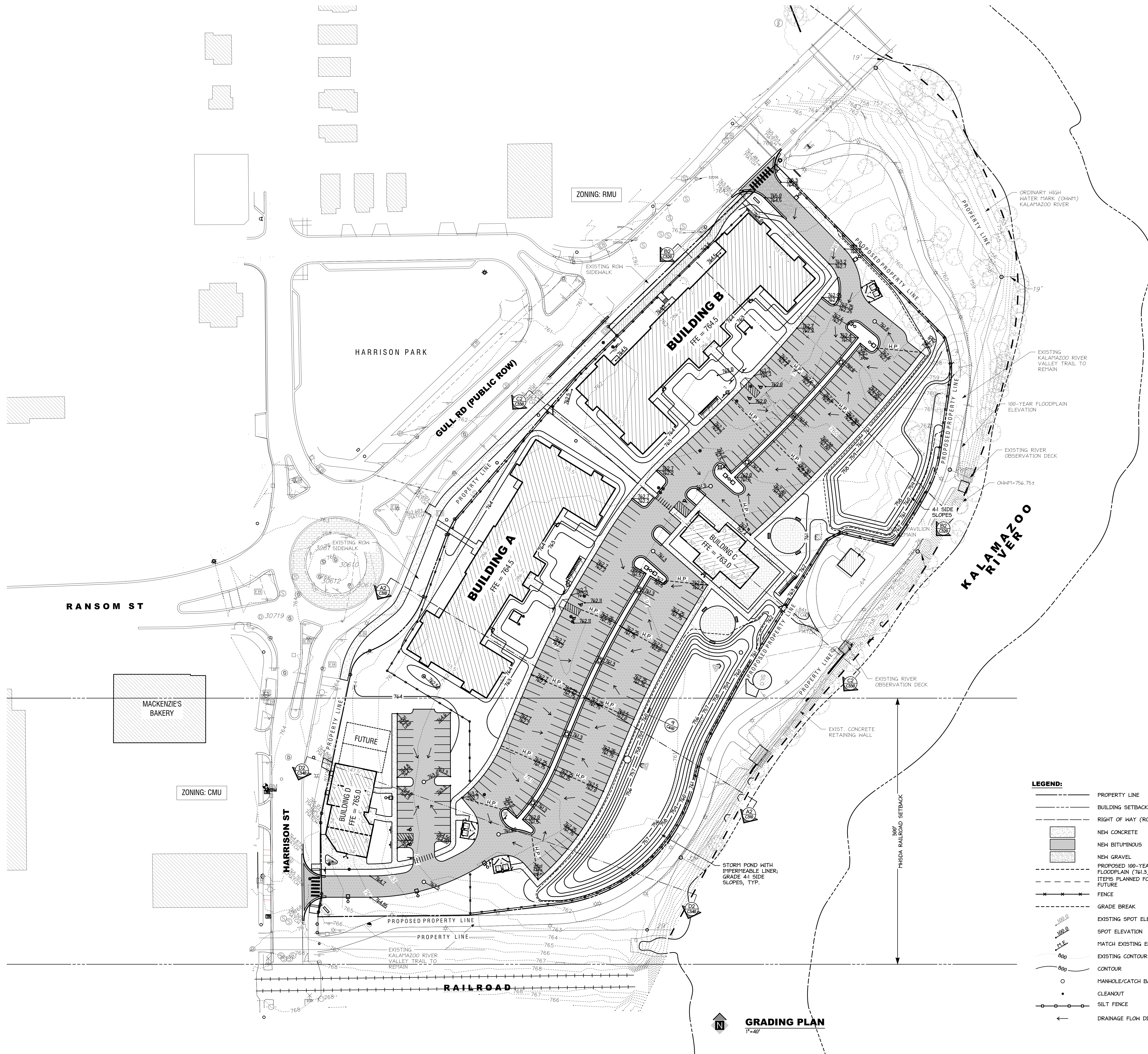
FLOODPLAIN LEGEND:

- 100-YEAR FLOODPLAIN ELEVATION (761.3)
- 500-YEAR FLOODPLAIN (761.3-768)
- EXISTING FLOODPLAIN ELEVATION
- PROPOSED FLOODPLAIN ELEVATION
- FEMA FLOODWAY

FLOODPLAIN VOLUMES			
EXISTING		PROPOSED	
CONTOUR	VOLUME (CF)	CONTOUR	VOLUME (CF)
757	0	757	17,457
758	1,166	758	25,538
759	11,605	759	31,202
760	64,405	760	37,902
761	37,092	761	12,742
761.3	0	761.3	0
TOTAL	114,312 CF	TOTAL	125,341 CF

GRADING NOTES:

- FOR GRADING IN AREAS NOT SHOWN, PAVEMENT SLOPES TO BE 1% MINIMUM AND 6% MAXIMUM. 2% PAVEMENT SLOPES TYPICAL.
- WHERE PAVEMENT IS BEING REPLACED RECORD EXISTING ELEVATIONS AND MATCH EXISTING ELEVATIONS WITH NEW PAVEMENT.
- SPOT ELEVATIONS SHOWN AT CURB AND GUTTER ARE AT THE FLOW LINE.
- VERIFY LOCATIONS OF ALL BELOW GRADE UTILITIES PRIOR TO BEGINNING WORK. CALL "MISS DIG" 72 HOURS BEFORE YOU DIG AT 1-800-482-7171.
- ALL NEW PAVEMENT SURFACES ARE INTENDED TO DRAIN FREELY WITH NO SURFACE WATER PONDING. IF THIS CANNOT BE ACHIEVED USING THE PROPOSED GRADES, NOTIFY THE OWNER'S REPRESENTATIVE, OR THE ENGINEER, IMMEDIATELY FOR RESOLUTION.
- FINISH GRADE SLOPE AT ALL BARRIER FREE PARKING SPACES AND ACCESS AISLES SHALL NOT EXCEED 2% IN ALL DIRECTIONS, TYPICAL.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL REQUIRED EARTHWORK VOLUMES BASED ON PROPOSED FINISH GRADES. IF FILL IS REQUIRED, THE CONTRACTOR SHALL INCLUDE THE REQUIRED VOLUME OF IMPORTED CLASS II SAND IN THE BASE BID PROPOSAL. IF EXCESS SOILS NEED TO BE SPOILED, THE CONTRACTOR SHALL INCLUDE TRANSPORT AND DISPOSAL OF SURPLUS SOILS OFF SITE IN THE BASE BID PROPOSAL. NO CONTRACT COST ADJUSTMENTS WILL BE CONSIDERED FOR EARTHWORK REQUIRED TO BALANCE THE SITE.
- ALL EXCESS SOILS SHALL REMAIN ON SITE.



LEGEND:

	PROPERTY LINE
	BUILDING SETBACK
	RIGHT OF WAY (ROW)
	NEW CONCRETE
	NEW BITUMINOUS
	NEW GRAVEL
	PROPOSED 100-YEAR FLOODPLAIN (761.3)
	ITEMS PLANNED FOR FUTURE
	FENCE
	GRADE BREAK
	EXISTING SPOT ELEVATION
	SPOT ELEVATION
	MATCH EXISTING ELEVATION
	EXISTING CONTOUR
	CONTOUR
	MANHOLE/CATCH BASIN
	CLEANOUT
	SILT FENCE
	DRAINAGE FLOW DIRECTION

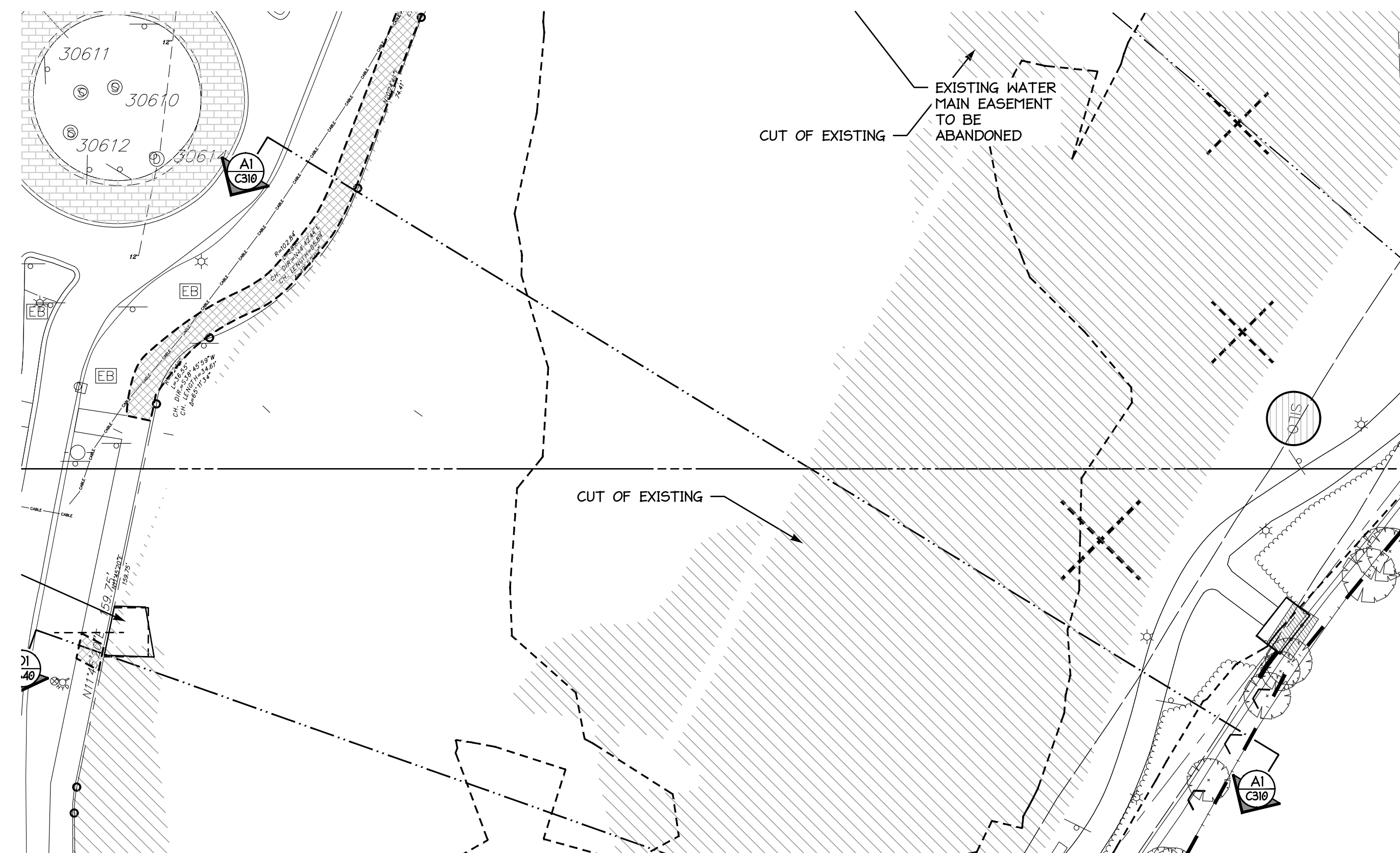
GRADING PLAN
1"=40'

River's Edge Development
508 Harrison Street · Kalamazoo, Michigan

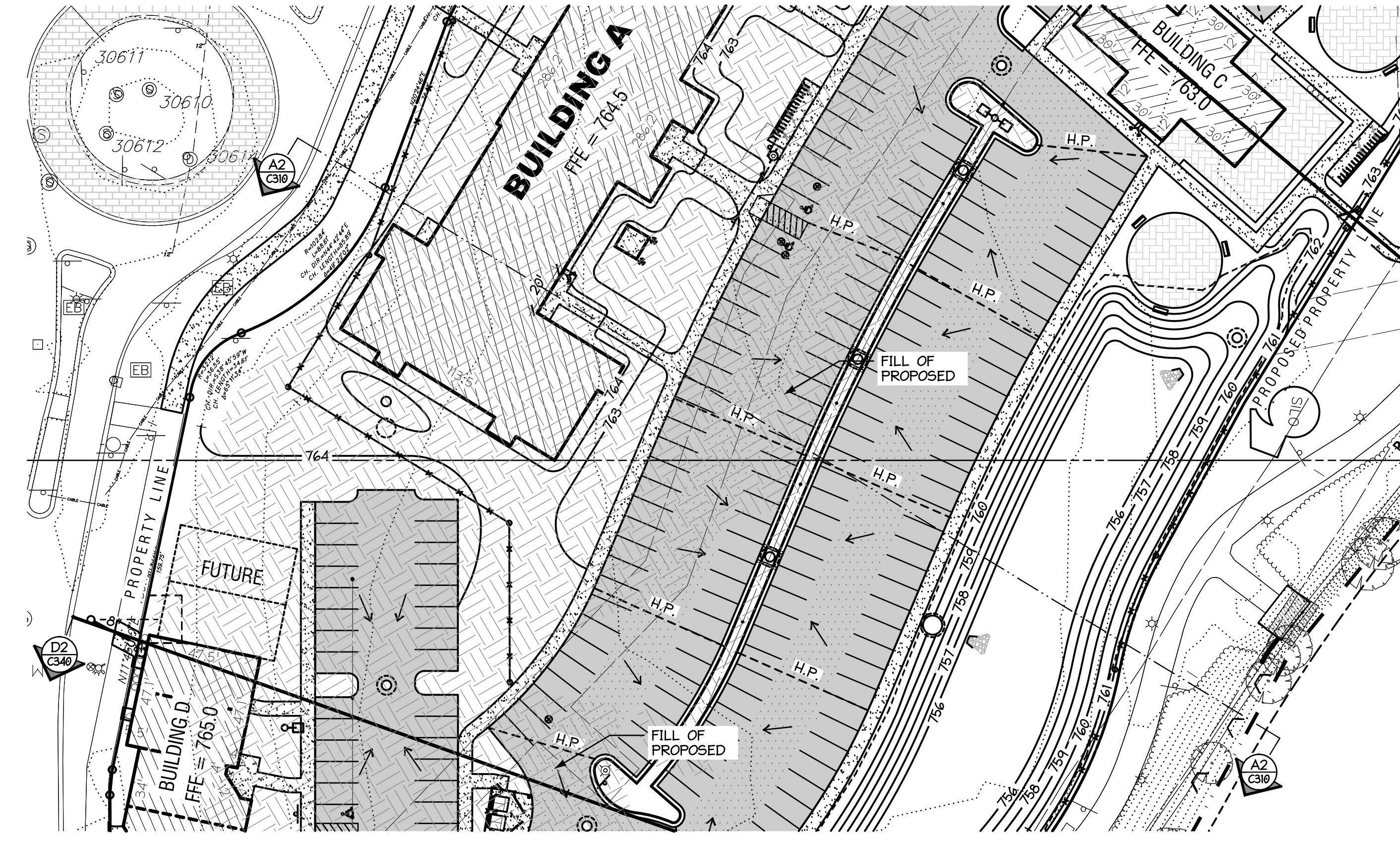
2022.07.01 ISSUED FOR SITE PLAN APPROVAL
GRADING & SESS PLAN

17100255
C300

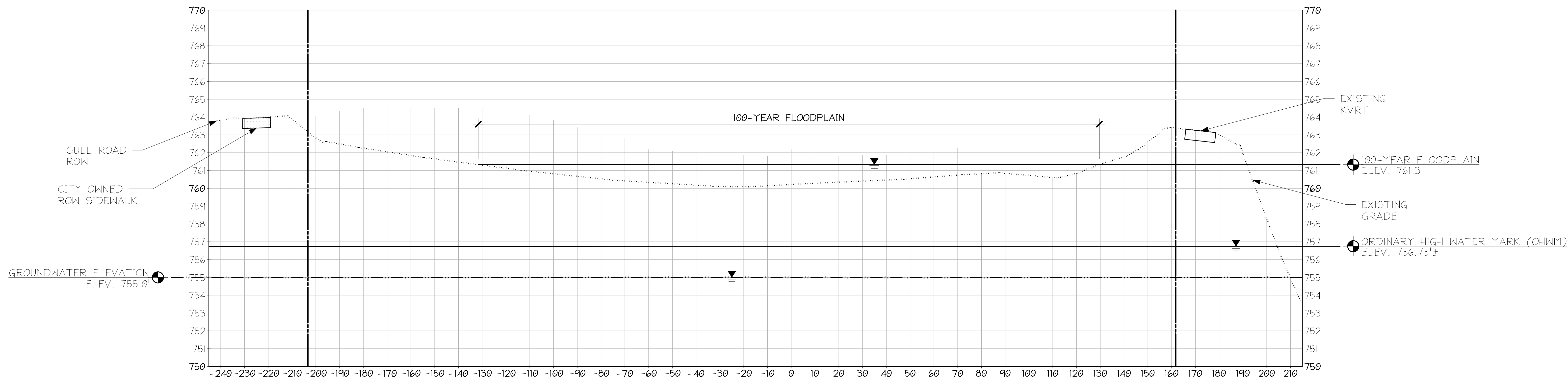
1417100255 River's Edge Redevelopment (RiverCaddis) Drawings\055-C300 - Grading Plan.dwg last saved 7-13-2022
Plotted Tue, 7-14-2022 at 11:28am by mgrammham



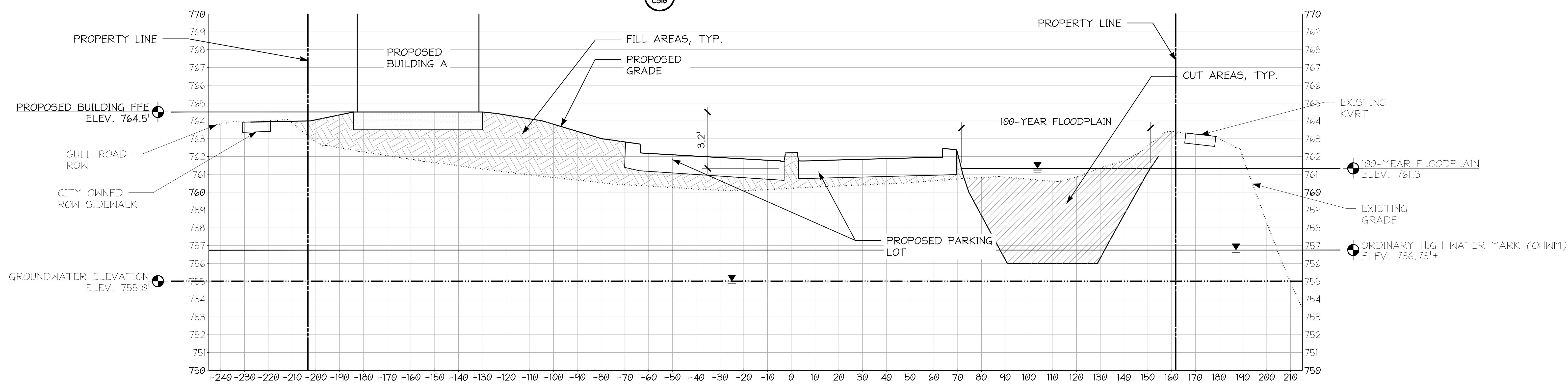
PLAN VIEW - EXISTING
 1"=40'



PLAN VIEW - PROPOSED
 1"=40'

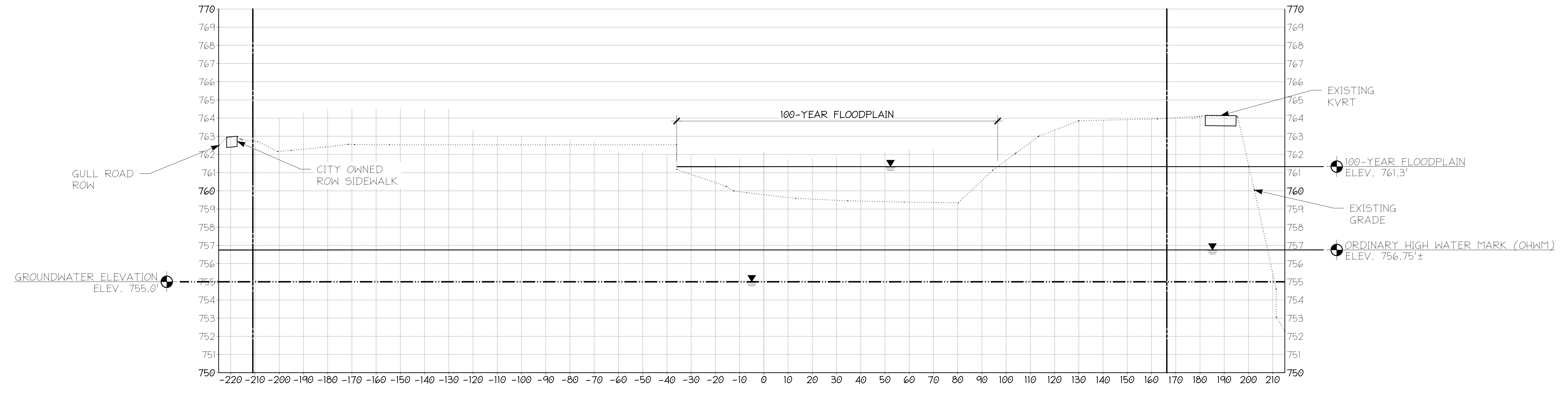
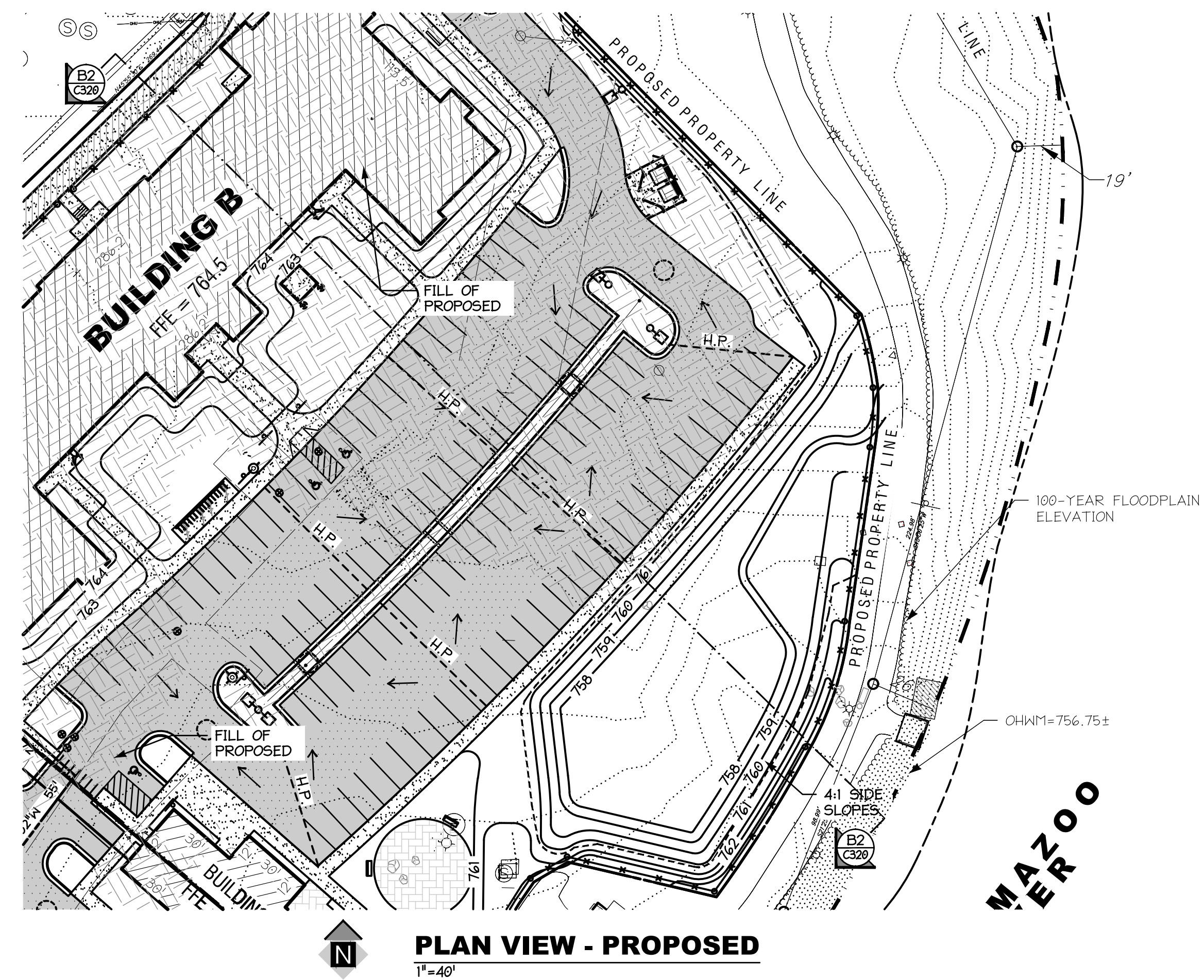
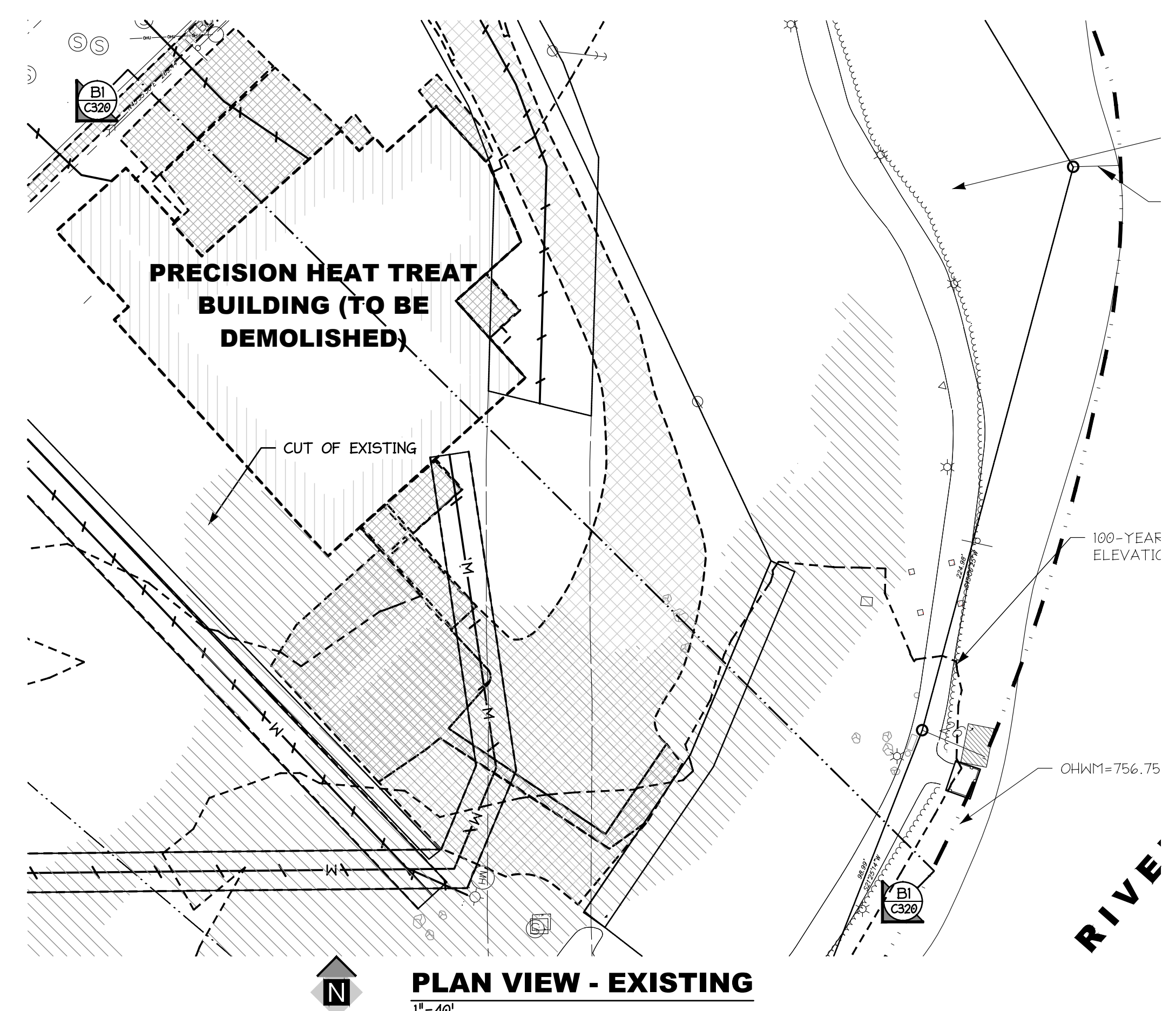


EXISTING CONDITIONS SECTION A
 A1
 C310

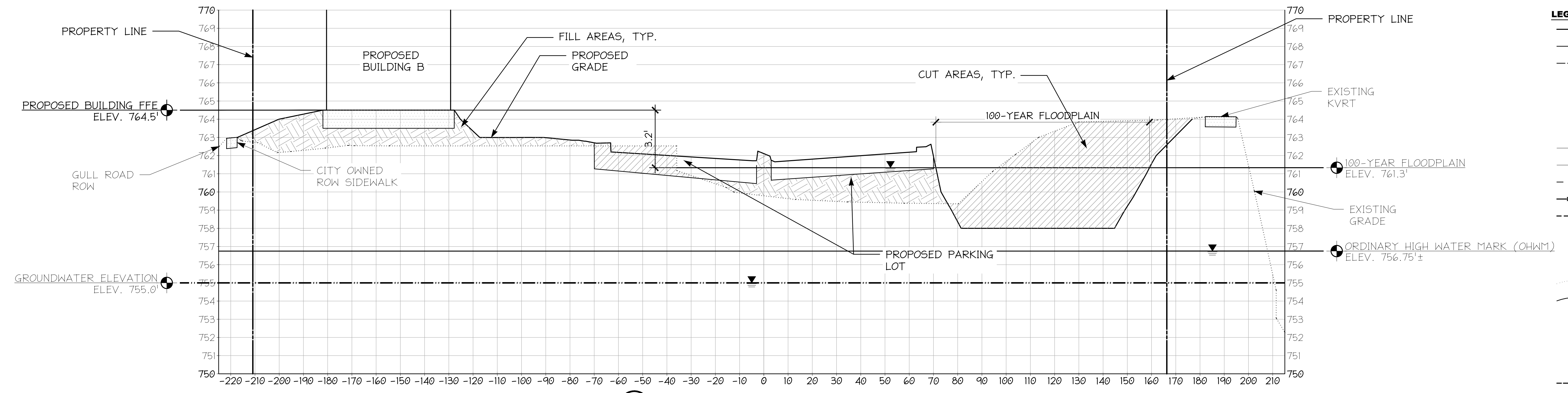


PROPOSED CONDITIONS SECTION A
 A2
 C310

4/17/2025: River's Edge Redevelopment: (RiverCaddis)Drawings\05-C310 - Site Cross Section A-A.dwg last saved 7/15/2022
 Plotted: Tue, 7/15/2022 at 11:58am by mgrammhaman



B1
C320 **EXISTING CONDITIONS SECTION B**



B2
C320 **PROPOSED CONDITIONS SECTION B**

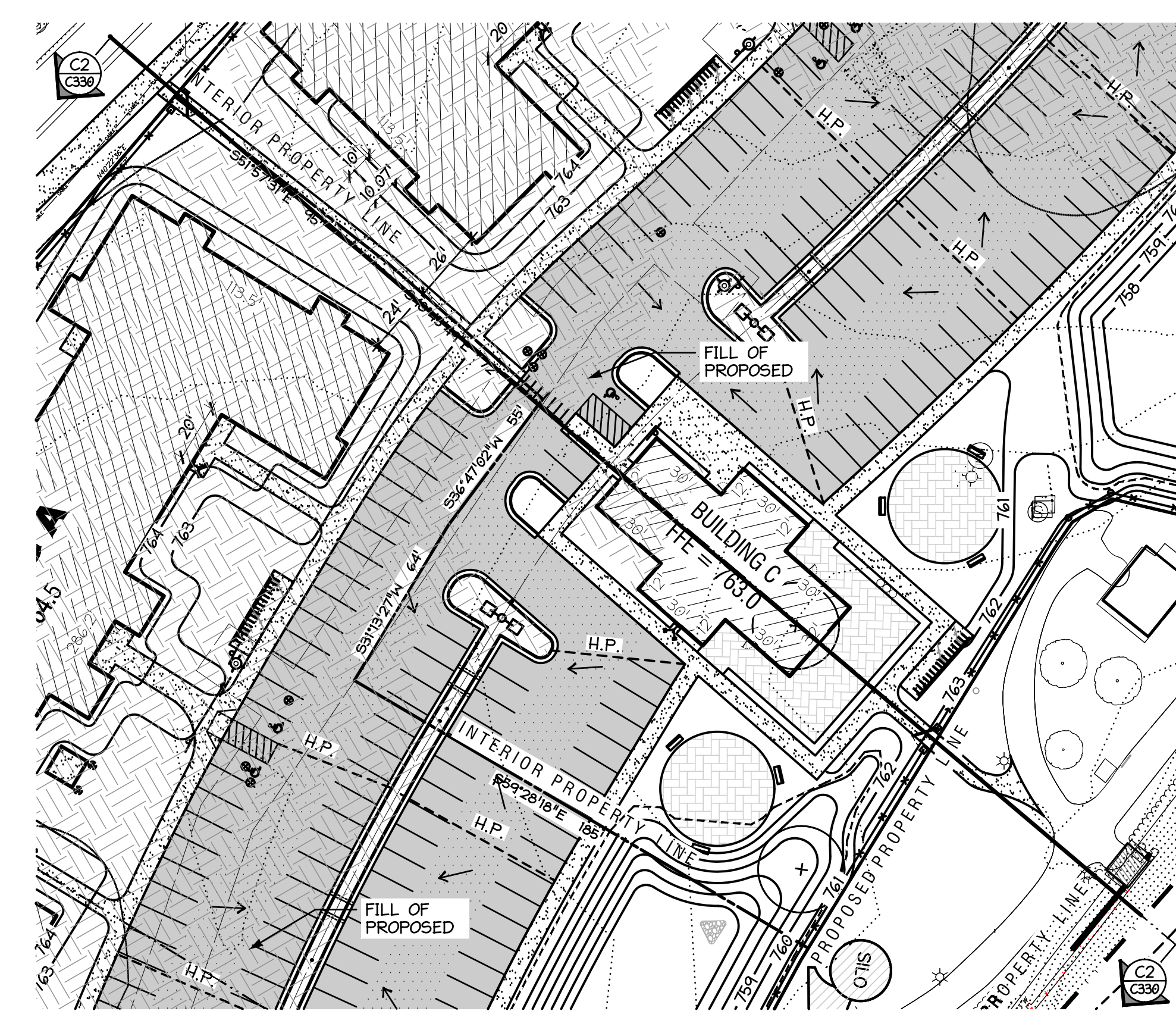
LEGEND:

- PROPERTY LINE
- BUILDING SETBACK
- RIGHT OF WAY (ROW)
- NEW CONCRETE
- NEW BITUMINOUS
- NEW HEAVY DUTY BITUMINOUS
- NEW GRAVEL
- ITEMS TO REMOVE (DEMO)
- ABANDON OR ABANDONED
- ITEMS PLANNED FOR FUTURE
- FENCE
- GRADE BREAK
- EXISTING SPOT ELEVATION
- SPOT ELEVATION
- MATCH EXISTING ELEVATION
- EXISTING CONTOUR
- CONTOUR
- MANHOLE/CATCH BASIN
- CLEANOUT
- NEW CONCRETE
- NEW BITUMINOUS
- SILT FENCE
- DRAINAGE FLOW DIRECTION

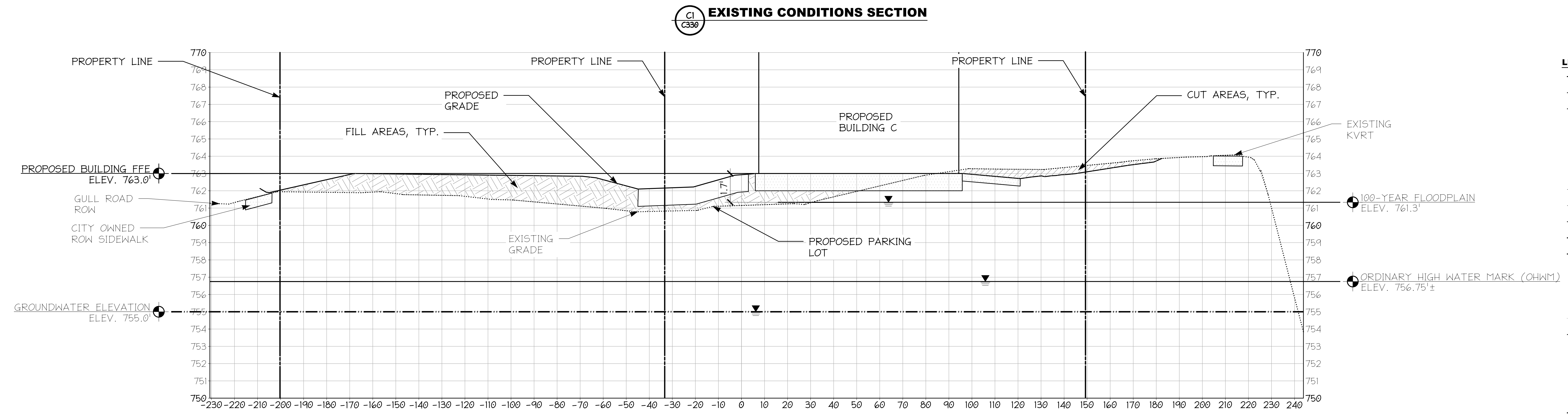
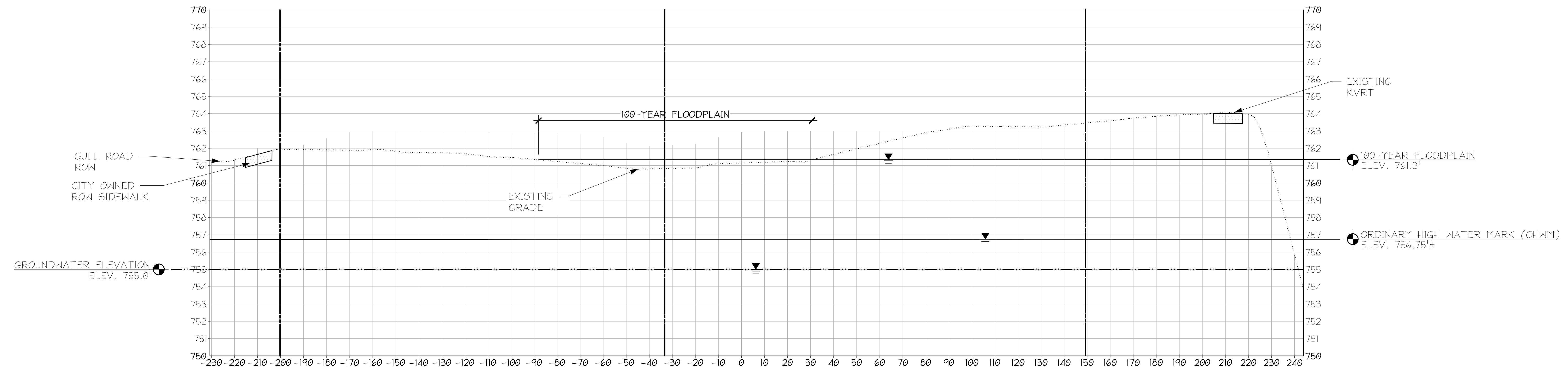
4/17/2025: River's Edge Redevelopment - (RiverCaddis)Drawings\05-C320 - Site Cross Section B-B.dwg last saved 1-13-2022
 Plotted: Tue, 1-14-2022 at 11:08am by: mngm@rivercaddis.com



PLAN VIEW - EXISTING
1"=40'



PLAN VIEW - PROPOSED
1"=40'



