

GENERAL NOTES

BUILDING CODE INFORMATION

PROJECT INFORMATION

THERMAL

PROJECT TEAM

Site Plan Review
Received: 02/06/2024
City of Kalamazoo

Reach Sober Living

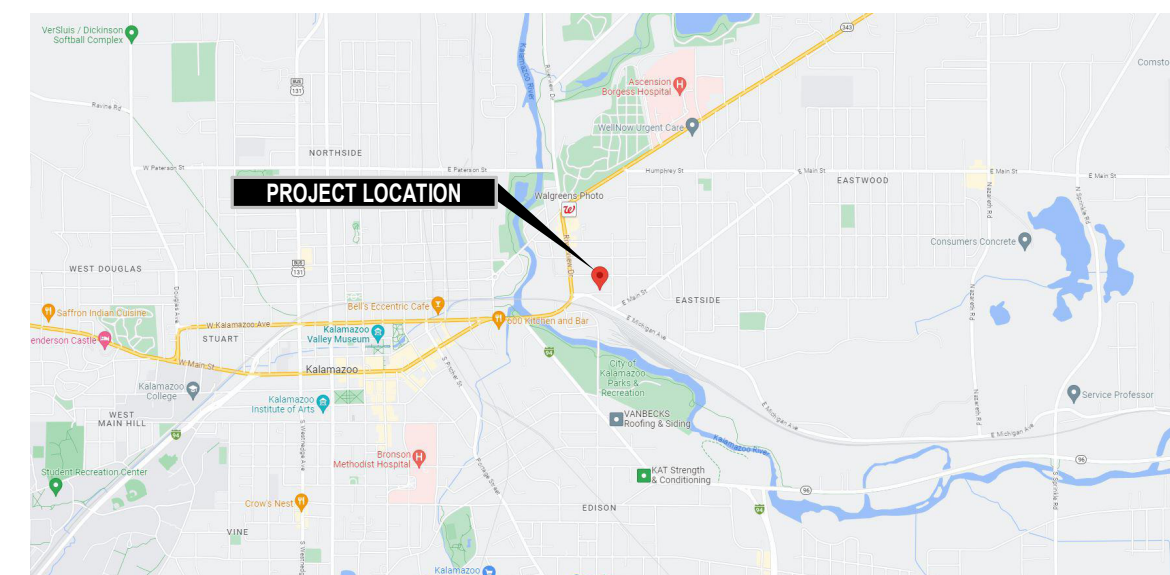
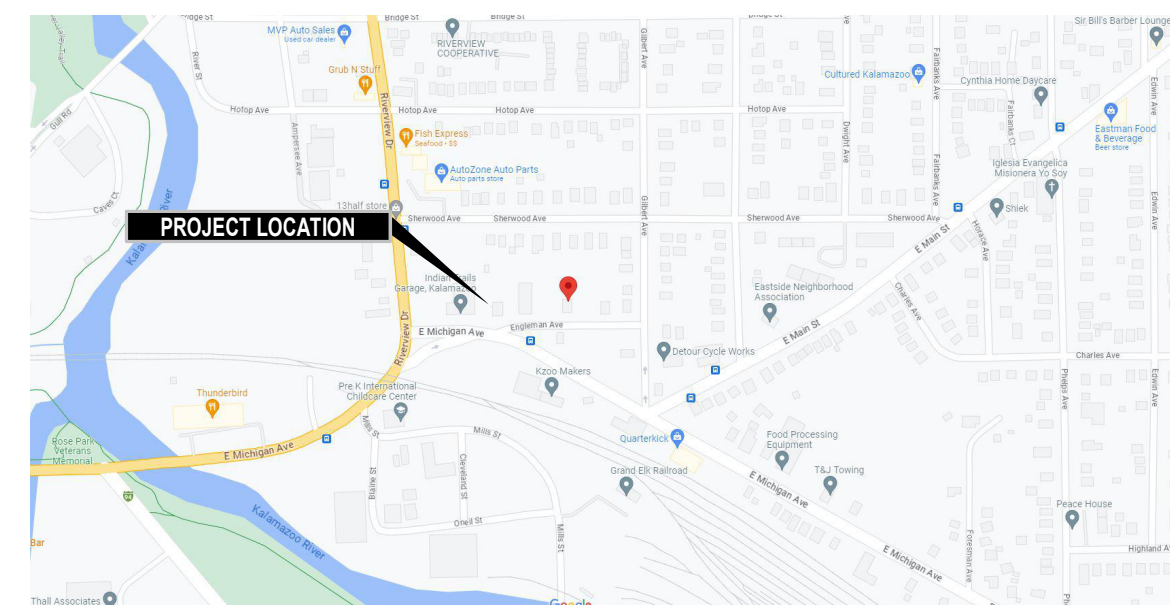
PROJECT ADDRESS

1109 Engleman - Kalamazoo, MI.
49048

PERSPECTIVE VIEW



LOCATION MAP



SITE PLAN REVIEW

SHEET INDEX

DRAWINGS LIST

G001 PROJECT COVER SHEET
1 OF 1 SURVEY

CIVIL
C200 SITE PLAN
C300 GRADING & UTILITY PLAN
C410 WATER MAIN PROFILE

LANDSCAPE
L100 LANDSCAPE PLAN

ARCHITECTURAL
A210 FLOOR PLANS
A600 EXTERIOR ELEVATIONS

CODE COMPLIANCE
LS001 CODE COMPLIANCE COVER

ABONMARCHÉ BYCE

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Valparaiso

Coshen
Lafayette
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Valparaiso

Engineering, Architecture, Land Surveying

PROJECT:
New Facility for:
Reach Sober Living
Chris Pompey
1109 Engleman -
Kalamazoo, MI. 49048

NOT FOR CONSTRUCTION

PROJECT COVER SHEET

MODELED BY: Author
DESIGNED BY: Designer
PM REVIEW: Approver
QA/QC REVIEW: Checker
DATE: 2024.01.31
SEAL:

SIGNATURE:

DATE:

HARD COPY IS INTENDED TO BE
24" x 36" WHEN PLOTTED
SCALE(S) INDICATED AND
GRAPHIC QUALITY MAY NOT
BE ACCURATE FOR ANY OTHER
SIZES

SCALE:

UNLESS NOTED OTHERWISE

ACI JOB #

23100105

SHEET NO.

G001

NO.	REVISION DESCRIPTION	BY	DATE
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TOPOGRAPHIC SURVEY

LOT 7

LOT 8

LOT 9

LOT 10

LOT 11

LOT 12

LOT 13

LOT 14
(VACANT)

