METRO ROOF REPLACEMENT

CENTRAL COUNTY TRANSPORTATION AUTHORITY Kalamazoo, Michigan CONSTRUCTION DOCUMENTS

DESIGN TEAM

ARCHITECT/ENGINEER

TowerPinkste

242 E. KALAMAZOO AVE, SUITE 10 KALAMAZOO, MICHIGAN 49007 PHONE: 269.343.6133 FAX: 269.343.6633 REFERENCED CODES

BUILDING: 2015 MICHIGAN BUILDING CODE AND 2012 NFPA 101 LIFE SAFETY CODE ENERGY: 2015 MICHIGAN ENERGY CODE PLUMBING: 2018 MICHIGAN PLUMBING CODE MECHANICAL: 2015 MICHIGAN MECHANICAL CODE FUEL GAS: (IFGC) 2015 INTERNATIONAL FUEL GAS CODE ELECTRICAL: 2017 NATIONAL ELECTRICAL CODE WITH MICHIGAN AMENDMENTS BARRIER-FREE: 2015 MICHIGAN BUILDING CODE AND 2009 ICC & C A117.1

PROJECT AREA

TOTAL EXISTING ROOF AREA: ROOF REPLACEMENT AREA:

80,938 SQ. FT. 10,414 SQ. FT.

DRAWING INDEX

GENERAL
G 001 COVER SE

G 001 COVER SHEET

ARCHITECTURAL DEMOLITION
AD 102 OVERALL ROOF DEMOLITION PLAN

ARCHITECTURAL
A 102 OVERALL ROOF PLAN

A 321 WALL SECTIONS AND DETAILS

FOR

PLACEMENT

JECT TITLE STRO ROOF REPLACE

NTY TRANSPORTATION

AUTHORITY

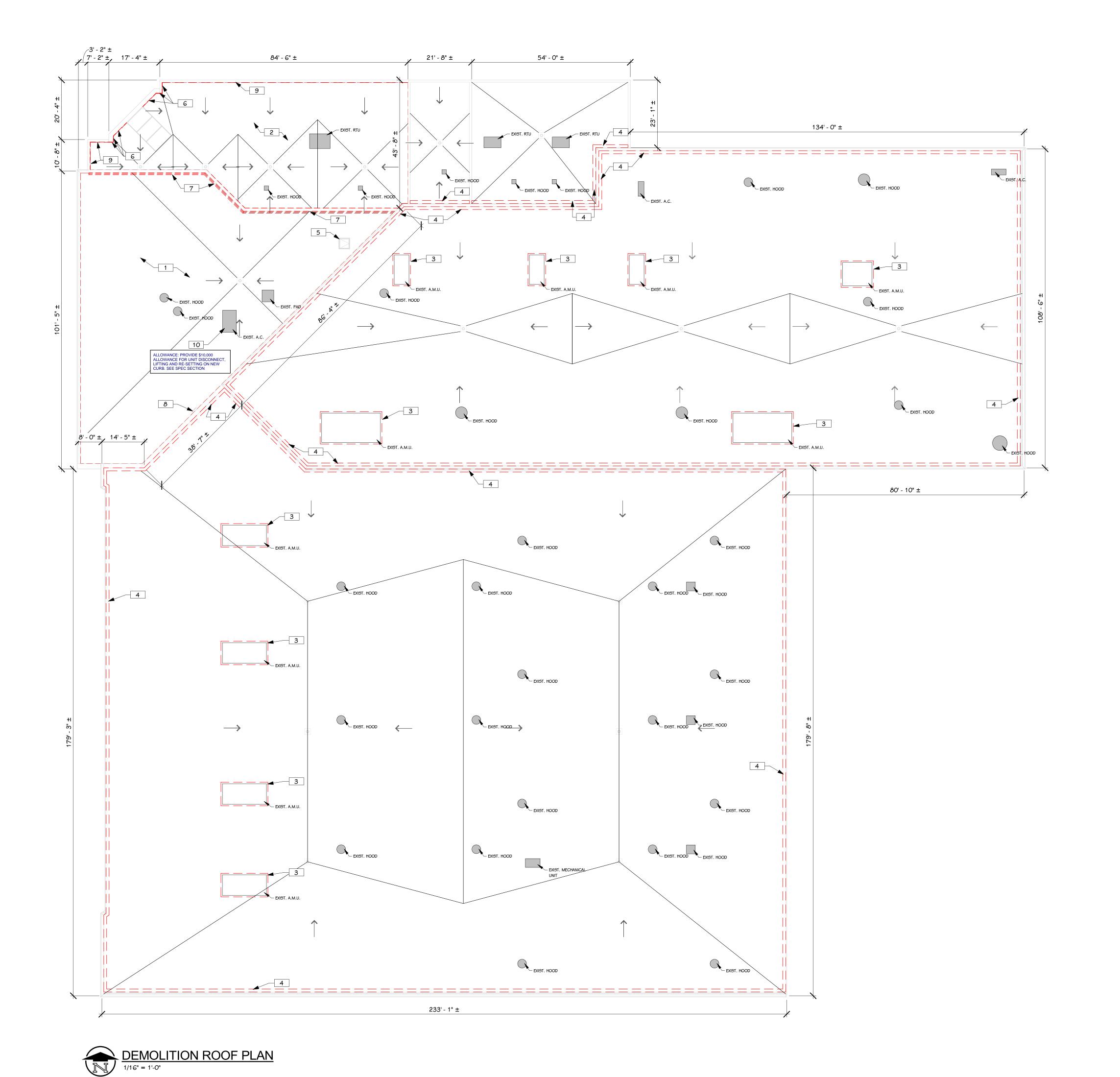
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SITE ADDRESS