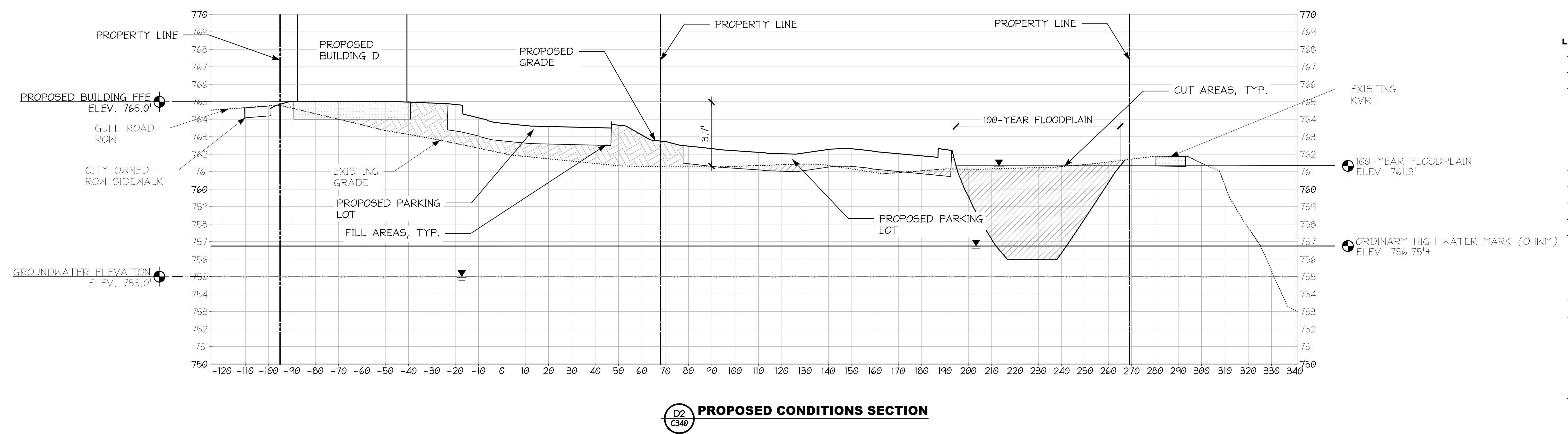
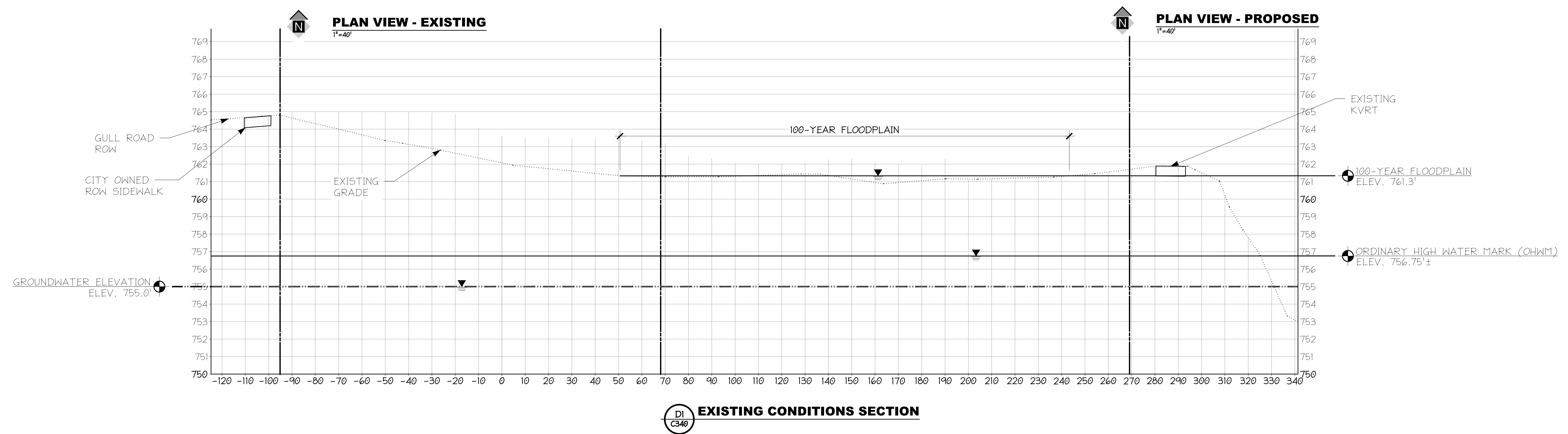
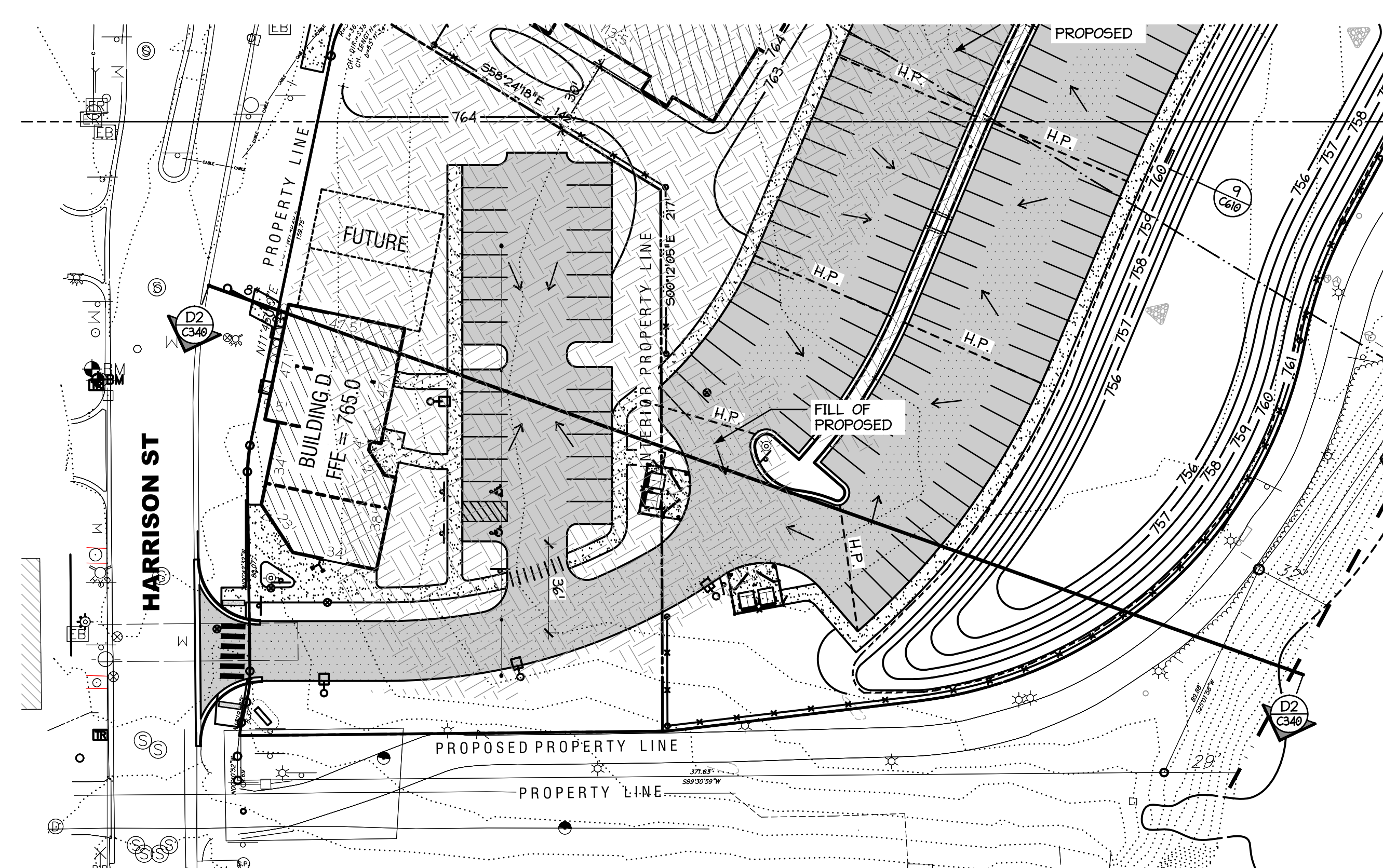
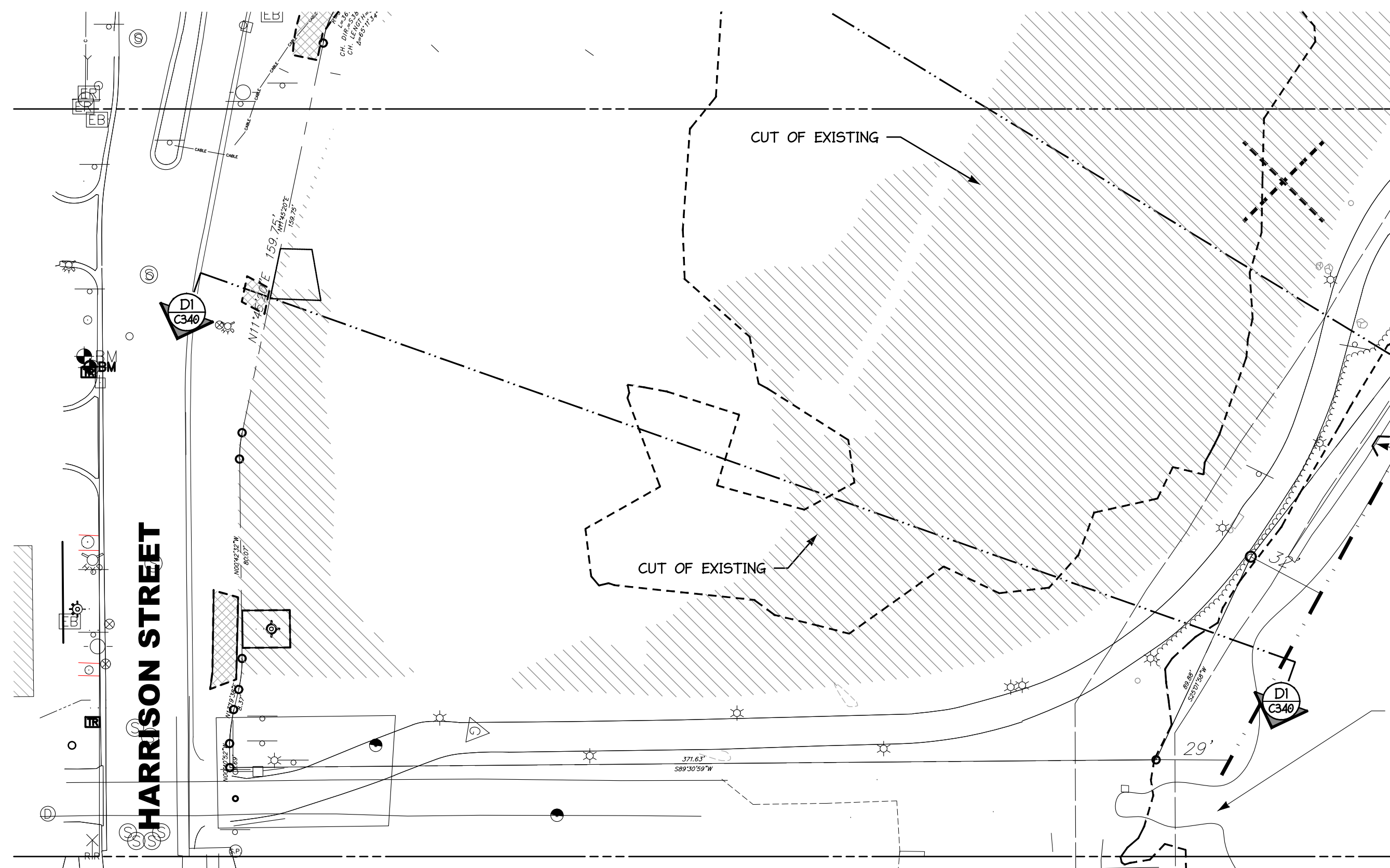
LEGEND:

- PROPERTY LINE
- BUILDING SETBACK
- RIGHT OF WAY (ROW)
- NEW CONCRETE
- NEW BITUMINOUS
- NEW HEAVY DUTY BITUMINOUS
- NEW GRAVEL
- ITEMS TO REMOVE (DEMO)
- ABANDON OR ABANDONED
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- GRADE BREAK
- EXISTING SPOT ELEVATION
- SPOT ELEVATION
- MATCH EXISTING ELEVATION
- EXISTING CONTOUR
- CONTOUR
- MANHOLE/CATCH BASIN
- CLEANOUT
- NEW CONCRETE
- NEW BITUMINOUS
- SILT FENCE
- DRAINAGE FLOW DIRECTION

River's Edge Development
508 Harrison Street · Kalamazoo, Michigan

2022.07.18 ISSUED FOR SITE PLAN APPROVAL
SITE CROSS SECTION C-C

4/17/2025: River's Edge Redevelopment (RiverCaddis) Drawings 055-C330 - Site Cross Section C-C.dwg last saved 7:19:2022
 Plotted: Tue, 7/19/2022 at 11:04:00 AM by magnumtan



- LEGEND:**
- PROPERTY LINE
 - - - BUILDING SETBACK
 - - - RIGHT OF WAY (ROW)
 - [Pattern] NEW CONCRETE
 - [Pattern] NEW BITUMINOUS
 - [Pattern] NEW HEAVY DUTY BITUMINOUS
 - [Pattern] NEW GRAVEL
 - [Pattern] ITEMS TO REMOVE (DEMO)
 - [Pattern] ABANDON OR ABANDONED
 - [Pattern] ITEMS PLANNED FOR FUTURE
 - x - x - FENCE
 - - - GRADE BREAK
 - EXISTING SPOT ELEVATION
 - SPOT ELEVATION
 - MATCH EXISTING ELEVATION
 - EXISTING CONTOUR
 - CONTOUR
 - MANHOLE/CATCH BASIN
 - CLEANOUT
 - [Pattern] NEW CONCRETE
 - [Pattern] NEW BITUMINOUS
 - [Pattern] SILT FENCE
 - ← DRAINAGE FLOW DIRECTION

River's Edge Development
508 Harrison Street · Kalamazoo, Michigan

2022.07.18 ISSUED FOR SITE PLAN APPROVAL
SITE CROSS SECTION D-D

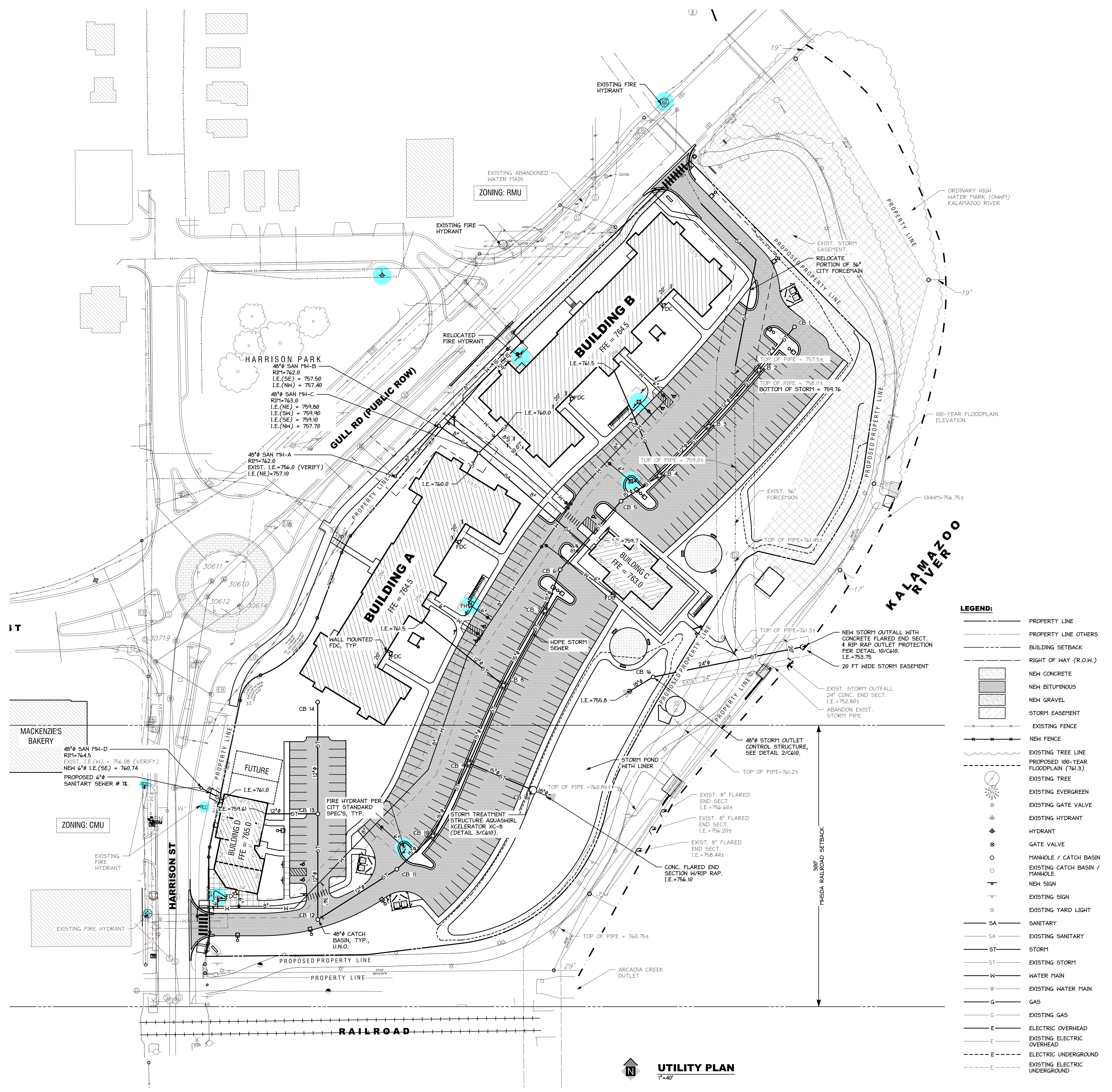
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 Plotted: Tue, 7-13-2022 at 11:08am by mgrammahan

UTILITY NOTES:

- UTILITIES & CONSTRUCTION TO COMPLY WITH REQUIREMENTS OF LOCAL AND STATE AUTHORITIES HAVING JURISDICTION.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO START OF WORK.
- HOOK-UP AND TIE IN TO EXISTING UTILITIES TO MEET LOCAL REQUIREMENTS FOR EACH UTILITY INVOLVED: WATER, SEWER, STORM, GAS, ELECTRIC, PHONE, ETC.
- STORM SEWER PIPE TO BE N-12 HDPE, UNLESS NOTED OTHERWISE.
- WATER MAIN TO CL52 DIP WITH CONTAMINANT RESISTANT GASKETS, 5'-0" MIN. COVER ON PIPE AND IN ACCORDANCE WITH ALL OTHER REQUIREMENTS OF CITY OF KALAMAZOO 2021 STANDARD SPECIFICATIONS. PRESSURE TEST AND DISINFECT WATER SERVICE.
- PROPOSED WATER MAIN SYSTEMS SHALL USE CONTAMINANT RESISTANT NITRILE TYPE GASKETS IN ACCORDANCE WITH CITY OF KALAMAZOO STANDARD SPECIFICATION SECTION 2.01 A.B. ALL WATER MAIN, HYDRANT LEADS, AND WATER SERVICE LINES SHALL BE POLY-WRAPPED.
- CONNECTIONS TO EXISTING MANHOLES: CUT A HOLE IN THE EXISTING MANHOLE ADEQUATE TO RECEIVE THE NEW PIPE. ANY REINFORCING STEEL SHALL BE BENT OUT OF THE WAY. AFTER THE NEW PIPE IS IN PLACE, THE REINFORCING STEEL SHALL BE BENT BACK INTO THE VOID AROUND THE NEW PIPE AND THE VOID SHALL BE FILLED WITH CEMENT GROUT. PROVIDE FLEXIBLE SEALS AT PIPE CONNECTIONS TO NEW MANHOLES.
- PROVIDE TEMP. SILT FENCING AND INLET PROTECTION AT ALL SITE CATCH BASINS. PROVIDE SEED & MULCH TO ALL DISTURBED LAWN AREAS, AND PROVIDE ALL OTHER SOIL EROSION CONTROL MEASURES AS REQUIRED.
- FOR GRADING IN AREAS NOT SHOWN, PAVEMENT SLOPES TO BE 1% MINIMUM AND 5% MAXIMUM.
- ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE THE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.
- NOTE TO CONTRACTOR: CALL "MISS DIG" THREE FULL WORKING DAYS BEFORE YOU DIG TOLL FREE AT 1-800-426-7171 OR CALL HDIG FREE FROM YOUR AT&T CELLULAR PHONE FOR UTILITIES LOCATION ON THE GROUND.
- CONTRACTOR RESPONSIBLE FOR PUBLIC UTILITY EASEMENT WORK, TO BE PERFORMED BY PROFESSIONAL SURVEYOR AND FURNISHED TO CITY OF KALAMAZOO FOR RECORDS, AS REQUIRED.
- ALLOWANCE FOR EASEMENT WORK SHALL INCLUDE REVISIONS TO EXISTING EASEMENTS ON SITE THAT ARE TO BE RELEASED OR DIS-SERVICED AS PART OF PROPOSED CODE.
- RELOCATION OF THE SANITARY FORCEMAIN COSTS FOR RELOCATION, DESIGN, DEMATERING & CONSTRUCTION SHALL BE COMPLETED AT OWNER'S EXPENSE.
- PART 41 SANITARY SEWER PERMIT TO BE OBTAINED FROM EGLE PRIOR TO START OF WORK.

STORM SEWER STRUCTURE SCHEDULE						
MARK	SIZE	RIM	INVERT IN	INVERT OUT	CASTING & COVER	DETAIL
CB 1	48"	761.8	759.17	759.17	EJ 1040 / TYPE M	4/C610
CB 2	48"	761.6	758.87	758.87	EJ 1040 / TYPE M	4/C610
CB 3	48"	761.5	758.63	758.63	EJ 1040 / TYPE M	4/C610
CB 4	48"	761.3	758.41	758.41	EJ 1040 / TYPE 01	4/C610
CB 5	48"	761.3	758.26	758.26	EJ 1040 / TYPE 01	4/C610
CB 6	48"	761.3	757.97	757.97	EJ 1040 / TYPE 01	4/C610
CB 7	48"	761.3	757.74	757.74	EJ 1040 / TYPE 01	4/C610
CB 8	48"	761.3	757.29	757.29	EJ 1040 / TYPE 01	4/C610
CB 9	48"	761.3	756.84	756.84	EJ 1040 / TYPE 01	4/C610
CB 10	48"	761.3	757.72	757.72	EJ 1040 / TYPE M	4/C610
CB 11	48"	761.6	757.98	757.98	EJ 1040 / TYPE M	4/C610
CB 12	48"	763.5	758.48	758.48	EJ 1040 / TYPE M	4/C610
CB 13	48"	763.0	759.05	759.05	EJ 1040 / TYPE M	4/C610
CB 14	48"	762.5	759.59	759.59	EJ 1040 / TYPE M	4/C610
CB 15	60"	761.0	756.25	756.25	EJ 1040 / TYPE M	3/C610
CB 16	48"	760.0	755.50	755.50	EJ 1040 / TYPE M	2/C610

NOTES:
1. EJ = EAST JORDAN IRON WORKS (OR APPROVED EQUIVALENT).
2. CASTING & COVERS VARY: TYPE 01 GRATE-BEEHIVE (TYPICAL AT ALL LAWN AREAS), TYPE M1 GRATE-MEDIUM DUTY FLAT GRATE (TYPICAL PAVEMENT)
3. WHERE INVERT OUT ELEVATION IS NOT NOTED IN TABLE ASSUME INVERT OUT TO MATCH INVERT IN ELEVATION.

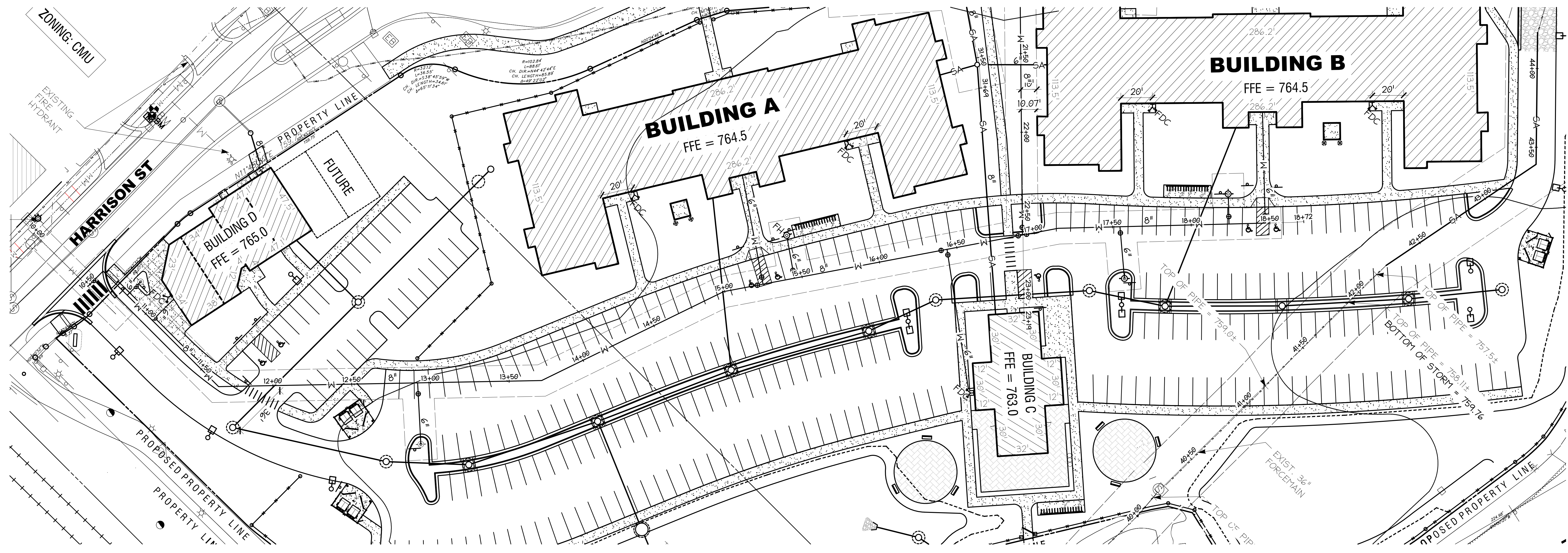


- LEGEND:**
- PROPERTY LINE
 - PROPERTY LINE OTHERS
 - BUILDING SETBACK
 - RIGHT OF WAY (R.O.W.)
 - NEW CONCRETE
 - NEW BITUMINOUS
 - NEW GRAVEL
 - STORM EASEMENT
 - EXISTING FENCE
 - NEW FENCE
 - EXISTING TREE LINE
 - PROPOSED 100-YEAR FLOODPLAIN (761.3)
 - EXISTING TREE
 - EXISTING EVERGREEN
 - EXISTING GATE VALVE
 - EXISTING HYDRANT
 - HYDRANT
 - GATE VALVE
 - MANHOLE / CATCH BASIN
 - EXISTING CATCH BASIN / MANHOLE
 - NEW SIGN
 - EXISTING SIGN
 - EXISTING YARD LIGHT
 - SA SANITARY
 - SA EXISTING SANITARY
 - ST STORM
 - ST EXISTING STORM
 - W WATER MAIN
 - W EXISTING WATER MAIN
 - G GAS
 - G EXISTING GAS
 - E ELECTRIC OVERHEAD
 - E EXISTING ELECTRIC OVERHEAD
 - E--- ELECTRIC UNDERGROUND
 - E--- EXISTING ELECTRIC UNDERGROUND

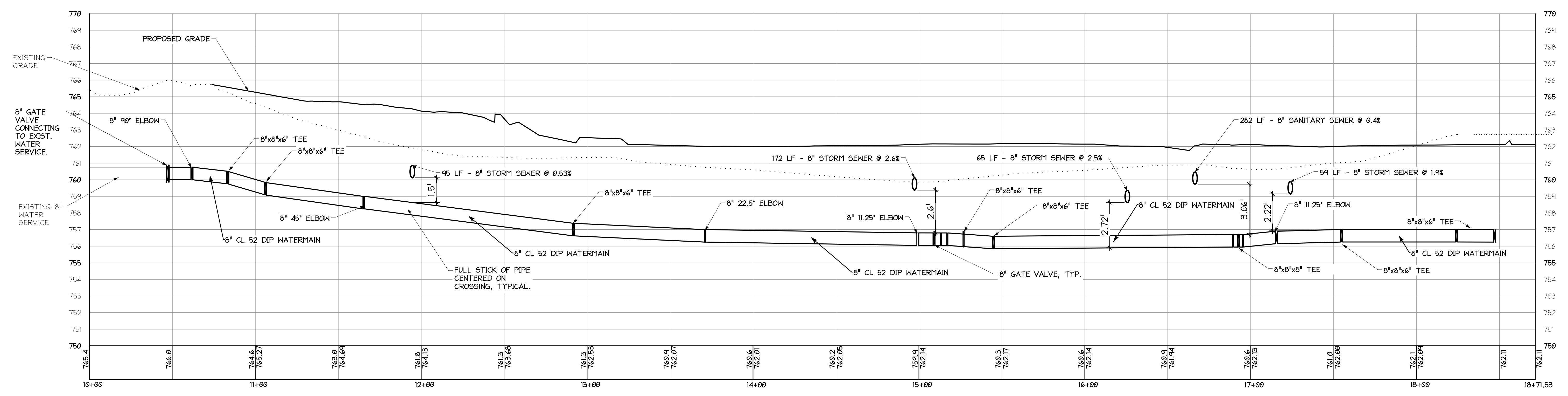
UTILITY PLAN
1"=40'

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508 Harrison Street - Kalamazoo, Michigan

H:\17100255 River's Edge Redevelopment (RiverCaddis)\Drawings\255-C400 - Utility Plan.dwg (last saved 7-19-2022)
Plotfile: 7-19-2022 at 2:25pm by mjohnson



PLAN VIEW
 1"=30'

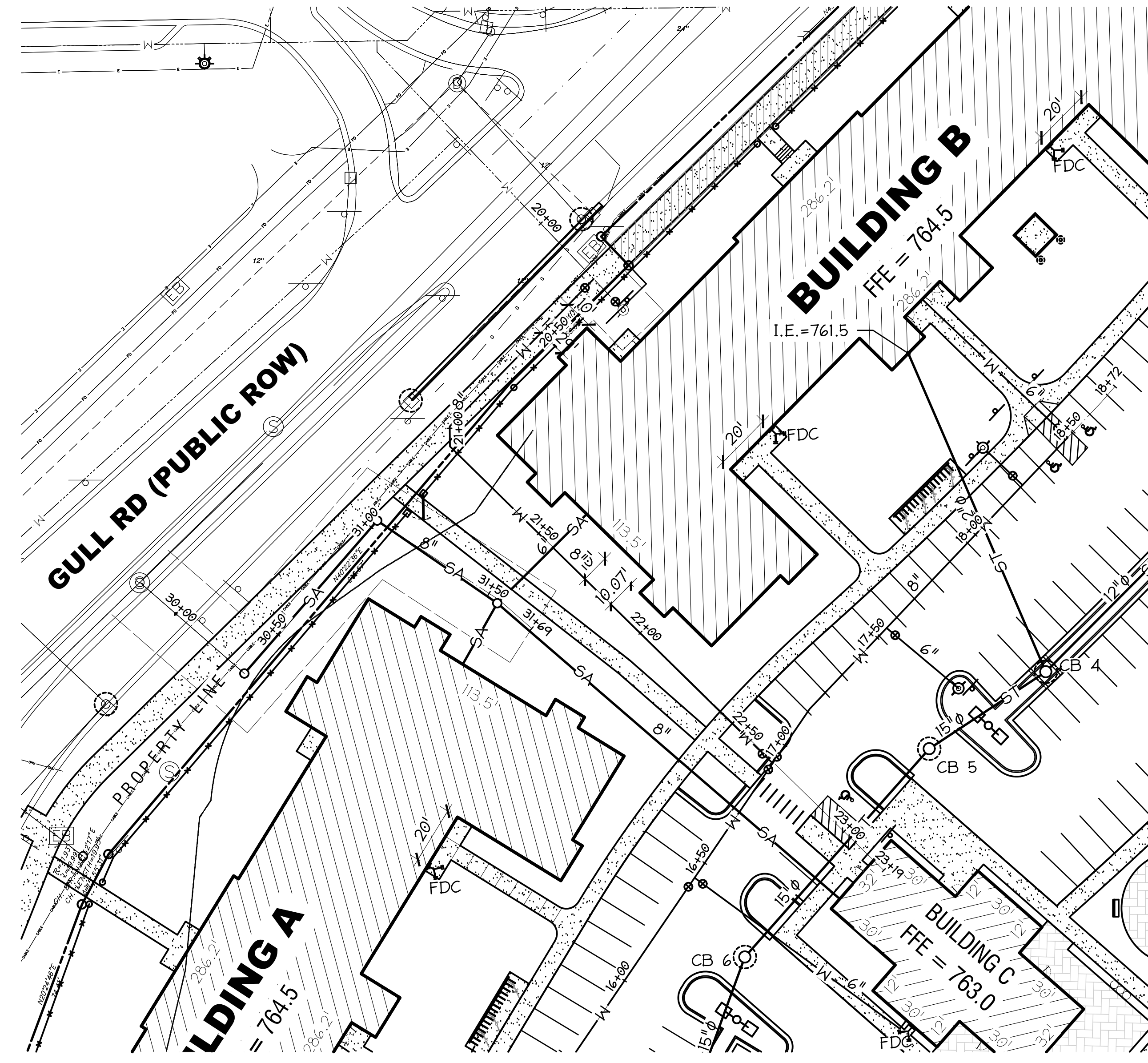


WATER MAIN PROFILE
 1"=3'

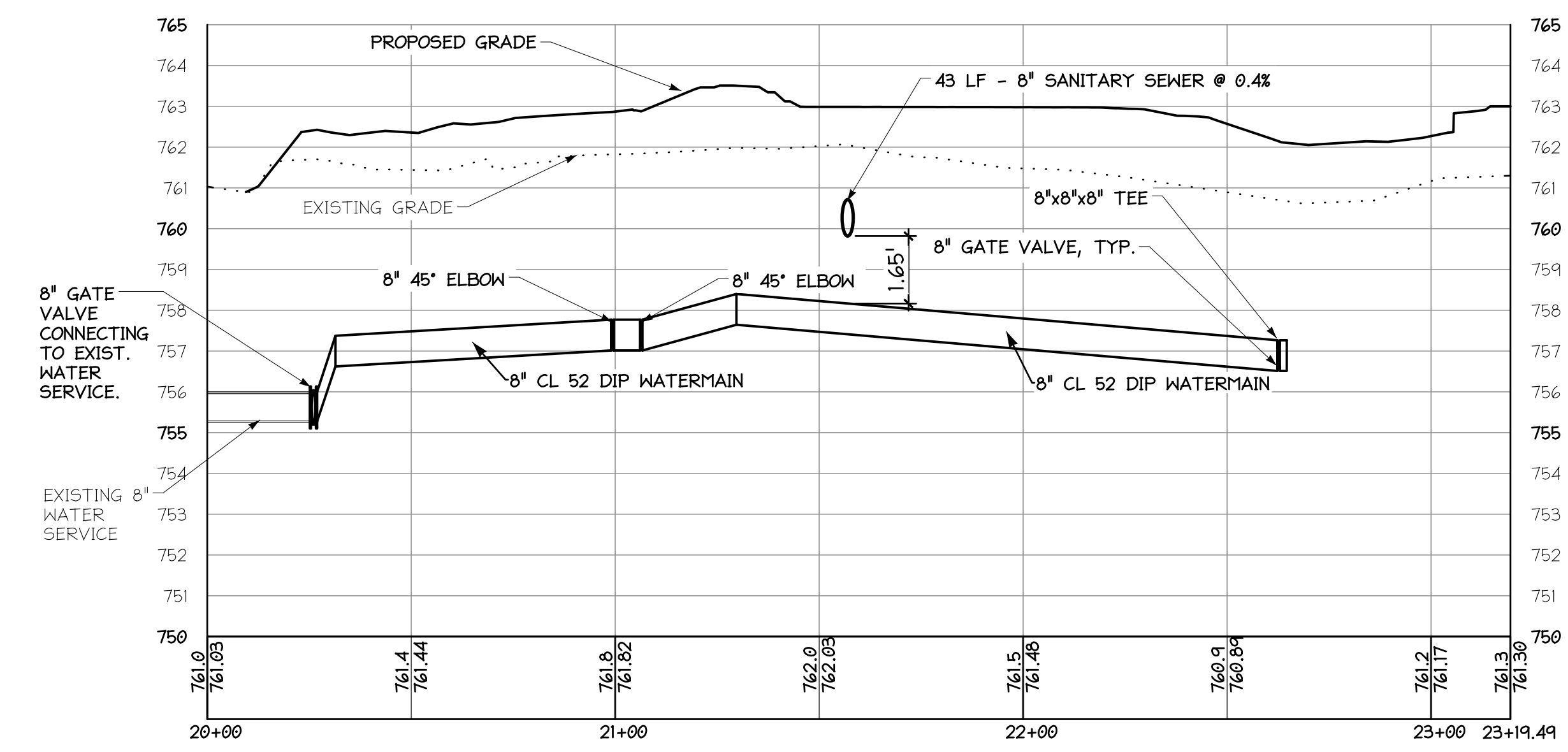
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 Plotted Tue, 7-19-2022 at 4:11pm by rmagnum

River's Edge Development
 508 Harrison Street - Kalamazoo, Michigan

2022.07.19 ISSUED FOR SITE PLAN APPROVAL
WATER MAIN PROFILE



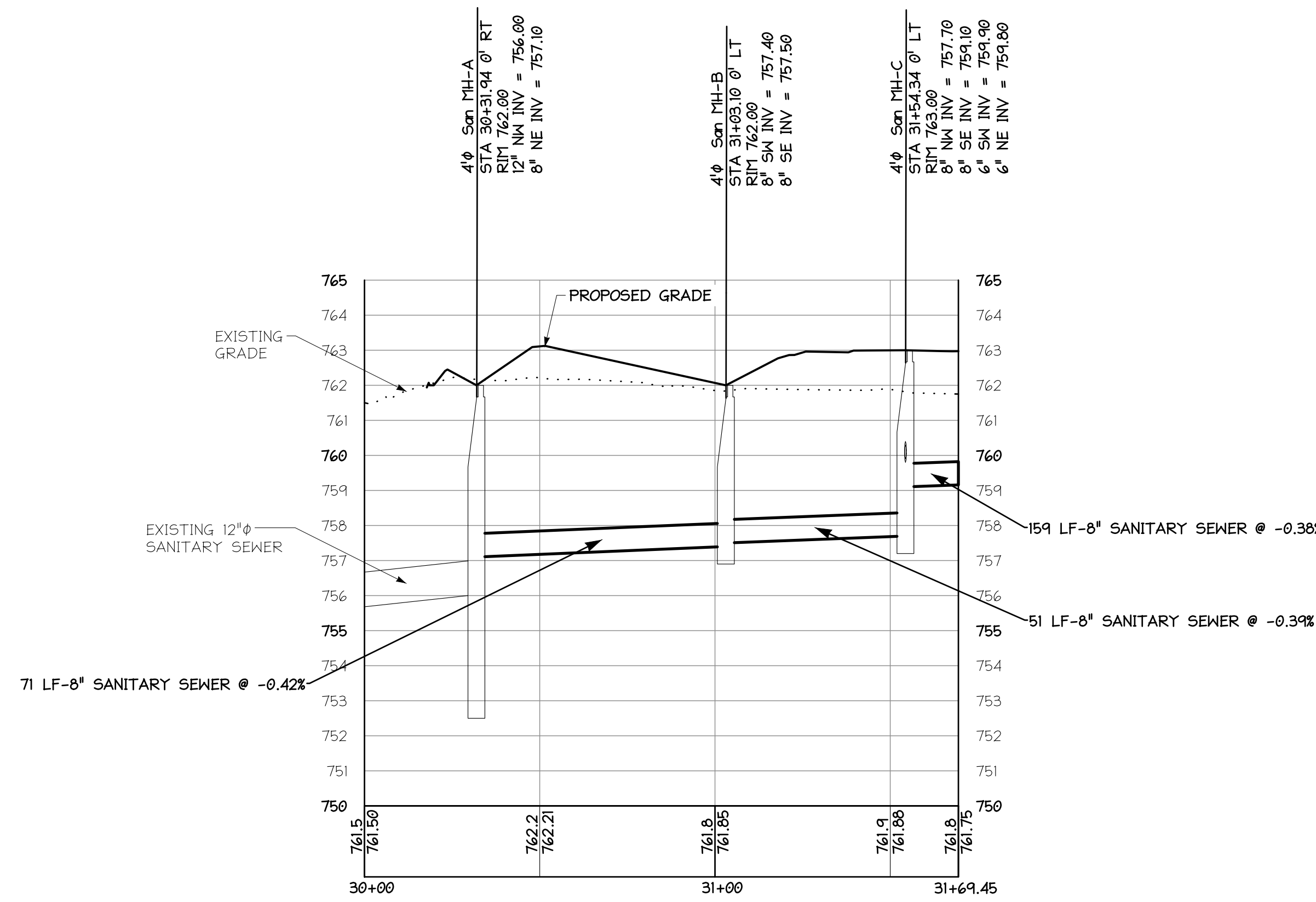
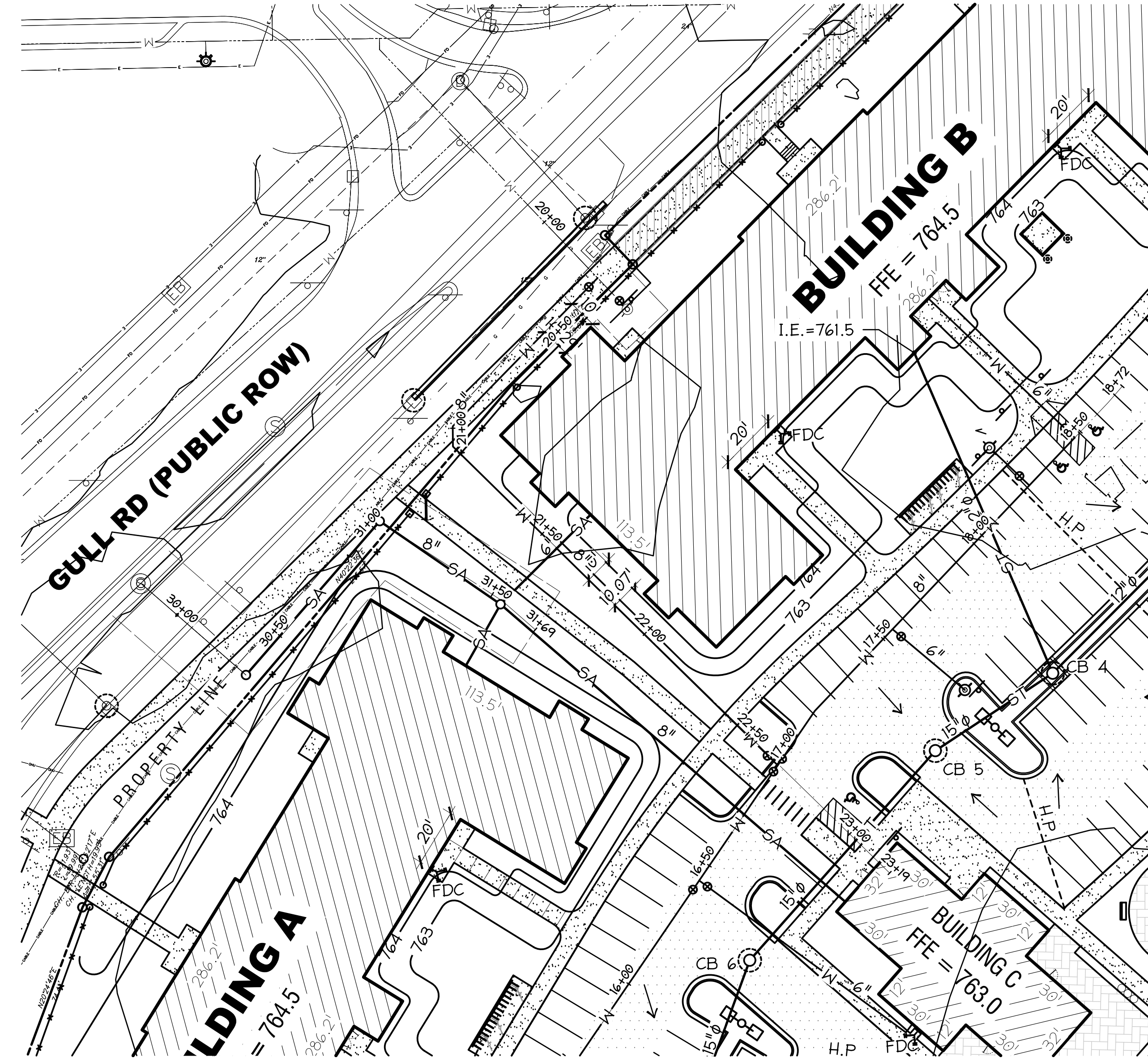
PLAN VIEW
1"=30'

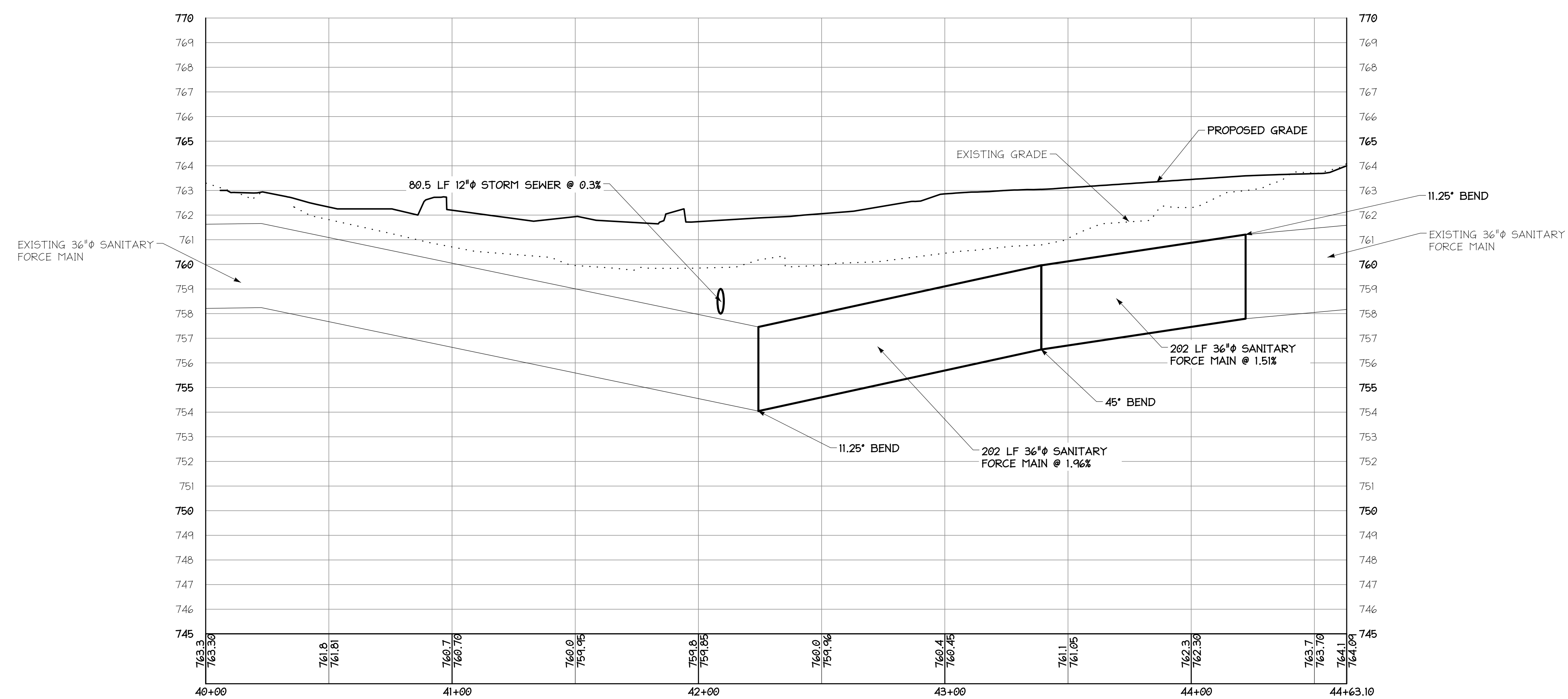
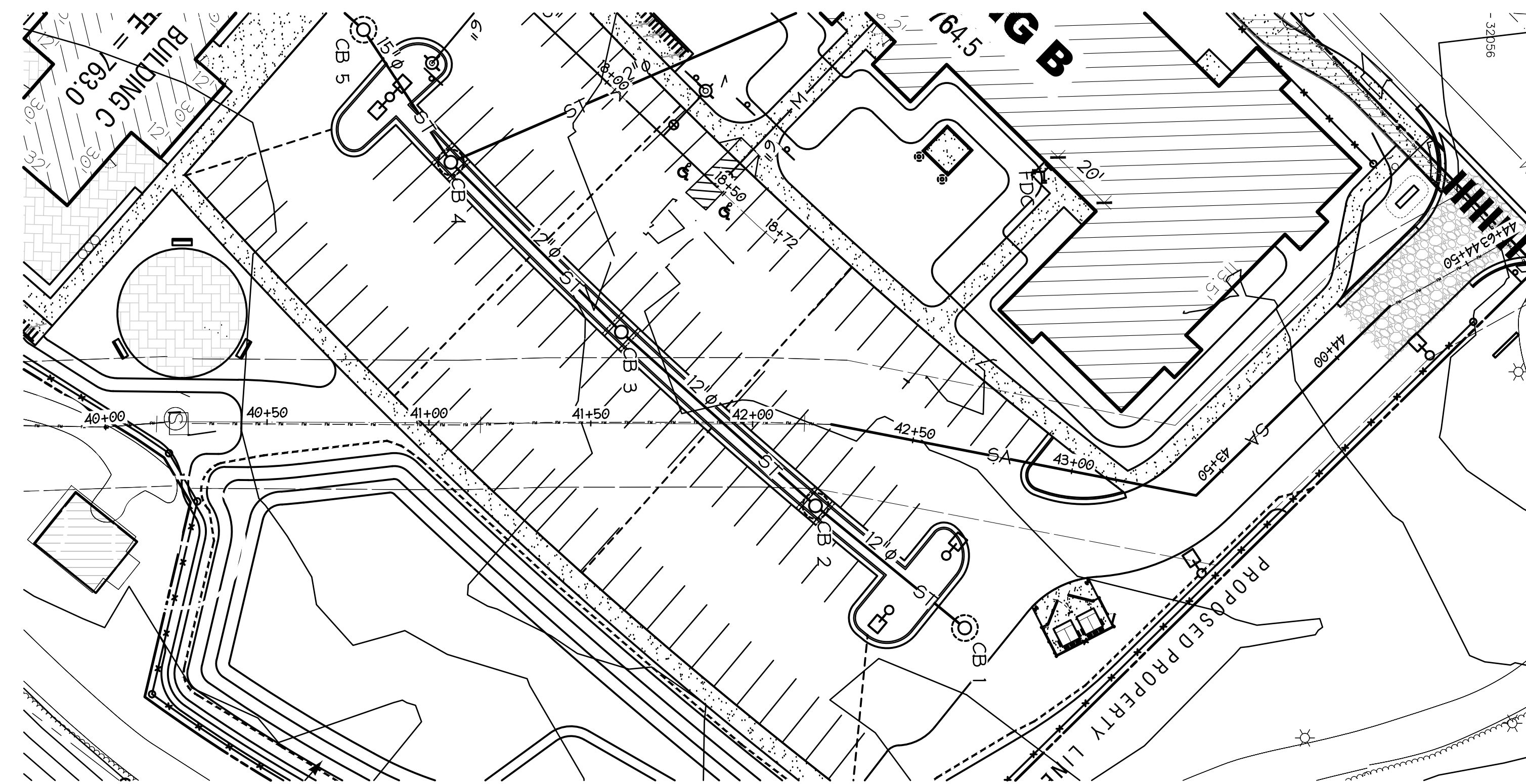