LOT 15

LOT 16

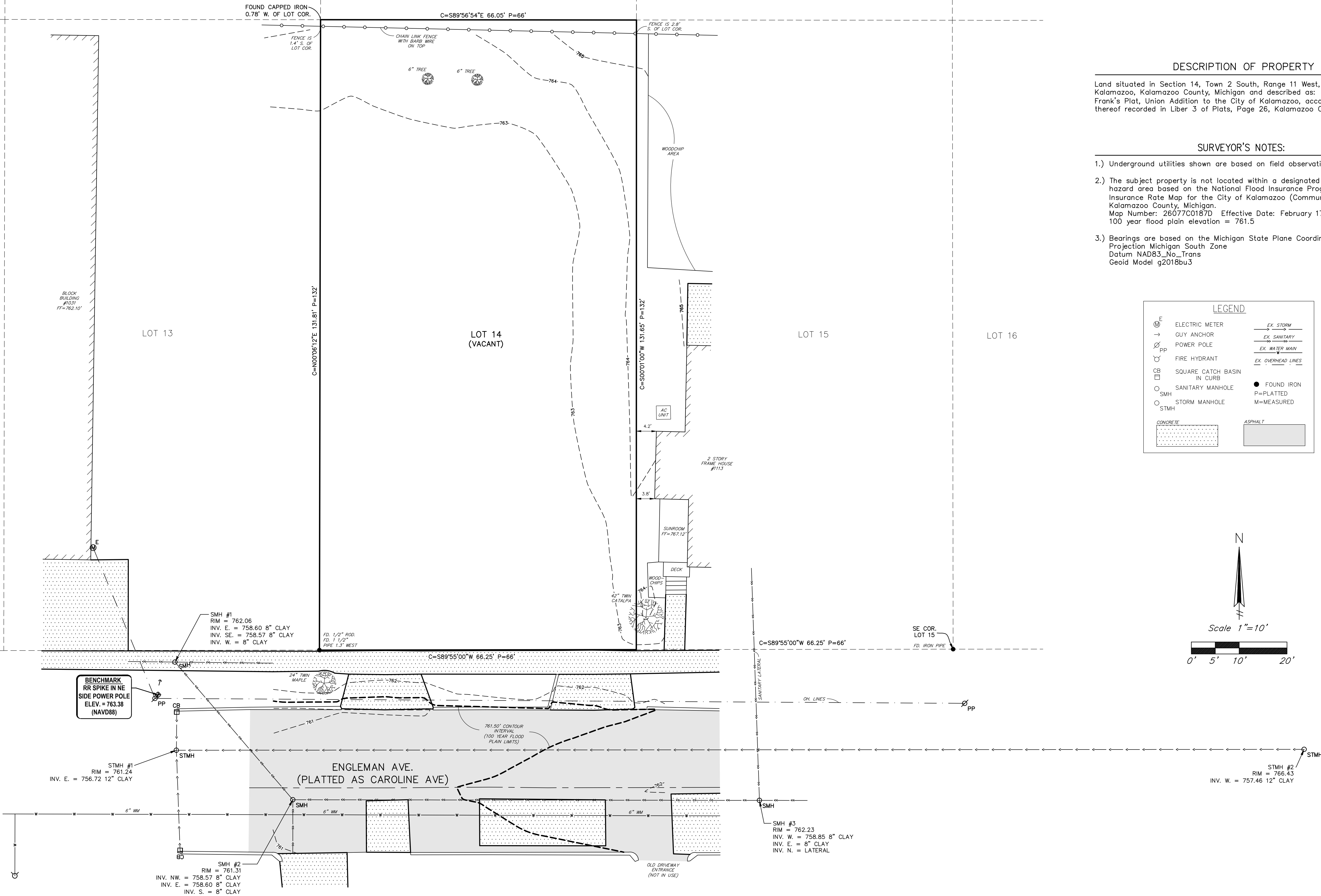
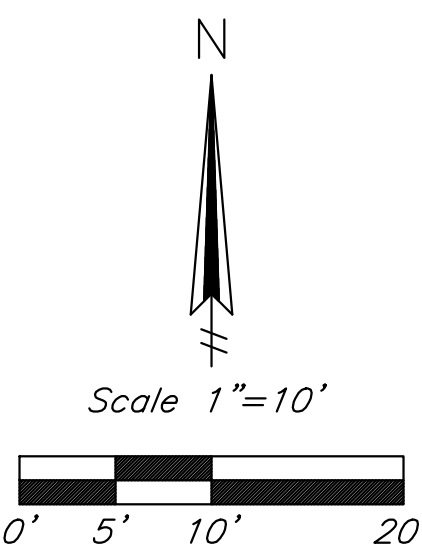
DESCRIPTION OF PROPERTY

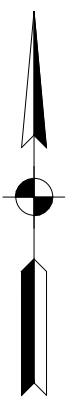
Land situated in Section 14, Town 2 South, Range 11 West, City of Kalamazoo, Kalamazoo County, Michigan and described as: Lot 14 of A. Frank's Plat, Union Addition to the City of Kalamazoo, according to the plat thereof recorded in Liber 3 of Plats, Page 26, Kalamazoo County Records.

SURVEYOR'S NOTES:

- Underground utilities shown are based on field observations and utility plans.
- The subject property is not located within a designated 100 year flood hazard area based on the National Flood Insurance Program - Flood Insurance Rate Map for the City of Kalamazoo (Community Number 260315) Kalamazoo County, Michigan.
Map Number: 26077C0187D Effective Date: February 17, 2010.
100 year flood plain elevation = 761.5
- Bearings are based on the Michigan State Plane Coordinate System.
Projection Michigan South Zone
Datum NAD83_No_Trans
Geoid Model g2018bu3

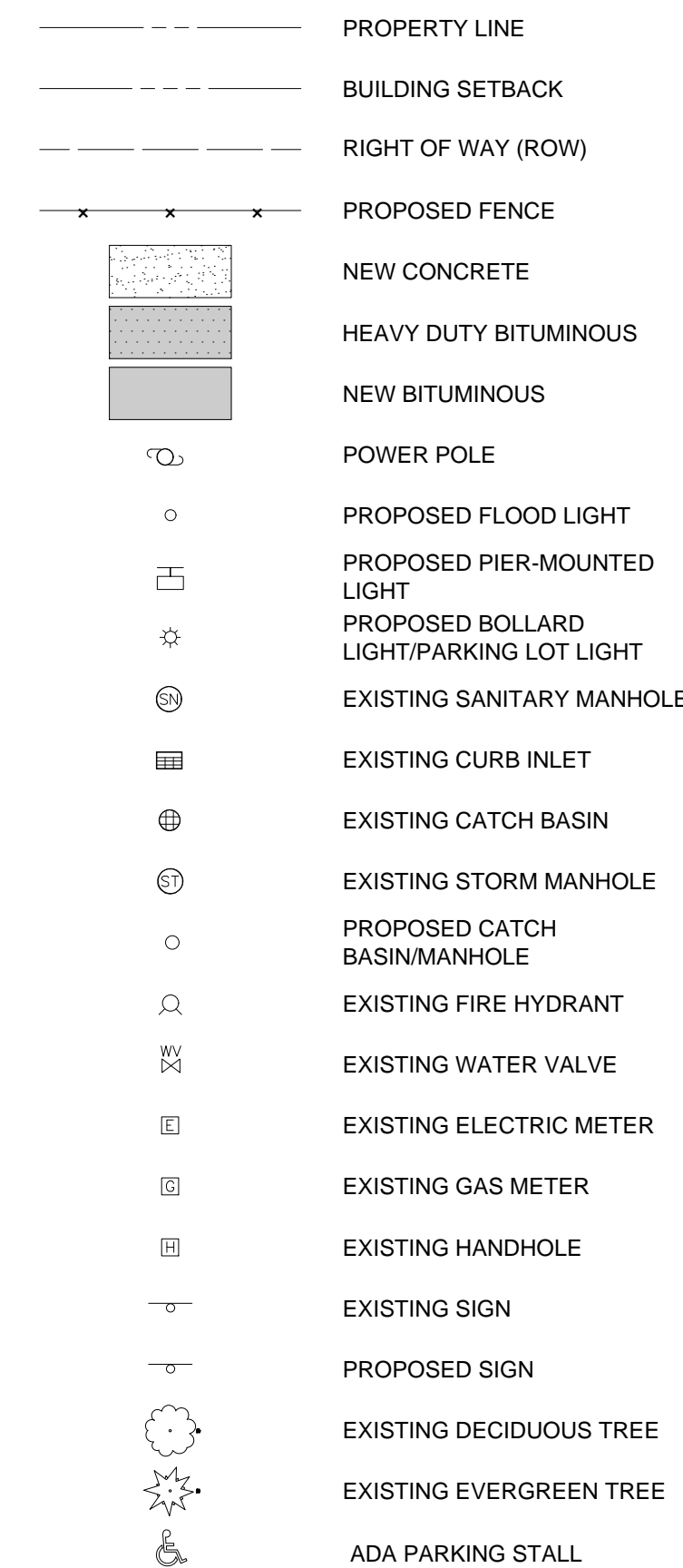
LEGEND	
	ELECTRIC METER
	GUY ANCHOR
	POWER POLE
	FIRE HYDRANT
	SQUARE CATCH BASIN IN CURB
	SANITARY MANHOLE
	STORM MANHOLE
	CONCRETE
	ASPHALT
	FOUND IRON
	P=PLATTED
	M=MEASURED
	EX. STORM
	EX. SANITARY
	EX. WATER MAIN
	EX. OVERHEAD LINES





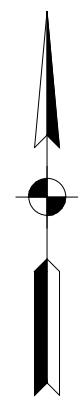
SITE NOTES:

- LEGEND:



SHEET NO. 0000

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\\abonmarche.com\one\Projects\2023\23100105 Reach Sober Living Quad Apartments\Drawings\XBCM-SA-105.dwg last saved 2-01-2024
Plotted Thu, 2-1-2024 at 3:39pm by mhoman

1. ALL WORK WILL COMPLY WITH THE LATEST PROVISIONS OF THE SOIL EROSION AND SEDIMENTATION CONTROL ACT (PA 347 OF 1972 AS AMENDED).
2. PROVIDE TEMPORARY SILT FENCING AND INLET PROTECTION AT ALL SITE CATCH BASINS AND TRENCH DRAINS. PROVIDE SEED & MULCH TO ALL DISTURBED LAWN AREAS, AND PROVIDE ALL OTHER SOIL EROSION CONTROL MEASURES AS REQUIRED.
3. CONTRACTOR SHALL FURNISH & INSTALL SILT FENCING AT LOCATIONS SHOWN ON PLAN & MAINTAIN IN WORKING CONDITION UNTIL VEGETATION IS ESTABLISHED ON SITE.
4. AVOID UNNECESSARY REMOVAL OF VEGETATED TOPSOIL OR EARTH COVER.
5. CLEAN ADJACENT ROADWAYS AND DRIVES AS NECESSARY THROUGHOUT THE CONSTRUCTION PERIOD AND UPON COMPLETION OF CONSTRUCTION ACTIVITY.
6. NOTE TO CONTRACTOR: CALL "MISS DIG" FREE FULL WORKING DAYS BEFORE YOU DIG TOLL FREE AT 1-800-428-7171 FOR UTILITIES LOCATION ON THE GROUND.
7. CONTRACTORS SHALL INSPECT SOIL EROSION CONTROL MEASURES WITHIN 24 HOURS OF PRECIPITATION EVENT. CHECK INLET FILTERS FOR BUILD UP OF SILT & DEBRIS. REMOVE DEBRIS OR REPLACE GEOTEXTILE AS REQUIRED TO PROMOTE FLOW THROUGH INLET GRATES AT ALL TIMES.

1. VERIFY LOCATIONS OF ALL BELOW GRADE UTILITIES PRIOR TO BEGINNING WORK. CALL "MISS DIG 72 HOURS BEFORE YOU DIG AT 1-800-482-7171."
2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL REQUIRED EARTHWORK VOLUMES BASED ON PROPOSED FINISH GRADES. IF FILL IS REQUIRED, THE CONTRACTOR SHALL INCLUDE THE REQUIRED VOLUME OF IMPORTED CLASS II SAND IN THE BASE BID PROPOSAL. IF EXCESS SOLIDS NEED TO BE SPOILED, THE CONTRACTOR SHALL INCLUDE TRANSPORT AND DISPOSAL OF SURPLUS SOLIDS OFF SITE IN THE BASE BID PROPOSAL. NO CONTRACT COST ADJUSTMENTS WILL BE CONSIDERED FOR EARTHWORK REQUIRED TO BALANCE THE SITE.
3. CONCRETE SLABS AT EXTERIOR DOORS SHALL BE FLUSH WITH FINISH FLOOR ELEVATION AND SLOPES AT EXTERIOR STOOPS SHALL NOT EXCEED 2% IN ALL DIRECTIONS, TYPICAL.
4. ALL EXCAVATION AND TRENCHING SHALL BE PERFORMED BY AN EXCAVATION COMPETENT PERSON AND SHALL BE IN COMPLIANCE WITH OSHA STANDARDS AND GUIDELINES.
5. ENSURE GRADING ACTIVITY PROMOTES POSITIVE DRAINAGE AWAY FROM PROPOSED FACILITIES AT ALL TIMES, TYPICAL.
6. STRIP AND STOCKPILE EXISTING TOPSOIL ON SITE FOR FUTURE USE, SURROUND WITH SILT FENCE.
7. FURNISH & INSTALL TOPSOIL, SEED AND MULCH TO ALL DISTURBED GRADES NOT PROPOSED TO HAVE OTHER FINISH TREATMENT. TOPSOIL, SEED AND MULCH AS SOON AS FINISH GRADES ARE ACHIEVED.
8. FURNISH & INSTALL NORTH AMERICAN GREEN EROSION CONTROL BLANKET SC150 TO ALL SITE AREAS WITH FINISH SLOPES GREATER THAN 1:5. IN ALL CASES SEED SHALL BE APPLIED PRIOR TO MULCH OR EROSION CONTROL BLANKET APPLICATION.

1. INSTALLATION OF WATER MAIN SHALL BE IN ACCORDANCE WITH CITY OF KALAMAZOO 2021 STANDARD CONSTRUCTION SPECIFICATIONS.
2. PROPOSED HYDRANT RESIDES IN PUBLIC RIGHT OF WAY. THERE IS NO PUBLIC WATER MAIN EASEMENT PROPOSED.
3. CONTRACTOR SHALL OBTAIN PART 399 EGLE WATER MAIN PERMIT AS REQUIRED FOR PROPOSED WORK.
4. CITY OWNED WATER MAIN SHALL MAINTAIN 18" VERTICAL CLEARANCE FROM PIPE CROSSINGS.
5. WATER SERVICE TO BE CL52 DIP. MAINTAIN 5 FT COVER ON PIPE AT ALL TIMES. PRESSURE TEST AND DISINFECT WATER SERVICE.
6. WATER SERVICE TO BUILDING SHALL SPLIT TO DOMESTIC AND FIRE SUPPRESSION. EACH UNIT TO BE METERED SEPARATELY FOR (4) TOTAL METERS.

1. UTILITIES & CONSTRUCTION TO COMPLY WITH REQUIREMENTS OF LOCAL AND STATE AUTHORITIES HAVING JURISDICTION.
2. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM LOCAL AUTHORITY HAVING JURISDICTION PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES.
3. UTILITIES SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM AVAILABLE RECORDS & SURVEY (PENDING COMPLETION). THEY SHALL NOT BE INTERPRETED AS EXACT OR ASSUMED TO BE THE LOCATION OF UTILITIES IN THEIR RESPECTIVE AREAS. FIELD VERIFY EXISTING UTILITIES PRIOR TO START OF WORK.
4. NOTE TO CONTRACTOR: CALL THE MISS DIG SYSTEM THREE FULL WORKING DAYS BEFORE YOU DIG TO SCHEDULE UNDERGROUND UTILITY MARKING. CALL TOLL FREE AT 1-800-428-7171, AVAILABLE 24 HRS PER DAY 7 DAY PER WEEK.
5. HOOK-UP AND TIE IN TO EXISTING UTILITIES TO MEET LOCAL REQUIREMENTS FOR EACH UTILITY INVOLVED WATER, SEWER, STORM, GAS, ELECTRIC, PHONE, ETC.
6. COORDINATE GAS SERVICE AND METERING FOR NEW FACILITY WITH PRIVATE UTILITY PROVIDER.

1. SANITARY SEWER PIPE TO BE PVC CONFORMING TO ASTM D3033 OR ASTM D3212. MINIMUM WALL THICKNESS TO BE SDR-26. JOINTS SHALL BE OF THE ELEASTOMERIC GASKET PUSH-ON TYPE CONFORMING TO ASTM D3212.
2. CONSTRUCTION INSPECTION IS REQUIRED DURING TIE-IN TO CITY SANITARY SEWER MAIN. CONTRACTOR SHALL COORDINATE WITH CITY DPW AND ENGINEER PRIOR TO PERFORMING WORK.
3. SANITARY SEWER FLOW ESTIMATION IS AS FOLLOWS:

TOTAL PROJECT REUS:	4 REUs
AVERAGE DAILY FLOW:	1600 GPD
MAXIMUM DAILY FLOW:	3200 GPD

	PROPERTY LINE
	BUILDING SETBACK
	RIGHT OF WAY (ROW)
	PROPOSED FENCE
	NEW CONCRETE
	HEAVY DUTY BITUMINOUS
	NEW BITUMINOUS
	POWER POLE
	PROPOSED FLOOD LIGHT
	PROPOSED PIER-MOUNTED LIGHT
	PROPOSED BOLLARD LIGHT/PARKING LOT LIGHT
	EXISTING SANITARY MANHOLE
	EXISTING CURB INLET
	EXISTING CATCH BASIN
	EXISTING STORM MANHOLE
	PROPOSED CATCH BASIN/MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING WATER VALVE
	EXISTING ELECTRIC METER
	EXISTING GAS METER
	EXISTING HANDHOLE
	EXISTING SIGN
	PROPOSED SIGN
	SANITARY
	EXISTING SANITARY
	STORM
	EXISTING STORM
	WATER MAIN
	EXISTING WATER MAIN
	GAS
	EXISTING GAS
	ELECTRIC OVERHEAD
	EXISTING ELECTRIC OVERHEAD
	ELECTRIC UNDERGROUND
	EXISTING ELECTRIC UNDERGROUND