CCTA 530 N ROSE ST. KALAMAZOO, MI 49007





GENERAL NOTES - ARCHITECTURAL - DEMOLITION

- 1 CONTRACTORS ARE REQUIRED TO INSPECT/REVIEW THE EXISTING BUILDING PRIOR TO RELATED DEMOLITION WORK. UNLESS NOTED OTHERWISE, REMOVAL OF ANY WALL, FLOOR OR CEILING INCLUDES ALL GENERAL MECHANICAL AND ELECTRICAL ITEMS WHICH ARE A PART OF, OR ATTACHED TO IT.
 - CONTRACTOR SHALL VERIFY ALL EXISTING JOB SITE CONDITIONS AND DIMENSIONS AND BE RESPONSIBLE FOR THE SAME ADVISE CONSTRUCTION MANAGER OF ANY AND ALL DISCREPANCIES.
 - PATCH WALLS DAMAGED DURING CONSTRUCTION AND DEMOLITION AS REQUIRED.
 FINISH TO MATCH EXISTING.
- ACCOMMODATE NEW CONSTRUCTION IF NOT INDICATED.
- 5 PROTECT ALL EXISTING FINISHES THROUGHOUT PROJECT.
- 6 REFER TO DEMOLITION ELEVATIONS, SECTIONS AND DETAILS FOR ADDITIONAL INFORMATION.

KEYED NOTED - ARCHTECTURAL ROOF - DEMOLITION

- 2 REMOVE MEMBRANE ROOF ASSEMBLY DOWN TO METAL DECK
- 3 REMOVE PORTION OF ROOF MEMBRANE AROUND PENETRATION ENOUGH TO ALLOW FOR NEW ROOF MEMBRANE PATCHING
- REMOVE PORTION OF ROOF MEMBRANE AND FLASHING AT ROOFS EDGE TO ALLOW FOR NEW ROOF MEMBRANE TO ATTACH TO EXISTING MEMBRANE AND WRAP ROOF PARAPET

1 REMOVE BALLASTED ROOF ASSEMBLY DOWN TO STRUCTURAL PRECAST TWIN TEE

- 5 ALTERNATE #1 REMOVE LADDER
- 6 CAREFULLY REMOVE METAL PANEL AND STONE ALONG VERTICAL EXTERIOR WALL SURFACES AND METAL COPING TO BE REINSTALLED TO BE ABLE TO PROPERLY FLASH WALL PER MANUFACTURER
- 7 REMOVE METAL COPING
- 8 REMOVE AND SALVAGE ROOF LADDER TO BE REINSTALLED AT SAME LOCATION
- 9 REMOVE AND SALVAGE METAL COPING
- 10 TEMPORARILY REMOVE UNIT TO PROVIDE TALLER CURB

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THIS DRAWING SHEET IS INTENDED TO BE PLOTTED IN COLOR. IF THIS TEXT APPEARS IN BLACK AND WHITE, IT IS PLOTTED INCORRECTLY. DISCARD AND OBTAIN AN ACCURATE DRAWING