WATER MAIN PROFILE
1"=3'

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 Plotted Tue, 7-19-2022 at 4:58pm by Morgan Homan

H:\17100255 River's Edge Redevelopment (RiverCaddis)\Drawings\255-C430 - Sanitary Profile.dwg last saved 7-19-2022
 Plotted Tue, 7-19-2022 at 3:43pm by morgan.homan





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 Plotted Tue, 7-14-2022 at 3:35pm by maplan.homan

SESC MAINTENANCE SCHEDULE NOTES:

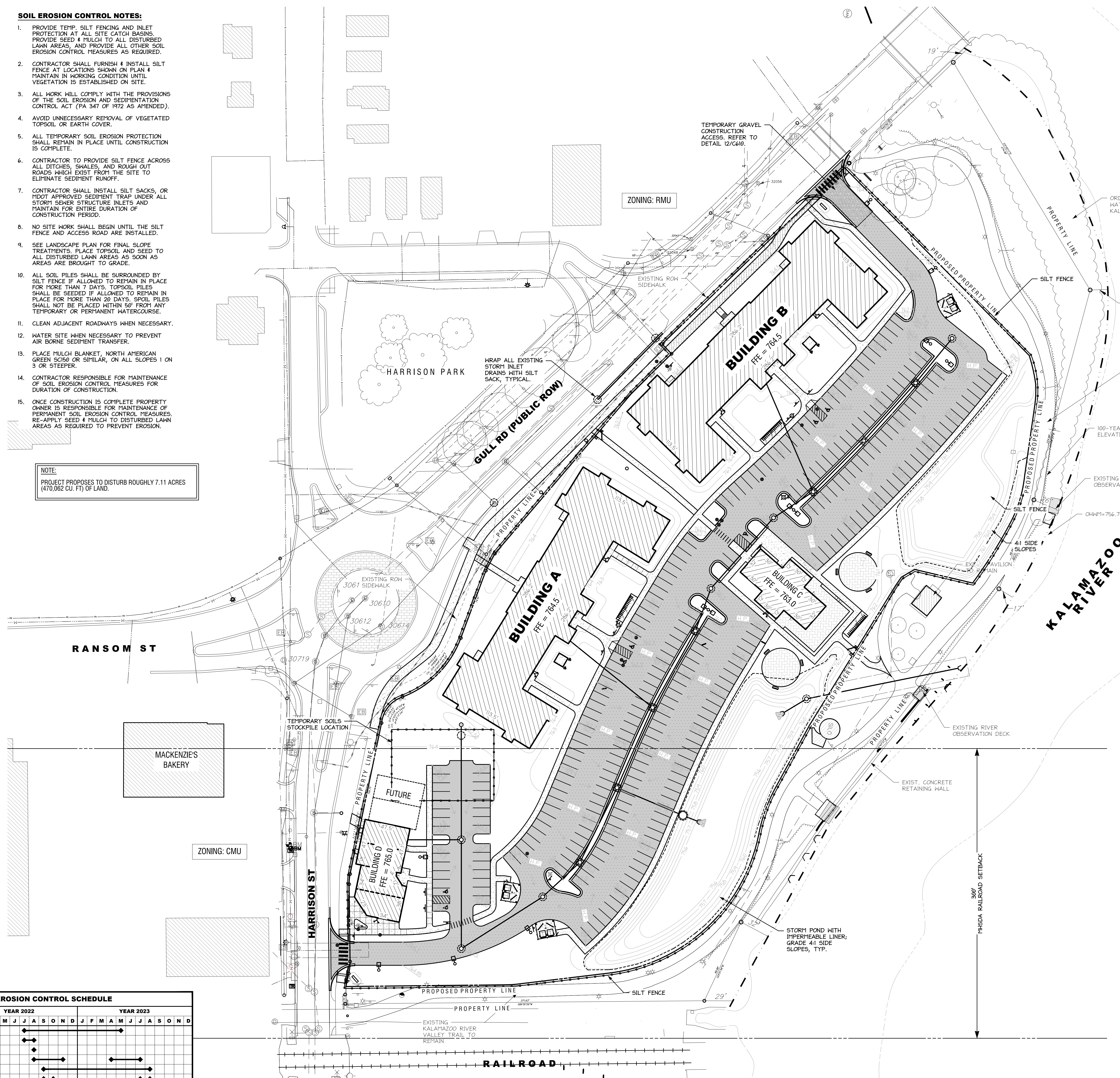
1. ALL SOIL EROSION & SEDIMENT CONTROL DEVICES SHALL BE INSPECTED ONCE PER WEEK & WITHIN 24 HOURS OF A PRECIPITATION EVENT BY A CERTIFIED STORM WATER OPERATOR. MAINTAIN INSPECTION RECORDS ON SITE.
2. IF ANY DAMAGE HAS RESULTED FROM CONSTRUCTION SITE RUNOFF, SEDIMENTATION OR NEAR THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ALL DISTURBED NON-PAVEMENT AREAS WITH TOPSOIL, SEED, FERTILIZER, AND MULCH.
3. THE CONTRACTOR SHALL INSPECT SEED & MULCH AREAS AFTER RAIN EVENTS FOR WASHOUT. AREAS THAT ARE BARE OR NOT MULCHED PROPERLY WILL NEED TO BE SPOT SEEDED AND RE-MULCHED AS REQ'D TO ESTABLISH VEGETATION AT ALL DISTURBED AREAS.
4. STABILIZED CONSTRUCTION ACCESS SHALL BE ESTABLISHED AT THE ONSET OF THE CONSTRUCTION ACTIVITIES AND BE MAINTAINED IN PLACE FOR THE DURATION OF THE CONSTRUCTION PROJECT.
5. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN EVENT. STABILIZED ENTRANCES SHALL BE REPAIRED AND ROCK ADDED AS NECESSARY.
6. SEDIMENT DEPOSITS ON PUBLIC RIGHTS-OF-WAY SHALL BE REMOVED IMMEDIATELY AND RETURNED TO THE CONSTRUCTION SITE.
7. IF SOILS ARE SUCH THAT WASHING OF TIRES IS REQUIRED, IT SHALL BE DONE IN A WASH ROCK AREA, STABILIZED WITH STONE, IMMEDIATELY PRIOR TO THE CONSTRUCTION ACCESS STABILIZED CORRIDOR.
8. UPON PROJECT COMPLETION, ROCK ACCESS ROAD SHOULD BE REMOVED AND DISPOSED OF UNLESS UTILIZED AS SUBGRADE FOR FINAL ROAD.
9. SILT FENCING IS REQUIRED ALONG ALL DOWNSTREAM EDGES OF THE WORK LIMITS AND MUST REMAIN IN PLACE UNTIL VEGETATION IS UNIFORMLY ESTABLISHED.
10. SILT FENCE SHOULD BE TRENCHED IN A MINIMUM OF 6" BACK-FILLED, AND STAPLED OR STAKED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS.
11. CONTRACTOR SHALL REMOVE BUILT-UP SEDIMENT WHEN THE SEDIMENT ACCUMULATES TO 40-50% THE HEIGHT OF FENCE AND DISPOSE OF IN A STABLE UPLAND SITE.
12. IT IS THE CONTRACTOR'S OBLIGATION TO REMOVE, REPLACE, RE-TRENCH, OR RE-BACKFILL THE FENCE UPON ANY FAILURE OR DAMAGE CAUSED BY CONSTRUCTION MACHINERY OR RESULTING FROM STORM EVENTS.
13. STORM DRAIN SILT SACKS SHALL BE INSPECTED FOR BUILD-UP OF SILT AND DEBRIS WEEKLY, AND FOLLOWING EACH STORM EVENT. MAINTENANCE REQUIREMENT IS EVIDENT IF FILTER IS CAUSING FLOODING (NOT PERMITTING FLOWS TO PASS).
14. SEDIMENT REMOVAL FROM THE FILTER IS NECESSARY WHEN SEDIMENT BUILD-UP REACHES A POINT OF 40-50% OF THE TOTAL HEIGHT OF THE FRAME, WHEN FLOW RESTRICTION IS OBSERVED OR WATER PONDING AT STORM STRUCTURE.
15. BRUSH, SWEEP OR WASH FILTER AND FRAME WITH A STIFF BRISTLE BROOM OR SQUARE POINT SHOVEL. INSPECT FOR ANY DAMAGE AND REPLACE FILTER AND/OR FRAME AS NEEDED.
16. IF SOIL EROSION/SEDIMENT CONTROL MEASURES ARE INADEQUATE FOR THE SITE, THE PROPER EROSION CONTROL AUTHORITY MUST BE NOTIFIED.

SOIL EROSION CONTROL NOTES:

1. PROVIDE TEMP. SILT FENCING AND INLET PROTECTION AT ALL SITE CATCH BASINS. PROVIDE SEED & MULCH TO ALL DISTURBED LAWN AREAS, AND PROVIDE ALL OTHER SOIL EROSION CONTROL MEASURES AS REQUIRED.
2. CONTRACTOR SHALL FURNISH & INSTALL SILT FENCE AT LOCATIONS SHOWN ON PLAN & MAINTAIN IN WORKING CONDITION UNTIL VEGETATION IS ESTABLISHED ON SITE.
3. ALL WORK WILL COMPLY WITH THE PROVISIONS OF THE SOIL EROSION AND SEDIMENTATION CONTROL ACT (PA 347 OF 1972 AS AMENDED).
4. AVOID UNNECESSARY REMOVAL OF VEGETATED TOPSOIL OR EARTH COVER.
5. ALL TEMPORARY SOIL EROSION PROTECTION SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETE.
6. CONTRACTOR TO PROVIDE SILT FENCE ACROSS ALL DITCHES, SHALES, AND ROUGH OUT ROADS WHICH EXIST FROM THE SITE TO ELIMINATE SEDIMENT RUNOFF.
7. CONTRACTOR SHALL INSTALL SILT SACKS, OR MDOT APPROVED SEDIMENT TRAP UNDER ALL STORM SEWER STRUCTURE INLETS AND MAINTAIN FOR ENTIRE DURATION OF CONSTRUCTION PERIOD.
8. NO SITE WORK SHALL BEGIN UNTIL THE SILT FENCE AND ACCESS ROAD ARE INSTALLED.
9. SEE LANDSCAPE PLAN FOR FINAL SLOPE TREATMENTS. PLACE TOPSOIL AND SEED TO ALL DISTURBED LAWN AREAS AS SOON AS AREAS ARE BROUGHT TO GRADE.
10. ALL SOIL PILES SHALL BE SURROUNDED BY SILT FENCE IF ALLOWED TO REMAIN IN PLACE FOR MORE THAN 7 DAYS. TOPSOIL PILES SHALL BE SEEDED IF ALLOWED TO REMAIN IN PLACE FOR MORE THAN 20 DAYS. SPOIL PILES SHALL NOT BE PLACED WITHIN 50' FROM ANY TEMPORARY OR PERMANENT WATERCOURSE.
11. CLEAN ADJACENT ROADWAYS WHEN NECESSARY.
12. WATER SITE WHEN NECESSARY TO PREVENT AIR BORNE SEDIMENT TRANSFER.
13. PLACE MULCH BLANKET, NORTH AMERICAN GREEN SC150 OR SIMILAR, ON ALL SLOPES 1 ON 3 OR STEEPER.
14. CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF SOIL EROSION CONTROL MEASURES FOR DURATION OF CONSTRUCTION.
15. ONCE CONSTRUCTION IS COMPLETE PROPERTY OWNER IS RESPONSIBLE FOR MAINTENANCE OF PERMANENT SOIL EROSION CONTROL MEASURES. RE-APPLY SEED & MULCH TO DISTURBED LAWN AREAS AS REQUIRED TO PREVENT EROSION.

NOTE:
PROJECT PROPOSES TO DISTURB ROUGHLY 7.11 ACRES (470,062 CU. FT.) OF LAND.

CONSTRUCTION ACTIVITY	YEAR 2022												YEAR 2023											
	J	F	M	A	M	J	J	A	S	O	N	D	J	F	M	A	M	J	J	A	S	O	N	D
TEMPORARY SESC CONTROL MEASURES																								
TOPSOIL STRIPPING & STOCKPILING																								
EARTHWORK, ROUGH SITE GRADING																								
SITE & UTILITY CONSTRUCTION																								
BUILDING CONSTRUCTION																								
FINISHED GRADING																								
PERMANENT EROSION CONTROLS																								
SITE CLEAN-UP																								
SITE STABILIZATION																								
REMOVE TEMPORARY SESC CONTROLS																								



LEGEND:

- PROPERTY LINE
- BUILDING SETBACK
- RIGHT OF WAY (ROW)
- NEW CONCRETE
- NEW BITUMINOUS
- NEW GRAVEL
- ITEMS PLANNED FOR FUTURE
- FENCE
- GRADE BREAK
- EXISTING SPOT ELEVATION
- SPOT ELEVATION
- MATCH EXISTING ELEVATION
- EXISTING CONTOUR
- CONTOUR
- MANHOLE/CATCH BASIN
- CLEANOUT
- EXISTING 100-YEAR FLOODPLAIN (761.3)
- SILT FENCE
- DRAINAGE FLOW DIRECTION

SOIL EROSION & SEDIMENTATION CONTROL PLAN
1"=40'

BYCE
ENGINEERS & ARCHITECTS
487 PORTAGE STREET
KALAMAZOO, MI 49007
CORPORATE@BYCE.COM
WWW.BYCE.COM
TEL: 269-381-6170
FAX: 269-381-6176

RIVERCADDIS
DEVELOPMENT

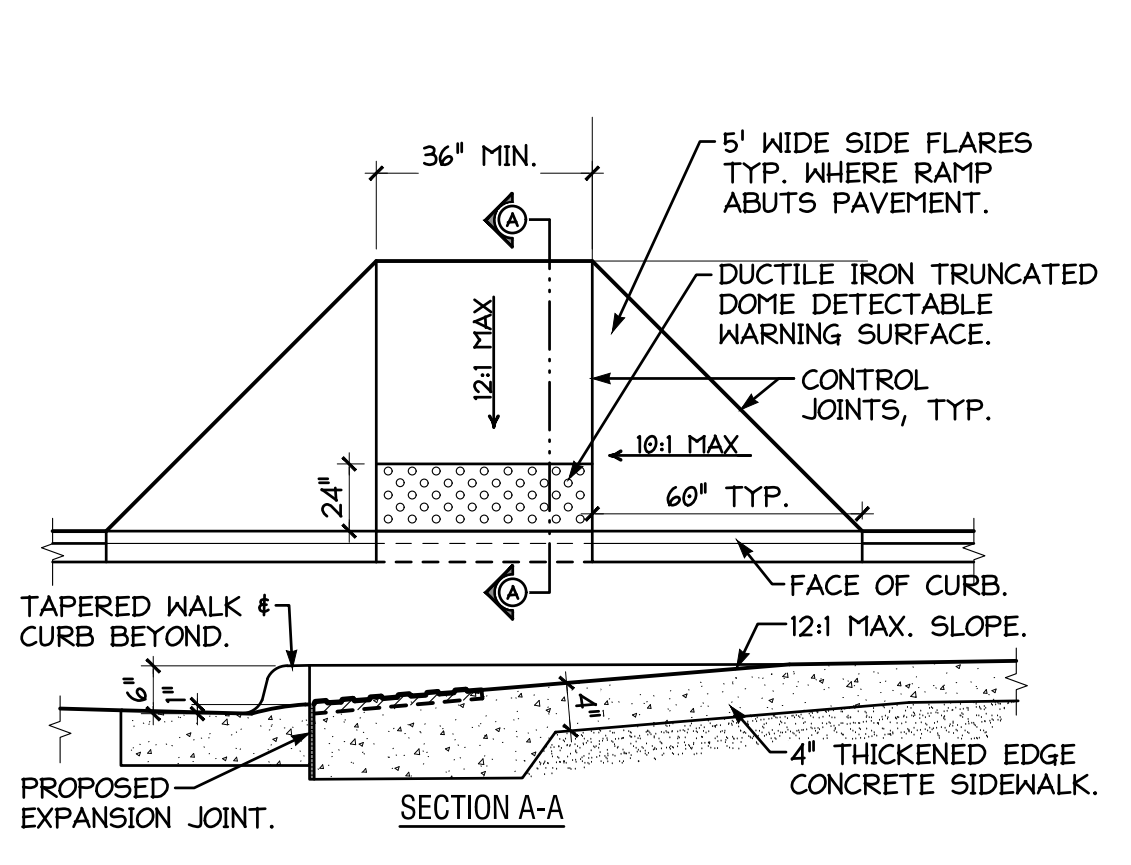
avb
BUILD SOMETHING BETTER.

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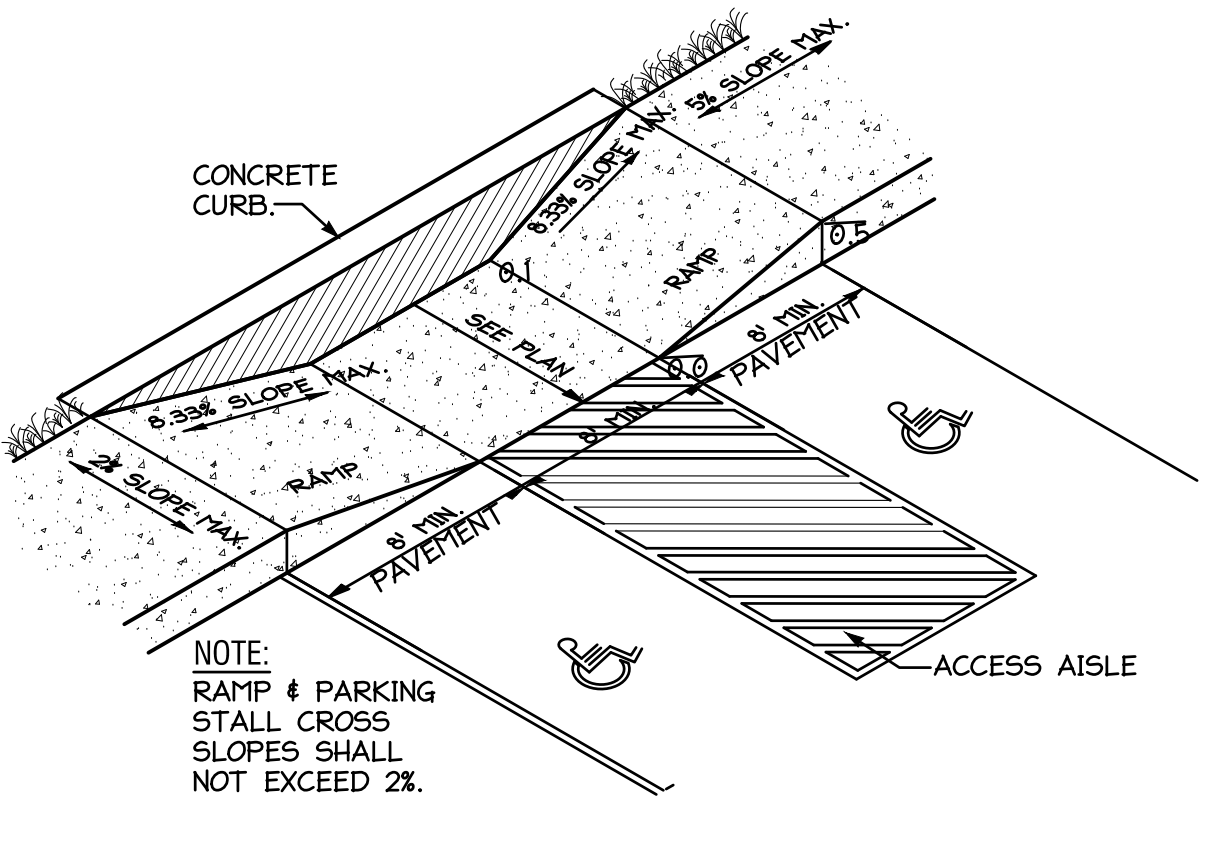
2022.07.01 ISSUED FOR SITE PLAN APPROVAL
SOIL EROSION AND SEDIMENTATION CONTROL PLAN

17100255
C500

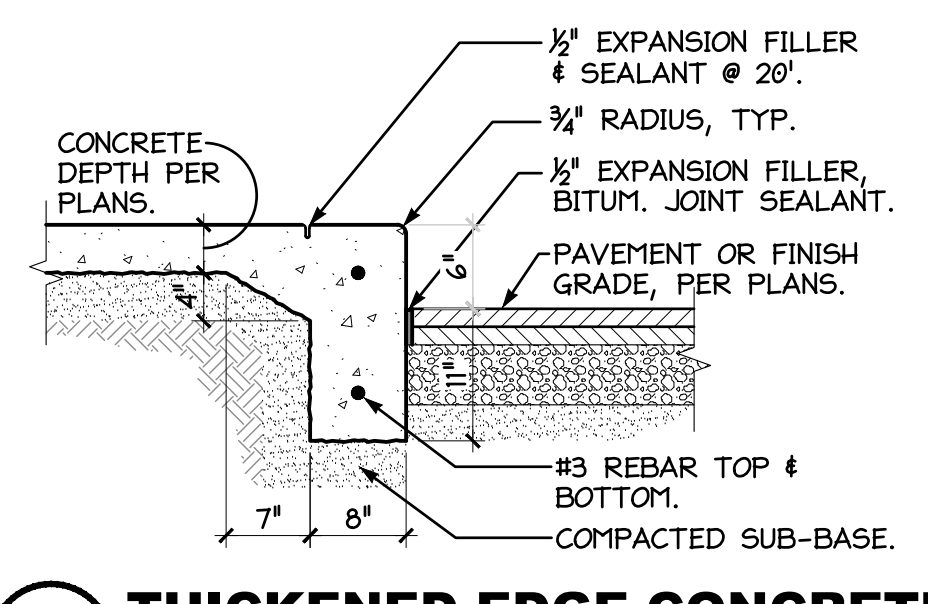
44170255 - River's Edge Redevelopment - (RiverCaddis) Drawings 055-C500 - SESC Plan.dwg last saved 7-13-2022
 Plotted Tue, 7-13-2022 at 8:00am by mslg@rivercaddis.com



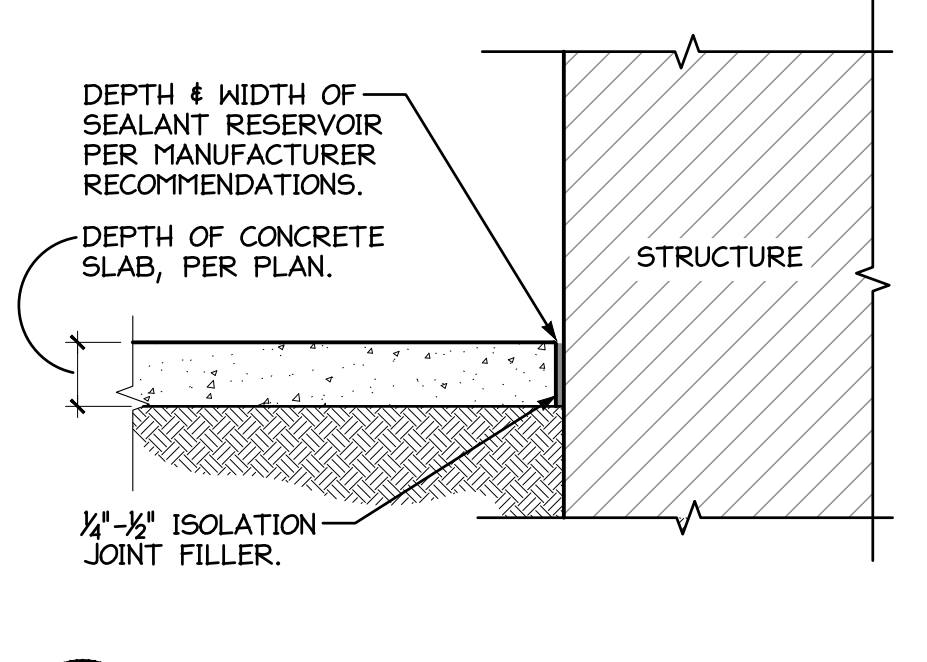
17 ADA CURB RAMP
C600 NOT TO SCALE



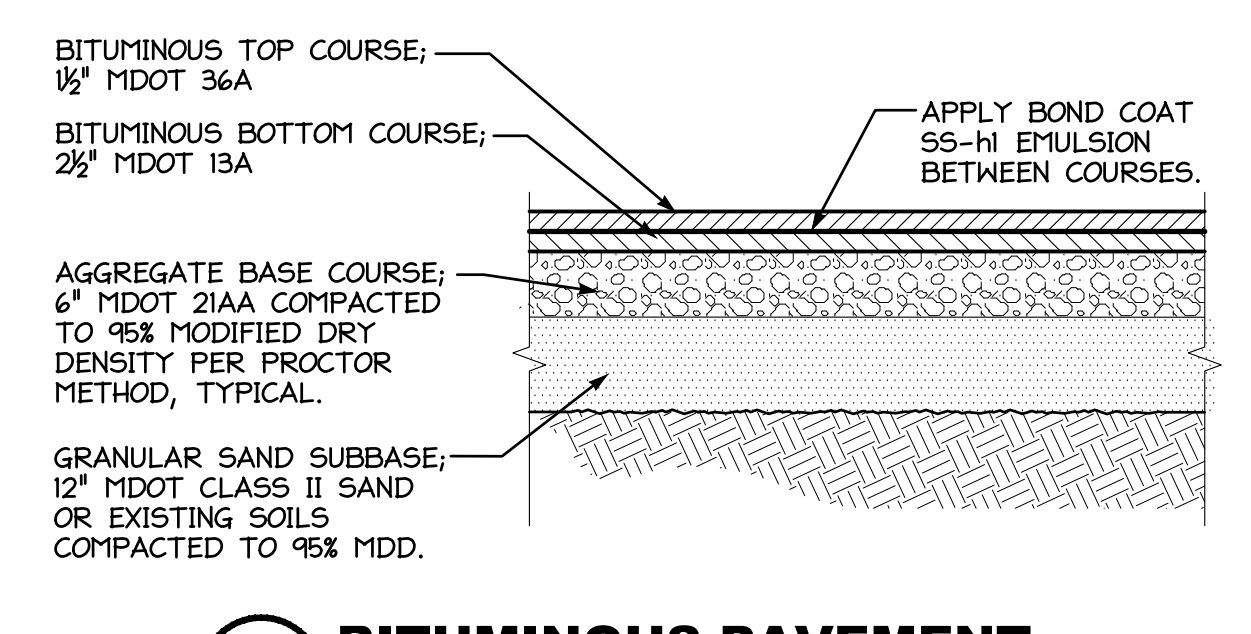
16 ADA SIDEWALK RAMP
C600 NOT TO SCALE



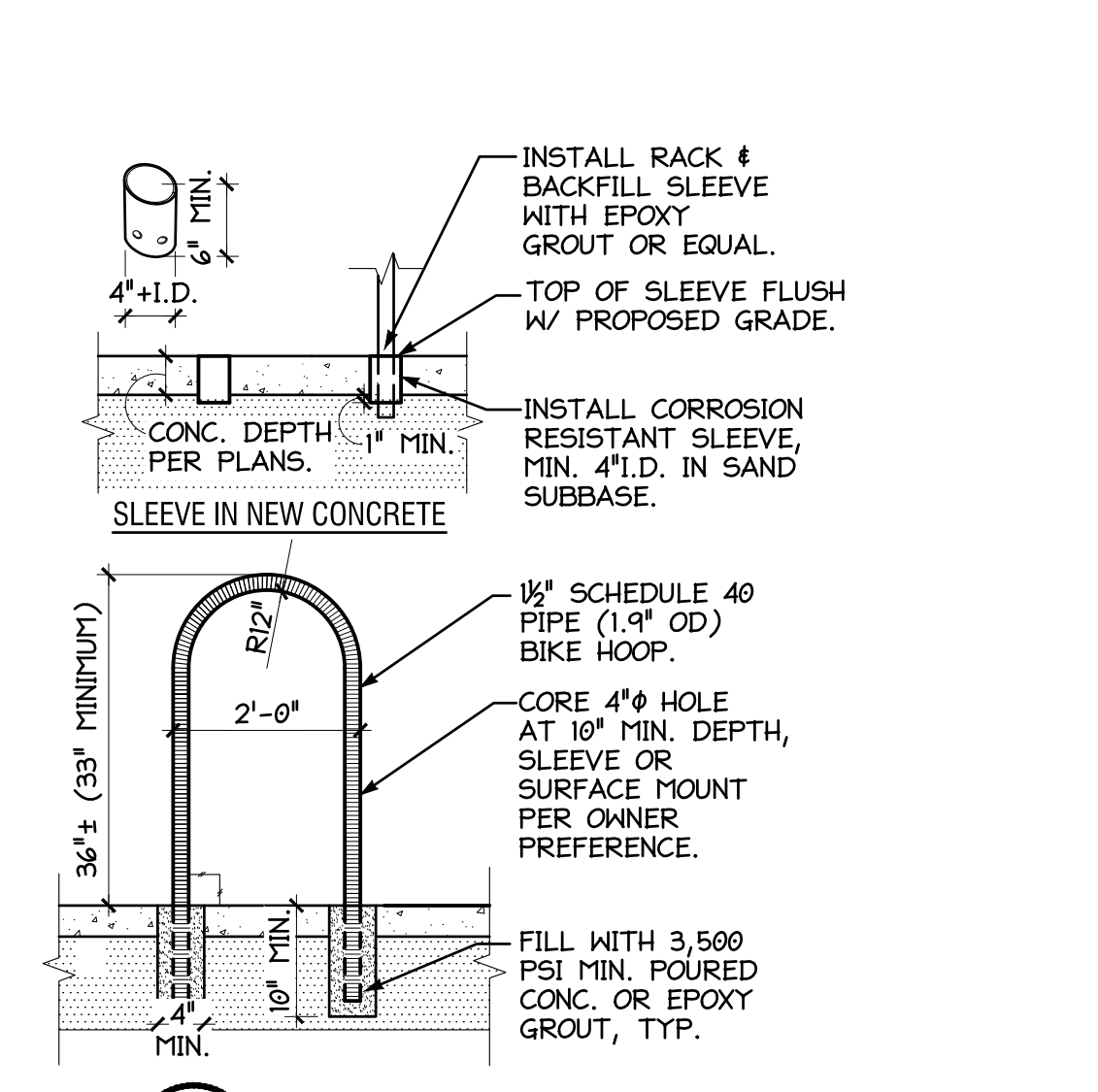
10 THICKENED EDGE CONCRETE
C600 3/4"=1'-0"



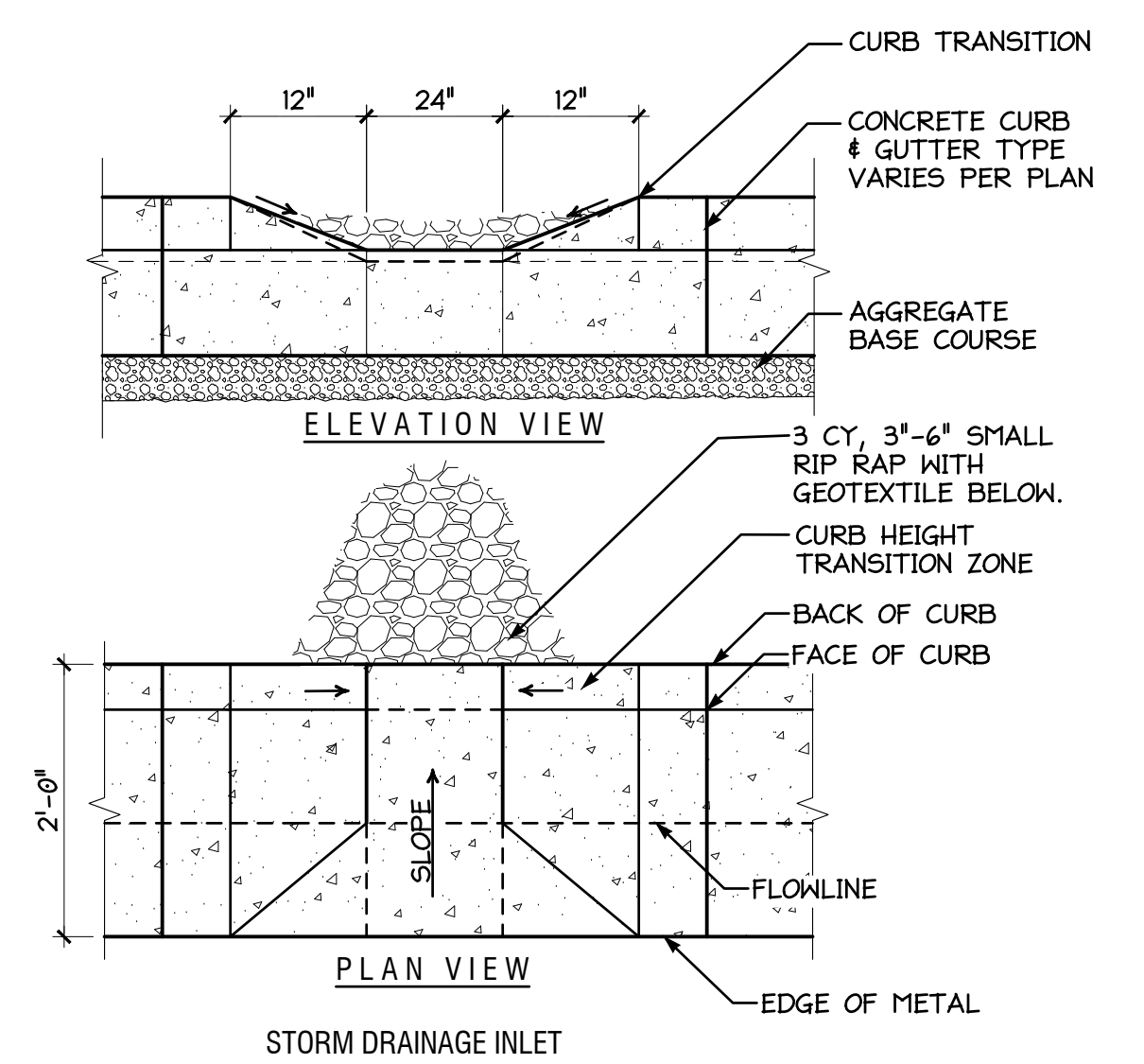
9 CONCRETE ISOLATION JOINT
C600 1/2"=1'-0"



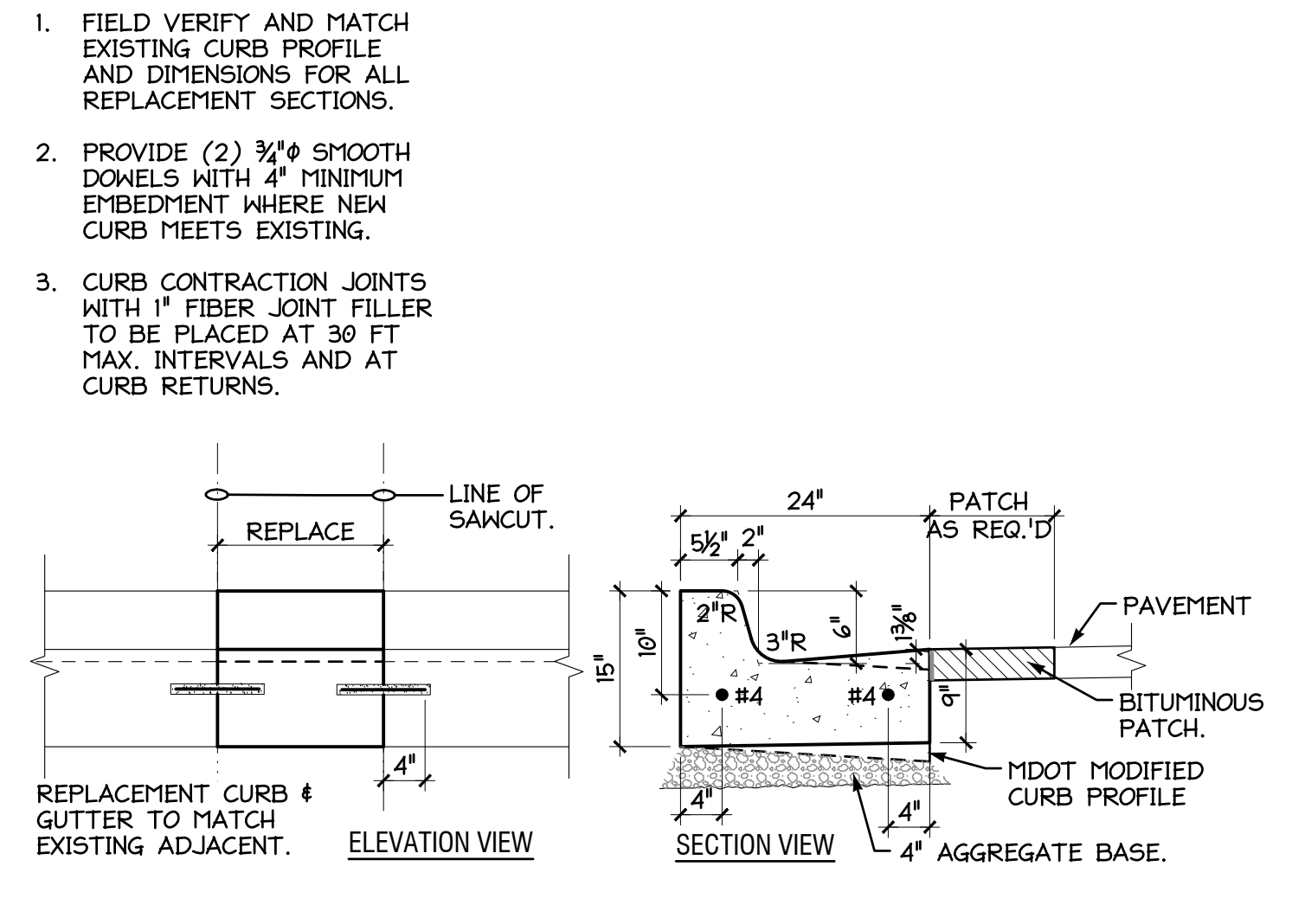
1 BITUMINOUS PAVEMENT
C600 1/2"=1'-0"



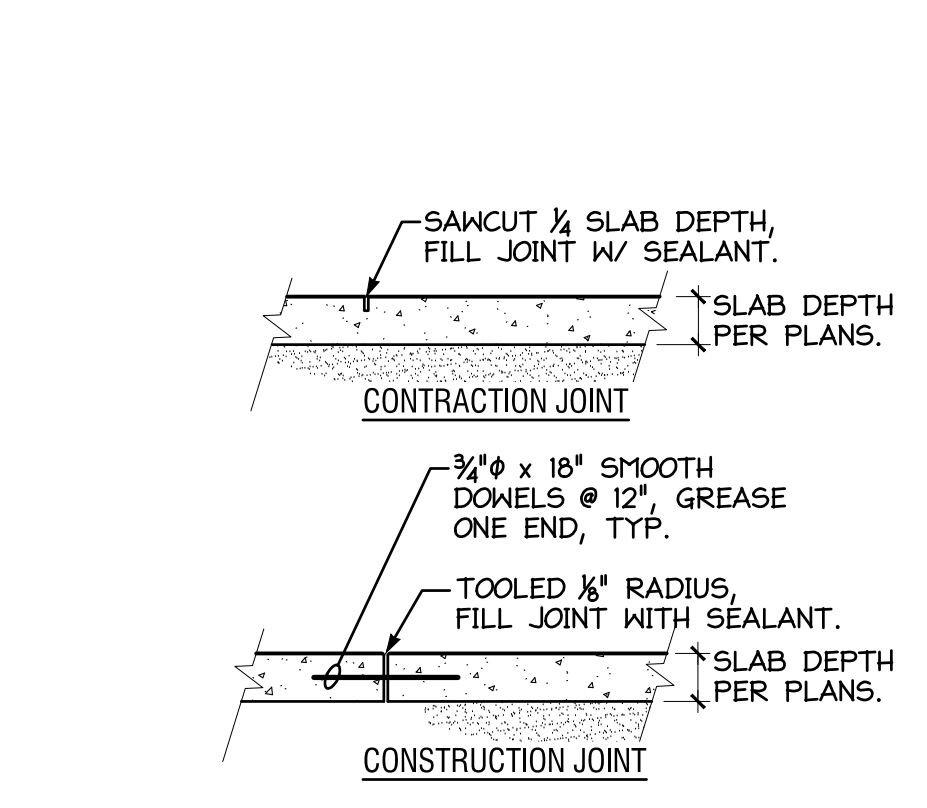
18 BIKE HOOP
C600 1/2"=1'-0"



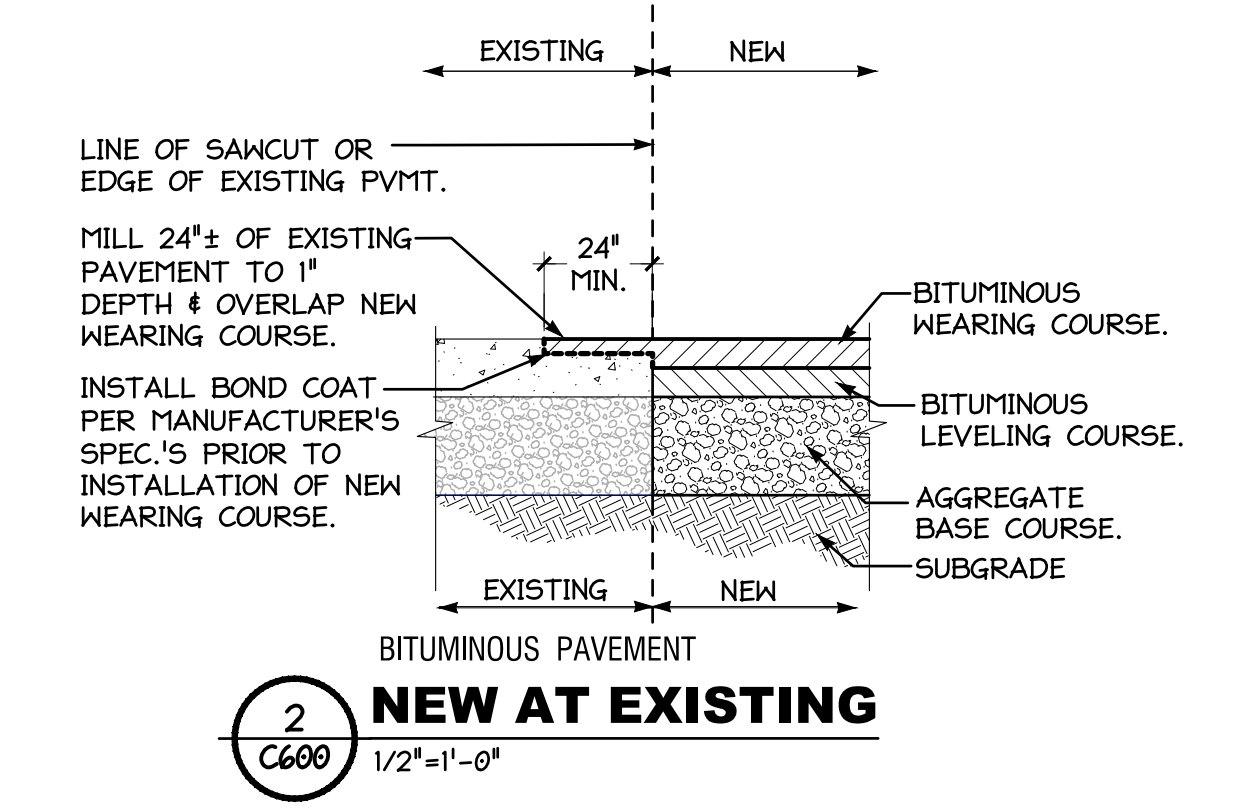
15 CURB OPENING DETAIL
C600 3/4"=1'-0"