 **ABONMARCHÉ** **BYCE**

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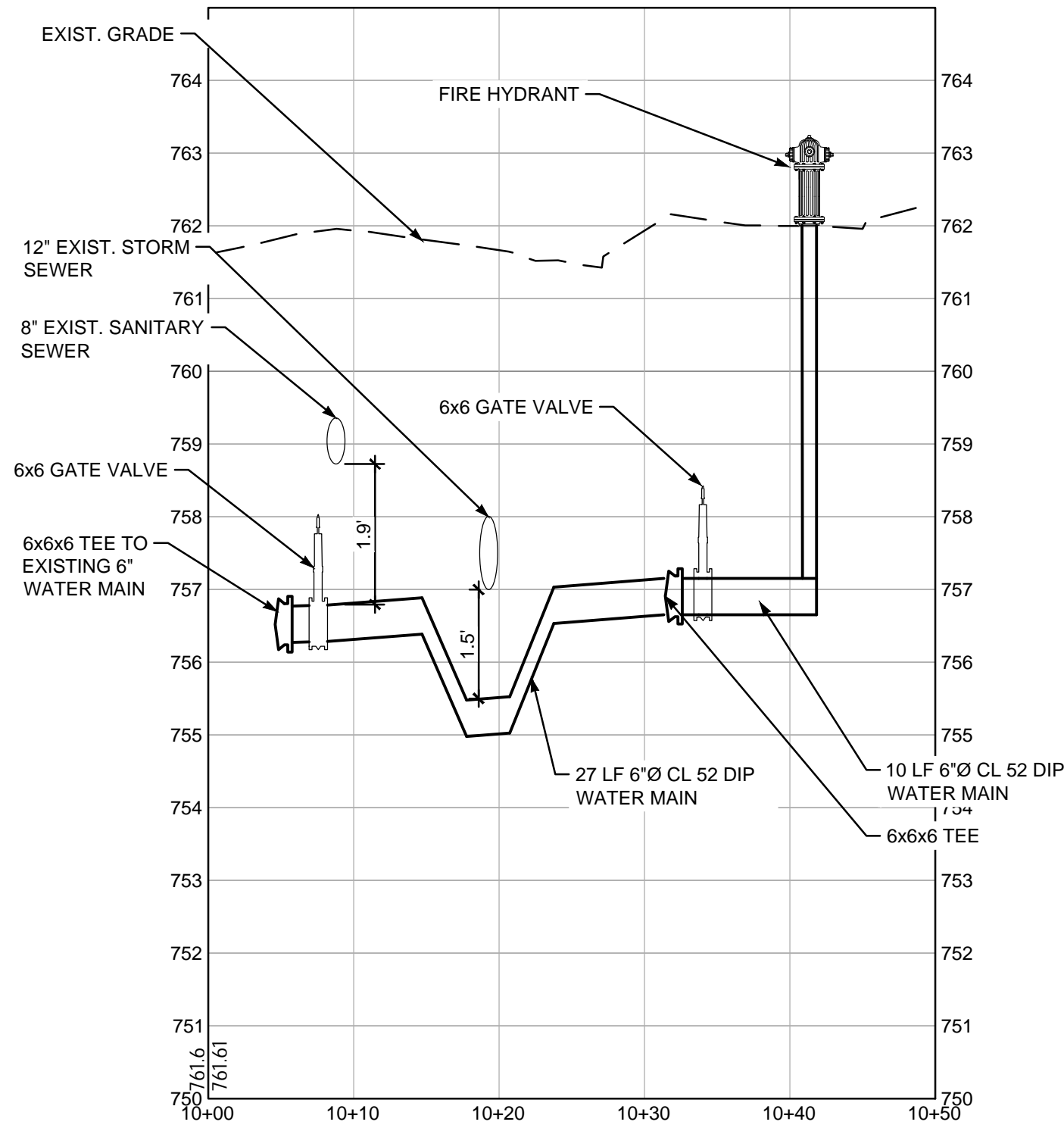
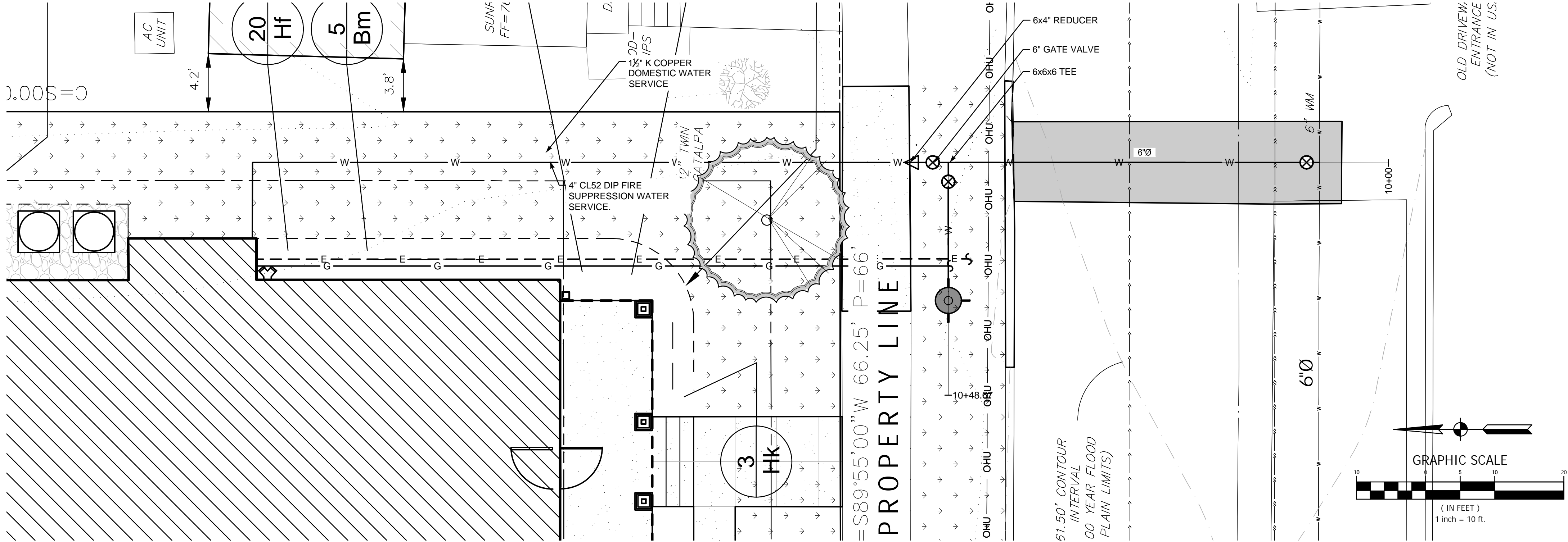
100% DESIGN DEVELOPMENT