GENERAL NOTES - ARCHITECTURAL - NEW CONSTRUCTION

- 1 THE OWNER RESERVES THE RIGHT TO REMOVE ANY ITEM FROM THE PROJECT PRIOR TO COMMENCEMENT OF CONTRACTED DEMOLITION WORK.
- 2 ALL EXISTING CONDITIONS SHOULD BE FIELD VERIFIED BEFORE WORK BEGINS.
- DIMENSIONS GIVEN ARE ACTUAL AND ARE TO THE FACE OF MASONRY UNITS OR TO THE FACE OF STUD FRAMING, UNLESS NOTED OTHERWISE.
- 4 DETAILS SHOWN ILLUSTRATE DESIGN INTENT, NOT ALL POSSIBLE CONDITIONS. FOR
- 5 PROVIDE ALL ASSOCIATED CURBS FOR ROOF TOP EQUIPMENT AND MECHANICAL ROOF TOP UNITS PROVIDE SADDLE TO SHED WATER AWAY FROM UNIT. LARGE VOIDS BELOW THE AIR HANDLING UNITS SHALL BE FILLED WITH INSULATION AS SPECIFIED FOR NOISE CONTROL.

CONDITIONS NOT SHOWN, USE DETAILS CLOSEST TO CONDITION IN QUESTION.

- 6 ALL EXISTING ROOF TOP PENETRATIONS BEING REMOVED REQUIRE ROOF PATCHING TO MATCH EXISTING ADJACENT.
- 7 VERIFY NUMBER OF ROOF PENTRATIONS, ALL ROOF PENETRATIONS AT LOCATIONS OF NEW ROOF ARE TO HAVE NEW ROOF FLASHING OR RUBBER BOOTS SEE TYPICAL DETAILS

KEYED NOTES - ARCHITECTURAL - ROOF

- 1 EPDM ROOF WITH R-30 RIGID INSULATION. PROVIDE PIPE SUPPORTS AT EXISTING PIPES
- 2 ATTACH ROOF MEMBRANE TO EXISTING ROOF, WRAP UP AND UNDER NEW METAL COPING
- 3 ATTACH ROOF MEMBRANE TO EXISTING ROOF AT BASE OF PARAPET WALL, WRAP ROOF MEMBRANE UP AND OVER PARAPET AND CONNECT BOTH ROOF MEMBRANES
- 4 REWORK ROOF CURB METAL FLASHING TO COVER NEW ROOF MEMBRANE PATCH.
 INSURE CURBS ARE PROPERLY SEALED AND FLASHED
- 5 ALTERNATE #1: SAFETY RAILING INSTALL NEW INTERIOR LADDER AND ROOF ACCESS HATCH SAFETY CAGE STARTING 8' FROM GROUND (13'-4" FROM FINISHED FLOOR TO TOP OF ROOF VERIFY) REFER TO DETAIL 8/A321
- 6 ROOF MEMBRANE WRAPPED OVER PARAPET REINSTALL METAL COPING
- 7 ROOF MEMBRANE WRAPPED BEHIND METAL AND STONE PANELS PROVIDE PROPER ROOF TERMINATION AND COUNTER FLASHING MODIFY METAL OR STONE PANEL IF REQUIRED
- 8 ALTERNATE #2: GALVANIZED FIXED LADDER WITH WALK THRU REFER TO DETAIL 7/A321
- 9 WRAP ROOF MEMBRANE UP AND OVER PARAPET AND CONNECT BOTH ROOF MEMBRANES

ROOF PLAN KEY

	BLACK EPDM ROOF MEMBRANE ON 5" RIGID INSULATION, MIN. R-30, OVER EXISTING ROOF DECK.
R.D.	ROOF DRAIN
O.D.	OVERFLOW DRAIN
/	ROOF SLOPE DUE TO TAPERED INSULATION OR

SLOPED STRUCTURE

AHU OR RTU ROOF TOP UNIT

ACCU CONDENSING UNIT

E.F. EXHAUST FAN / HOOD

NOTES

- PROVIDE ROOFING MANUFACTURERS STANDARD ROOFING TERMINATION DETAILS AT ALL PARAPETS, PRE-MANUFACTURED ROOF EDGE SYSTEMS, CURBS, PIPE PENETRATIONS, ETC.
- 2. PROVIDE CRICKETS AS REQUIRED AT ALL MECHANICAL UNITS, VENTS, ETC. TO MAINTAIN POSITIVE SLOPE OF 1/4"/1'-0" MINIMUM

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