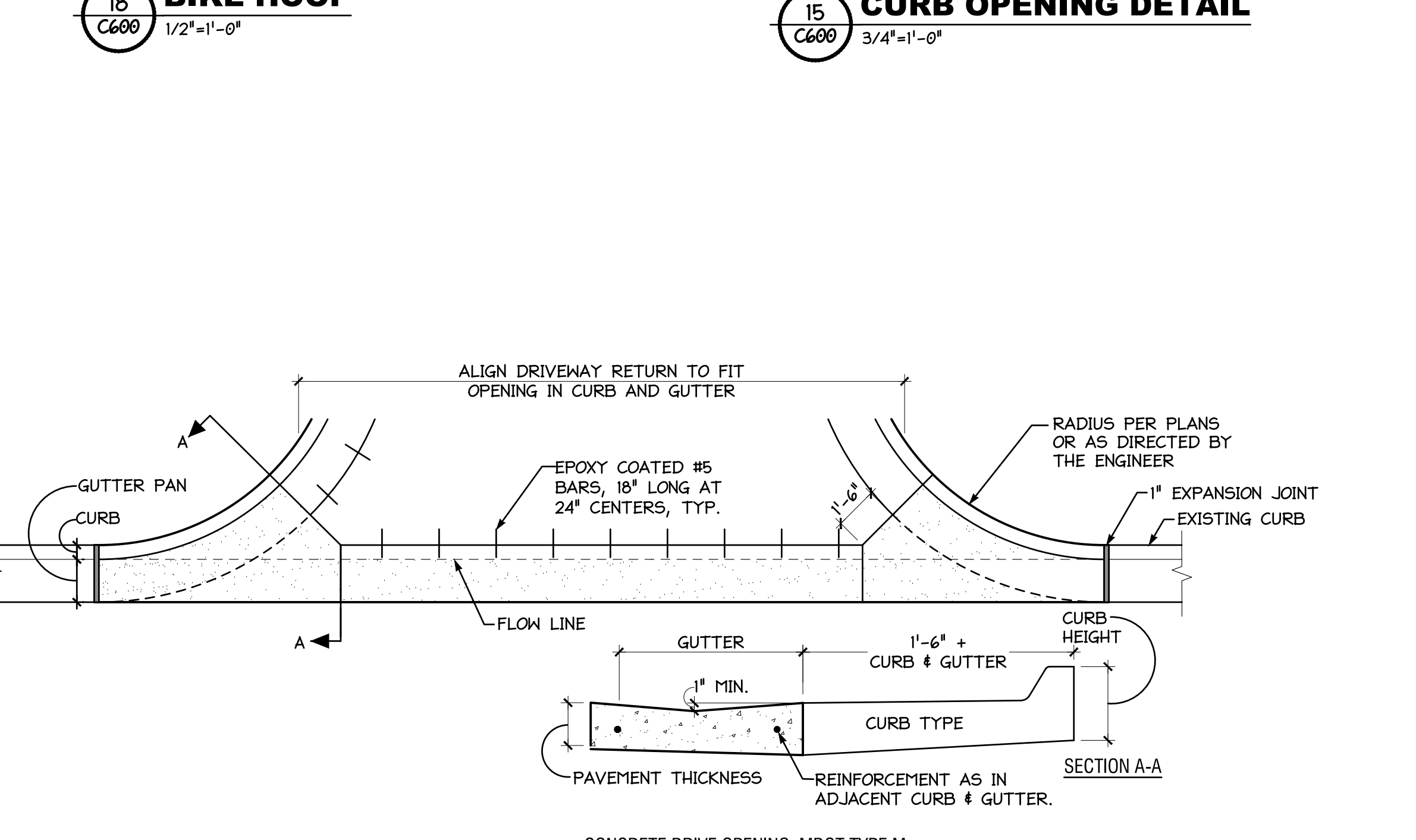
11 CURB & GUTTER
C600 3/4"=1'-0"



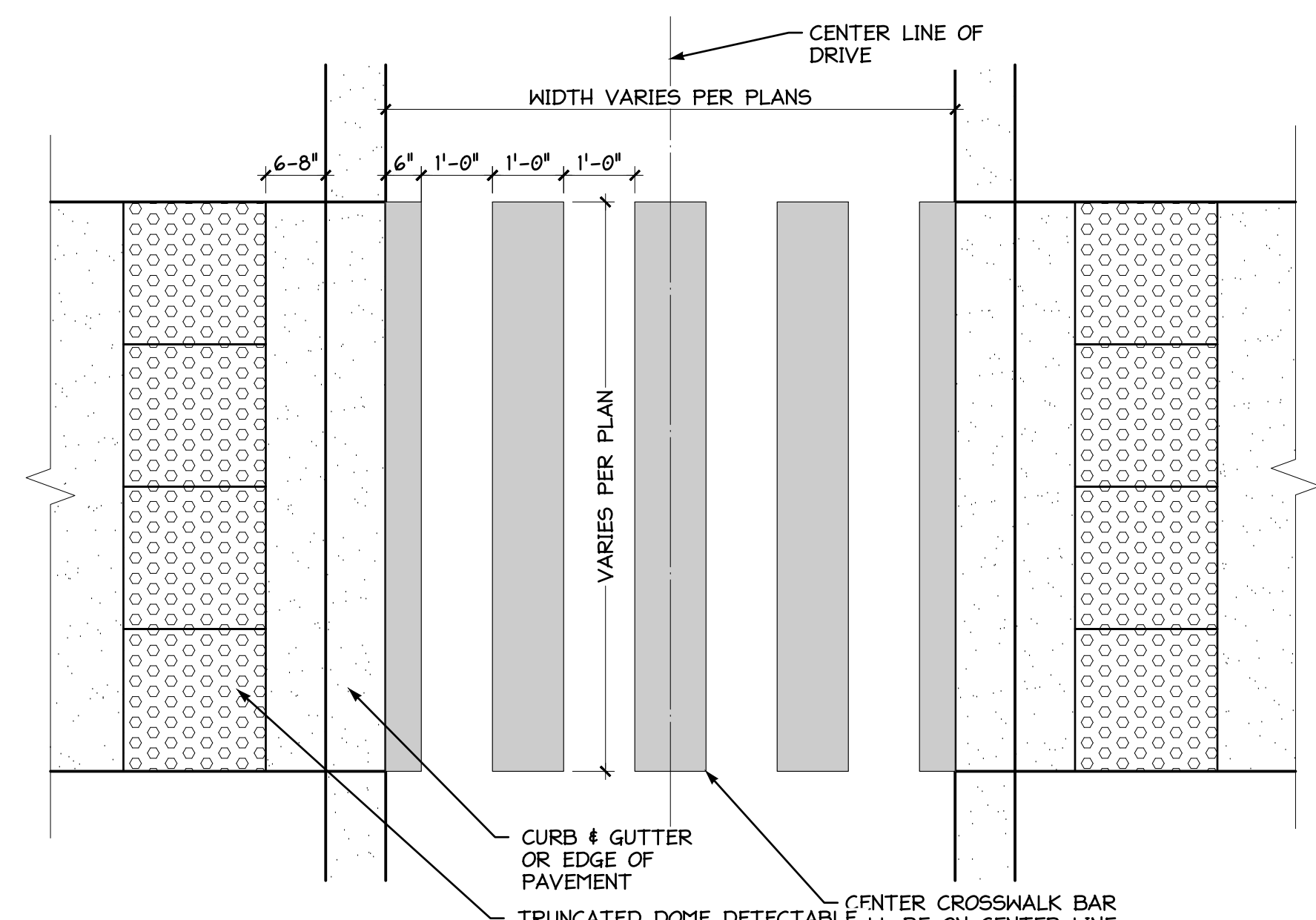
8 CONCRETE JOINTS
C600 1/2"=1'-0"



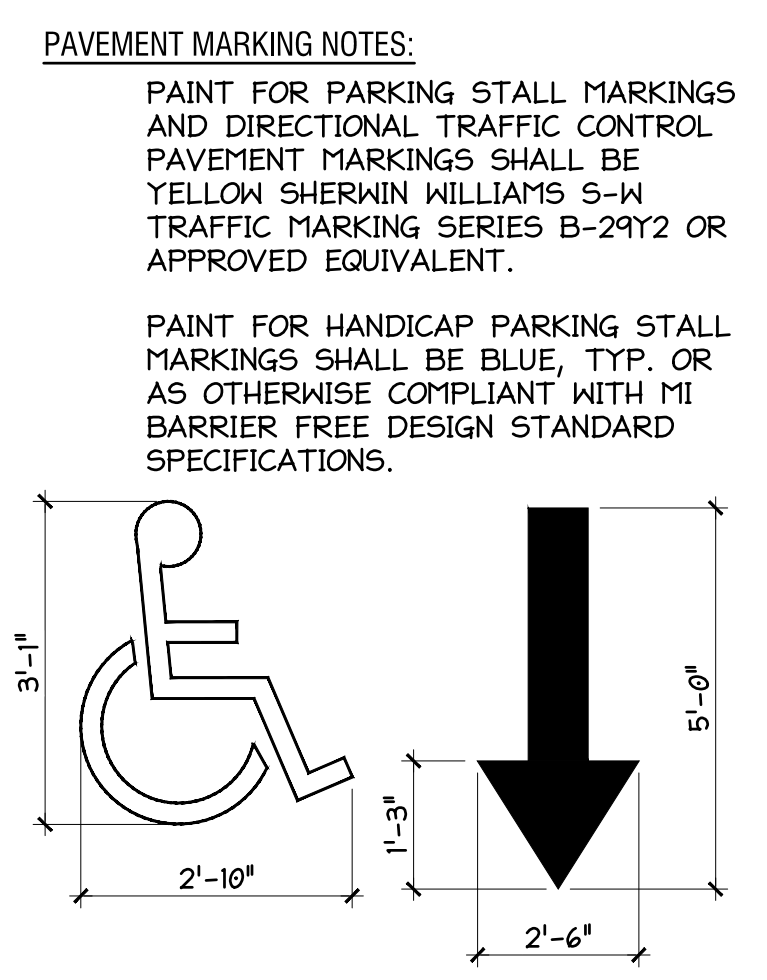
2 NEW AT EXISTING
C600 1/2"=1'-0"



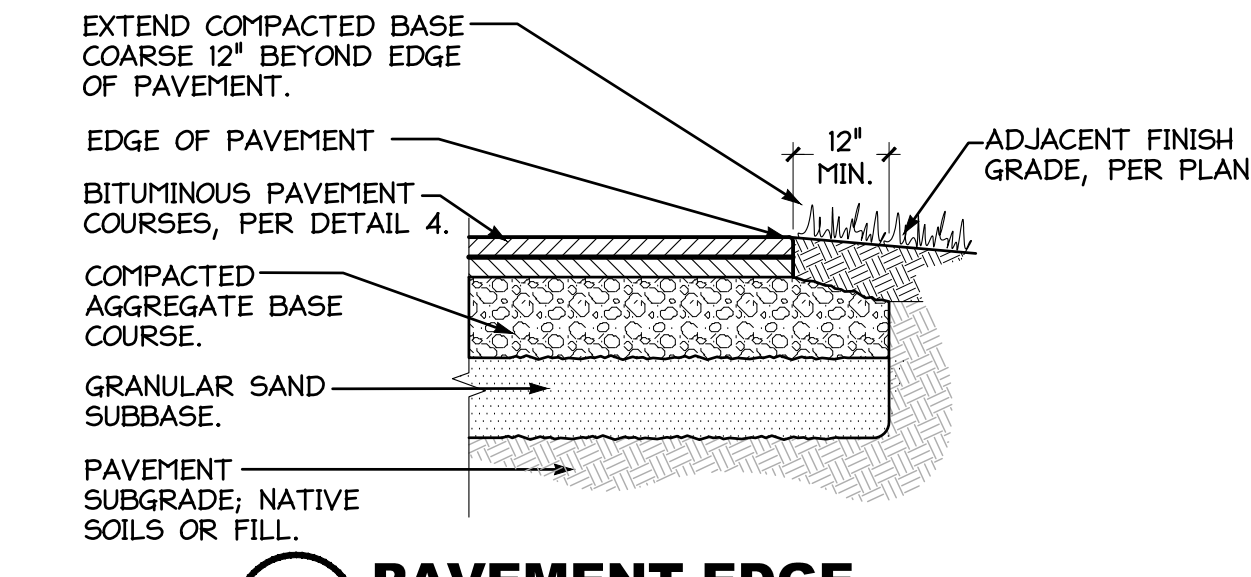
14 DRIVEWAY OPENING
C600 1/2"=1'-0"



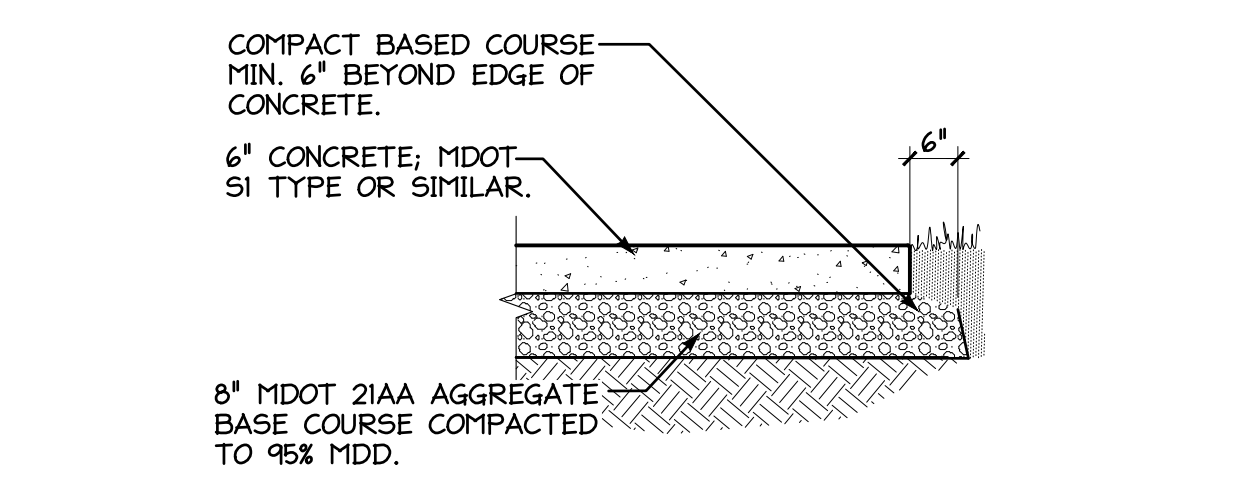
12 CROSS WALK DETAIL
C600 NOT TO SCALE



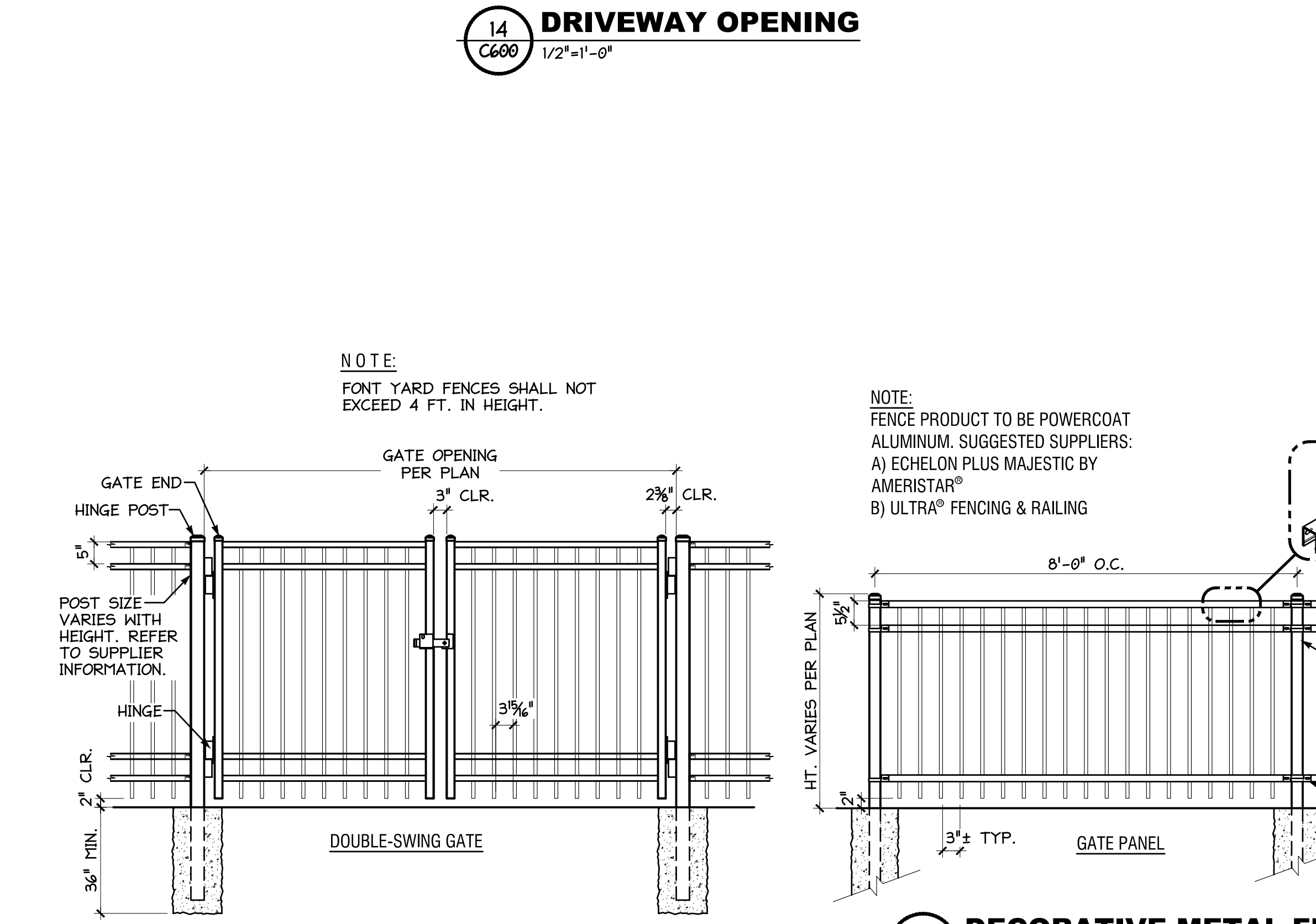
7 PAVEMENT MARKING
C600 1/2"=1'-0"



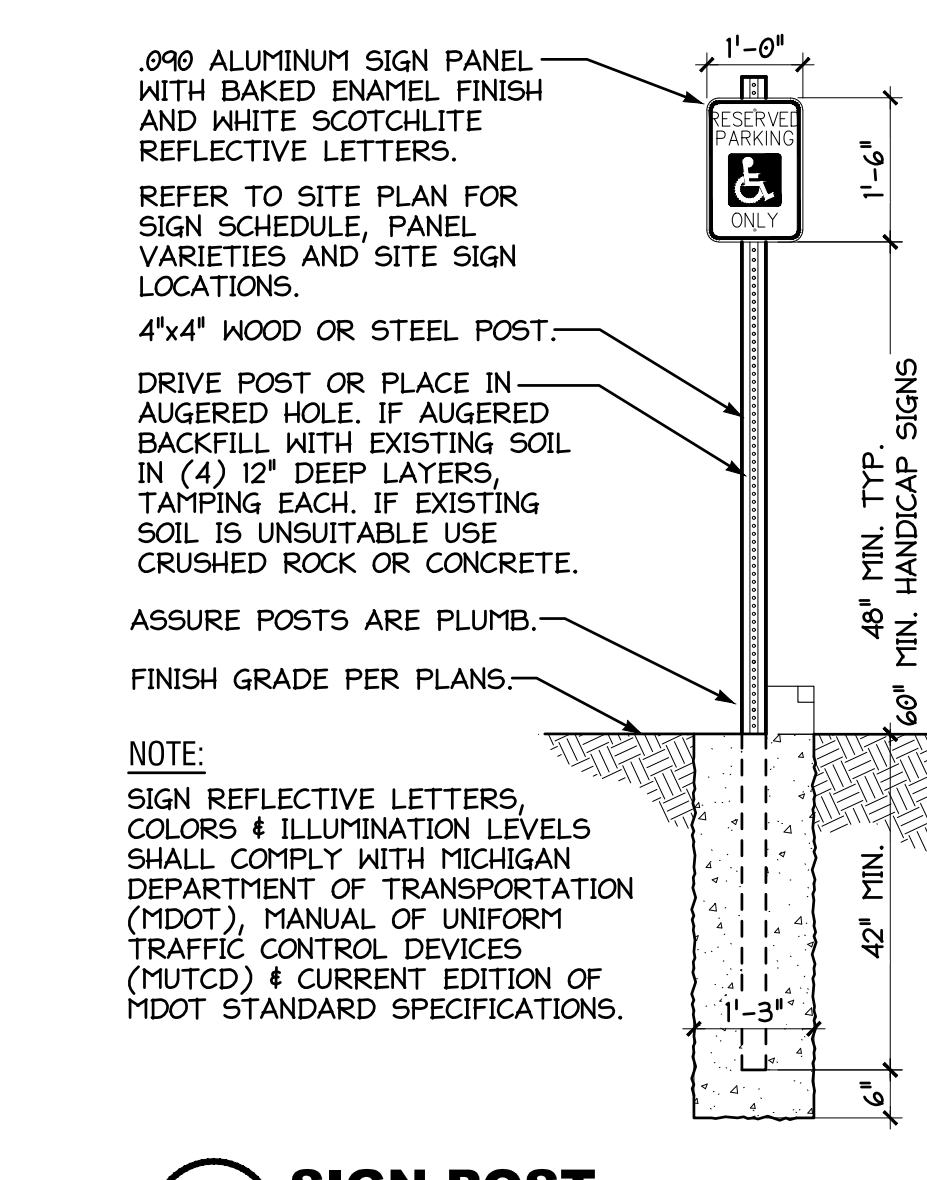
3 PAVEMENT EDGE
C600 1/2"=1'-0"



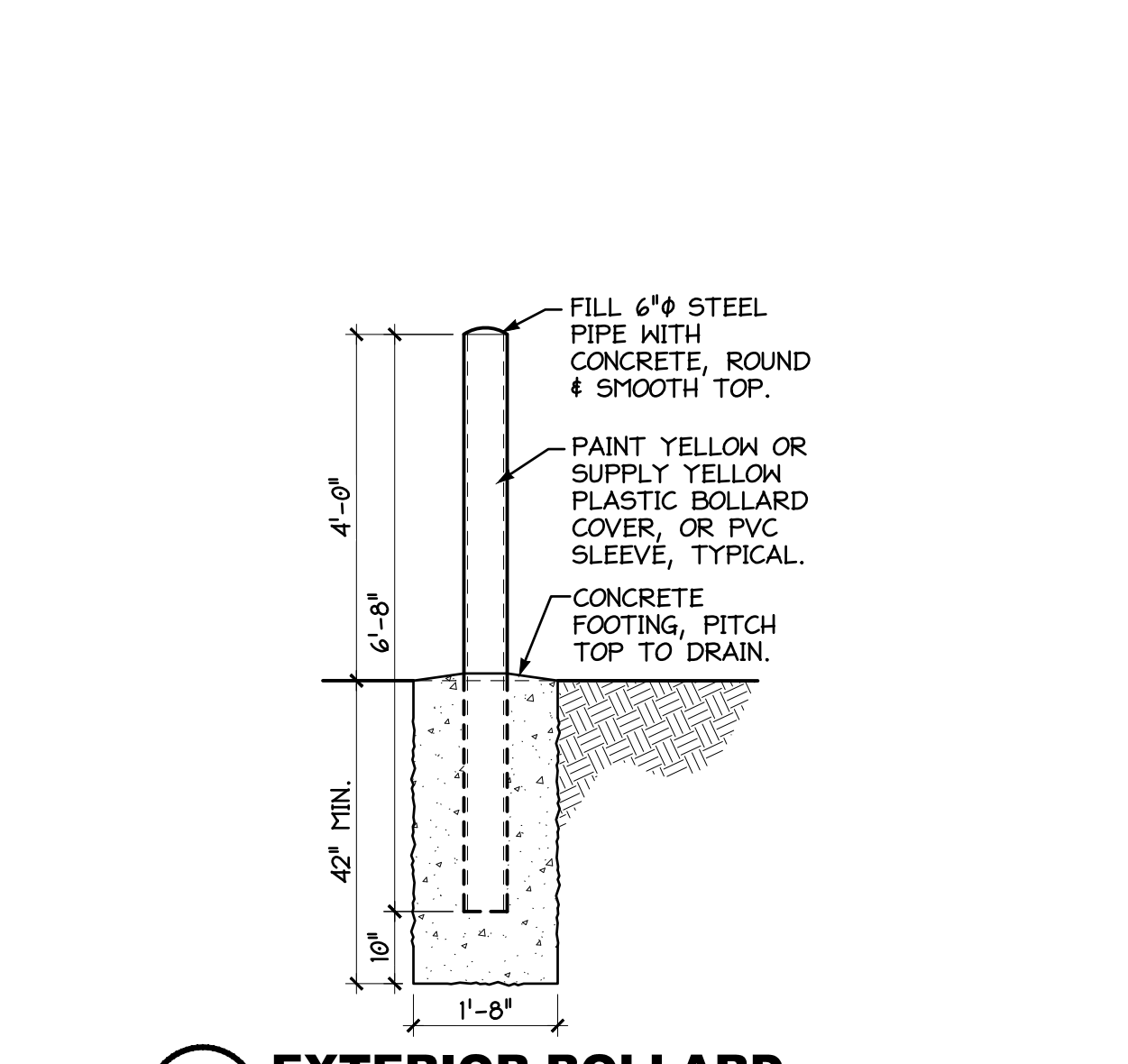
4 CONCRETE SLAB
C600 1/2"=1'-0"



13 DECORATIVE METAL FENCE
C600 NOT TO SCALE

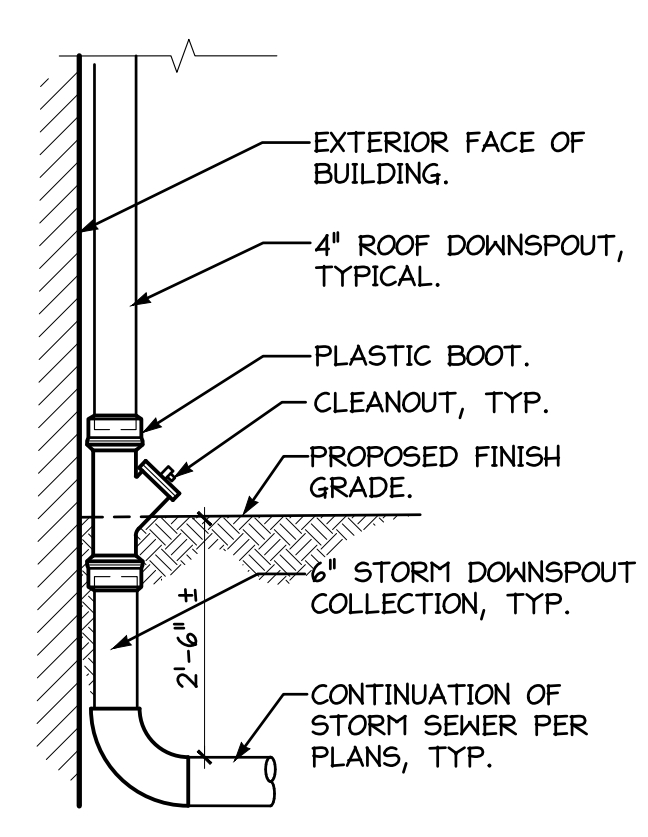


6 SIGN POST
C600 1/2"=1'-0"

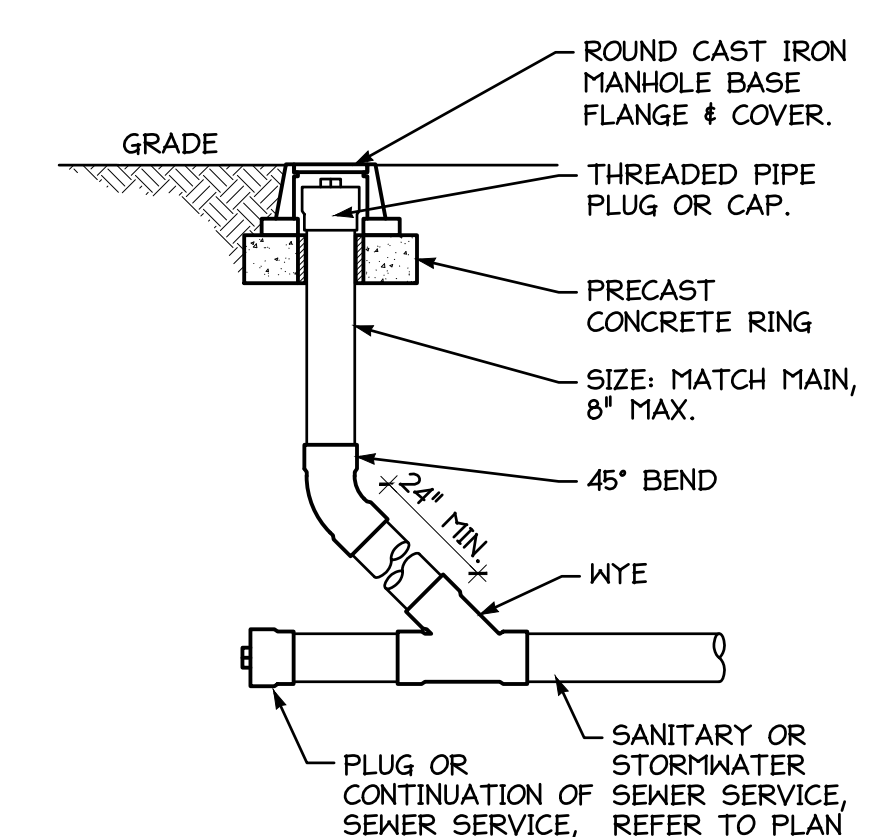


5 EXTERIOR BOLLARD
C600 1/2"=1'-0"

H:\17100255 River's Edge Redevelopment (RiverCaddis)\Drawings\255-C600 - Details.dwg (last saved 7-19-2022)
Plot Date: 7-19-2022 at 4:45pm by maghan.homan

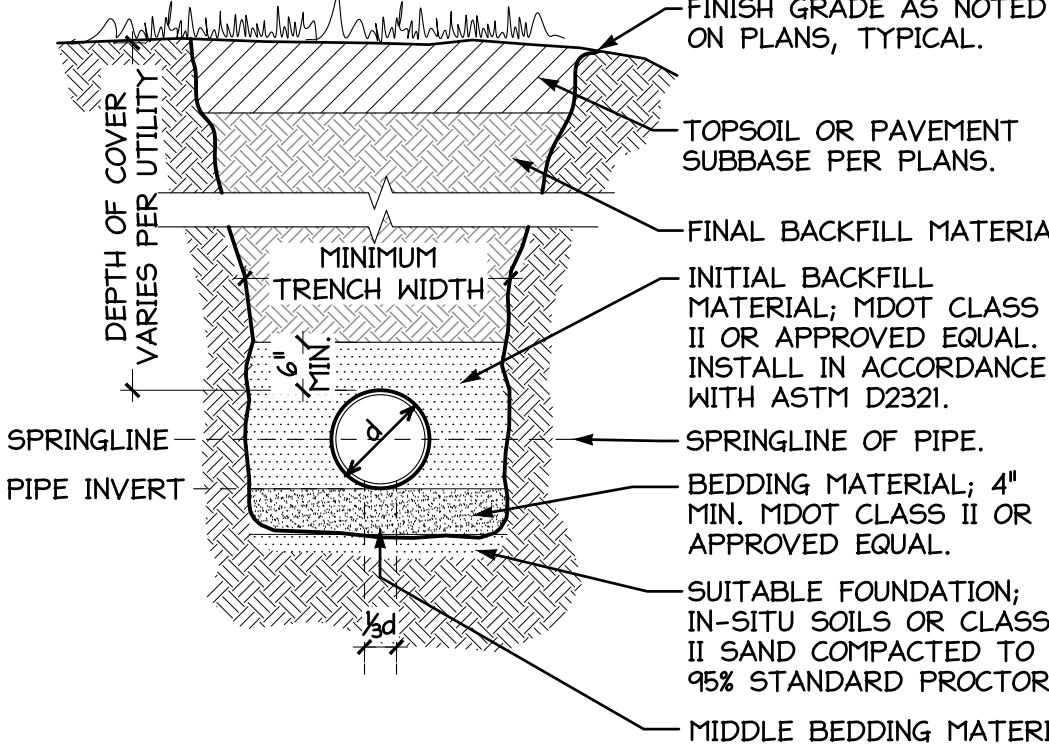


8 DOWNSPOUT CONNECTION
C610 1/2"=1'-0"

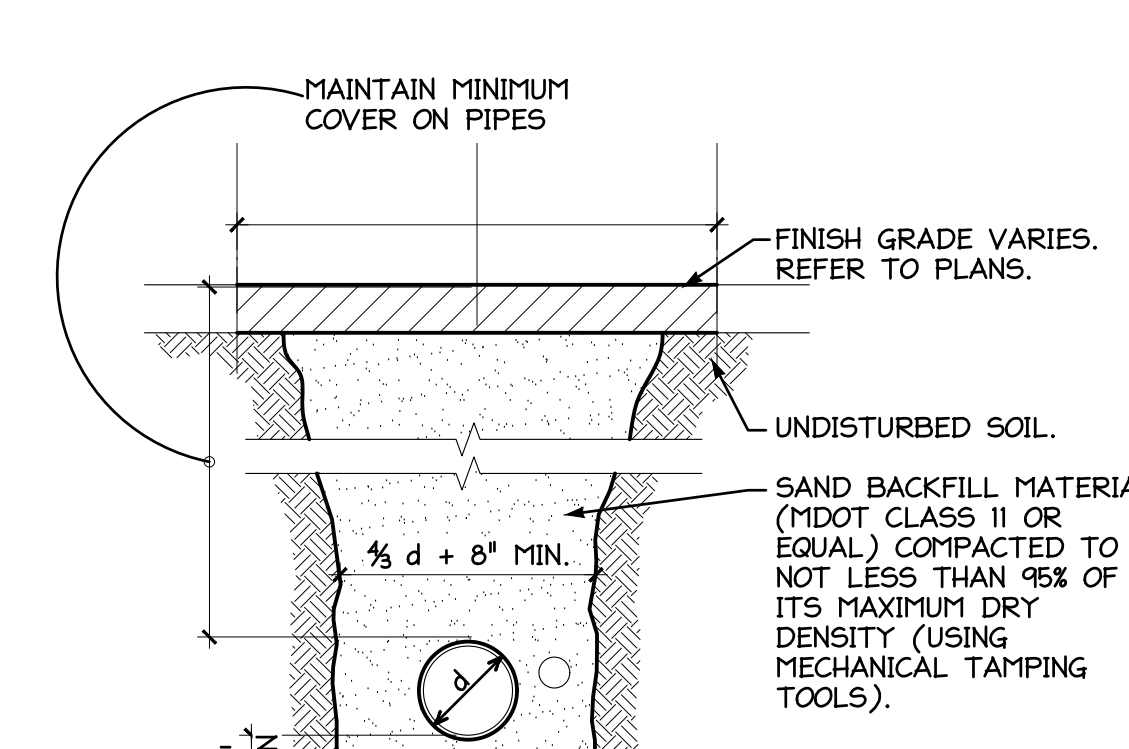


7 CLEANOUT
C610 1/2"=1'-0"

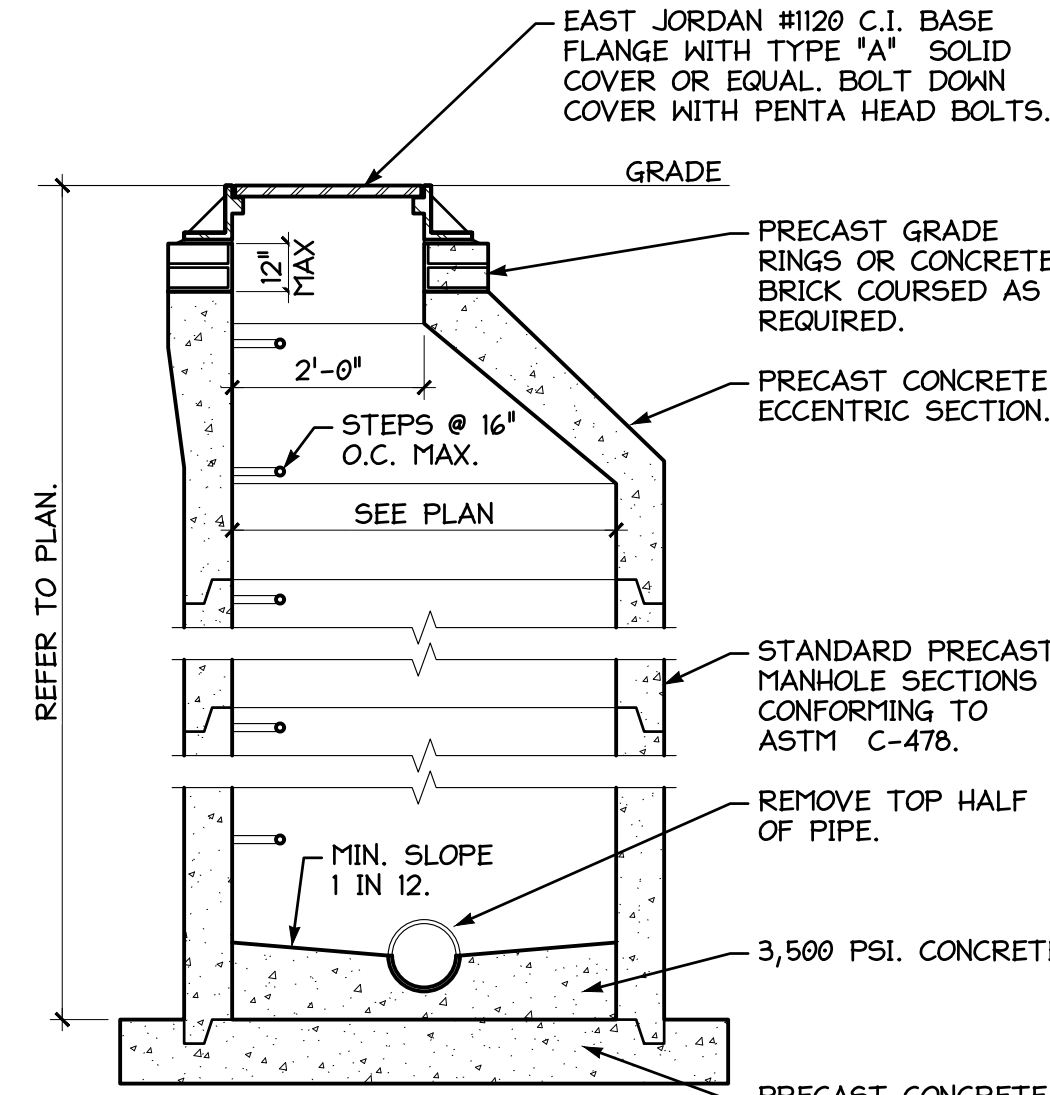
STORM PIPE Ø	MINIMUM TRENCH WIDTH
6"	29"
8"	26"
10"	28"
12"	30"
15"	34"
18"	39"
24"	48"



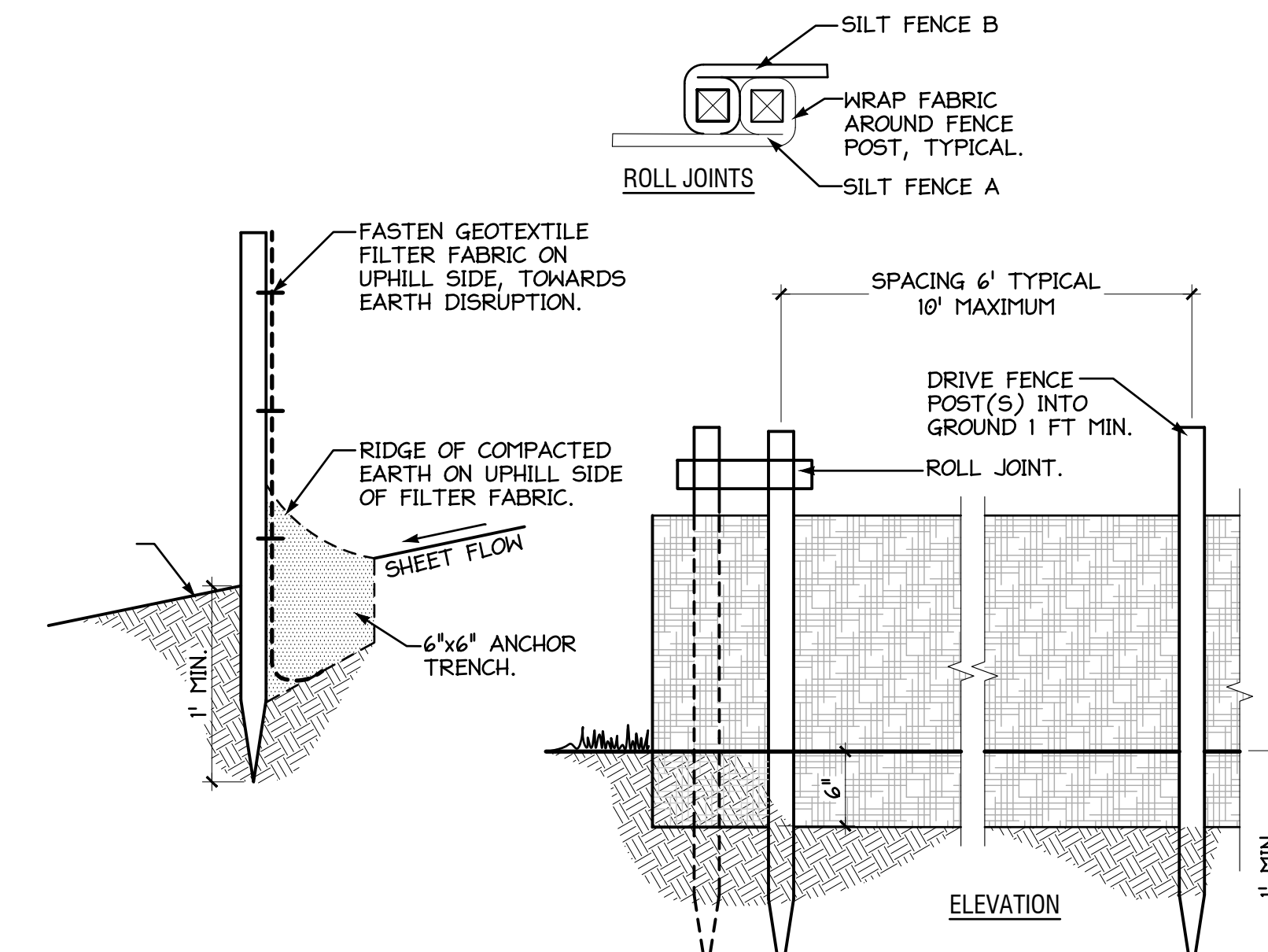
6 PIPE TRENCH
C610 1/2"=1'-0"



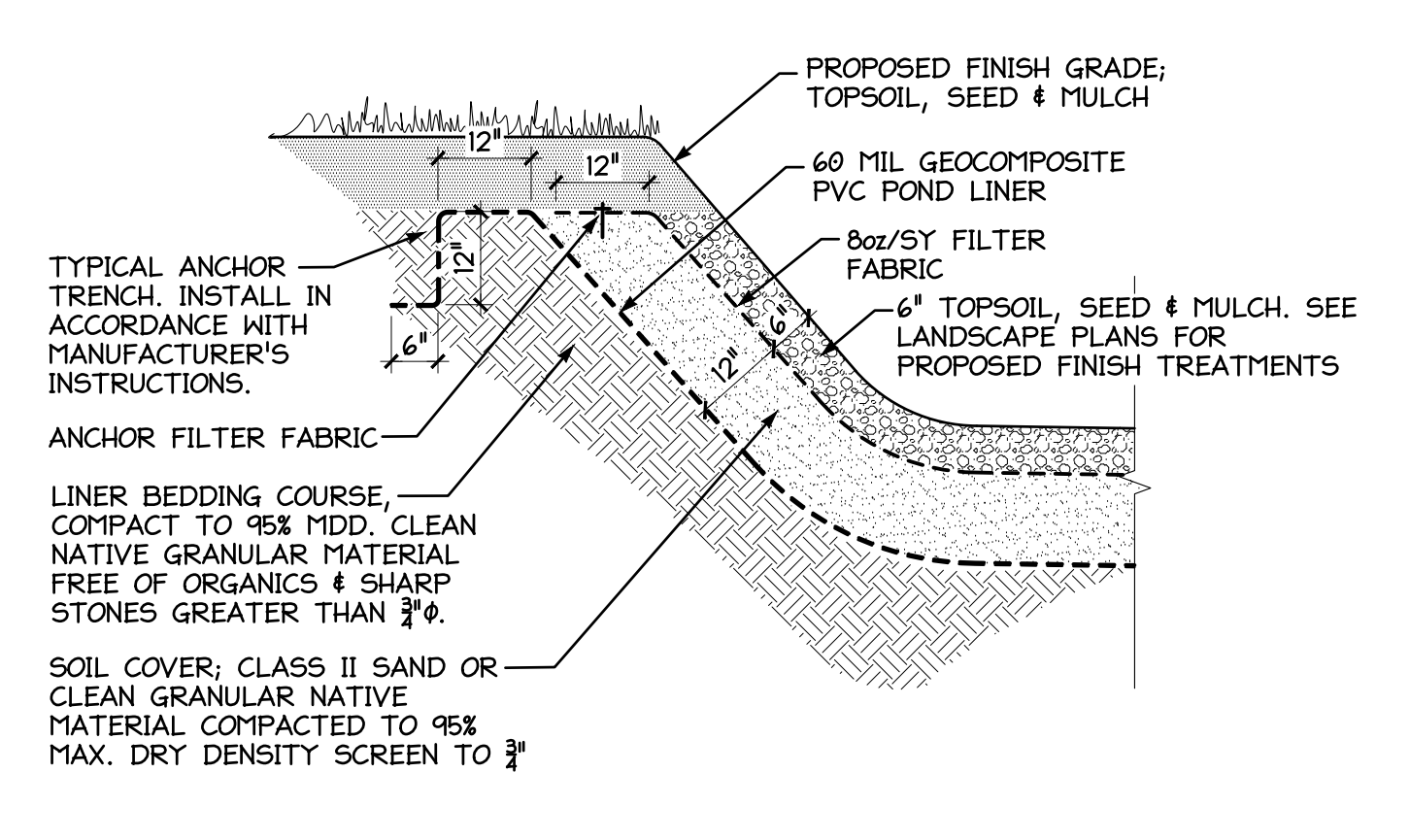
5 UTILITY TRENCH
C610 1/2"=1'-0"