GRADING & UTILITY PLAN

STEEL

NO.	REVISION DESCRIPTION	BY	DATE
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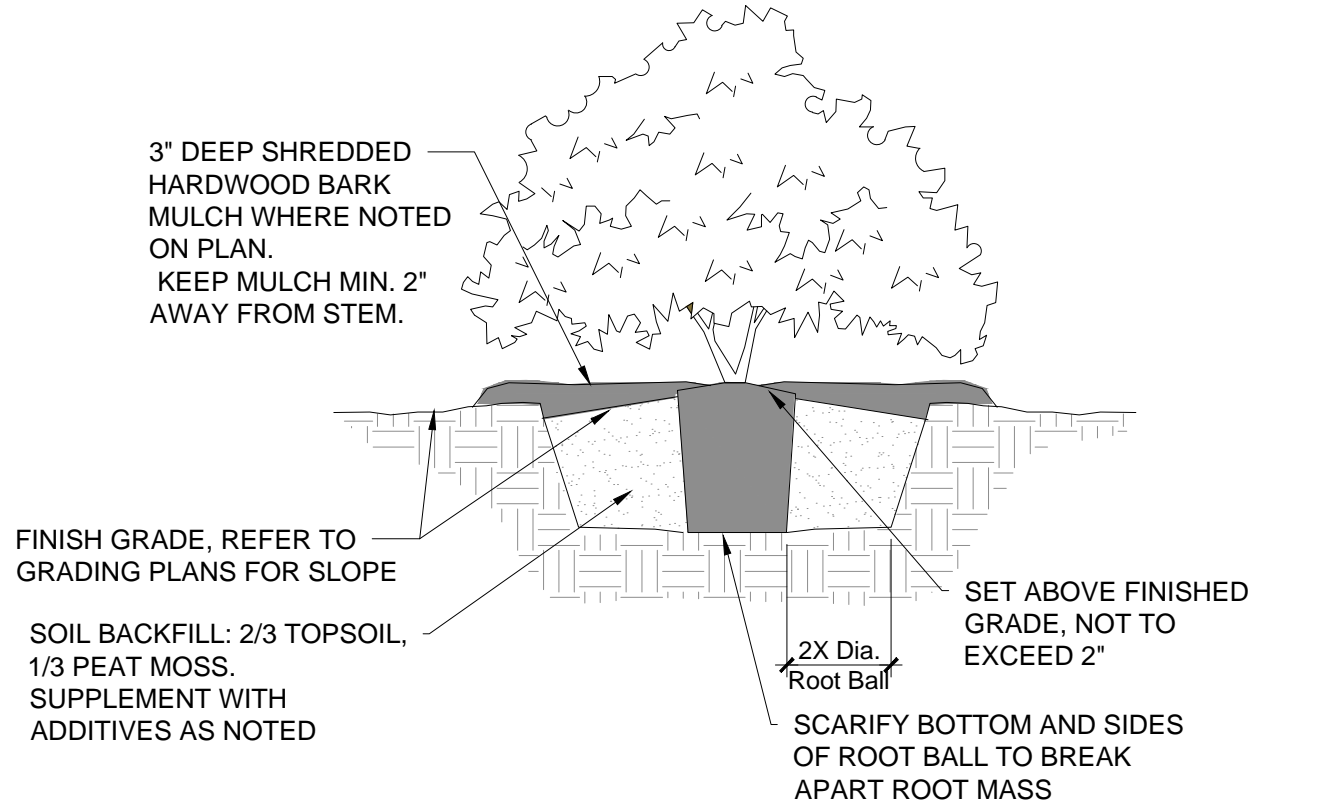
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WATER MAIN PROFILE
1"=5' HORIZONTAL

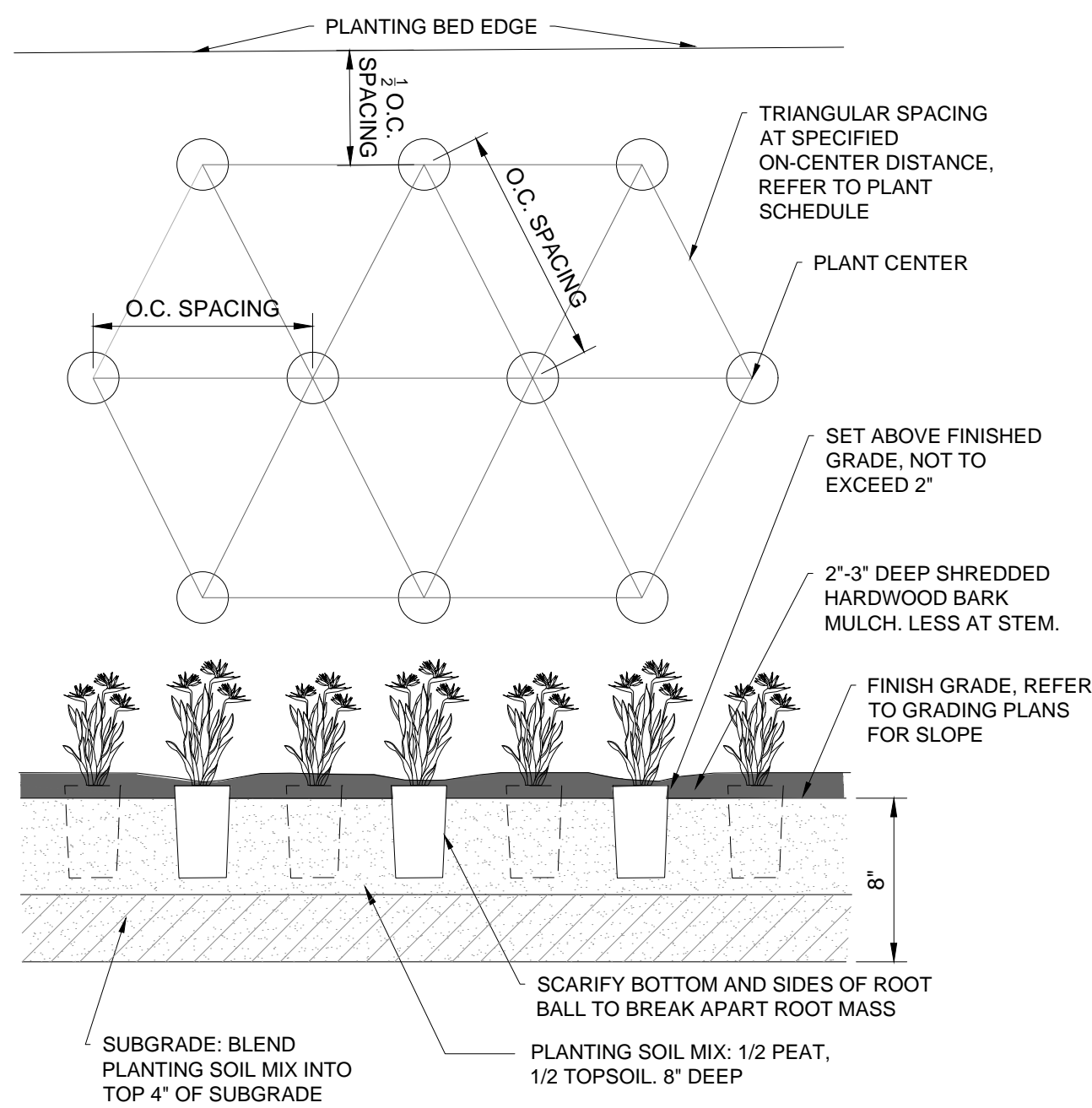
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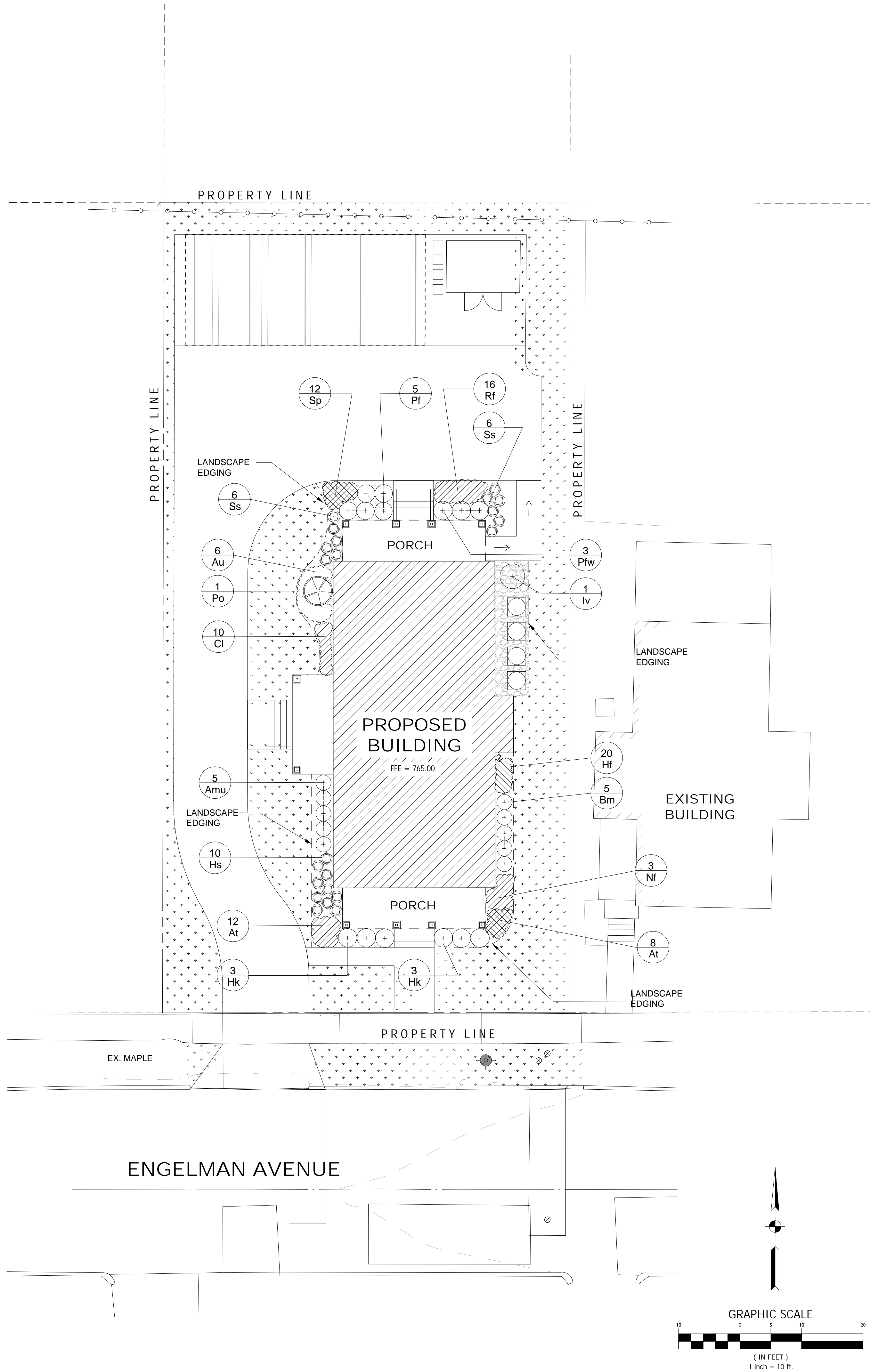
SHRUB BED PLANTING

NOT TO SCALE

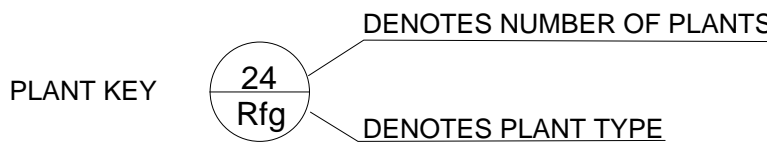
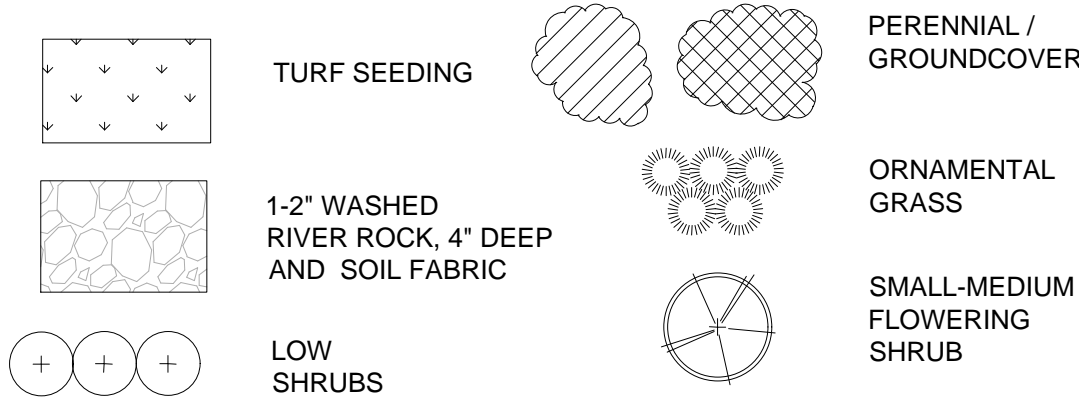