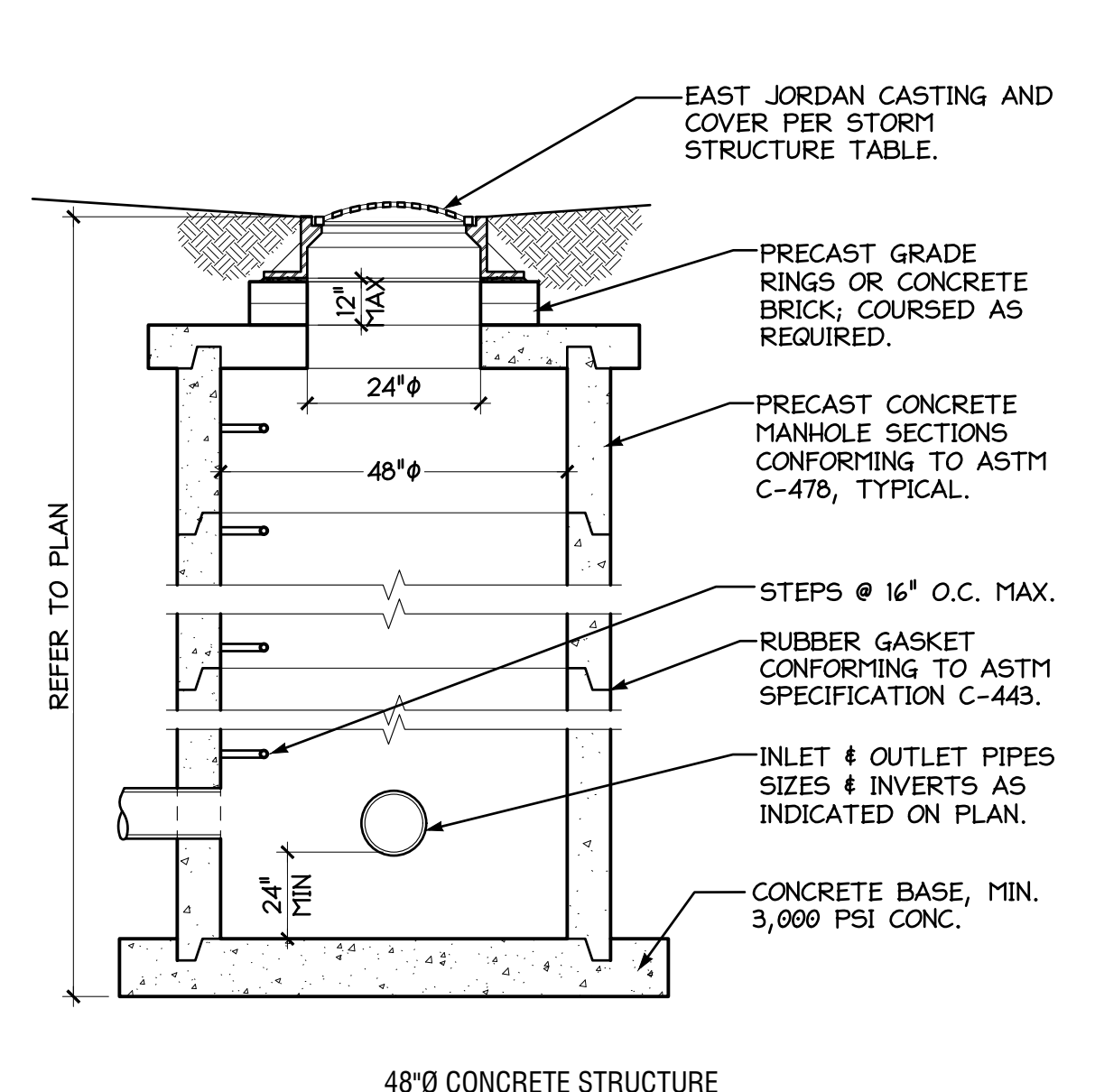
1 SANITARY MANHOLE
C610 1/2"=1'-0"



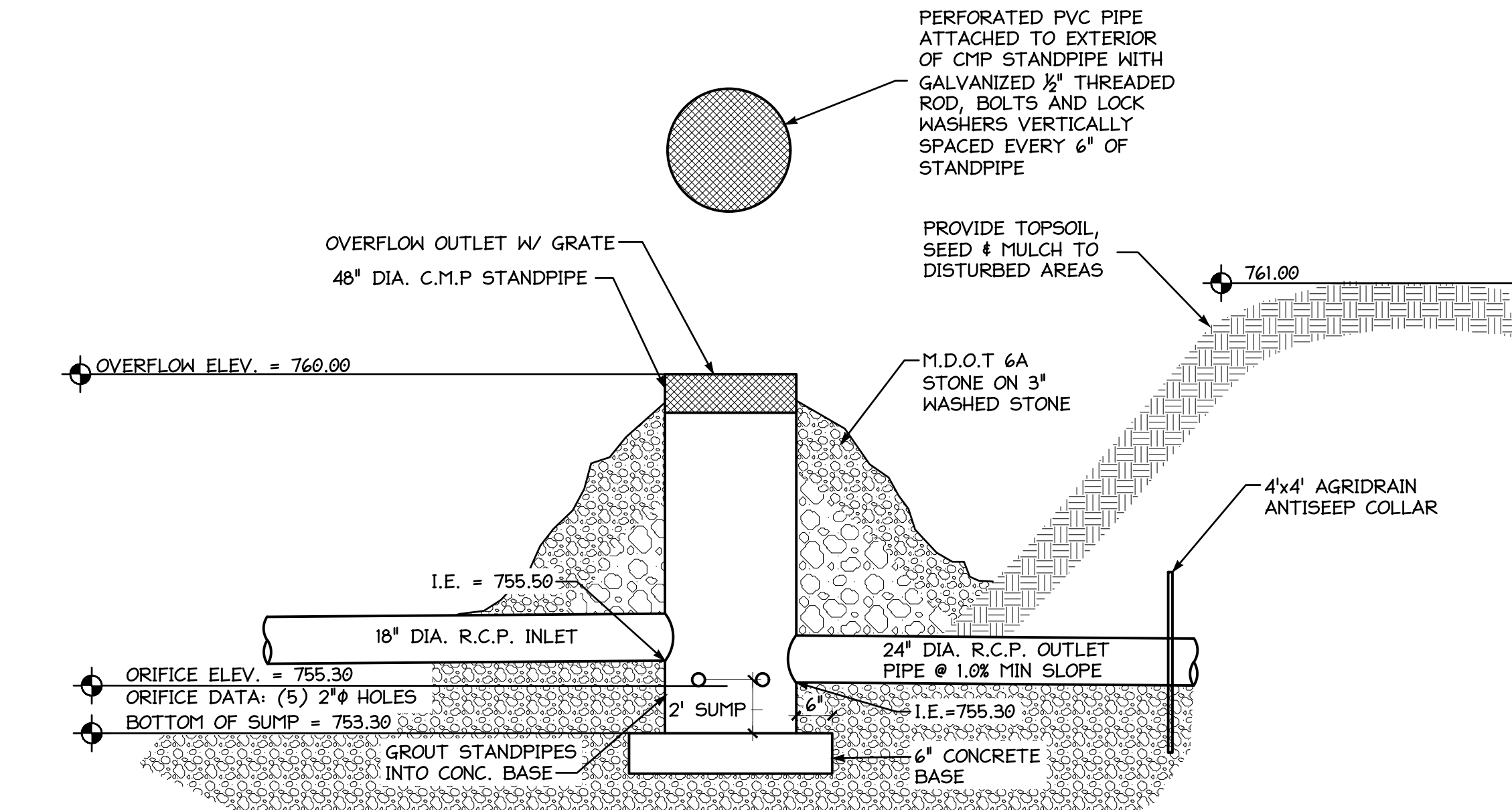
11 SILT FENCE DETAIL
C610 NOT TO SCALE



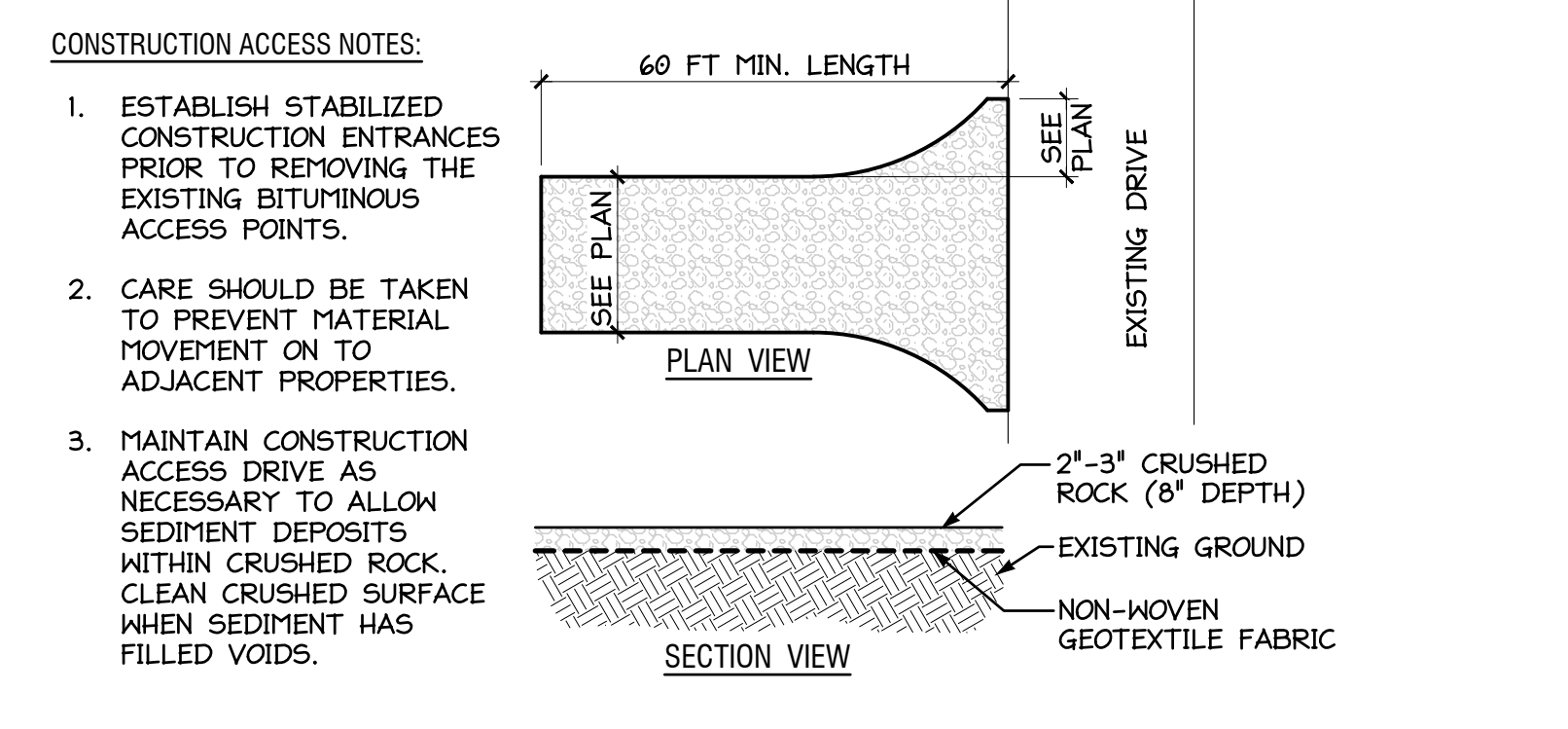
9 STORM POND SECTION
C610 1/2"=1'-0"



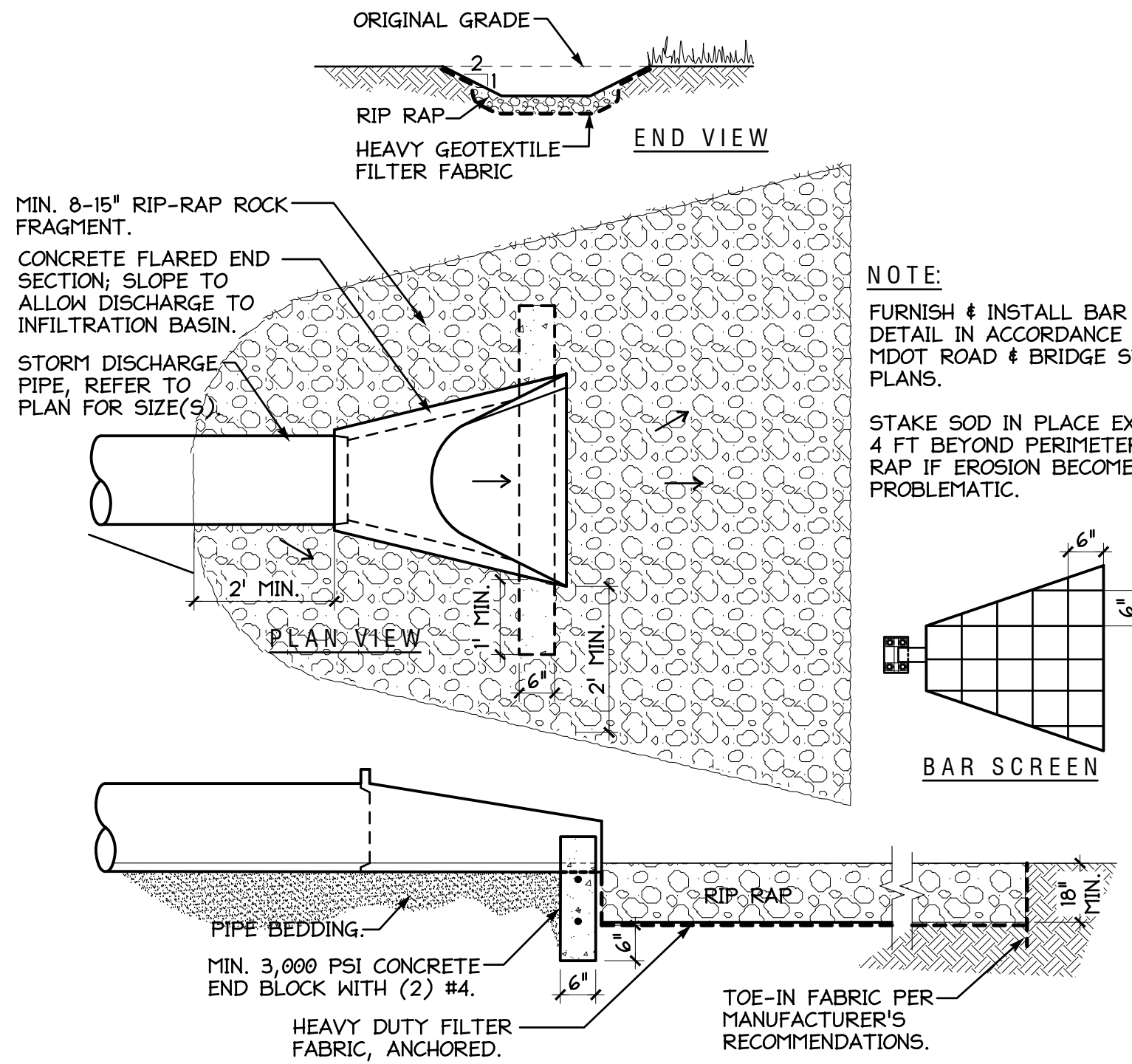
4 CATCH BASIN
C610 1/2"=1'-0"



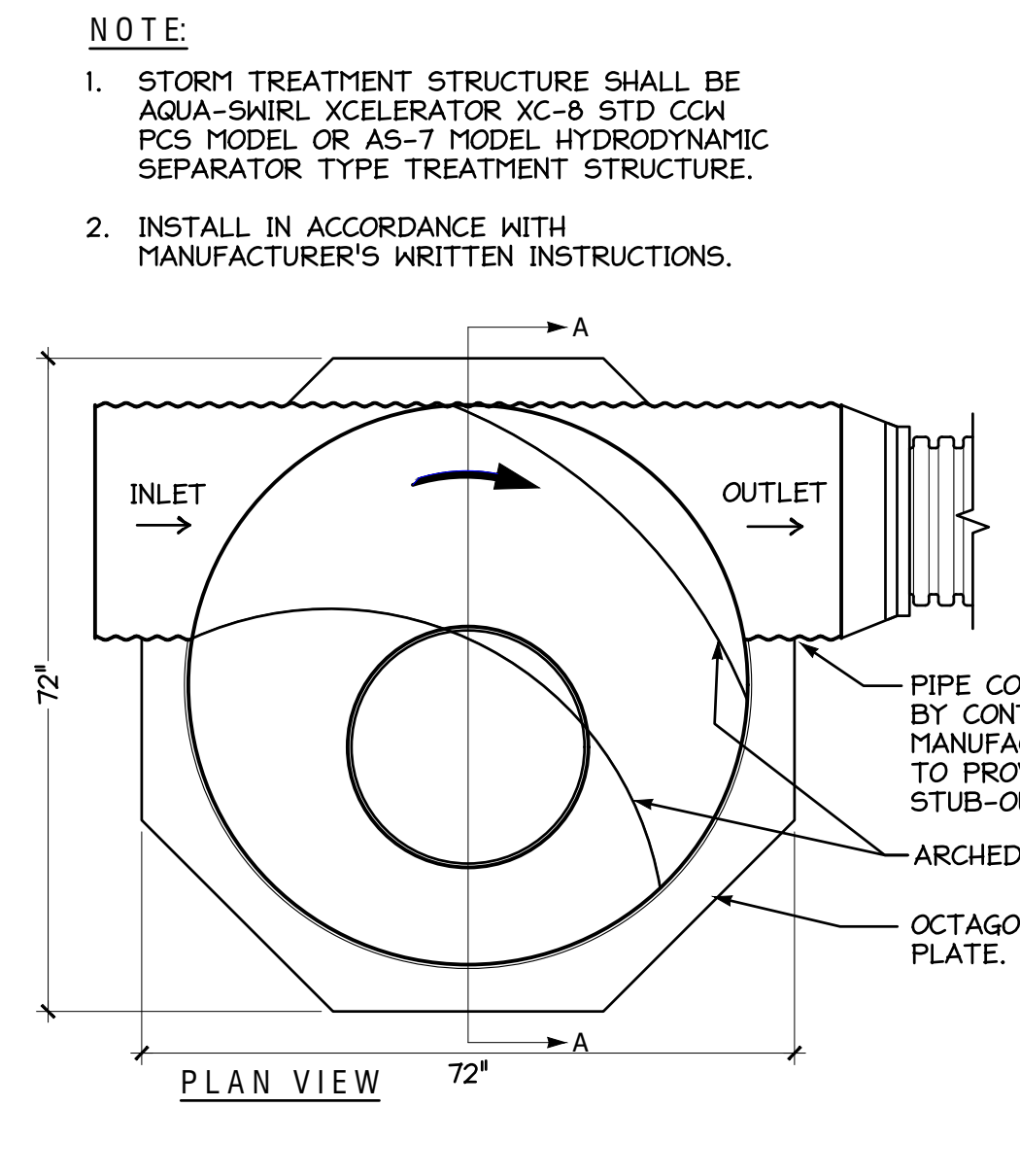
2 OUTLET STRUCTURE
C610 NO SCALE



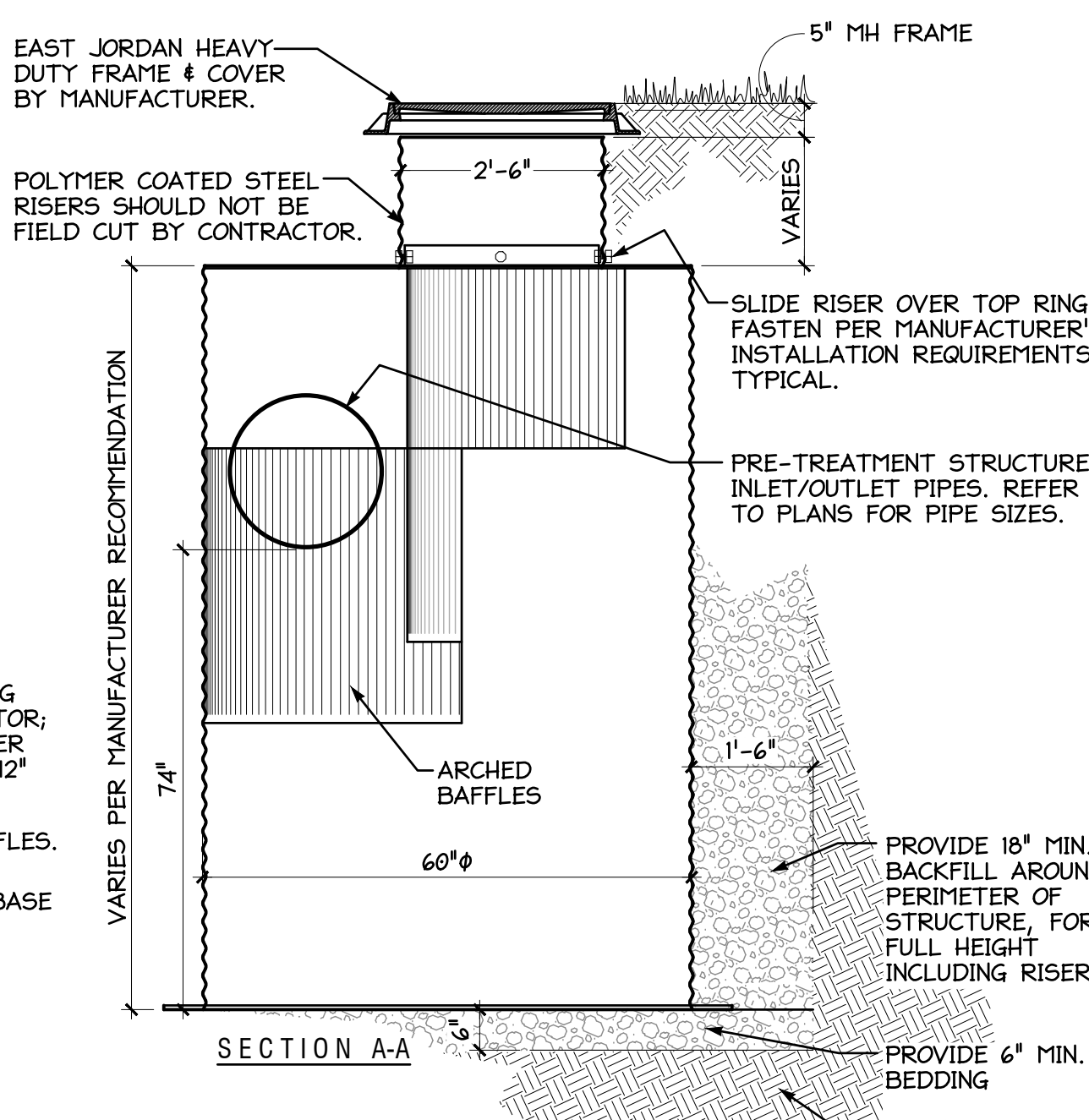
12 CONSTRUCTION ACCESS
C610 NOT TO SCALE



10 STORM END SECTION
C610 NOT TO SCALE

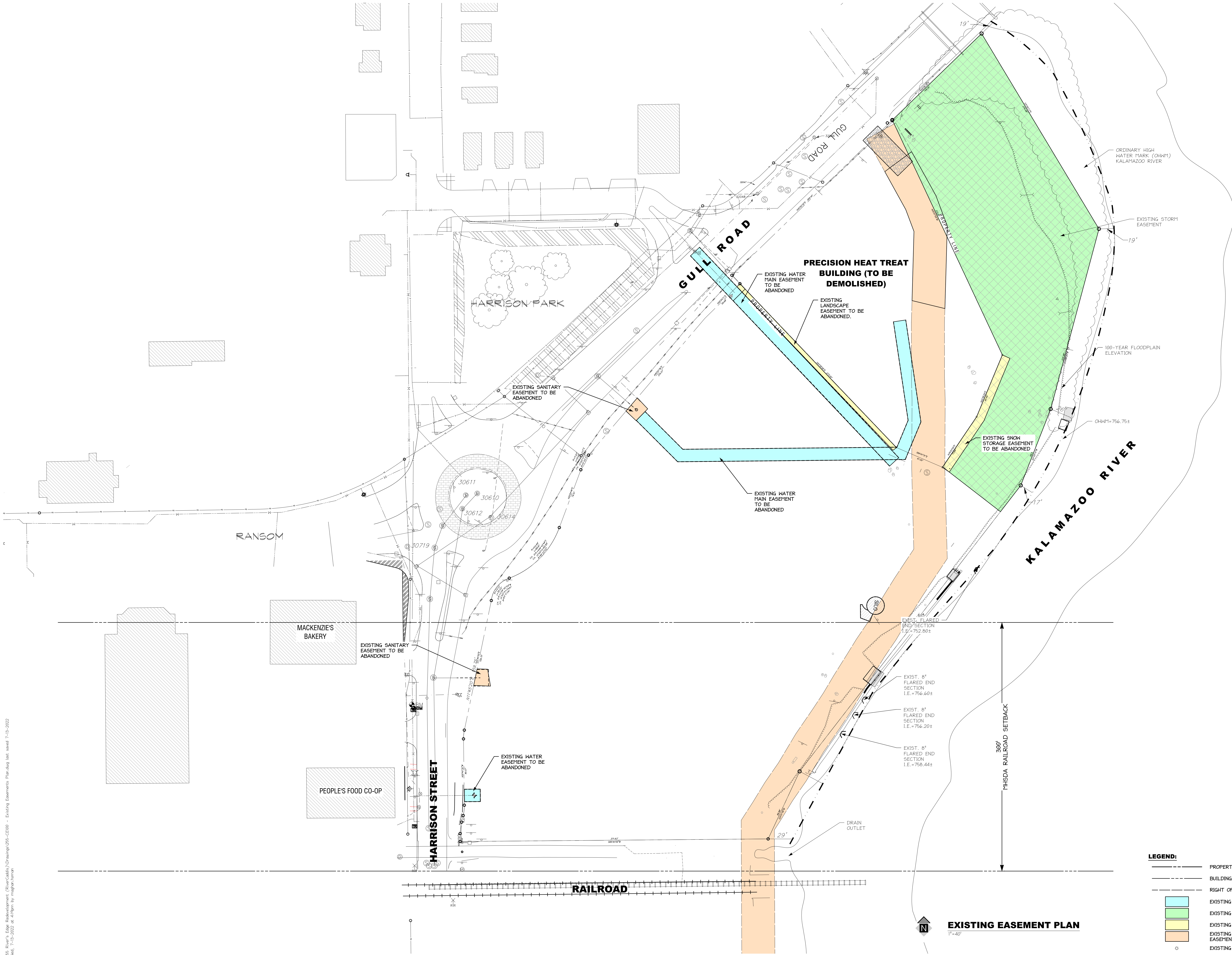


3 STORM TREATMENT STRUCTURE
C610 NOT TO SCALE



1 STORM TREATMENT STRUCTURE
C610 NOT TO SCALE

14/17/2025: River's Edge Redevelopment: (RiverCaddis) Drawings: 055-C610 - Details: And last saved: 7-13-2022
 Plotted: Tue, 7-13-2022 at 9:23am by: rmg@rivercaddis.com

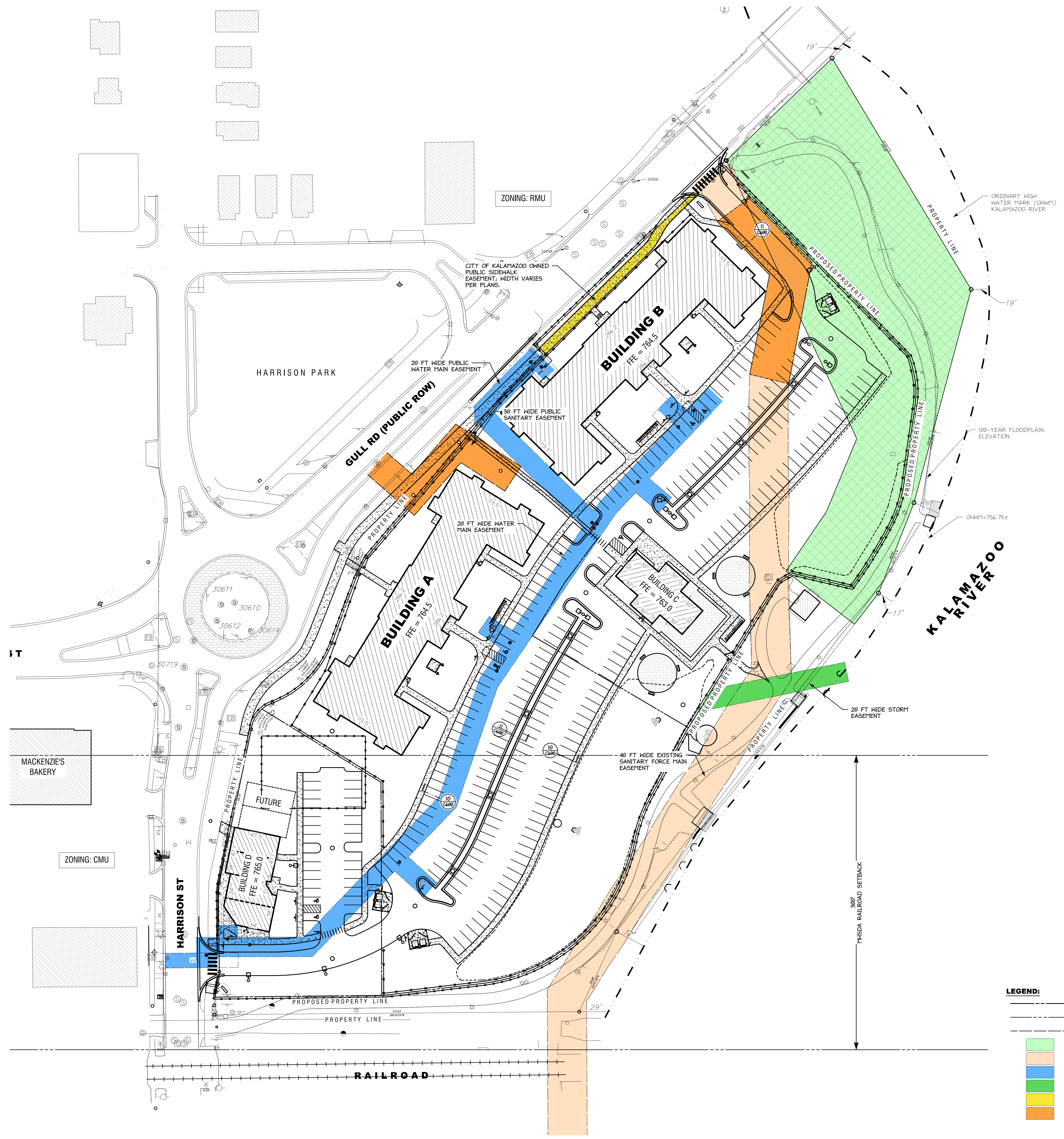


- LEGEND:**
- PROPERTY LINE
 - BUILDING SETBACK
 - RIGHT OF WAY (ROW)
 - EXISTING WATER EASEMENT
 - EXISTING STORM EASEMENT
 - EXISTING MISC. EASEMENT
 - EXISTING SANITARY EASEMENT
 - EXISTING YARD LIGHT

EXISTING EASEMENT PLAN
1"=40'

River's Edge Development
508 Harrison Street - Kalamazoo, Michigan

H:\17100255 River's Edge Redevelopment (RiverCaddis)\Drawings\255-CE00 - Existing Easements Plan.dwg last saved 7/13/2022
Plotted Wed, 7/13/2022 at 4:19pm by mgphoton

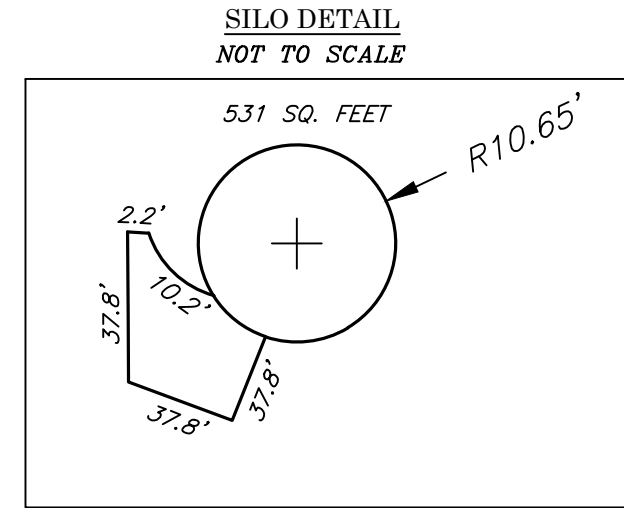
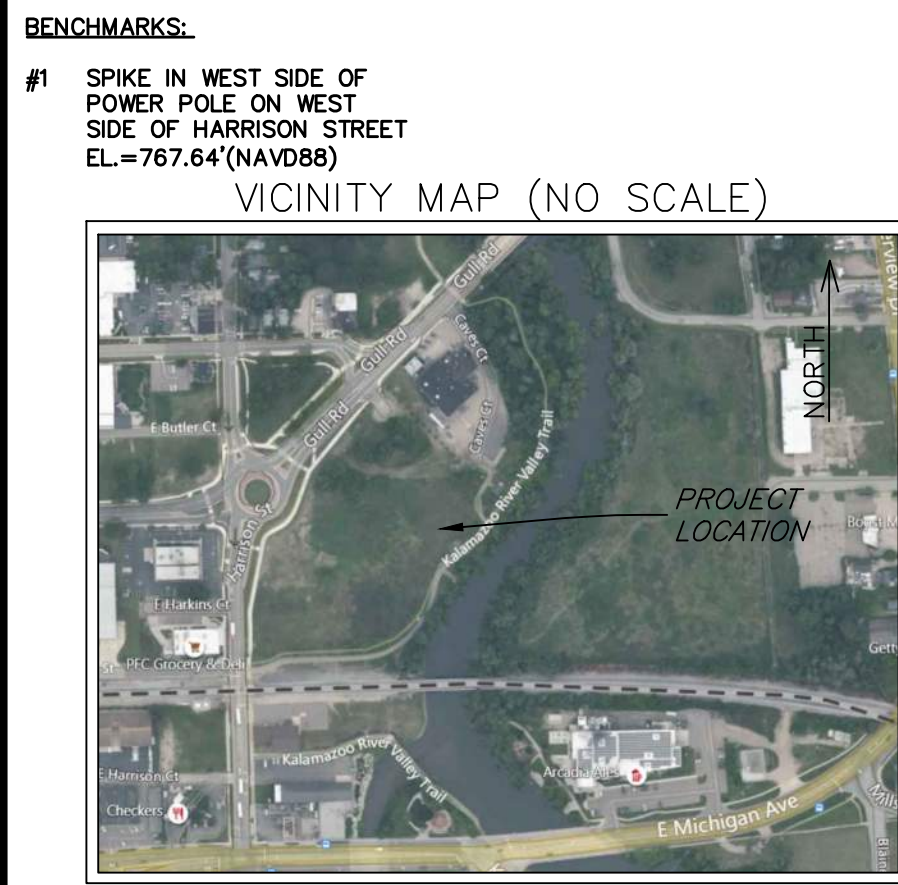


LEGEND:

	PROPERTY LINE
	BUILDING SETBACK
	RIGHT OF WAY (ROW)
	EXISTING STORM EASEMENT
	EXISTING SANITARY EASEMENT
	PROPOSED WATER EASEMENT
	PROPOSED STORM EASEMENT
	PROPOSED MISC. EASEMENT
	PROPOSED SANITARY EASEMENT

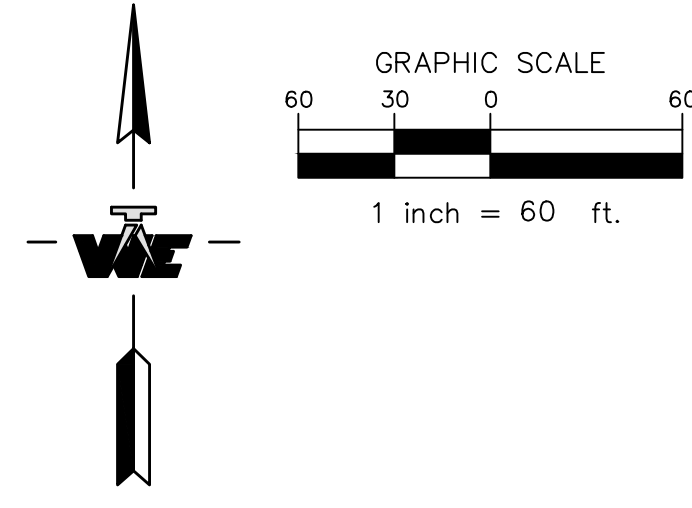
River's Edge Development
508 Harrison Street - Kalamazoo, Michigan

H:\17100255 River's Edge Redevelopment (RiverCaddis)\Drawings\255-CE200 - Proposed Easement Plan.dwg (last saved 7-13-2022)
Plotfiled Wed, 7-13-2022 at 4:28pm by mrobinson



ALTA / NSPS LAND TITLE SURVEY

RIVER CADDIS DEVELOPMENT, LLC
SECTION 15, T2S, R11W
CITY OF KALAMAZOO, KALAMAZOO COUNTY, MICHIGAN



REVISION	DATE	DESCRIPTION

WOLVERINE
Engineers & Surveyors, Inc.
312 North Street
Mason, Michigan 48854
Ph: 317.676.9200
Fax: 317.676.9396
http://www.wolvenge.com

RIVERS EDGE DEVELOPMENT - PARCEL #39-06-15-295-101
CITY OF KALAMAZOO
KALAMAZOO COUNTY, MICHIGAN
ALTA / NSPS LAND TITLE SURVEY

APPROVED: **DJB**
CHECKED: **DJB**
DRAWN: **LDR**

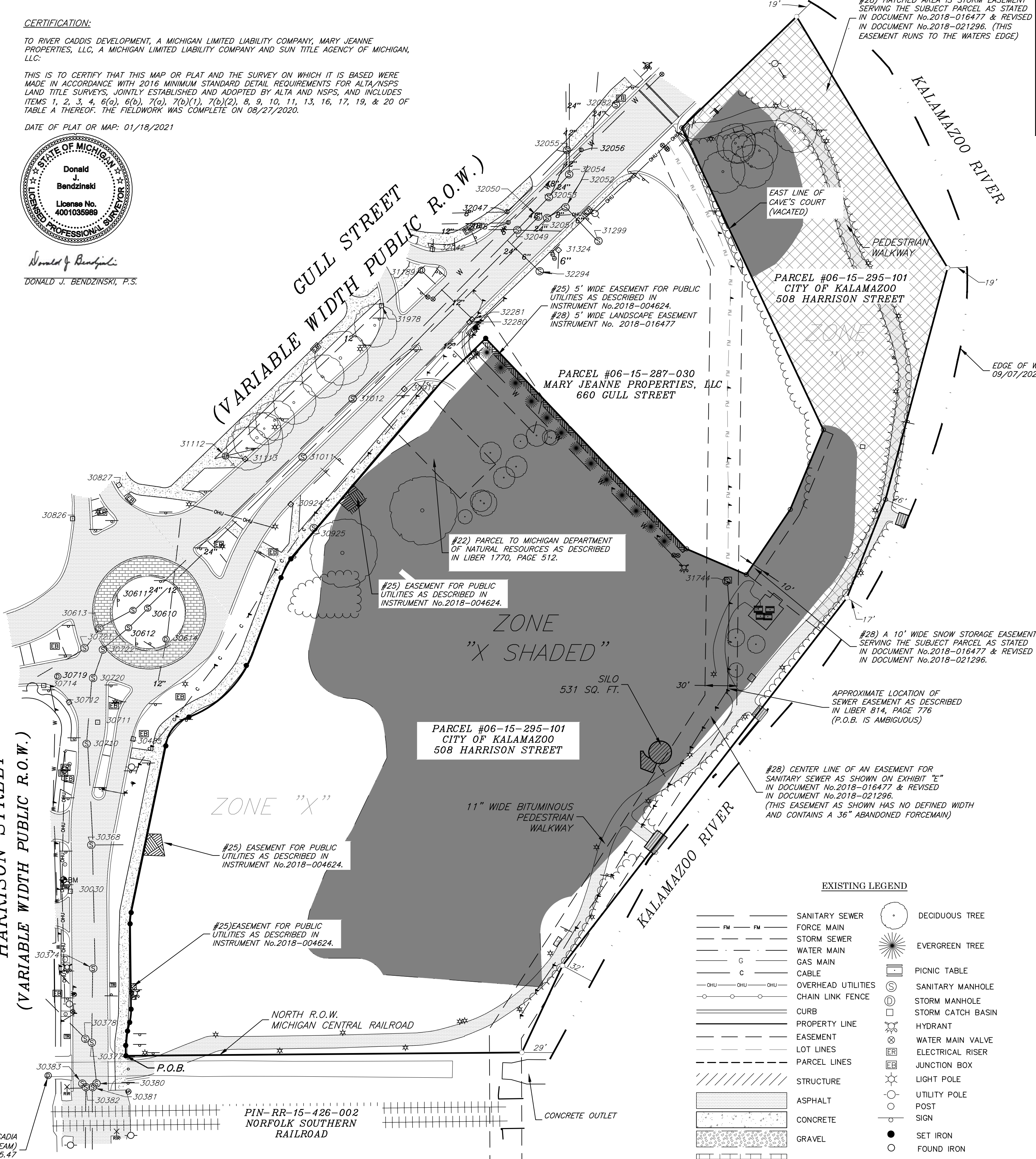
JOB NO: **20-0065**
DATE: **1/18/2021**
SCALE: **1" = 60'**
SHEET NO: **2 OF 2**

- OPTIONAL TABLE A ITEMS:**
- OPTIONAL TABLE A ITEM 1: MONUMENTS (OR REFERENCE MONUMENTS) AT ALL MAJOR CORNERS OF THE BOUNDARY OF THE SUBJECT PROPERTY HAVE BEEN SET OR FOUND AND ARE SHOWN HEREON.
 - OPTIONAL TABLE A ITEM 2: ADDRESSES OBSERVED WHILE CONDUCTING THE FIELD SURVEY ARE SHOWN HEREON.
 - OPTIONAL TABLE A ITEM 3: THE SUBJECT PARCEL IS MAPPED WITHIN A FEMA MAPPED SPECIAL FLOOD HAZARD AREA "X" AS SHOWN HEREON. SHADED "X" IS 0.2% FLOOD HAZARD AND UNSHADED "X" IS MINIMAL FLOOD HAZARD. (MAP #26077C0187D EFFECTIVE DATE FEBRUARY 17, 2010).
 - OPTIONAL TABLE A ITEM 4: THE GROSS LAND AREA OF THE SUBJECT PARCEL IS 7.45 ACRES.
 - OPTIONAL TABLE A ITEM 6(a): NO ZONING/PARCEL REPORT WAS PROVIDED TO THIS OFFICE.
 - OPTIONAL TABLE A ITEM 6(b): NO ZONING/PARCEL REPORT WAS PROVIDED TO THIS OFFICE.
 - OPTIONAL TABLE A ITEM 7(a): EXTERIOR DIMENSIONS OF ALL BUILDINGS ARE SHOWN HEREON.
 - OPTIONAL TABLE A ITEM 7(b)(1): THE SQUARE FOOTAGE OF THE EXTERIOR DIMENSIONS, AT GROUND LEVEL, OF ALL BUILDINGS OBSERVED DURING THE COURSE OF THE FIELD SURVEY, CONTAINED WITHIN THE SUBJECT PARCEL, ARE SHOWN HEREON. (NONE SPECIFIED)
 - OPTIONAL TABLE A ITEM 7(b)(2): THE SQUARE FOOTAGE OF AREAS SPECIFIED BY THE CLIENT OF ALL BUILDING OBSERVED DURING THE COURSE OF THE FIELD SURVEY, CONTAINED WITHIN THE SUBJECT PARCEL, ARE SHOWN HEREON. (NONE SPECIFIED)
 - OPTIONAL TABLE A ITEM 8: SUBSTANTIAL FEATURES OBSERVED DURING THE COURSE OF THE FIELD SURVEY ARE SHOWN HEREON.
 - OPTIONAL TABLE A ITEM 9: NO CLEARLY IDENTIFIABLE PARKING SPACES WERE OBSERVED DURING THE COURSE OF THE FIELD SURVEY.
 - OPTIONAL TABLE A ITEM 10(a): NO DIVISION OR PARTY WALLS WERE OBSERVED DURING THE COURSE OF THE FIELD SURVEY.
 - OPTIONAL TABLE A ITEM 11: LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON ARE MAPPED BASED ON THE METHODS OUTLINED BY ALTA/NSPS OPTIONAL TABLE A ITEM 11. PLAN SOURCE INFORMATION AS FOLLOWS:
NOW INC. - NO U.G. FACILITIES IN SUBJECT PARCEL AREA
AT&T - CAN NOT PLOT, NO DIMENSIONS OR SCALE ON MAP PROVIDED.
COMCAST - NO FACILITIES IN SUBJECT PARCEL AREA
CCIS SYSTEMS - OVERHEAD FACILITY IS AS SHOWN HEREON.
CONSUMERS ENERGY - NO U.G. FACILITIES IN THE AREA
CITY OF KALAMAZOO - SUPPLIED SANITARY AND STORM PLANS FOR ROAD IMPROVEMENTS IN 2017.
 - OPTIONAL TABLE A ITEM 13: NAMES OF ADJOINING OWNERS ACCORDING TO CURRENT TAX RECORDS PER KALAMAZOO COUNTY EQUALIZATION (OBTAINED JANUARY 5, 2021).
 - OPTIONAL TABLE A ITEM 16: NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS WERE OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD SURVEY.
 - OPTIONAL TABLE A ITEM 17: THERE ARE CURRENTLY NO PROPOSED CHANGES OR NO INFORMATION MADE AVAILABLE TO THIS OFFICE REGARDING THE ROAD RIGHT-OF-WAY LINES FOR GULL STREET PER CONVERSATION WITH KALAMAZOO COUNTY ROAD COMMISSION SEPTEMBER 8, 2020. NO EVIDENCE OF RECENT ROAD OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD SURVEY.
 - OPTIONAL TABLE A ITEM 18: NO WETLAND FLAG MARKERS WERE OBSERVED ON THE SUBJECT PARCEL IN THE PROCESS OF CONDUCTING THE FIELD SURVEY.
 - OPTIONAL TABLE A ITEM 19: PLOTTABLE OFFSITE APPURTENANT EASEMENT OR SERVITUDE (DISCLOSED IN SCHEDULE B, SECTION II OF THE TITLE COMMITMENT LISTED HEREON) ARE SHOWN HEREON.