PERENNIAL PLANTING

NOT TO SCALE



PROPOSED FEATURES LEGEND

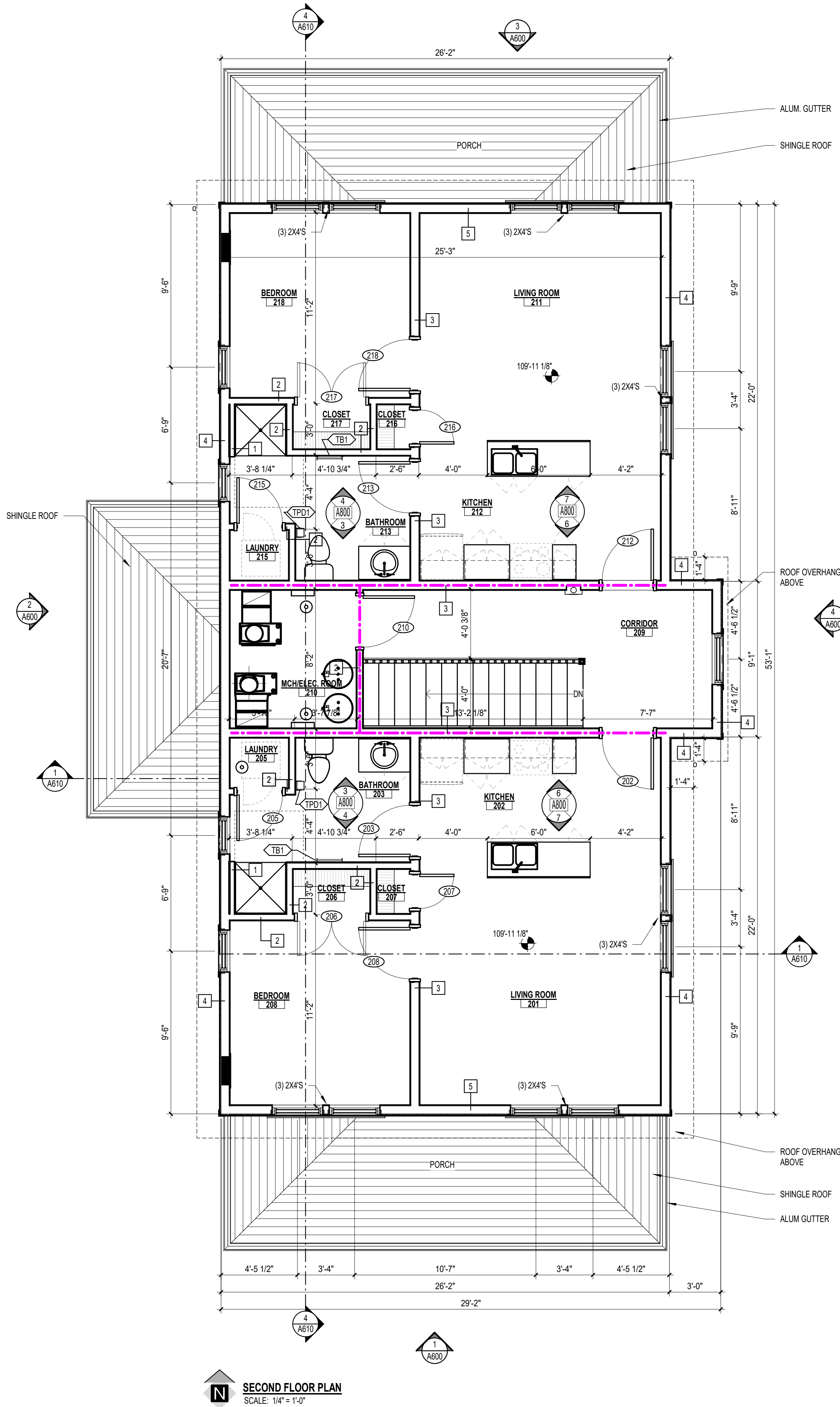


LANDSCAPE NOTES

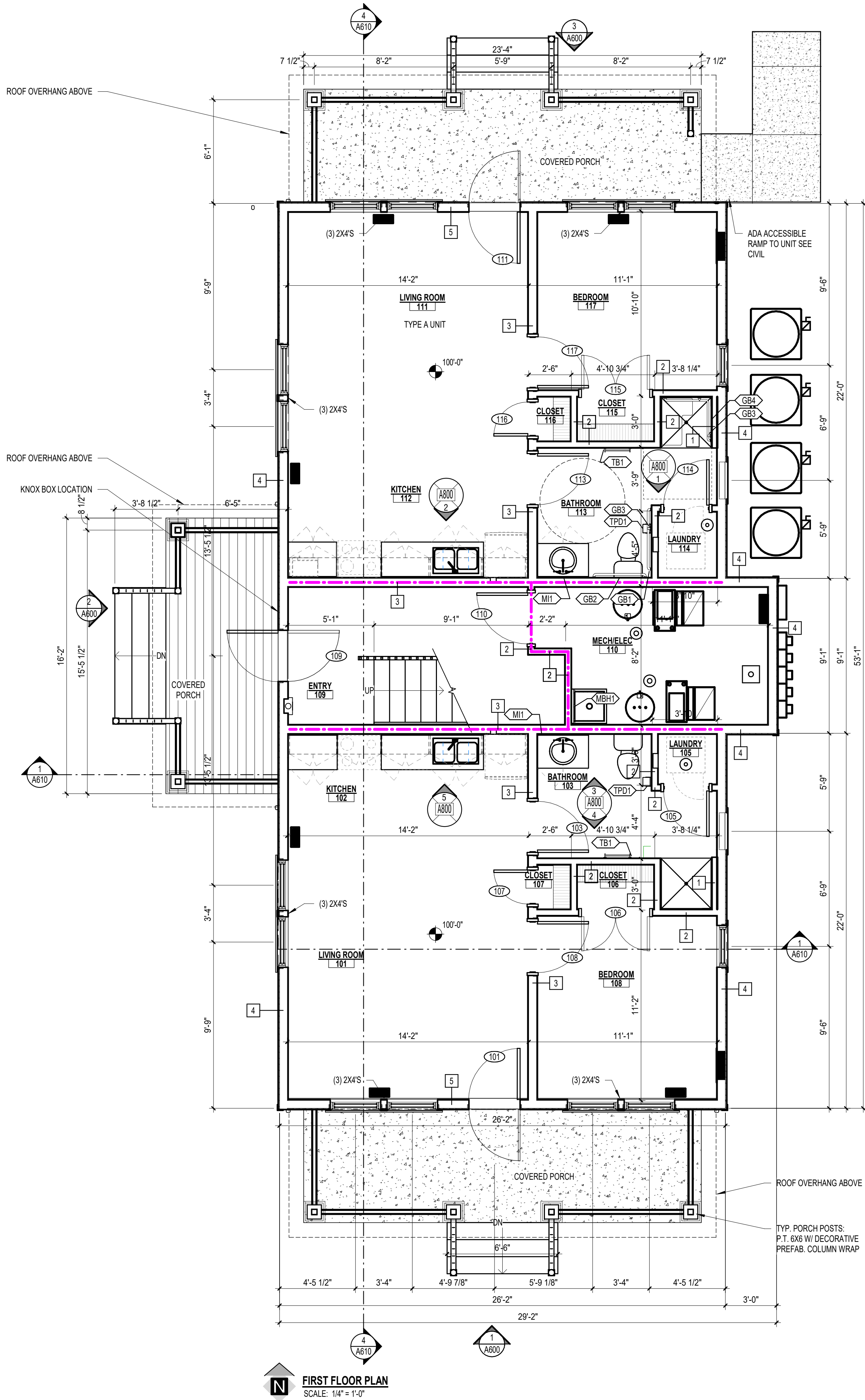
- LOCATE ALL UTILITIES PRIOR TO BEGINNING WORK. UTILITIES SHOWN WERE LOCATED BY FIELD SURVEY, BUT THEY MAY NOT INDICATE ALL UNDERGROUND IMPROVEMENTS.
- EXAMINE EXISTING CONDITIONS AND VERIFY CONDITIONS ARE ACCEPTABLE FOR REQUIRED WORK. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES WITH INFORMATION SHOWN ON PLANS PRIOR TO BEGINNING WORK.
- PROTECT ALL EXISTING PAVING, STRUCTURES, UTILITIES, AND PLANT MATERIAL INDICATED TO REMAIN. CONTRACTOR RESPONSIBLE FOR REPAIRING OR RESTORING TO ORIGINAL CONDITION ANY DAMAGE RESULTING FROM CONSTRUCTION TO EXISTING FEATURES AT NO EXPENSE TO THE OWNER.
- CONTRACTOR RESPONSIBLE FOR REMOVAL OF ANY EXISTING GRASS, WEEDS, OR SCRUB GROWTH WITHIN LIMITS OF PLANT BED EDGE OR WITHIN 5' DIAMETER CIRCLE AROUND BASE OF EACH TREE.
- PLANTS AND OTHER MATERIALS ARE QUANTIFIED AND SUMMARIZED FOR THE CONVENIENCE OF THE OWNER AND JURISDICTIONAL AGENCIES ONLY. CONFIRM AND INSTALL SUFFICIENT QUANTITIES TO COMPLETE THE WORK AS DRAWN ON THE PLANS. NO ADDITIONAL PAYMENTS WILL BE MADE FOR MATERIALS REQUIRED TO COMPLETE THE WORK AS DRAWN. CONTRACTOR RESPONSIBLE FOR VERIFYING ALL QUANTITIES.
- ALL PROPOSED PLANT SUBSTITUTIONS MUST BE APPROVED BY LANDSCAPE ARCHITECT.
- PLANTS SHALL CONFIRM TO THE MINIMUM MEASUREMENTS LISTED ON THE PLANT LIST.
- ALL PLANT MATERIAL SHALL COMPLY WITH ALL RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1-2004 'AMERICAN STANDARD FOR NURSERY STOCK.' PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS STOCK GROWN WITH GOOD HORTICULTURAL PRACTICE UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE OF THE PROJECT SITE, AND INSTALLED IN ACCORDANCE WITH METHODS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL PLANT MATERIAL MUST BE TAGGED BY THE NURSERY OF ORIGIN FOR PROPER IDENTIFICATION IN THE FIELD. TAGS ARE ONLY TO BE REMOVED AFTER ACCEPTANCE AND INSPECTION BY LANDSCAPE ARCHITECT.
- PLANT BEDS SHALL BE INSTALLED WITH 3' DEPTH OF SHREDDED BARK MULCH WHERE NOTED ON PLAN. DO NOT STORE OR BUILD UP MULCH ON PLANT TRUNKS. TREES OUTSIDE OF BED LINES SHALL BE INSTALLED 3' DEPTH SHREDDED BARK MULCH, FREE OF FOREIGN MATTER. WITH A 3' DIAMETER RING. MULCH SHALL NOT BE PLACED WITHIN 3' OF TRUNKS.
- RAKE TOPSOIL TO ELIMINATE UNEVEN AREAS AND REMOVE DEBRIS, ROOTS, BRANCHES, AND STONES IN EXCESS OF 1 INCH SIZE, AND ENSURE POSITIVE DRAINAGE IS RETAINED AWAY FROM BUILDINGS DURING LANDSCAPE CONSTRUCTION ACTIVITIES.
- SEEDING: DISTURBANCE LIMIT LINES ON SHOWN ARE APPROXIMATE. ALL LANDSCAPE AREAS DISTURBED BY CONSTRUCTION SHALL HAVE 4\"/>
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING EROSION CONTROL IN ALL DISTURBED OR SEEDED AREAS.
- PLANT BED EDGING SHALL BE 1/8\"/>
- CLEAN ALL SURFACES OF SOIL, MULCH, AND LANDSCAPE DEBRIS AFTER WORK IS COMPLETE.
- CONTRACTOR IS TO WATER INSTALLED PLANT MATERIAL AS REQUIRED DURING THE MAINTENANCE PERIOD.