- SCHEDULE B - SECTION II EXCEPTIONS:**
- Items 1-15 are not survey matters
- Right of way in favor of Consumers Power Company (now known as Consumers Energy), as recorded in Liber 330, on Page 423 does not lie within the subject parcel.
 - Terms, covenants, and conditions of Notice of Claim, as recorded in Liber 682, on Page 535 in which item #4 does lie within the subject parcel as to Lots 7, 8, 9, 10, 11 and 12 and is blanket in nature.
 - Terms, covenants, and conditions of City of Kalamazoo Planning Commission Resolution, as recorded in Liber 820, on Page 721, The maps provided were not legible.
 - Terms, covenants, and conditions of Resolution, as recorded in Liber 838, on Page 1 does lie within the subject parcel and is shown hereon as parcel 4.
 - Terms, covenants, and conditions of Deed, as recorded in Liber 894, on Page 1215 does lie within the subject parcel and is shown hereon as parcel 4.
 - Terms, covenants, and conditions of Quit Claim Deed, as recorded in Liber 976, on Page 737 does lie within the subject parcel and is shown hereon as Parcel 1.
 - Terms, covenants, and conditions of Deed, as recorded in Liber 1770, on Page 0512. - as to Parcel 7
 - Terms, covenants, and conditions of Quit Claim Deed, as recorded in Document No. 2001-010067 does lie within the subject parcel and are shown as Parcels 4 & 5.
 - Terms, covenants, and conditions of Declaration of Taking, as recorded in Document No. 2003-019228, does lie within the subject parcel and are shown as Parcels 8, 9, 10, 11.
 - Terms, covenants, and conditions of Agreement for Declaration of Easements, as recorded in Document No. 2018-004624 do lie within the subject parcel and are shown hereon.
 - Terms, covenants, and conditions of Quit Claim Deed, as recorded in Document No. 2018-014652 does lie within the subject parcel and is shown hereon as Parcel 12.
 - Terms, covenants, and conditions of Resolution No. 18-12 - Corrected, as recorded in Document No. 2018-016474 the Point of Beginning is vague and the parcel it refers to no longer exists.
 - Terms, covenants, and conditions of Agreement for Easements, as recorded in Document No. 2018-016477 and Restated and Corrected Agreement for Easements recorded in Document No. 2018-021296.

NOTE: THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON MISS DIG MARKINGS OR ABOVE GROUND UTILITIES LOCATED IN THE FIELD OR PLANS MADE AVAILABLE BY VARIOUS UTILITY PROVIDERS. WOLVERINE ENGINEERS AND SURVEYORS, INC. MAKES NO WARRANTIES AS TO THE ACCURACY OR COMPLETENESS OF UTILITY INFORMATION PROVIDED BY VARIOUS UTILITY COMPANIES. UTILITIES NOT VISIBLE AT THE TIME OF THE FIELD SURVEY OR UTILITIES NOT DISCLOSED WITHIN THE TITLE COMMITMENT PROVIDED BY THE CLIENT HAVE NOT BEEN SHOWN AND WOLVERINE ENGINEERS AND SURVEYORS, INC. TAKES NO RESPONSIBILITY OF THESE UNKNOWN UTILITIES. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITY OWNERS IN ACCORDANCE WITH MICHIGAN E.A. NO. 174 OF 2013.

STRUCTURE CHART	
CB #30030 RIM=764.14 INV. WEST - 6" = 761.59 INV. SW - 12" = 761.04 INV. NORTH - 12" = 760.99	CB #30712 RIM=762.99 INV. EAST - 6" = 759.24 INV. EAST - 12" = 758.89
SAN MH #30368 RIM=764.33 INV. NORTH - 24" = 754.13 INV. SOUTH - 24" = 754.13 INV. EAST - 8" = 755.88	CB #30719 RIM=763.43 INV. NE - 36" = 753.98 INV. SOUTH - 24" = 754.83 INV. EAST - 24" = 755.58
SAN MH #30374 RIM=764.93 NORTH - 24" = 754.13 SOUTH - 24" = 754.18	SAN MH #30720 RIM=763.85 INV. NE - 42" = 755.15 INV. SW = 42" = 755.40
SAN MH #30377 RIM=766.49 INV. NE - 18" = 754.44 INV. SOUTH - 18" = 754.49	SAN MH #30721 RIM=763.67 INV. NE - 42" = 754.27 INV. SW - 24" = 754.32
SAN MH #30378 RIM=766.27 INV. NW - 8" = 755.32 INV. SE - 8" = 755.32	SAN MH #30722 RIM=764.07 INV. SOUTH - 24" = 755.07 INV. NORTH - 24" = 754.97
SAN MH #30380 RIM=768.13 INV. NORTH - 12" = 759.73 BOTTOM=754.13	CB #30827 RIM=761.79 INV. SOUTH - 12" = 758.19
SAN MH #30381 RIM=768.22 INV. SOUTH = 754.42 FLOWING NORTH	CB #30916 RIM=760.88 INV. NE - 12" = 758.88
SAN MH #30382 RIM=768.21 INV. SOUTH 18" = 756.26 BOTTOM = 755.91 INV. WEST - 24" = 755.00	CB #30924 RIM=761.55 INV. NW - 12" = 758.55
SAN MH #30383 RIM=768.10 INV. SOUTH 7" = 756.15 INV. NORTH 12" = 759.90	SAN MH #30925 RIM=762.60 FULL OF WATER
SAN MH #30611 RIM=766.20 INV. EAST - 24" = 754.90 INV. WEST - 24" = 755.00	STM MH #31011 RIM=762.38 INV. NE - 24" = 753.43 INV. NW - 24" = 753.33 INV. SE - 12" = 755.23
SAN MH #30612 RIM=765.93 INV. WEST - 24" = 753.63 INV. EAST - 24" = 753.83 INV. NW - 12" = BLOCKED	SAN MH #31012 RIM=761.63 INV. NE - 12" = 753.88 INV. SW - 24" = 754.08
SAN MH #30613 RIM=764.33 42" FORCEMAIN INVERTS PER PLANS SW=753.37 WEST=756.00 NE=753.37	CB #31113 RIM=761.43 INVERTS TO TOP OF WATER INV. WEST - 12" = 758.33 INV. NE - 15" = 758.47
STM MH #30614 RIM=765.44 INV. NORTH - 12" = 758.44 INV. WEST - 12" = 758.64	STM MH #31189 RIM=761.79 INV. NE - 12" = 757.74 INV. SE - 12" = 757.69 INV. SW - 12" = 757.39 INV. NORTH - 12" = 757.29
SAN MH #30710 RIM=763.52 INV. NORTH - 24" = 755.22 INV. SOUTH - 24" = 755.17	CB #31978 RIM=760.35 INV. NE - 12" = 757.65 INV. SW - 12" = 757.65
CB #30711 RIM=763.66 INV. BOTTOM = 756.21	CB #32042 RIM=760.35 INV. SW - 12" = 757.74
SAN MH #31299 RIM=762.37 INV. WEST - 6" = 756.42 INV. NW - 6" = 756.42 INV. SE - 6" = 756.32	SAN MH #31744 RIM=766.16 36" FORCEMAIN BOTTOM=757.01 T/PIPE=760.26
CB #31324 RIM=761.80 INV. SW - 6" = 760.85	SAN MH #32047 RIM=762.91 INV. NE - 8" = 755.46 INV. WEST - 8" = 753.41
STM MH #32048 RIM=762.22 BOTTOM = 755.75 CANNOT SEE PIPES 48" ON PLANS TO NE & W.	SAN MH #32049 RIM=762.35 INV. W. MET. - 12" = 955.15 INV. W. PVC - 12" = 954.95 INV. SW - 42" = 751.85 INV. NE - 42" = 751.95 INV. EAST - 12" (SEALED)
SAN MH #32051 RIM=762.80 INV. NE - 24" = 752.80 INV. EAST - 8" = 755.25 INV. SW - 24" = 752.95	SAN MH #32052 RIM=763.04 INV. SE - 6" = 755.49 INV. SW - 8" = 755.59
SAN MH #32053 RIM=763.02 INV. NE - 42" = 751.82 INV. SW - 42" = 751.92	SAN MH #32054 RIM=763.48 INV. SW - 24" = 753.68 INV. NORTH - 24" = 752.98
SAN MH #32055 RIM=763.73 INV. SW - 12" = 753.58 INV. NORTH (NOT VISIBLE) INV. SOUTH - (NOT VISIBLE)	STM MH #32056 RIM=763.71 INV. SW - 48" = 755.61
CB #32280 RIM=760.73 INV. NE - 12" = 758.73 INV. NW - 12" = 758.73	CB #32281 RIM=760.71 INV. SW - 12" = 758.71 INV. NW - 12" = 758.56
SAN MH #32294 RIM=762.23 INV. NW - 6" = 755.93	



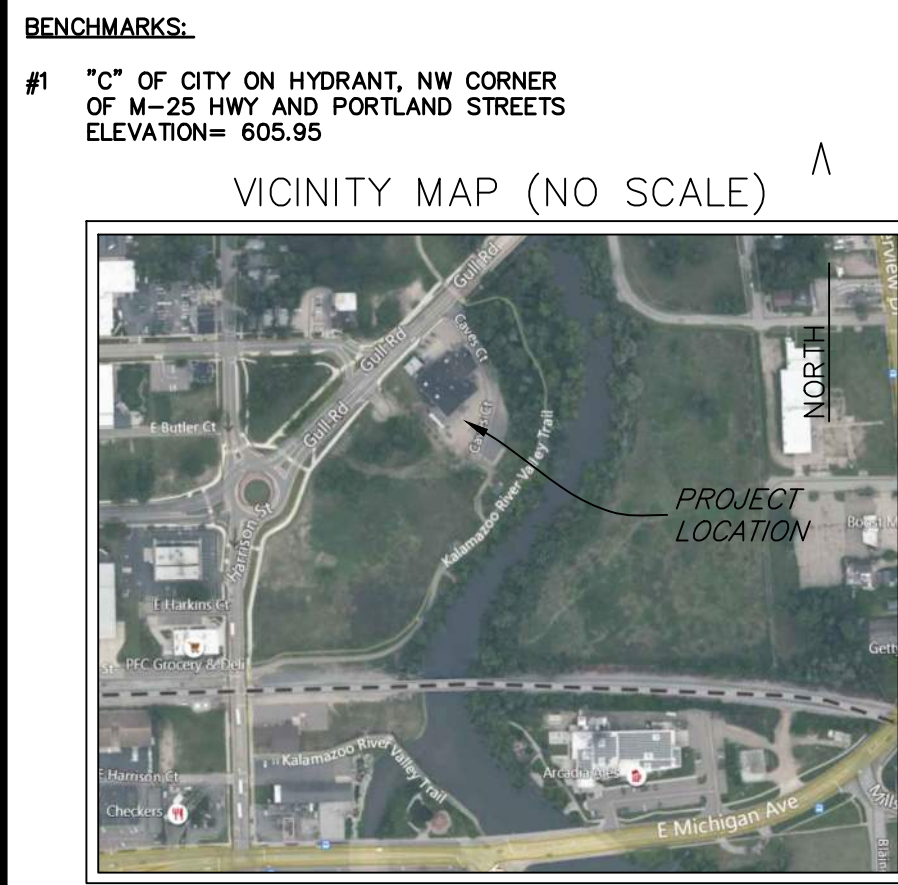
STRUCTURE DRAINING TO ARCADIA CREEK (UNDERGROUND STREAM) BOTTOM ELEVATION=755.47



Donald J. Bendzinski
DONALD J. BENDZINSKI, P.E.

EXISTING LEGEND

FM	SANITARY SEWER	○	DECIDUOUS TREE
FM	FORCE MAIN	○	EVERGREEN TREE
SS	STORM SEWER	○	PICNIC TABLE
WM	WATER MAIN	○	SANITARY MANHOLE
G	GAS MAIN	○	STORM MANHOLE
C	CABLE	○	STORM CATCH BASIN
OHU	OVERHEAD UTILITIES	○	HYDRANT
CLF	CHAIN LINK FENCE	○	WATER MAIN VALVE
CRB	CURB	○	ELECTRICAL RISER
PL	PROPERTY LINE	○	JUNCTION BOX
E	EASEMENT	○	LIGHT POLE
LL	LOT LINES	○	UTILITY POLE
PL	PARCEL LINES	○	POST
S	STRUCTURE	○	SIGN
AS	ASPHALT	○	SET IRON
CON	CONCRETE	○	FOUND IRON
GRA	GRAVEL		
BRK	BRICK		
DEK	DECKING		



SCHEDULE A - LEGAL DESCRIPTION:

AS STATED IN THE COMMITMENT FOR TITLE INSURANCE, SUN TITLE AGENCY OF MICHIGAN, LLC, COMMITMENT No.: PC136008 REVISION NO. 0 EFFECTIVE DATE JANUARY 21, 2020:

That part of Cave's Addition to the City of Kalamazoo, being a subdivision in Section 15, Township 2 South, Range 11 West, recorded in Liber 5 of Plats, Page 13, described as: Commencing at the intersection of the Easterly right of way line of Harrison Avenue (now Street) as shown on the Original Plat of the Town of Kalamazoo, recorded in Liber J of Deeds, Page 640, Kalamazoo County Records, and the Northerly right of way line of Michigan Central Railroad; thence North 00 degrees 41 minutes 57 seconds West on said Easterly right of way line 361.71 feet to the Southeasterly right of way line of Gull Street as shown on said Cave's Addition to the City of Kalamazoo; thence North 45 degrees 55 minutes 30 seconds East on said Southeasterly right of way line 462.36 feet to the Point of Beginning of the land herein described; thence continuing North 45 degrees 55 minutes 30 seconds East on said Southeasterly right of way line 269.44 feet to the Easterly right of way line of Cave's Court; thence South 25 degrees 08 minutes 10 seconds East on said Easterly right of way line and said Easterly right of way line extended 313.02 feet; thence South 22 degrees 35 minutes 20 seconds West 80.85 feet; thence South 34 degrees 01 minutes 55 seconds West 73.65 feet; thence North 66 degrees 48 minutes 36 seconds West 61.00 feet; thence North 43 degrees 40 minutes 11 seconds West 287.03 feet to the Point of Beginning.

ALTA / NSPS LAND TITLE SURVEY

RIVER CADDIS DEVELOPMENT, LLC

SECTION 15, T2S, R11W

CITY OF KALAMAZOO, KALAMAZOO COUNTY, MICHIGAN

CERTIFICATION:

TO RIVER CADDIS DEVELOPMENT, A MICHIGAN LIMITED LIABILITY COMPANY, MARY JEANNE PROPERTIES, LLC, A MICHIGAN LIMITED LIABILITY COMPANY AND SUN TITLE AGENCY OF MICHIGAN, LLC:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 8(a), 8(b), 7(c), 7(b)(1), 7(b)(2), 8, 9, 10, 11, 13, 16, 17, 19, & 20 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETE ON 08/27/2020.

DATE OF PLAT OR MAP: 09/11/2020

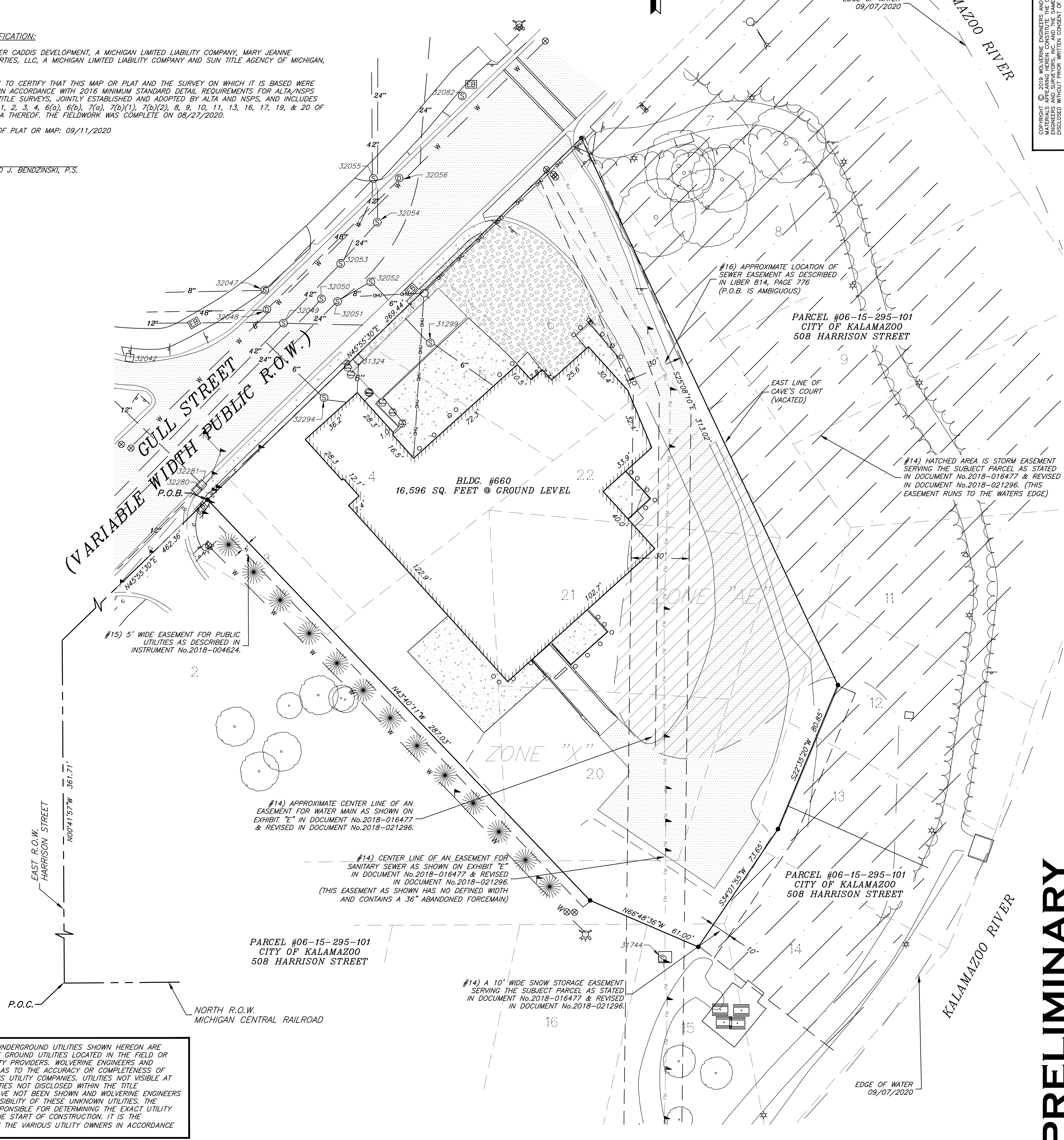
DONALD J. BENDZINSKI, P.S.

- OPTIONAL TABLE A ITEMS:**
- OPTIONAL TABLE A ITEM 1: MONUMENTS (OR REFERENCE MONUMENTS) AT ALL MAJOR CORNERS OF THE BOUNDARY OF THE SUBJECT PROPERTY HAVE BEEN SET OR FOUND AND ARE SHOWN HEREON.
 - OPTIONAL TABLE A ITEM 2: ADDRESSES OBSERVED WHILE CONDUCTING THE FIELD SURVEY ARE SHOWN HEREON.
 - OPTIONAL TABLE A ITEM 3: THE SUBJECT PARCEL IS MAPPED WITHIN A FEMA MAPPED SPECIAL FLOOD HAZARD AREA "AE" AND "X" AS SHOWN HEREON (MAP #26077C01870 EFFECTIVE DATE FEBRUARY 17, 2010).
 - OPTIONAL TABLE A ITEM 4: THE GROSS LAND AREA OF THE SUBJECT PARCEL IS 1.60 ACRES.
 - OPTIONAL TABLE A ITEM 6(a): NO ZONING/PARCEL REPORT WAS PROVIDED TO THIS OFFICE.
 - OPTIONAL TABLE A ITEM 6(b): NO ZONING/PARCEL REPORT WAS PROVIDED TO THIS OFFICE.
 - OPTIONAL TABLE A ITEM 7(a): THE EXTERIOR DIMENSIONS, AT GROUND LEVEL, OF ALL BUILDINGS OBSERVED DURING THE COURSE OF THE FIELD SURVEY, CONTAINED WITHIN THE SUBJECT PARCEL, ARE SHOWN HEREON.
 - OPTIONAL TABLE A ITEM 7(b)(1): THE SQUARE FOOTAGE OF THE EXTERIOR DIMENSIONS, AT GROUND LEVEL, OF ALL BUILDINGS OBSERVED DURING THE COURSE OF THE FIELD SURVEY, CONTAINED WITHIN THE SUBJECT PARCEL, ARE SHOWN HEREON.
 - OPTIONAL TABLE A ITEM 7(b)(2): THE SQUARE FOOTAGE OF AREAS SPECIFIED BY THE CLIENT OF ALL BUILDING OBSERVED DURING THE COURSE OF THE FIELD SURVEY, CONTAINED WITHIN THE SUBJECT PARCEL, ARE SHOWN HEREON.
 - OPTIONAL TABLE A ITEM 8: SUBSTANTIAL FEATURES OBSERVED DURING THE COURSE OF THE FIELD SURVEY ARE SHOWN HEREON.
 - OPTIONAL TABLE A ITEM 9: NO CLEARLY IDENTIFIABLE PARKING SPACES WERE OBSERVED DURING THE COURSE OF THE FIELD SURVEY.
 - OPTIONAL TABLE A ITEM 10(a): NO DIVISION OR PARTY WALLS WERE OBSERVED DURING THE COURSE OF THE FIELD SURVEY.
 - OPTIONAL TABLE A ITEM 11: LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON ARE MAPPED BASED ON THE METHODS OUTLINE BY ALTA/NSPS OPTIONAL TABLE A ITEM 11. PLAN SOURCE INFORMATION AS FOLLOWS:
 WOW INC. - NO U.G. FACILITIES IN SUBJECT PARCEL AREA.
 ART - CAN NOT PLOT. NO DIMENSIONS OR SCALE ON MAP PROVIDED.
 COMCAST - NO FACILITIES IN SUBJECT PARCEL AREA.
 CCIS SYSTEMS - OVERHEAD FACILITY IS AS SHOWN HEREON.
 CONSUMERS ENERGY - NO U.G. FACILITIES IN THE AREA.
 CITY OF KALAMAZOO - SUPPLIED SANITARY AND STORM PLANS FOR ROUND ABOUT 2017.
 - OPTIONAL TABLE A ITEM 13: NAMES OF ADJOINING OWNERS ACCORDING TO CURRENT TAX RECORDS PER KALAMAZOO COUNTY EQUALIZATION (OBTAINED AUGUST 28, 2020).
 - OPTIONAL TABLE A ITEM 16: NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS WERE OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD SURVEY.
 - OPTIONAL TABLE A ITEM 17: THERE ARE CURRENTLY NO PROPOSED CHANGES OR NO INFORMATION MADE AVAILABLE TO THIS OFFICE REGARDING THE ROAD RIGHT-OF-WAY LINES FOR GULL STREET PER CONVERSATION WITH KALAMAZOO COUNTY ROAD COMMISSION SEPTEMBER 8, 2020. NO EVIDENCE OF RECENT ROAD OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD SURVEY.
 - OPTIONAL TABLE A ITEM 18: NO WETLAND FLAG MARKERS WERE OBSERVED ON THE SUBJECT PARCEL(S) IN THE PROCESS OF CONDUCTING THE FIELD SURVEY.
 - OPTIONAL TABLE A ITEM 19: PLOTTABLE OFFSITE APPURTENANT EASEMENT OR SERVITUDE (DISCLOSED IN SCHEDULE B, SECTION II OF THE TITLE COMMITMENT LISTED HEREON) ARE SHOWN HEREON.

STRUCTURE CHART

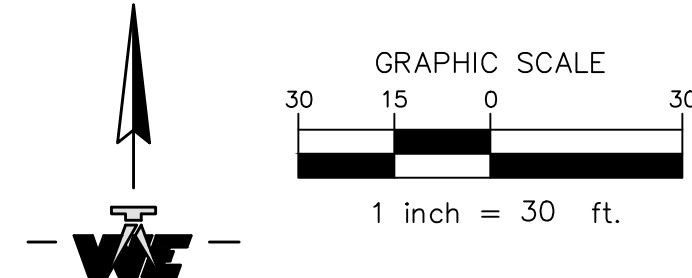
SAN MH #31299	RIM=762.37	INV. NW - 6" = 756.42	INV. SE - 6" = 756.32
CB #31324	RIM=761.80	INV. SW - 6" = 760.85	
SAN MH #31744	RIM=766.16	36" FORCEMAIN	BOTTOM=757.01
T/PIPE=760.26			
SAN MH #32047	RIM=762.91	INV. NE - 8" = 755.46	INV. WEST - 8" = 753.41
STORM MH #32048	RIM=762.22	BOTTOM = 755.75	CANNOT SEE PIPES
48" ON PLANS TO NE & W.			
SAN MH #32049	RIM=762.35	INV. W. MET. - 12" = 955.15	INV. W. PVC - 12" = 954.95
INV. SW - 42" = 751.85	INV. NE - 42" = 751.95	INV. EAST - 12" (SEALED)	
SAN MH #32050	RIM=762.79	INV. NE - 24" = 753.79	INV. SW - 24" = 753.89
SAN MH # 32051	RIM=762.80	INV. NE - 24" = 752.80	INV. EAST - 8" = 755.25
INV. SW - 24" = 752.95			
SAN MH #32052	RIM=763.04	INV. SE - 6" = 755.49	INV. SW - 8" = 755.59
SAN MH #32053	RIM=763.02	INV. NE - 42" = 751.82	INV. SW - 42" = 751.92
SAN MH #32054	RIM=763.48	INV. SW - 24" = 753.68	INV. NORTH - 24" = 752.98
SAN MH #32055	RIM=763.73	INV. SW - 12" = 753.58	INV. NORTH (NOT VISIBLE)
INV. SOUTH - (NOT VISIBLE)			
STORM MH #32056	RIM=763.71	INV. SW - 48" = 755.61	
CB #32280	RIM=760.73	INV. NE - 12" = 758.73	INV. NW - 12" = 758.73
CB #32281	RIM=760.71	INV. SW - 12" = 758.71	INV. NW - 12" = 758.56
SAN MH #32294	RIM=762.23	INV. NW - 6" = 755.93	

- EXISTING LEGEND**
- 900- CONTOUR - MUR
 - 901- CONTOUR - MNR
 - SANITARY SEWER
 - FORCE MAIN
 - WATER SEWER
 - GAS MAIN
 - CABLE
 - OVERHEAD UTILITIES
 - CHAIN LINK FENCE
 - CURB
 - PROPERTY LINE
 - EASEMENT
 - STRUCTURE
 - ASPHALT
 - CONCRETE
 - GRAVEL
 - DECIDUOUS TREE
 - ⊙ EVERGREEN TREE
 - ⊙ SANITARY MANHOLE
 - ⊙ STORM MANHOLE
 - ⊙ STORM CATCH BASIN
 - ⊙ HYDRANT
 - ⊙ WATER MAIN VALVE
 - ⊙ ELECTRICAL RISER
 - LIGHT POLE
 - UTILITY POLE
 - POST
 - SIGN
 - SET IRON
 - M= MEASURED
 - D= DESCRIBED



- SCHEDULE B - SECTION II EXCEPTIONS:**
- ITEMS 1-9, 11-13, AND 28-30 ARE NOT SURVEY MATTERS
- ANY PROVISIONS CONTAINED IN ANY INSTRUMENTS OF RECORD WHICH PROVISIONS PERTAIN TO THE TRANSFER OF DIVISIONS UNDER SECTION 109(3) OF THE SUBDIVISION CONTROL ACT OF 1967, AS AMENDED IS NOT AN EASEMENT AND CANNOT BE SHOWN HEREON.
 - TERMS, COVENANTS, AND CONDITIONS OF AGREEMENT FOR EASEMENTS, AS RECORDED IN INSTRUMENT NO. 2018-016477, AND RESTATED AND CORRECTED AGREEMENT FOR EASEMENTS, AS RECORDED IN INSTRUMENT NO. 2018-021296 CONTAINS SEVERAL EASEMENTS WHICH LIE WITHIN OR BENEFIT THE SUBJECT PARCEL.
 - TERMS, COVENANTS, AND CONDITIONS OF AGREEMENT FOR DECLARATION OF EASEMENTS, AS RECORDED IN INSTRUMENT NO. 2018-004624 DOES NOT LIE WITHIN THE SUBJECT PARCEL, RUNS ADJACENT TO THE SOUTHWESTERLY PARCEL LINE AND IS SHOWN HEREON.
 - TERMS, COVENANTS, AND CONDITIONS OF SEWER EASEMENT, AS RECORDED IN LIBER 814, PAGE 776 A PORTION OF WHICH LIES WITHIN THE SUBJECT PARCEL AND APPROXIMATE LOCATION IS SHOWN HEREON. (ALSO DESCRIBED IN ITEMS 23 & 24)
 - TERMS, COVENANTS, AND CONDITIONS OF NOTICE OF CLAIM BY CONSUMERS POWER COMPANY, AS RECORDED IN LIBER 882, PAGE 535 DOES NOT LIE WITHIN THE SUBJECT PARCEL AND IS ALSO DESCRIBED IN LIBER 145, PAGE 412 (ITEM #21)
 - RIGHT OF WAY IN FAVOR OF CONSUMERS POWER COMPANY (NOW KNOWN AS CONSUMERS ENERGY), AS RECORDED IN LIBER 271, PAGE 365 DOES NOT LIE WITHIN SUBJECT PARCEL.
 - RIGHT OF WAY IN FAVOR OF CONSUMERS POWER COMPANY (NOW KNOWN AS CONSUMERS ENERGY), AS RECORDED IN LIBER 271, PAGE 366 DOES NOT LIE WITHIN SUBJECT PARCEL.
 - TERMS, COVENANTS, AND CONDITIONS OF NOTICE OF CLAIM, AS RECORDED IN LIBER 813, PAGE 694 DOES NOT LIE WITHIN SUBJECT PARCEL AND REFERS TO NUMBERS 18 & 19 ABOVE.
 - TERMS, COVENANTS, AND CONDITIONS OF INSTRUMENT, AS RECORDED IN LIBER 145, PAGE 412 IS AS STATED IN ITEM #17.
 - TERMS, COVENANTS, AND CONDITIONS OF INSTRUMENT, AS RECORDED IN LIBER 178, PAGE 241 IS THE CONVEYANCE OF EASEMENTS FROM COMMONWEALTH ENERGY TO CONSUMERS ENERGY.
 - TERMS, COVENANTS, AND CONDITIONS OF SEWER EASEMENT, AS RECORDED IN LIBER 813, PAGE 423 IS AS DESCRIBED IN ITEM #16.
 - TERMS, COVENANTS, AND CONDITIONS OF SEWER EASEMENT, AS RECORDED IN LIBER 813, PAGE 646 AND AS SHOWN IN ITEM #16 ABOVE.
 - RIGHT OF WAY IN FAVOR OF CONSUMERS POWER COMPANY (NOW KNOWN AS CONSUMERS ENERGY), AS RECORDED IN LIBER 253, PAGE 81 AS TO LOT 5 OF CAVE'S ADDITION CANNOT BE MAPPED AS DESCRIBED.
 - RIGHT OF WAY IN FAVOR OF CONSUMERS POWER COMPANY (NOW KNOWN AS CONSUMERS ENERGY), AS RECORDED IN LIBER 330, PAGE 423 DOES NOT LIE WITHIN SUBJECT PARCEL.

NOTE: THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON MISS DIG MARKINGS OR ABOVE GROUND UTILITIES LOCATED IN THE FIELD OR PLANS MADE AVAILABLE BY VARIOUS UTILITY PROVIDERS. WOLVERINE ENGINEERS AND SURVEYORS, INC. MAKES NO WARRANTIES AS TO THE ACCURACY OR COMPLETENESS OF UTILITY INFORMATION PROVIDED BY VARIOUS UTILITY COMPANIES. UTILITIES NOT VISIBLE AT THE TIME OF THE FIELD SURVEY OR UTILITIES NOT DISCLOSED WITHIN THE TITLE COMMITMENT PROVIDED BY THE CLIENT HAVE NOT BEEN SHOWN AND WOLVERINE ENGINEERS AND SURVEYORS, INC. TAKES NO RESPONSIBILITY OF THESE UNKNOWN UTILITIES. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITY OWNERS IN ACCORDANCE WITH MICHIGAN P.A. NO. 174 OF 2013.



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REVISION	DATE	DESCRIPTION

WOLVERINE
Engineers & Surveyors, Inc.

312 North Street
Mason, Michigan 48854
Ph: 317.676.9200
Fax: 317.676.9396
http://www.wolvenj.com

PRELIMINARY

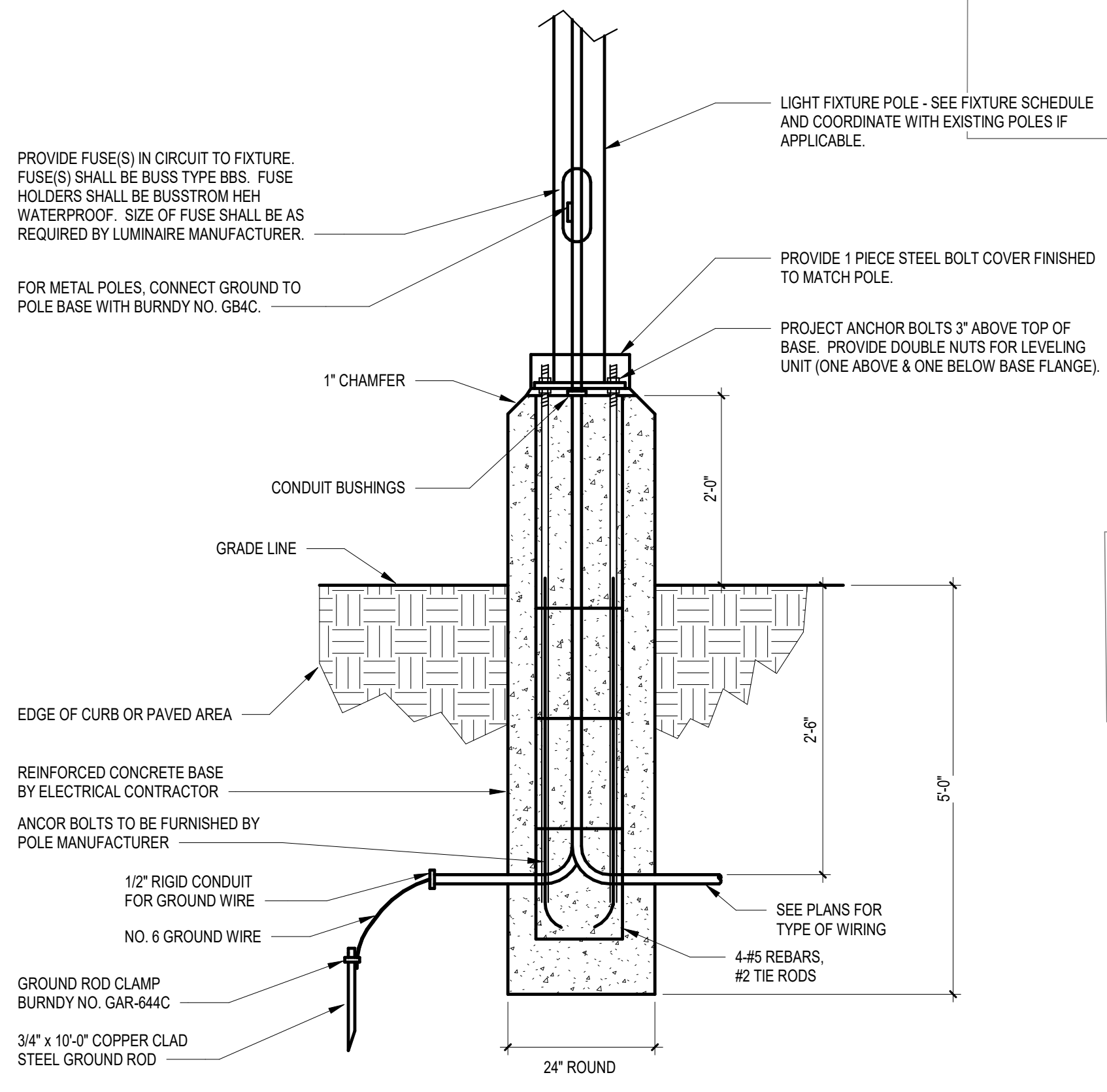
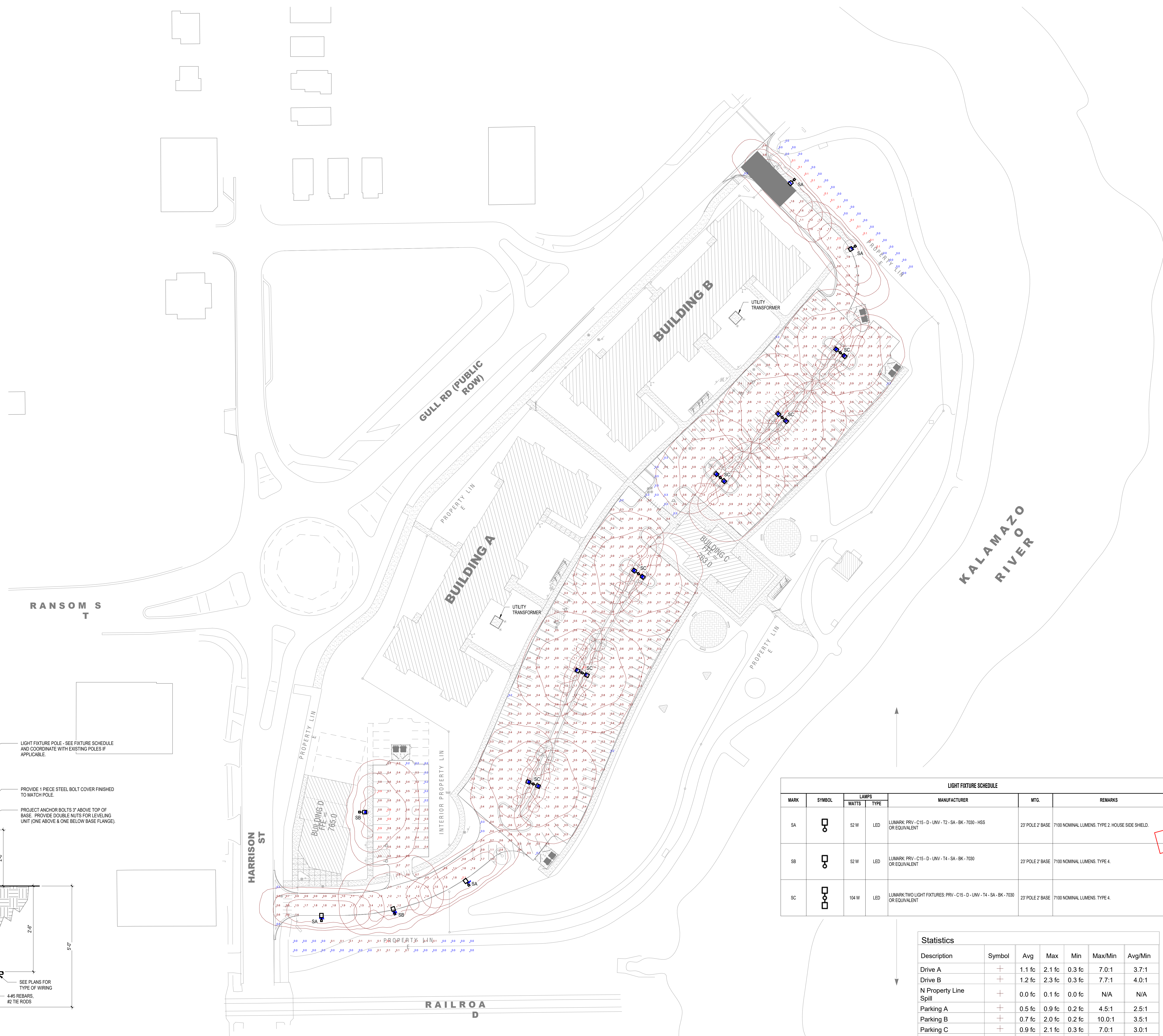
PROJECT: RIVERS EDGE DEVELOPMENT - PARCEL #39-06-15-287-030
CITY OF KALAMAZOO
KALAMAZOO COUNTY, MICHIGAN
ALTA / NSPS LAND TITLE SURVEY

APPROVED	DJB
CHECKED	DJB
DRAWN	LDR
JOB NO.	20-0065
DATE	9/11/2020
SCALE	1" = 30'
SHEET NO.	1 OF 1

New Facility for:
RIVER'S EDGE REDEVELOPMENT
508 Harrison Street
Kalamazoo, Michigan

PRELIMINARY
NOT FOR CONSTRUCTION

2023.02.06 Site Plan Review
Site Lighting Plan



1 LIGHT FIXTURE POLE INSTALLATION DETAIL
SCALE: NO SCALE

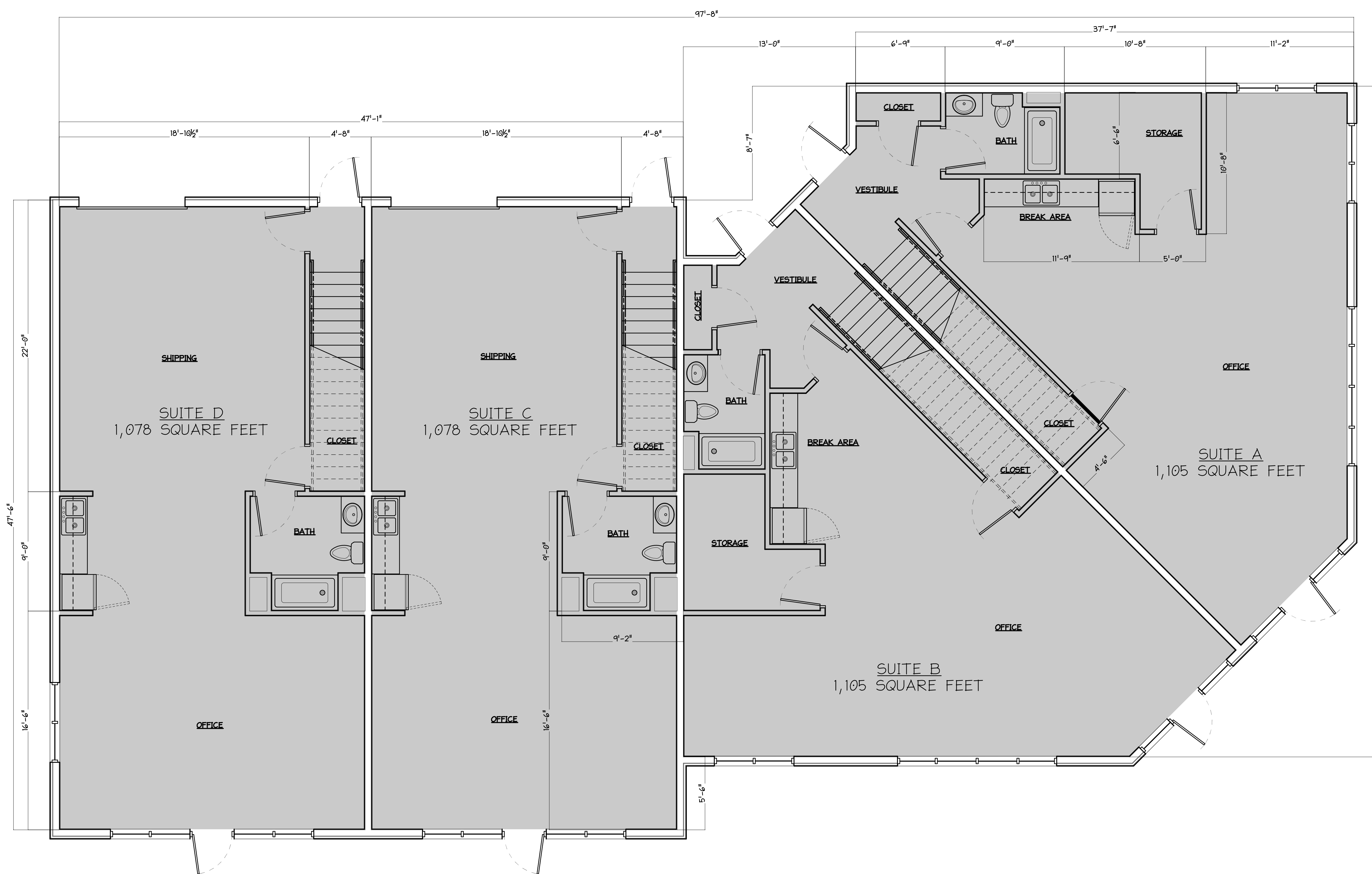
LIGHT FIXTURE SCHEDULE						
MARK	SYMBOL	LAMPS		MANUFACTURER	MTG.	REMARKS
		WATTS	TYPE			
SA		52 W	LED	LUMARK: PRV - C15 - D - UNV - T2 - SA - BK - 7030 - HSS OR EQUIVALENT	23 POLE 2' BASE	7100 NOMINAL LUMENS, TYPE 2, HOUSE SIDE SHIELD.
SB		52 W	LED	LUMARK: PRV - C15 - D - UNV - T4 - SA - BK - 7030	23 POLE 2' BASE	7100 NOMINAL LUMENS, TYPE 4.
SC		104 W	LED	LUMARK: TWO LIGHT FIXTURES: PRV - C15 - D - UNV - T4 - SA - BK - 7030	23 POLE 2' BASE	7100 NOMINAL LUMENS, TYPE 4.

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Drive A	+	1.1 fc	2.1 fc	0.3 fc	7.0:1	3.7:1
Drive B	+	1.2 fc	2.3 fc	0.3 fc	7.7:1	4.0:1
N Property Line Spill	+	0.0 fc	0.1 fc	0.0 fc	N/A	N/A
Parking A	+	0.5 fc	0.9 fc	0.2 fc	4.5:1	2.5:1
Parking B	+	0.7 fc	2.0 fc	0.2 fc	10.0:1	3.5:1
Parking C	+	0.9 fc	2.1 fc	0.3 fc	7.0:1	3.0:1
S Property Line Spill	+	0.0 fc	0.2 fc	0.0 fc	N/A	N/A

ELECTRICAL SITE PLAN
SCALE: 1" = 40'-0"

B:\1710255\1710255 River's Edge Redevelopment\River's Edge Redevelopment - Sht 14
 P:\ec\1710255\1710255 River's Edge Redevelopment - Sht 14
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 **M - Market Rate Unit**



FIRST FLOOR PLAN
1/4"=1'-0"
4,665 GROSS SQUARE FEET

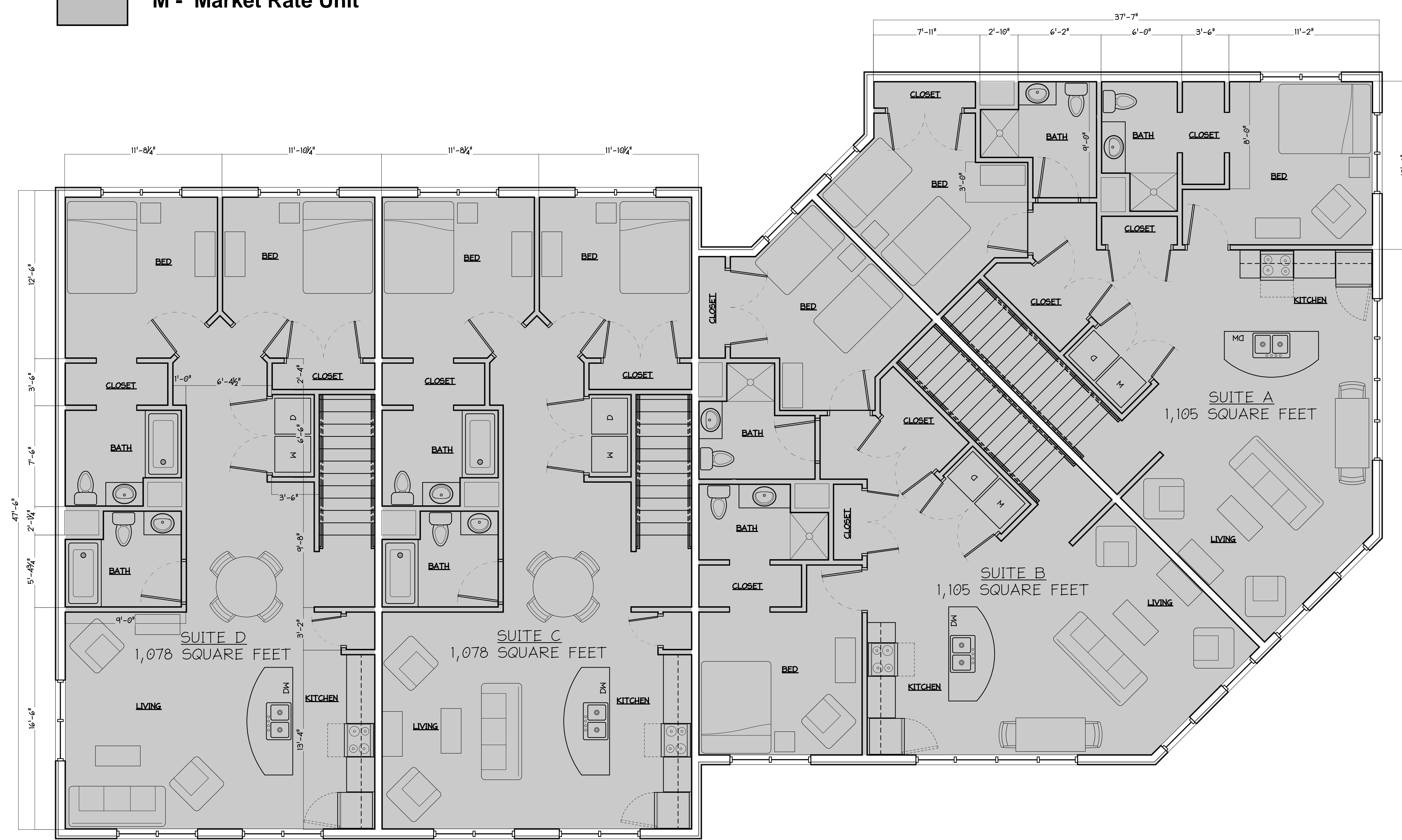
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Plot Date: 6-1-2022 at 1:55pm by steven.woods

River's Edge Development
508 Harrison Street - Kalamazoo, Michigan

ISSUED FOR SITE PLAN APPROVAL
2022.07.19
BUILDING D FIRST FLOOR PLAN

17100255
A210D


 **M - Market Rate Unit**




 **SECOND FLOOR PLAN**
1/4"=1'-0"
4,665 GROSS SQUARE FEET

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Plotfile: Aed, 6-17-2022 at 1:49pm by steven.uno


BUILDING A												
	2 BR			1 BR			STUDIO			TOTAL		
LEVEL	A	M	T	A	M	T	A	M	T	A	M	T
4th	2	3	5	10	9	19	2	2	4	14	14	28
3rd	3	4	7	9	8	17	2	2	4	14	14	28
2nd	3	4	7	9	8	17	2	2	4	14	14	28
1st	2	3	5	10	9	19	2	1	3	14	13	27
TOTAL	10	14	24	38	34	72	8	7	15	56	55	111


 M - Market Rate Unit

 A - Affordable Unit



BUILDING A												
	2 BR			1 BR			STUDIO			TOTAL		
LEVEL	A	M	T	A	M	T	A	M	T	A	M	T
4th	2	3	5	10	9	19	2	2	4	14	14	28
3rd	3	4	7	9	8	17	2	2	4	14	14	28
2nd	3	4	7	9	8	17	2	2	4	14	14	28
1st	2	3	5	10	9	19	2	1	3	14	13	27
TOTAL	10	14	24	38	34	72	8	7	15	56	55	111

 M - Market Rate Unit

 A - Affordable Unit





BUILDING A												
	2 BR			1 BR			STUDIO			TOTAL		
LEVEL	A	M	T	A	M	T	A	M	T	A	M	T
4th	2	3	5	10	9	19	2	2	4	14	14	28
3rd	3	4	7	9	8	17	2	2	4	14	14	28
2nd	3	4	7	9	8	17	2	2	4	14	14	28
1st	2	3	5	10	9	19	2	1	3	14	13	27
TOTAL	10	14	24	38	34	72	8	7	15	56	55	111

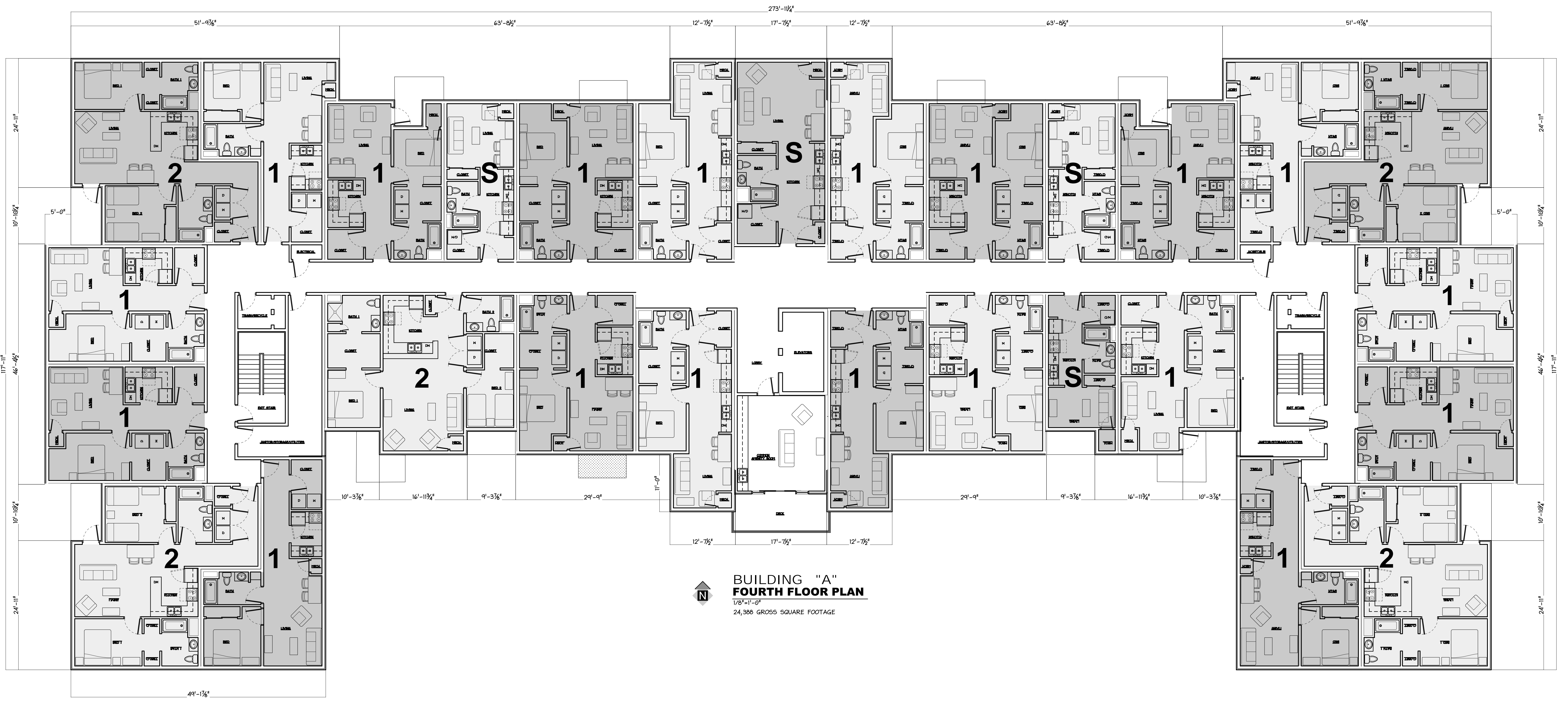
M - Market Rate Unit
 A - Affordable Unit




BUILDING A												
	2 BR			1 BR			STUDIO			TOTAL		
LEVEL	A	M	T	A	M	T	A	M	T	A	M	T
4th	2	3	5	10	9	19	2	2	4	14	14	28
3rd	3	4	7	9	8	17	2	2	4	14	14	28
2nd	3	4	7	9	8	17	2	2	4	14	14	28
1st	2	3	5	10	9	19	2	1	3	14	13	27
TOTAL	10	14	24	38	34	72	8	7	15	56	55	111

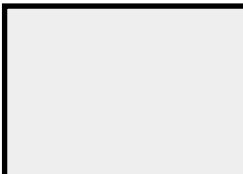
 M - Market Rate Unit

 A - Affordable Unit




BUILDING B												
	2 BR			1 BR			STUDIO			TOTAL		
LEVEL	A	M	T	A	M	T	A	M	T	A	M	T
4th	2	3	5	10	9	19	2	2	4	14	14	28
3rd	3	4	7	9	8	17	2	2	4	14	14	28
2nd	3	4	7	9	8	17	2	2	4	14	14	28
1st	2	3	5	10	9	19	2	1	3	14	13	27
TOTAL	10	14	24	38	34	72	8	7	15	56	55	111


 M - Market Rate Unit

 A - Affordable Unit




BUILDING B												
LEVEL	2 BR			1 BR			STUDIO			TOTAL		
	A	M	T	A	M	T	A	M	T	A	M	T
4th	2	3	5	10	9	19	2	2	4	14	14	28
3rd	3	4	7	9	8	17	2	2	4	14	14	28
2nd	3	4	7	9	8	17	2	2	4	14	14	28
1st	2	3	5	10	9	19	2	1	3	14	13	27
TOTAL	10	14	24	38	34	72	8	7	15	56	55	111


 M - Market Rate Unit

 A - Affordable Unit




BUILDING B												
LEVEL	2 BR			1 BR			STUDIO			TOTAL		
	A	M	T	A	M	T	A	M	T	A	M	T
4th	2	3	5	10	9	19	2	2	4	14	14	28
3rd	3	4	7	9	8	17	2	2	4	14	14	28
2nd	3	4	7	9	8	17	2	2	4	14	14	28
1st	2	3	5	10	9	19	2	1	3	14	13	27
TOTAL	10	14	24	38	34	72	8	7	15	56	55	111


 M - Market Rate Unit

 A - Affordable Unit



BUILDING B												
LEVEL	2 BR			1 BR			STUDIO			TOTAL		
	A	M	T	A	M	T	A	M	T	A	M	T
4th	2	3	5	10	9	19	2	2	4	14	14	28
3rd	3	4	7	9	8	17	2	2	4	14	14	28
2nd	3	4	7	9	8	17	2	2	4	14	14	28
1st	2	3	5	10	9	19	2	1	3	14	13	27
TOTAL	10	14	24	38	34	72	8	7	15	56	55	111

 M - Market Rate Unit

 A - Affordable Unit

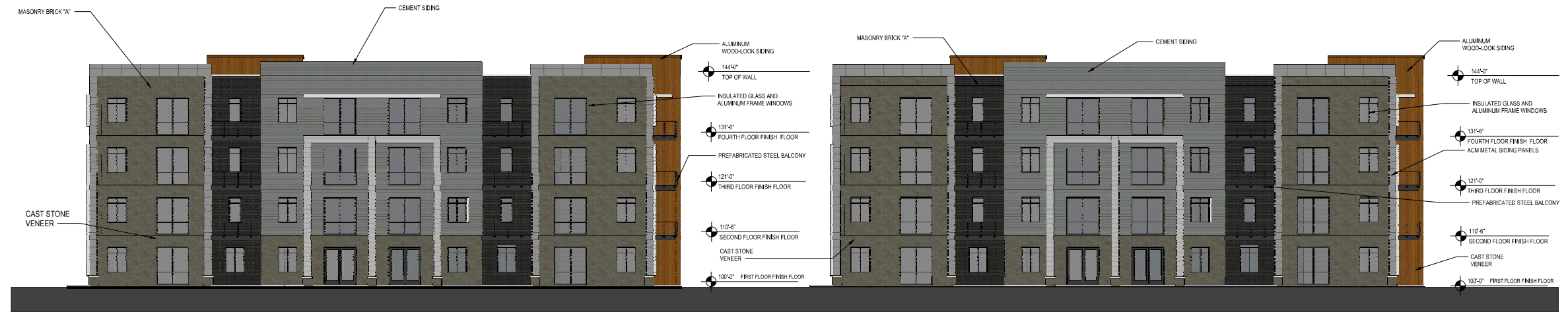


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River's Edge Development
508 Harrison Street - Kalamazoo, Michigan

2022.07.19 ISSUED FOR SITE PLAN APPROVAL
OVERALL PLANS

17100255
B4



EAST ELEVATION - OPTION 01
 3/32" = 1'-0" COLORS / FINISHES TO BE SELECTED FROM MANUFACTURER'S STANDARD COLORS AND FINISHES

WEST ELEVATION - OPTION 01
 3/32" = 1'-0" COLORS / FINISHES TO BE SELECTED FROM MANUFACTURER'S STANDARD COLORS AND FINISHES



NORTH ELEVATION - OPTION 01
 3/32" = 1'-0" COLORS / FINISHES TO BE SELECTED FROM MANUFACTURER'S STANDARD COLORS AND FINISHES



SOUTH ELEVATION - OPTION 01
 3/32" = 1'-0" COLORS / FINISHES TO BE SELECTED FROM MANUFACTURER'S STANDARD COLORS AND FINISHES

COLORS / FINISHES TO BE SELECTED FROM MANUFACTURER'S STANDARD COLORS AND FINISHES

RIVER'S EDGE: BUILDING "A"

River's Edge Development
 508 Harrison Street · Kalamazoo, Michigan

2022/07/18 ISSUED FOR SITE PLAN APPROVAL
 Building "A" Elevations

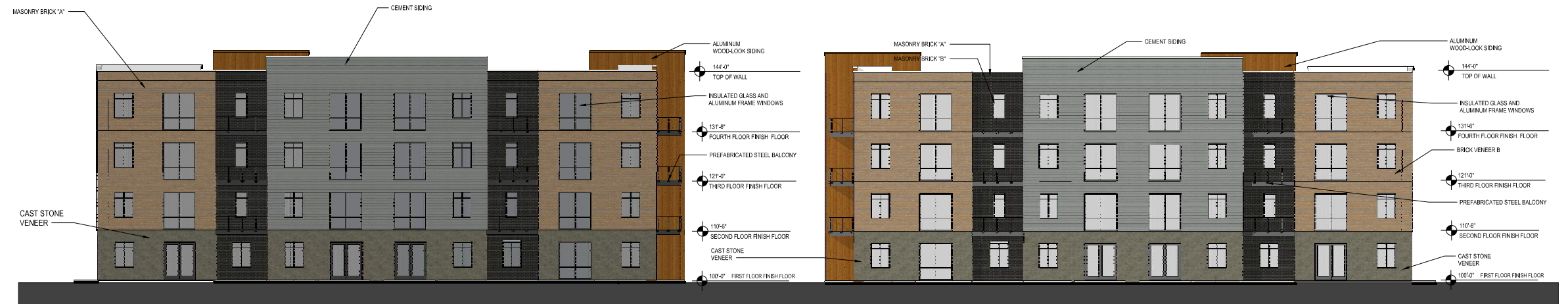


RIVER'S EDGE: PERSPECTIVE VIEWS BUILDING "A"

RIVER'S EDGE: BUILDING "A"

River's Edge Development
 508 Harrison Street · Kalamazoo, Michigan

2022.07.13 ISSUED FOR SITE PLAN APPROVAL
 Building "A" Perspective Views



EAST ELEVATION - BUILDING A
 3/32" = 1'-0" COLORS / FINISHES TO BE SELECTED FROM MANUFACTURERS STANDARD COLORS AND FINISHES

WEST ELEVATION - BUILDING A
 3/32" = 1'-0" COLORS / FINISHES TO BE SELECTED FROM MANUFACTURERS STANDARD COLORS AND FINISHES



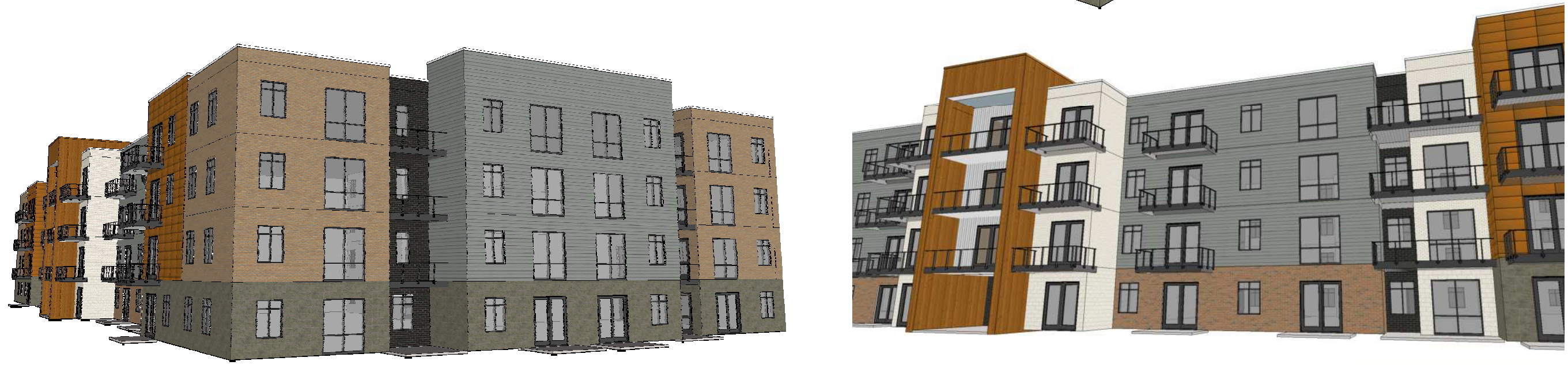
NORTH ELEVATION - BUILDING A
 3/32" = 1'-0" COLORS / FINISHES TO BE SELECTED FROM MANUFACTURERS STANDARD COLORS AND FINISHES



SOUTH ELEVATION - BUILDING A
 3/32" = 1'-0" COLORS / FINISHES TO BE SELECTED FROM MANUFACTURERS STANDARD COLORS AND FINISHES

River's Edge Development
 508 Harrison Street · Kalamazoo, Michigan

RIVER'S EDGE: BUILDING "B"



RIVER'S EDGE: PERSPECTIVE VIEWS BUILDING "B"

RIVER'S EDGE: BUILDING "B"

River's Edge Development
 508 Harrison Street · Kalamazoo, Michigan

2022/07/25 ISSUED FOR SITE PLAN APPROVAL
 Building "B" Perspective Views

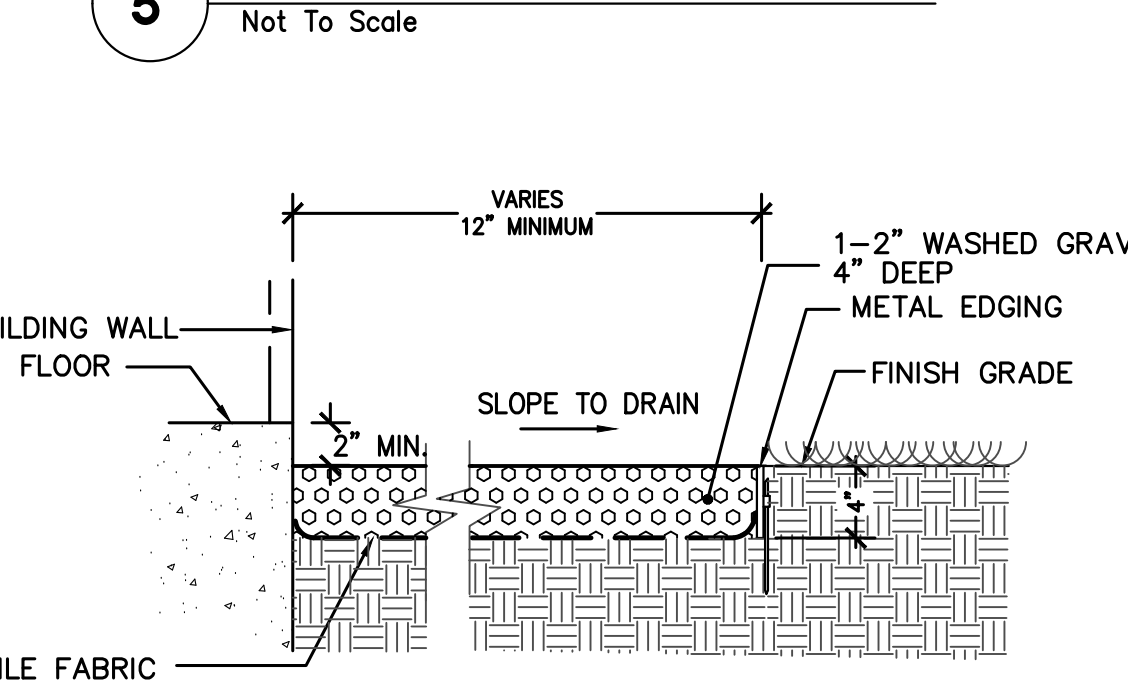
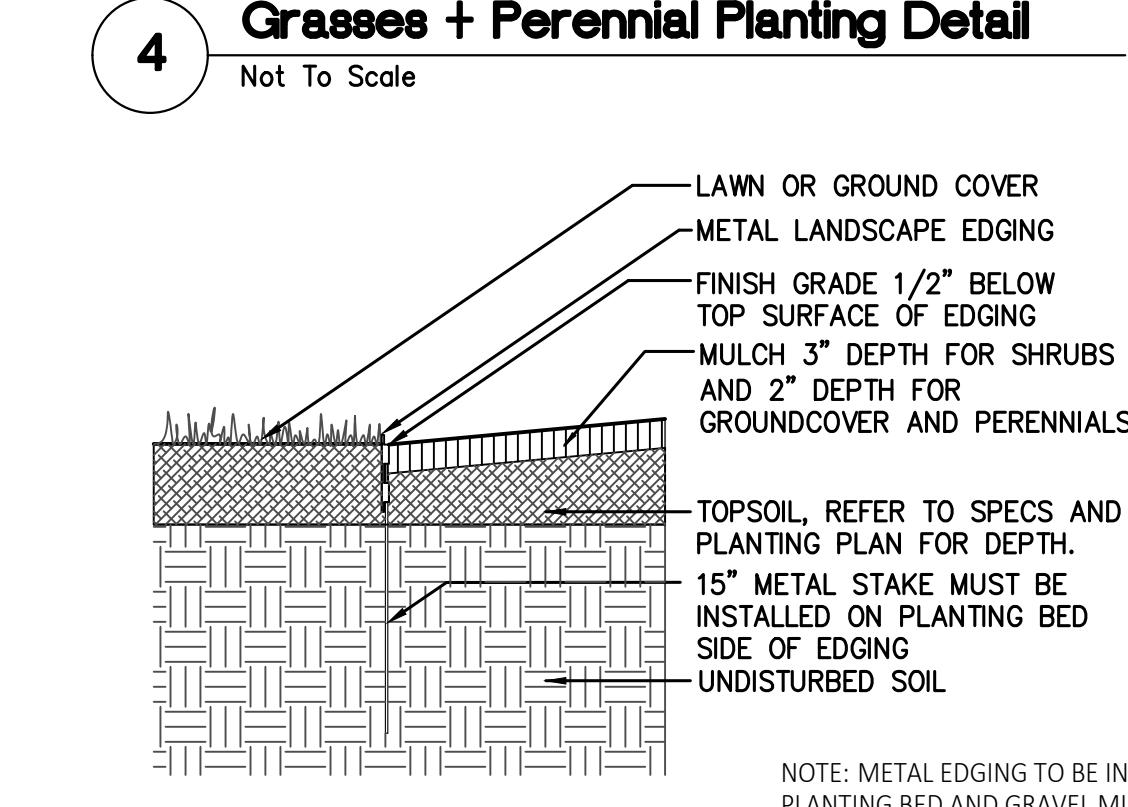
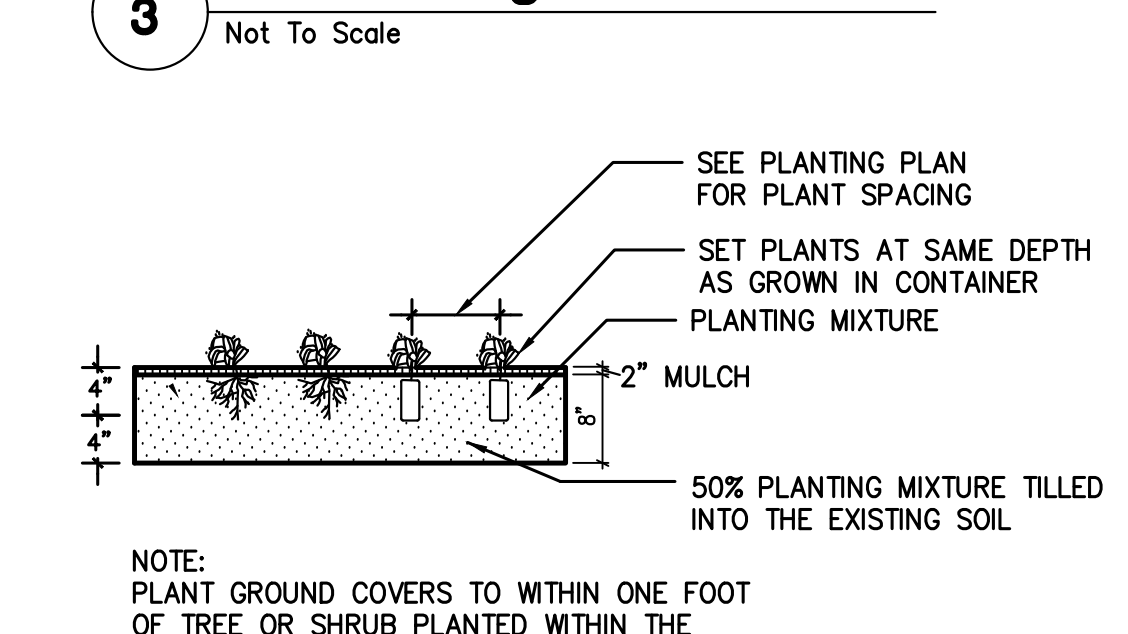
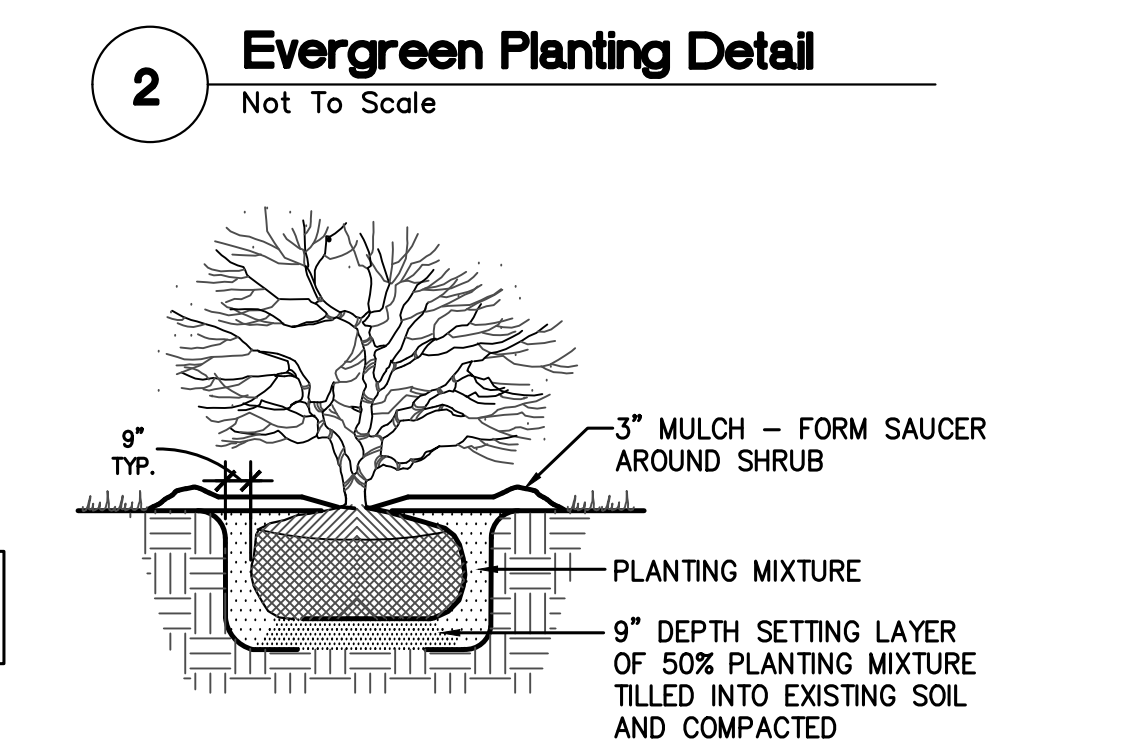
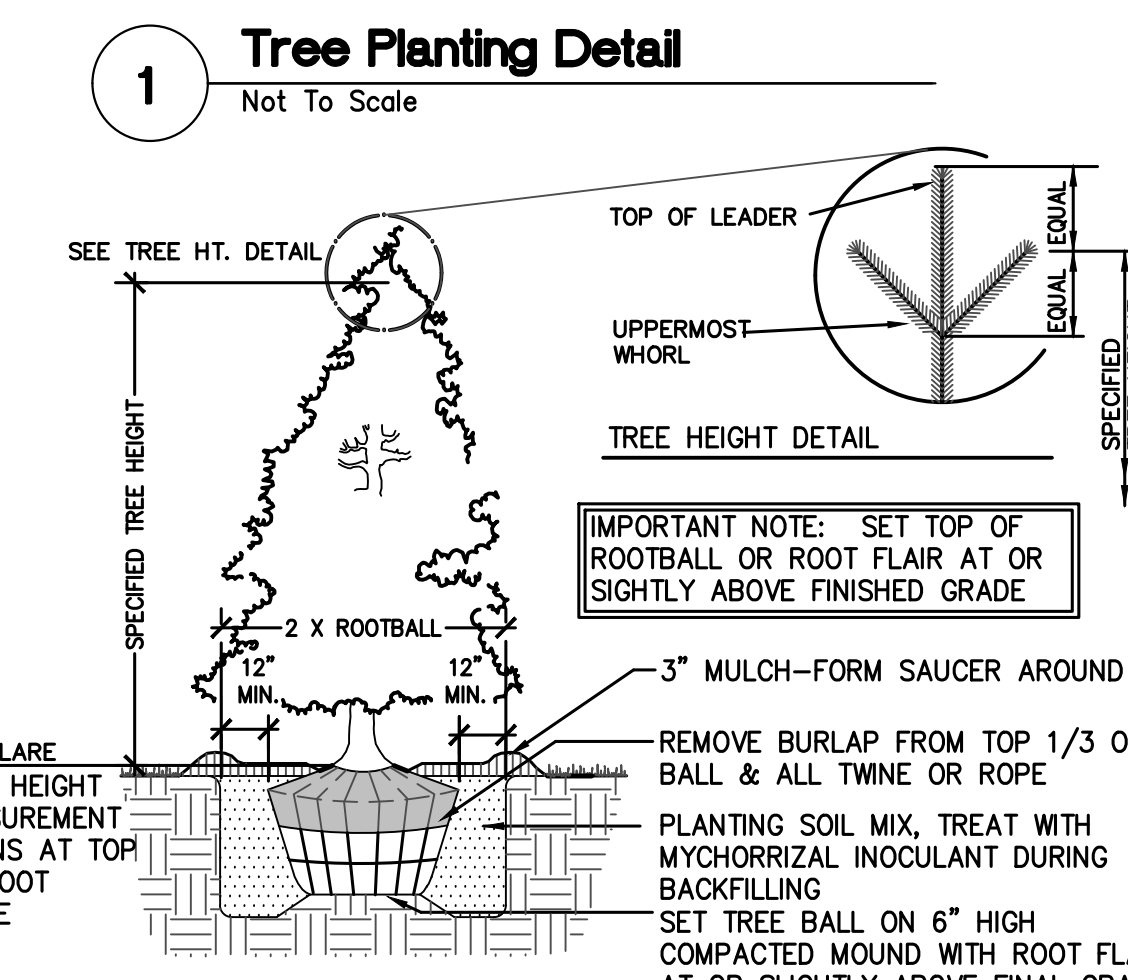
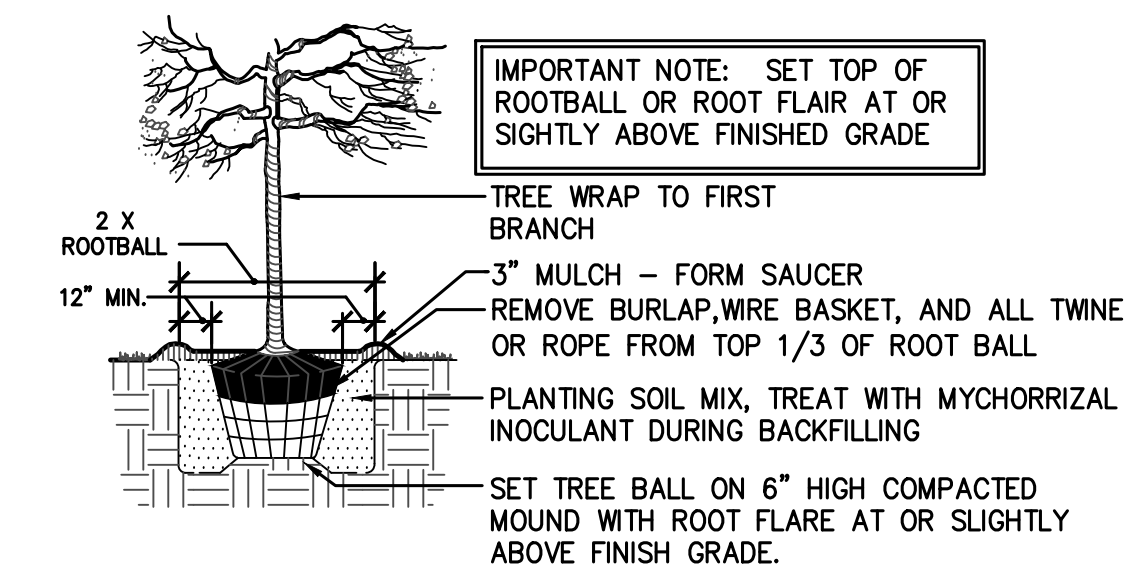
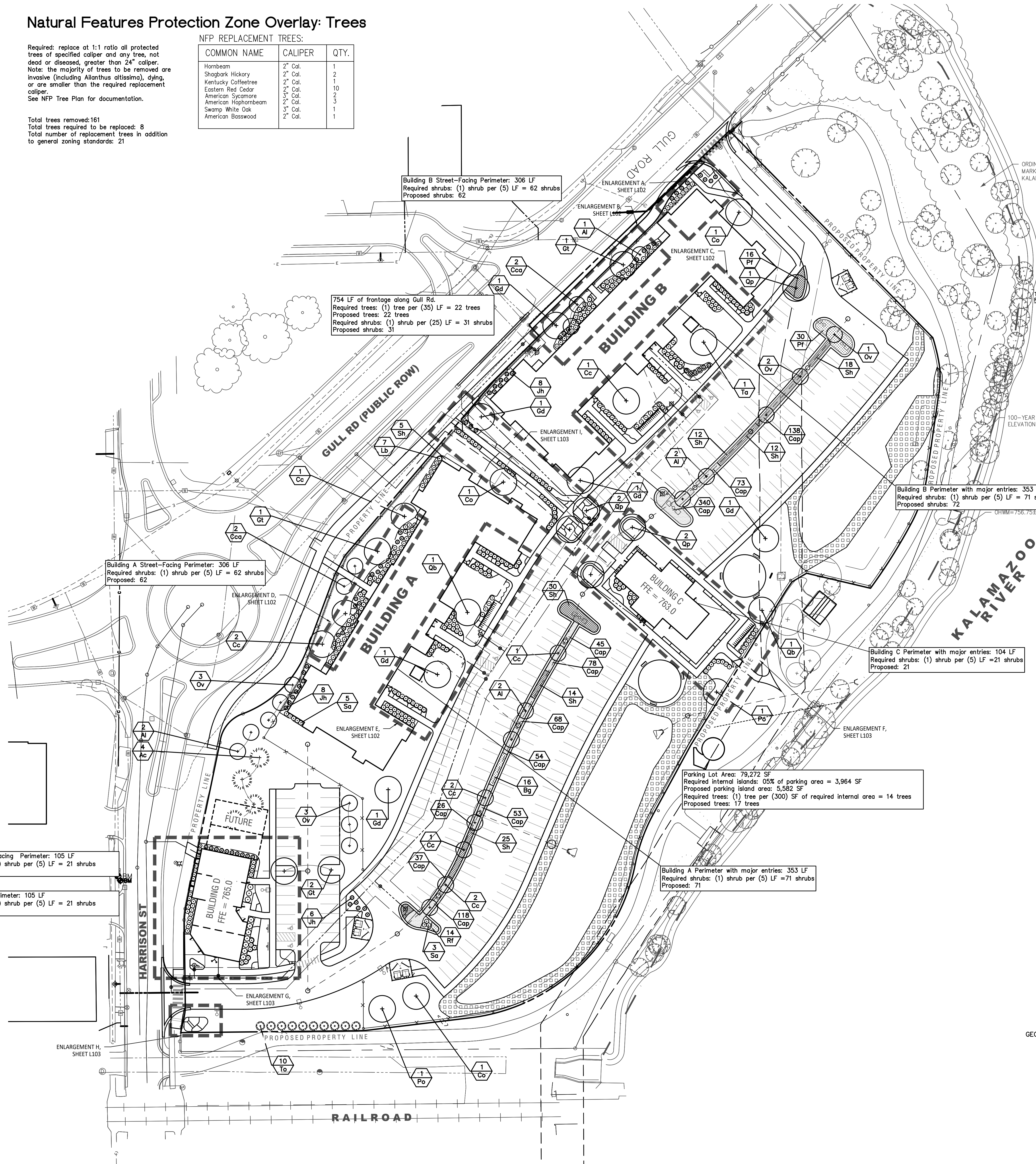
Natural Features Protection Zone Overlay: Trees

Required: replace at 1:1 ratio all protected trees of specified caliper and any tree, not dead or diseased, greater than 24" caliper.
 Note: the majority of trees to be removed are invasive (including *Ailanthus altissima*), dying, or are smaller than the required replacement caliper.
 See NFP Tree Plan for documentation.

Total trees removed: 161
 Total trees required to be replaced: 8
 Total number of replacement trees in addition to general zoning standards: 21

NFP REPLACEMENT TREES:

COMMON NAME	CALIPER	QTY.
Hornbeam	2" Cal.	1
Shagbark Hickory	2" Cal.	2
Kentucky Coffeetree	2" Cal.	10
Eastern Red Cedar	3" Cal.	2
American Sycamore	2" Cal.	3
American Hophornbeam	3" Cal.	1
Swamp White Oak	2" Cal.	1
American Basswood	2" Cal.	1



PROPOSED FEATURES LEGEND:

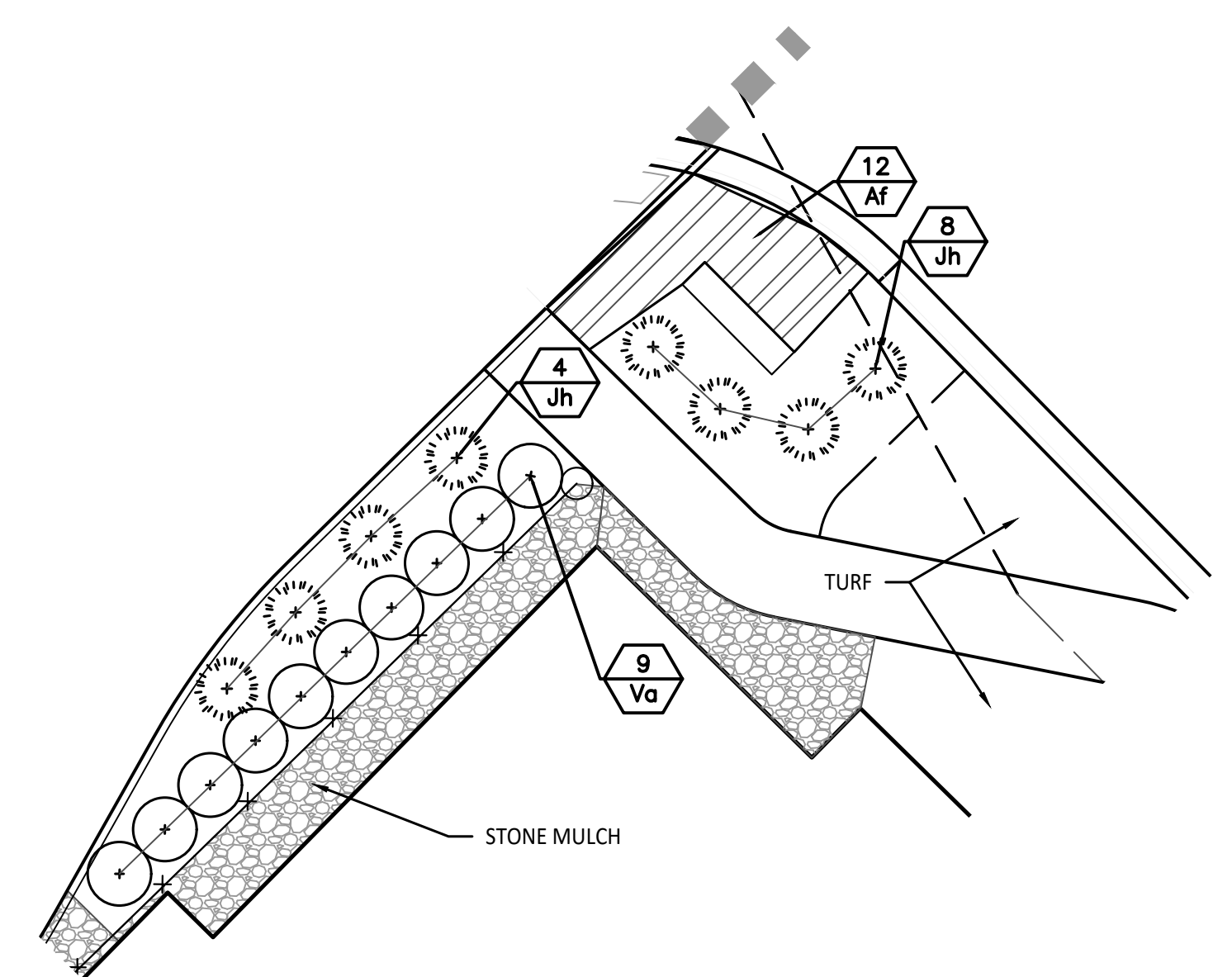
SYMBOL	DESCRIPTION	DETAIL
(+)	PROPOSED DECIDUOUS TREE	1/L101
(*)	PROPOSED EVERGREEN TREE	2/L101
(O)	PROPOSED SHRUB	3/L101
(X)	PROPOSED GRASSES AND/OR PERENNIALS	4/L101
(S)	STORMWATER SEED MIX	
(G)	GRAVEL MULCH	6/L101
(E)	PROPOSED BED LINE/METAL EDGING	5/L101
(L)	LIMIT OF WORK	
(P)	PLANT TAG - REFERS TO TYPE AND NUMBER OF PLANTINGS TO BE PROVIDED AND MAINTAINED BY CONTRACTOR. REFER TO SHEET L103 FOR PLANT LIST	

NOTES:

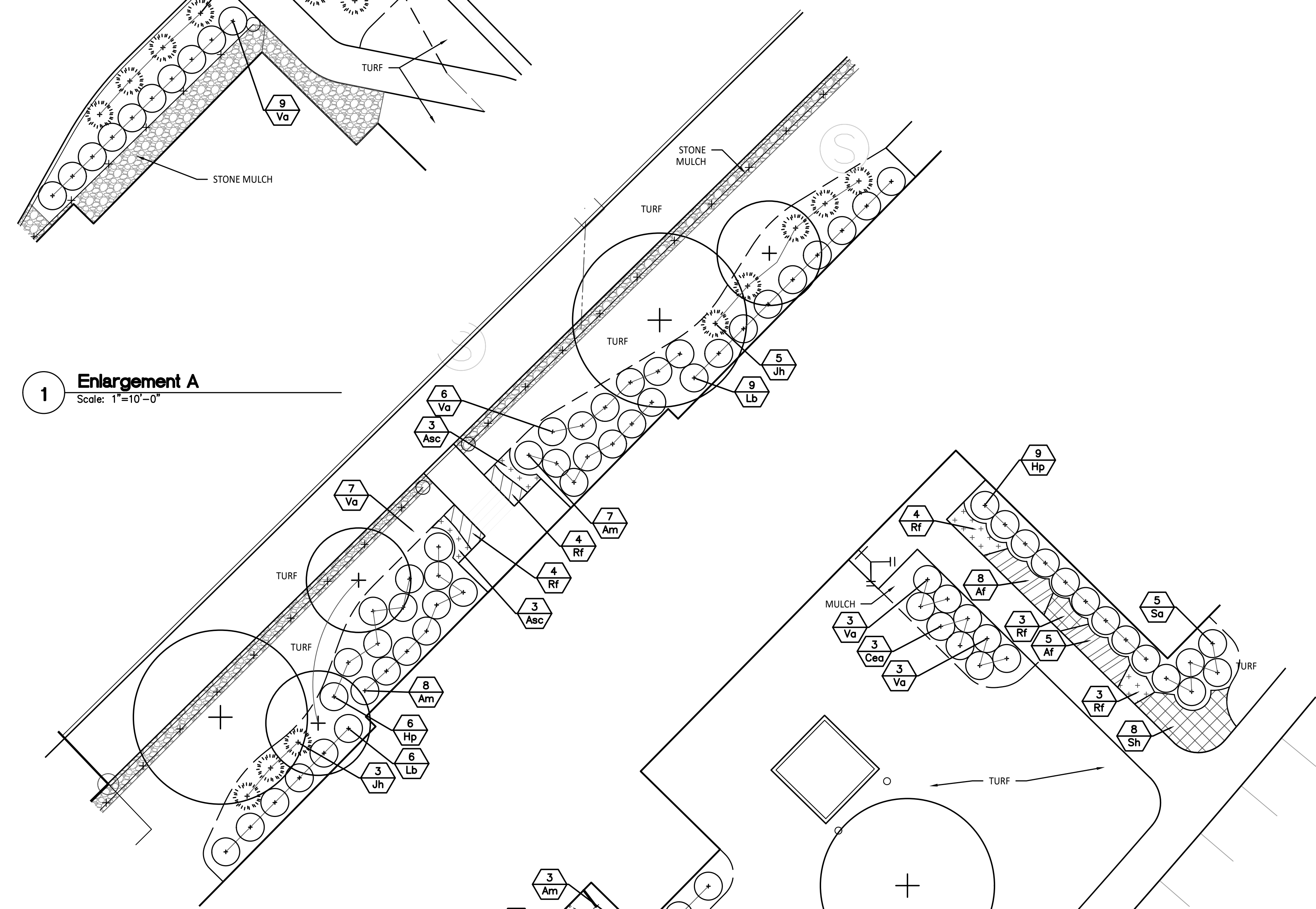
- CALL "MISS DIG" AND VERIFY ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING WORK. 72 HOURS BEFORE YOU DIG CALL "MISS DIG" AT 1-800-482-7171. ANY UTILITIES DISTURBED BY CONSTRUCTION SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE.
- ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHOULD BE REPORTED TO THE CONSTRUCTION MANAGER IMMEDIATELY FOR RESOLUTION.
- IN AREAS OF NEW TURF PLACE 4" MINIMUM TOPSOIL, FINE GRADE & ESTABLISH TURF WITHIN SEED LIMIT LINES.
- PLACE NATURAL COLOR SHREDDED HARDWOOD MULCH TO A 3" DEPTH IN ALL TREE & SHRUB BEDS & TO A 2" DEPTH IN ALL GROUND COVER BEDS.
- UNLESS OTHERWISE NOTED, TOPSOIL, FINE GRADE AND SEED ALL DISTURBED AREAS WITHIN THE SEEDING LIMIT SHOWN AND AREAS DISTURBED BY CONSTRUCTION.
- REPAIR AND RESTORE ANY DAMAGE OUTSIDE OF LIMIT OF WORK LINE TO ORIGINAL CONDITION.
- PROTECT ALL TREES AND EXISTING FEATURES TO REMAIN AS SPECIFIED.
- ALL NURSERY STOCK SHALL BE TRUE TO TYPE AND NAME. ALL STOCK SHALL BE FIRST CLASS QUALITY WITH WELL DEVELOPED BRANCH SYSTEMS AND VIGOROUS HEALTHY ROOT SYSTEMS. ALL STOCK SHALL BE WELL FORMED AND THE TRUNKS OF TREES SHALL BE UNIFORM AND STRAIGHT.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR IRRIGATION SCHEDULING FOR THE ENTIRE MAINTENANCE PERIOD UNLESS OTHERWISE NOTED.
- CONTRACTOR RESPONSIBLE TO LOCATE SITE LIGHTING SERVICES. CONTRACTOR RESPONSIBLE TO NOTIFY CONSTRUCTION MANAGER IF DAMAGE TO LIGHTING ELECTRICAL DISTRIBUTION OCCURS.
- UNLESS OTHERWISE SPECIFIED, ALL PERENNIALS, GRASSES AND GROUNDCOVERS SHALL BE GROWN IN THEIR CONTAINER FOR ONE YEAR PRIOR TO INSTALLATION.

PROPOSED FEATURES LEGEND:

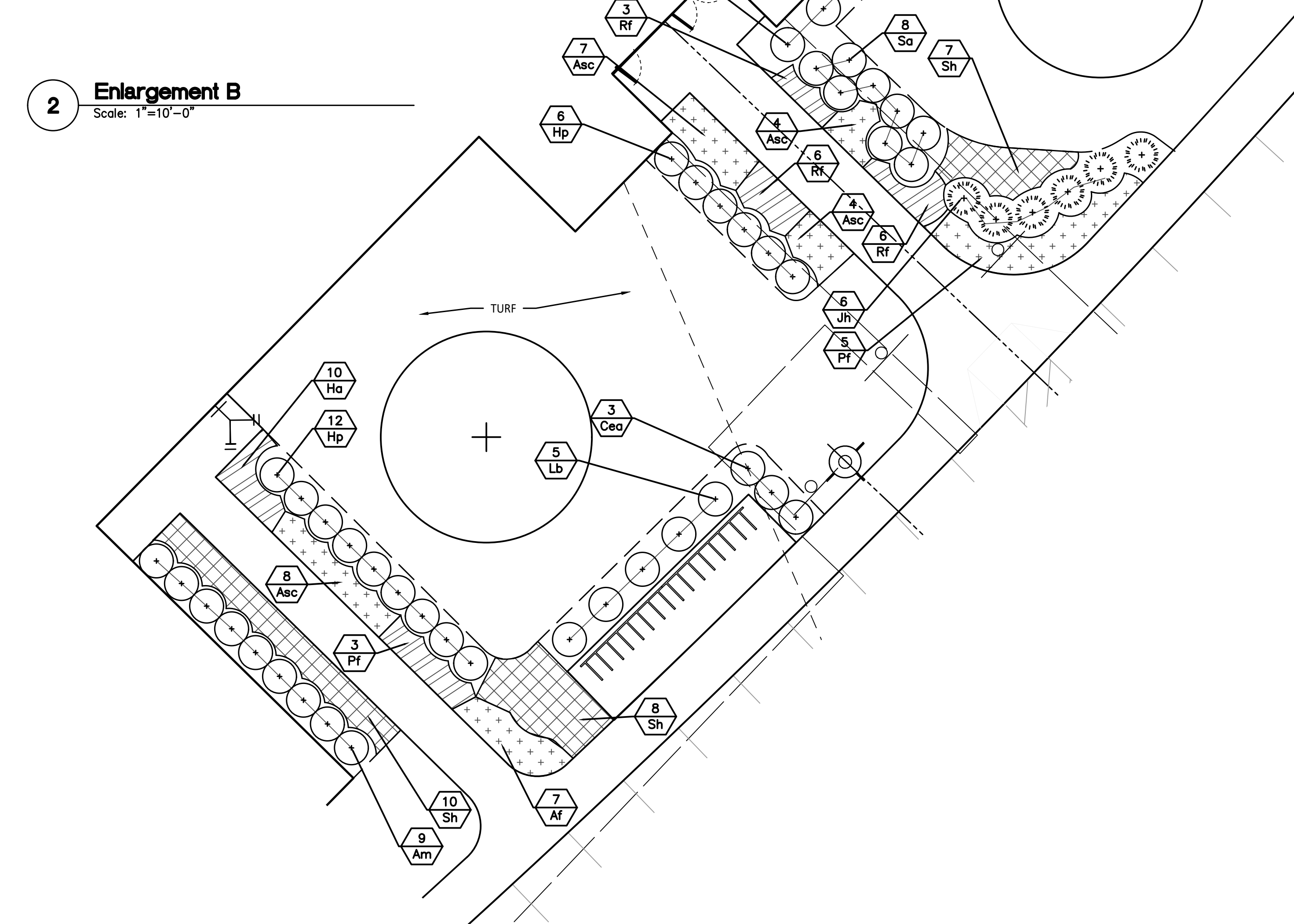
SYMBOL	DESCRIPTION	DETAIL
○	PROPOSED DECIDUOUS TREE	1/L101
⊗	PROPOSED EVERGREEN TREE	2/L101
⊙	PROPOSED SHRUB	3/L101
▨	PROPOSED GROUNDCOVER AND/OR PERENNIALS	4/L101
⊠	STORMWATER SEED MIX	
▩	GRAVEL MULCH	6/L101
- - -	PROPOSED BED LINE/METAL EDGING	5/L101
—	LIMIT OF WORK	
⬡	PLANT TAG - REFERS TO TYPE AND NUMBER OF PLANTINGS TO BE PROVIDED AND MAINTAINED BY CONTRACTOR. REFER TO SHEET L103 FOR PLANT LIST	



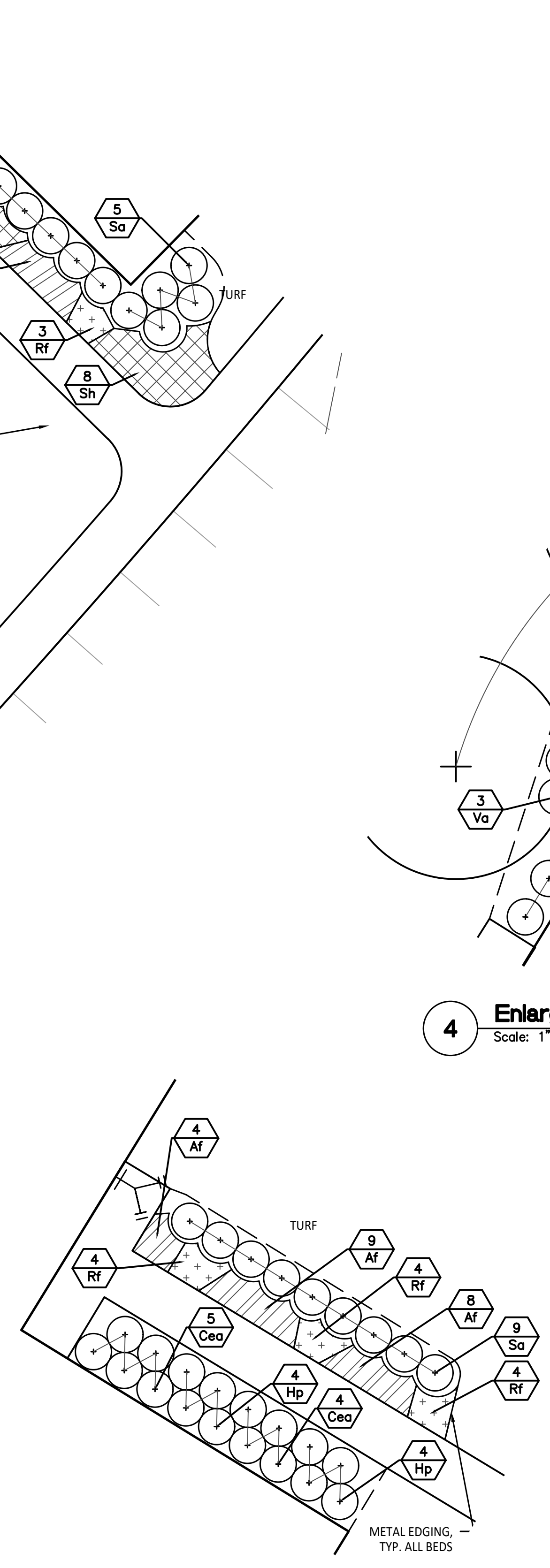
1 Enlargement A
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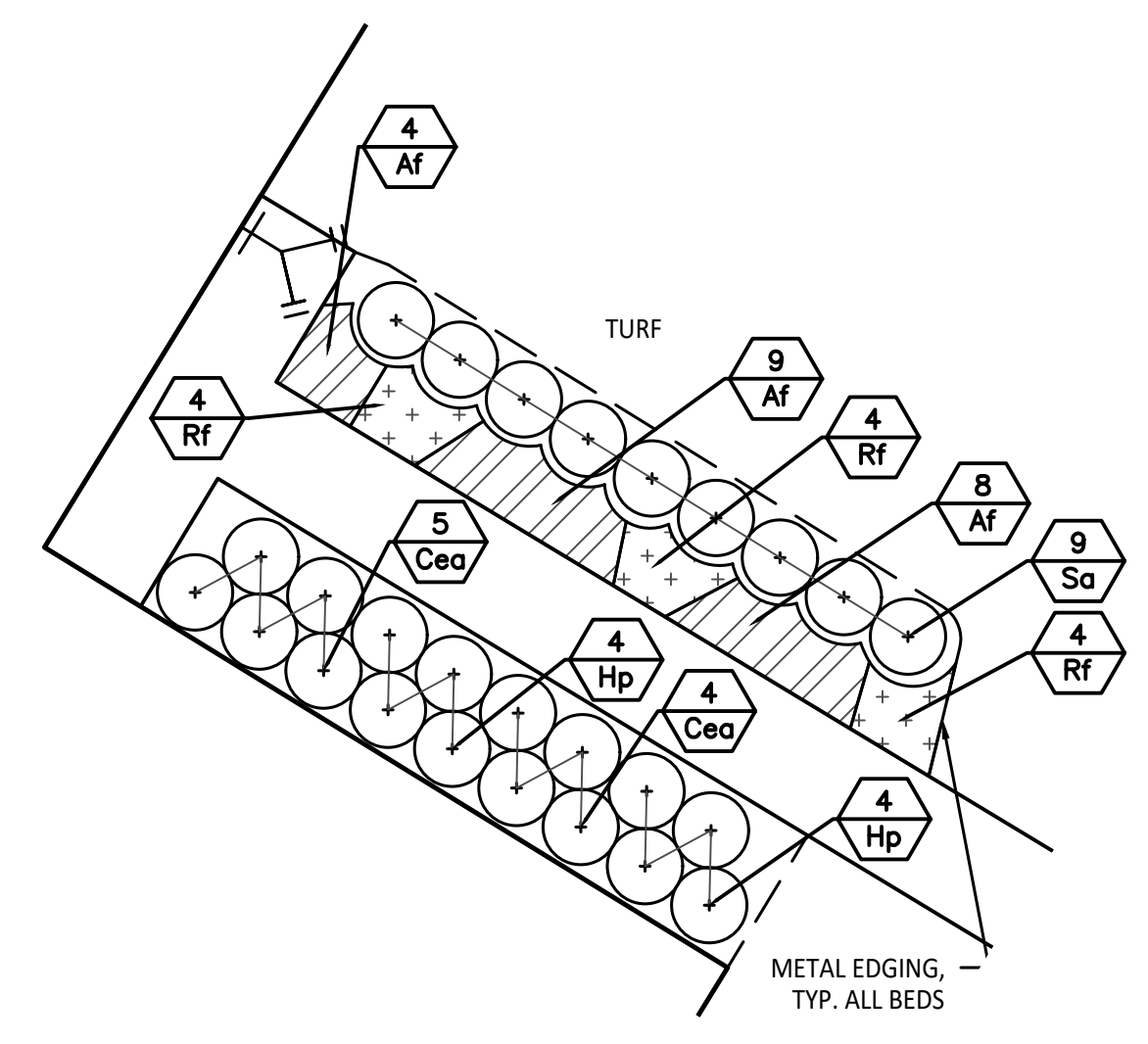
2 Enlargement B
 Scale: 1"=10'-0"



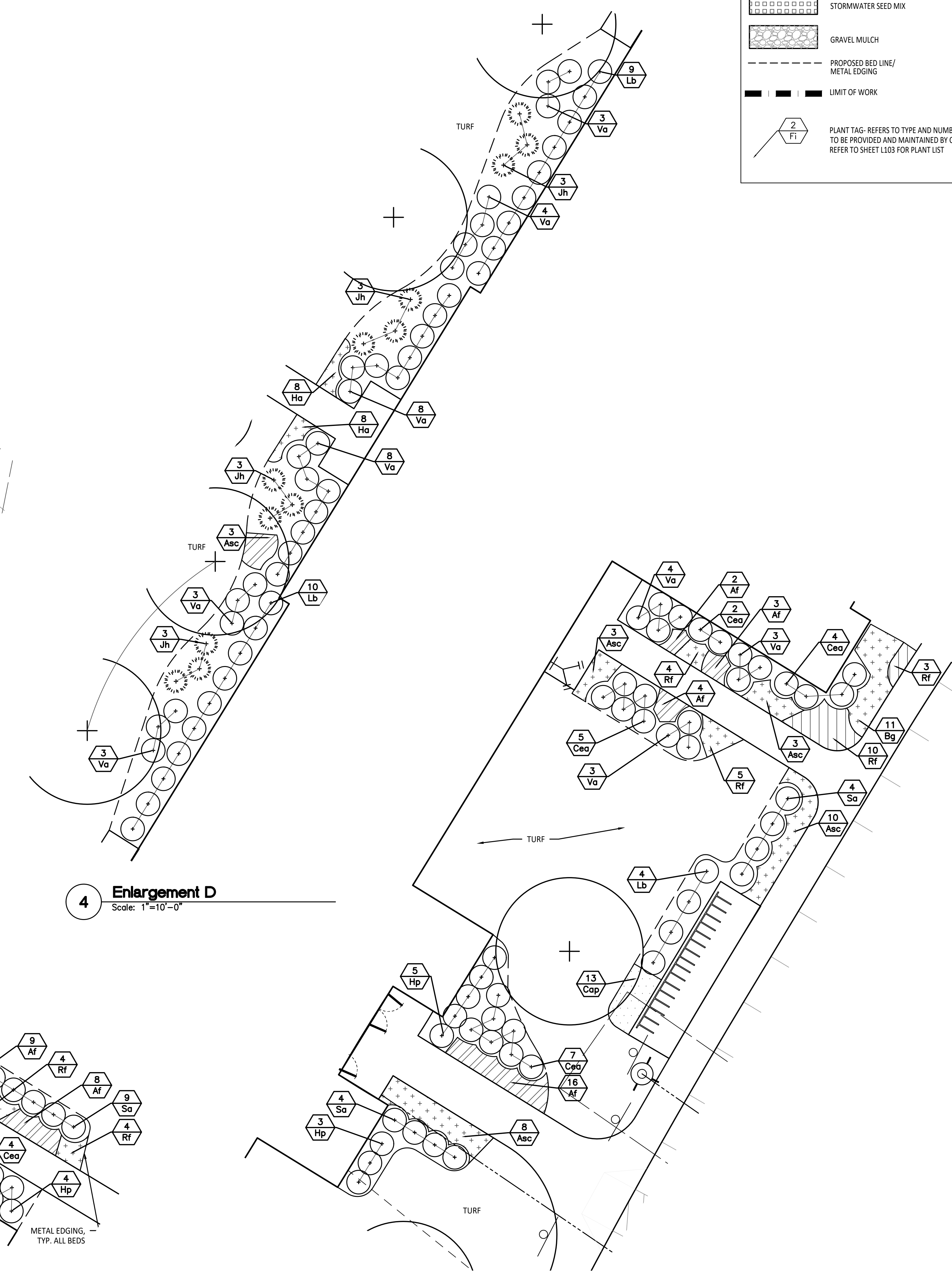
3 Enlargement C
 Scale: 1"=10'-0"



4 Enlargement D
 Scale: 1"=10'-0"



5 Enlargement E
 Scale: 1"=10'-0"



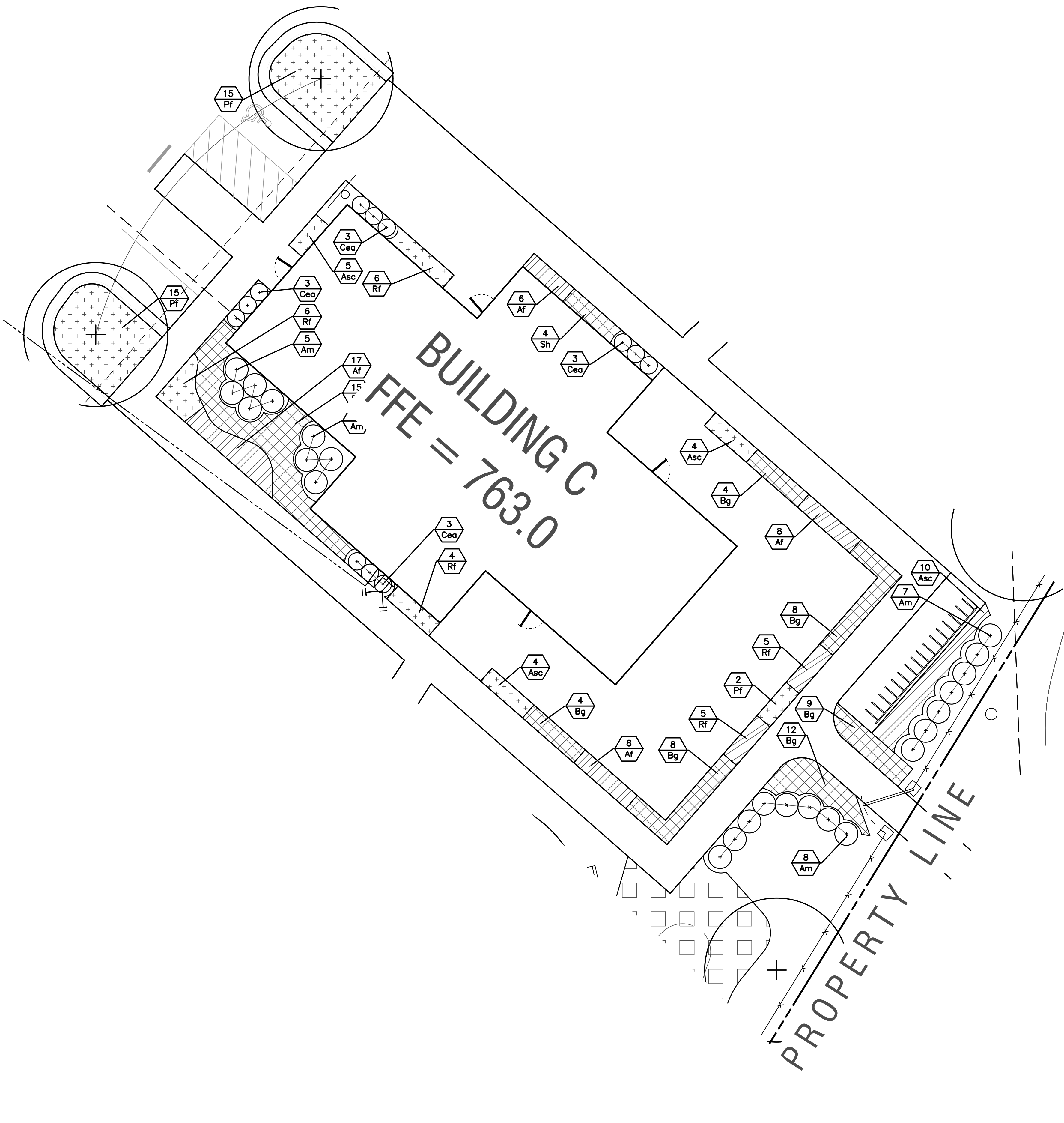
6 Enlargement F
 Scale: 1"=10'-0"

PLANT LIST:

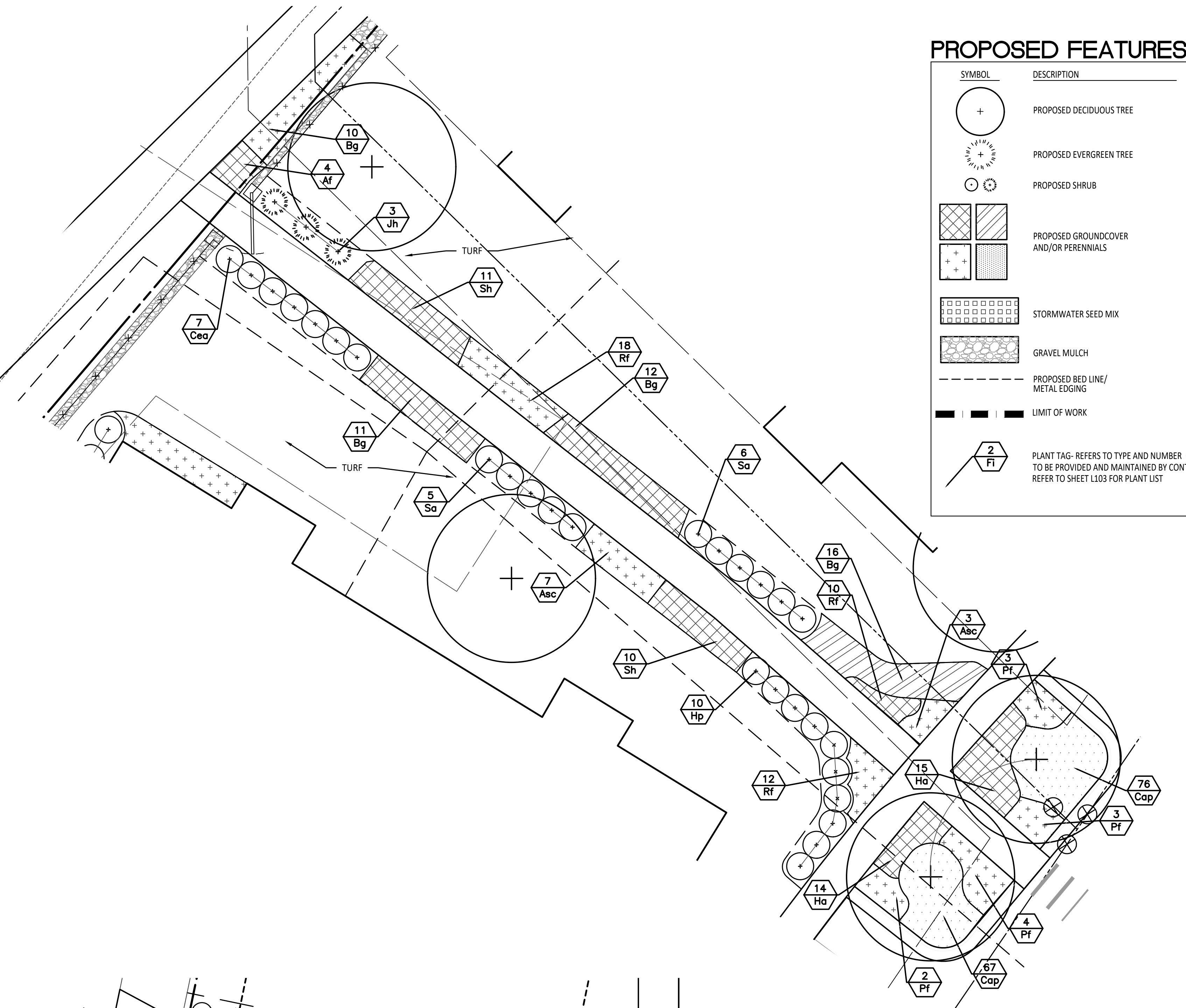
SYM.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	SPACING	STATUS	COMMENTS	
AI	Amelanchier laevis	Serviceberry	2' Cal.	B&B	Per plans	Native	Multi-stemmed	
Cc	Carpinus caroliniana	American Hornbeam	2' Cal.	B&B	Per plans	Native		
Co	Carya ovata	Shagbark Hickory	3' Cal.	B&B	Per plans	Native		
Cca	Cercis canadensis	Eastern Redbud	2' Cal.	B&B	Per plans	Native		
Gd	Gymnocladus dioica	Kentucky Coffeetree	2' Cal.	B&B	Per plans	Native		
Gl	Gleditsia triacanthos var. inermis	Thornless Honeylocust	2' Cal.	B&B	Per plans	Native		
Os	Ostrya virginiana	American Hophornbeam	2' Cal.	B&B	Per plans	Native		
Pl	Platanus occidentalis	American Sycamore	3' Cal.	B&B	Per plans	Native		
Ob	Quercus bicolor	Swamp White Oak	2' Cal.	B&B	Per plans	Native		
Op	Quercus palustris	Pin Oak	2' Cal.	B&B	Per plans	Native		
Ta	Tilia americana	American Basswood	2' Cal.	B&B	Per plans	Native		
Ac	Abies concolor	Concolor Fir	6'-8' HL.	B&B	Per plans	Native		EVERGREEN TREES
Jv	Juniperus virginiana	Eastern Red Cedar	6' HL.	B&B	Per plans	Native		
Am	Aronia melanocarpa	Black Chokeberry	2' HL.	B&B	4' O.C.	Native	SHRUBS	
Cea	Ceanothus americana	New Jersey Tea	2' HL.	B&B	4' O.C.	Native		
Hp	Hesperis matronalis	Shrubby St. John's Wort	2' HL.	B&B	4' O.C.	Native		
Lb	Lindera benzoin	Northern Spicebush	3' HL.	B&B	5' O.C.	Native		
Sa	Spiraea alba	White Meadowsweet	2' HL.	B&B	4' O.C.	Native		
Va	Viburnum acerifolium	Maple-Leaf Viburnum	2' HL.	B&B	4' O.C.	Native		
AF	Agastache foeniculum	Anise Hyssop	1 Gal.	Cont.	24" O.C.	Native	PERENNIALS	
Asc	Aster cordifolius	Blue Wood Aster	1 Gal.	Cont.	36" O.C.	Native		
Ha	Heuchera americana	Alum Root	1 Gal.	Cont.	18" O.C.	Native		
Pf	Potentilla fruticosa	Shrubby Cinquefoil	1 Gal.	Cont.	36" O.C.	Native		
Rf	Rudbeckia fulgida	Black Eyed Susan	1 Gal.	Cont.	18" O.C.	Native		
Bg	Bouteloua gracilis	Blue Grama	2 Gal.	Cont.	36" O.C.	Native	GRASSES	
Cap	Carex pensylvanica	Pennsylvania Sedge	1 Gal.	Cont.	18" O.C.	Native		
Sh	Sporobolus heterolepis	Prairie Dropseed	2 Gal.	Cont.	36" O.C.	Native		

PROPOSED FEATURES LEGEND:

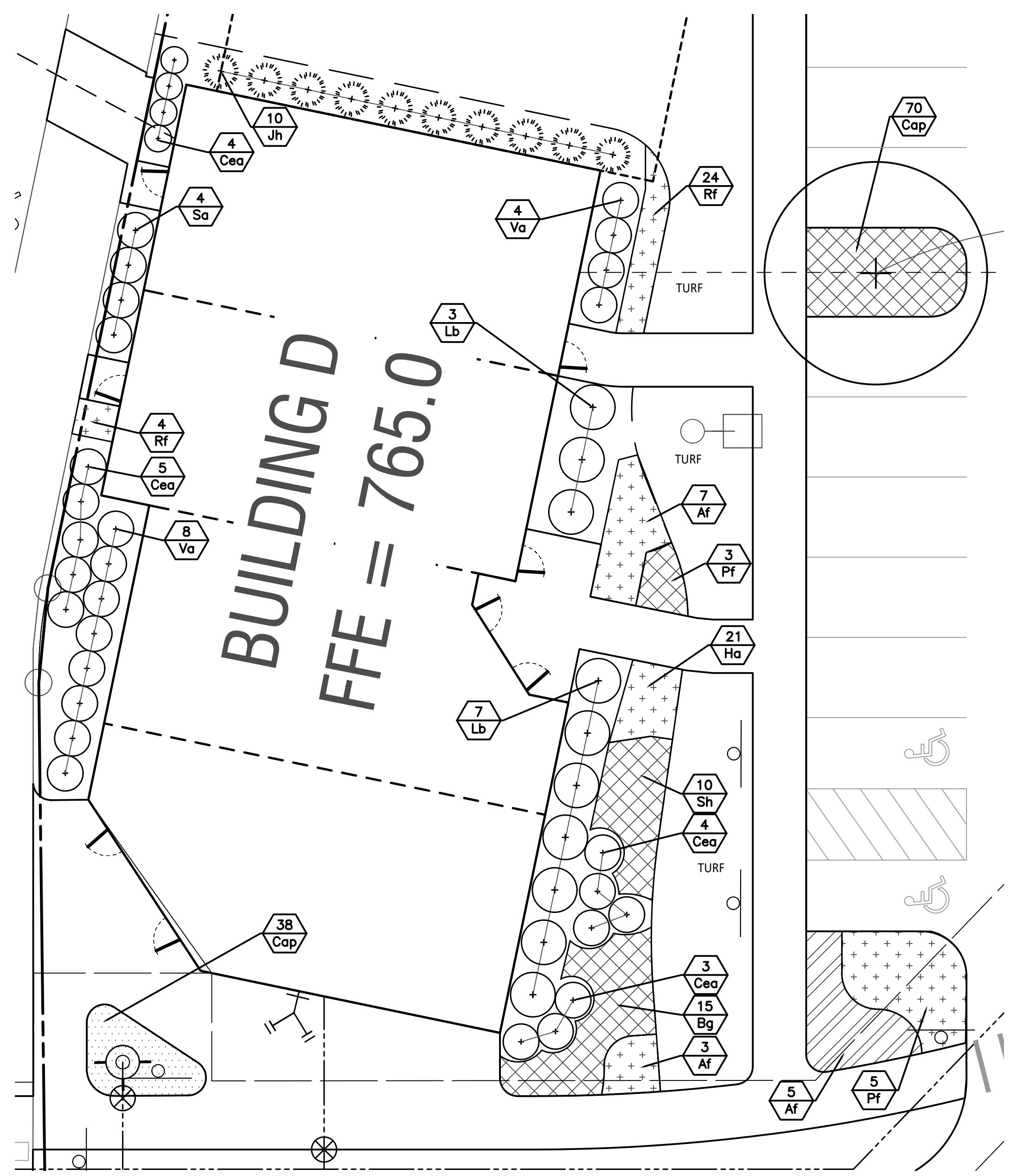
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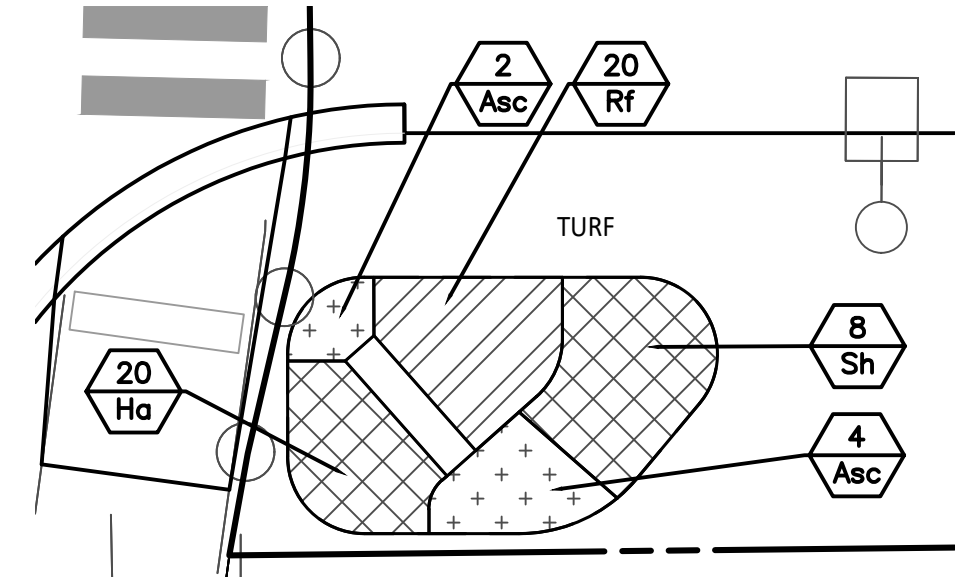
1 Enlargement F
Scale: 1"=10'-0"



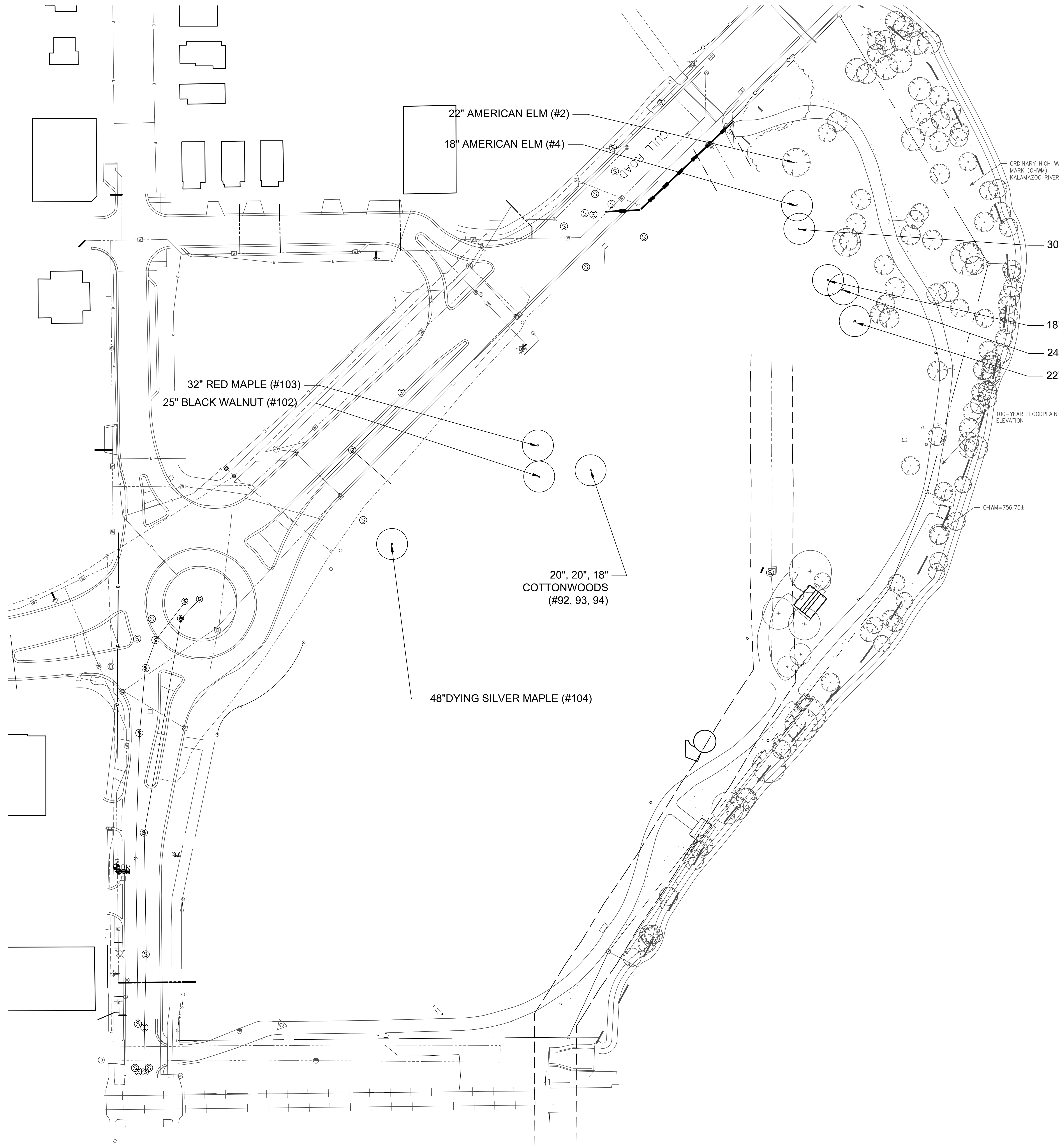
2 Enlargement G
Scale: 1"=10'-0"



3 Enlargement H
Scale: 1"=10'-0"



4 Enlargement I
Scale: 1"=10'-0"



Natural Features Protection Zone Overlay: Trees

THE NATURAL FEATURES PROTECTION (NFP) OVERLAY ZONE REQUIRES ALL TREES OF CERTAIN SPECIES AND DBH IN GOOD CONDITION TO BE PROTECTED OR, IF REQUIRED TO BE REMOVED, REPLACED AT A 1:1 RATIO. INVASIVE SPECIES, DEAD, DISEASED, AND DYING TREES ARE NOT REQUIRED TO BE REPLACED. THE APPROXIMATE LOCATION OF TREES THAT QUALIFY AS SPECIAL STATUS HAS BEEN NOTED ON THE PLAN. SEE ATTACHED DOCUMENT "NFP TREE WORKSHEET" FOR CONDITION OF PROTECTED TREES AND CALIPER CALCULATIONS OF ALL TREES ON THE SITE. ALL OTHER TREES SHOWN ON THE PLAN DO NOT QUALIFY AS PROTECTED, OR WILL NOT BE REMOVED.

TREE LOCATIONS SHOWN ARE APPROXIMATE.

Total trees removed: 151
Total trees to be replaced: 8
Total number of replacement trees in addition to general zoning requirements: 21

NATURAL FEATURES PROTECTION OVERLAY

Response to Conditional Approval

7/18/22

Project: River's Edge
508 Harrison St/660 Gull Rd, Kalamazoo, Michigan

All species on the prohibited plants list and any cultivars were replaced with straight native species. Some cultivars were directly replaced with the straight species. This includes replacing *Agastache foeniculum* 'Little Adder' with *Agastache foeniculum*, *Heuchera americana* 'Dale's Strain' with *Heuchera americana*, *Sporobolus heterolepis* 'Tara' with *Sporobolus heterolepis*, *Cercis canadensis* 'The Rising Sun' with *Cercis canadensis*, and *Juniperus virginiana* 'Cupressifolia' with *Juniperus virginiana*.

Other species were replaced by species of a similar size and form. This includes replacing *Picea glauca* 'Densata' with *Abies concolor*, *Ilex verticillata* with *Hypericum prolificum*, *Schizachyrium scoparium* 'Jazz' with *Bouteloua gracilis*. *Cornus alternifolia*, *Amelanchier canadensis* 'Robin Hill' and *Quercus alba* were replaced by *Gleditsia triacanthos* var. *inermis*, *Ostrya virginiana*, other native species in the plant list. *Cornus sericea* 'Arctic Fire', *Physocarpus opulifolius* 'Tiny Wine', and *Rhus aromatica* 'Gro-Low' were replaced with *Hypericum prolificum*, *Spirea alba*, and *Aronia melanocarpa*.