PLANT SCHEDULE

SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING
Amu	Aronia melonocarpa 'UCONNAM165'	Low Scape Mound Chokeberry	12" Ht.	cont.	3' O.C.
Bm	Buxus microphylla 'NSBBL'	Neat Ball Boxwood	12-15" Ht.	cont.	3' O.C.
Hk	Hypericum kalmianum 'Deppe'	Sunny Boulevard St. John's Wort	12-15" Ht.	cont.	3' O.C.
Iv	Itea virginica 'Henry's Garnet'	Henry's Garnet Sweetspire	18" Ht.	cont.	
Pf	Potentilla fruticosa 'Goldfinger'	Goldfinger Potentilla	15" Ht.	cont.	3' O.C.
Pfw	Potentilla fruticosa 'White Lady'	White Lady Potentilla	15" Ht.	cont.	3' O.C.
Po	Physocarpus opulifolius 'Ginger Wine'	Ginger Wine Ninebark	24" Ht.	cont.	
PERENNIALS	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING
At	Asclepias tuberosa	Butterfly Weed	No. 1 Pot	cont.	18" O.C.
Cl	Coreopsis lanceolata	Lance-leaf Coreopsis	No. 1 Pot	cont.	18" O.C.
Hf	Heuchera 'Forever Purple'	Forever Purple Coral Bells	No. 1 Pot	cont.	12" O.C.
Nf	Nepeta x faassenii 'Walker's Low'	Walker's Low Nepeta	No. 1 Pot	cont.	30" O.C.
Rf	Rudbeckia x fulgida var sullivanti 'Little Goldstar'	Little Goldstar Dwarf Coneflower	No. 1 Pot	cont.	18" O.C.
Sp	Sedum 'Powder Puff'	Powder Puff Sedum	No. 1 Pot	cont.	18" O.C.
ORNAMENTAL GRASSES	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING
Hs	Helictrochon sempervirens	Blue Oat Grass	No. 1 Pot	cont.	24" O.C.
Ss	Schizachyrium scoparium	Little Bluestem	No. 1 Pot	cont.	24" O.C.



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

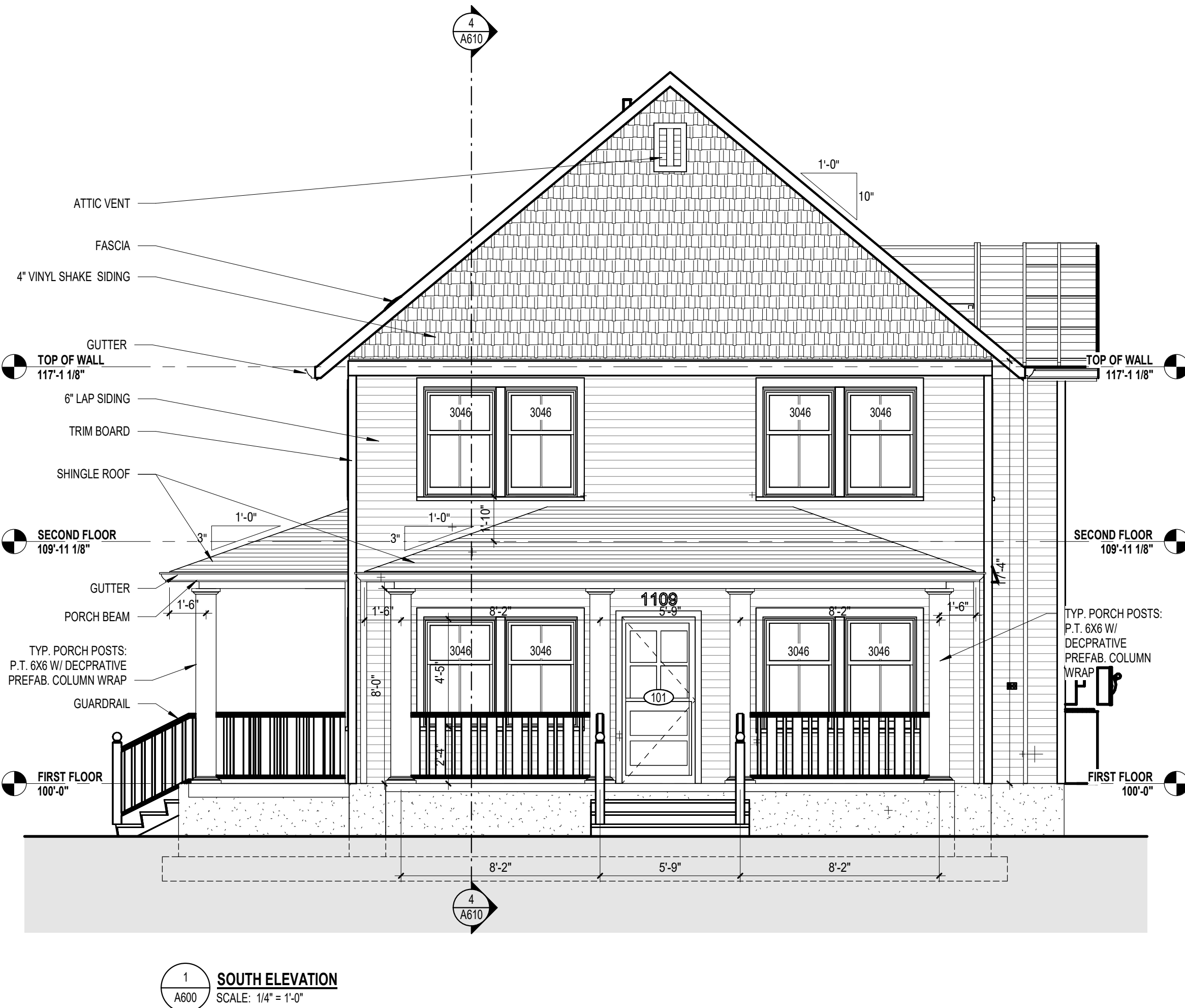
- ARCHITECTURAL GENERAL NOTES:**
- DRAWINGS ESTABLISH THE DESIGN INTENT OF WORK TO BE PERFORMED. ALL PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. ALL TRADES SHALL CAREFULLY COORDINATE WORK OF ALL OTHER TRADES. CONTRACTORS SHALL BE RESPONSIBLE FOR FIELD VERIFYING EXISTING CONDITIONS AND FOR VERIFYING THEM WITH THE CONTRACT DOCUMENTS. ANY DISCREPANCIES OR CONFLICTS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT AND THE OWNER PRIOR TO FABRICATION OR INSTALLATION.
 - COORDINATE SIZE AND LOCATION OF ALL EQUIPMENT SUPPORTS INCLUDING BUT NOT RESTRICTED TO CONCRETE HOUSEKEEPING PADS WITH APPROPRIATE EQUIPMENT MANUFACTURER.
 - COORDINATE SIZE AND LOCATION OF ALL ACCESS PANELS WITH TRADE REQUIRING THE SAME. ACCESS PANELS ARE SPECIFIED ARCHITECTURALLY BUT ARE REQUIRED TO BE PROVIDED BY EACH TRADE. ALL LOCATIONS MUST BE COORDINATED AND APPROVED BY THE ARCHITECT'S FIELD REPRESENTATIVE.
 - VERIFY QUANTITY, SIZE, AND LOCATION OF ALL FLOOR, ROOF, AND WALL OPENINGS FOR ALL DISCIPLINES INCLUDING BUT NOT RESTRICTED TO MECHANICAL AND ELECTRICAL WORK WITH THE APPROPRIATE TRADE. PROVIDE ALL OPENINGS SHOWN OR REQUIRED FOR THE COMPLETION OF THE WORK.
 - DIMENSIONS FOLLOWED BY +/- SHOULD BE REVIEWED AND ALL NECESSARY ADJUSTMENTS MADE PRIOR TO FABRICATION AND/OR INSTALLATION OF AFFECTED WORK. NOTIFY ARCHITECT'S REPRESENTATIVE IF DISCREPANCIES ARISE BEFORE PROCEEDING WITH THE WORK.
 - SEE EXTERIOR ELEVATIONS FOR WINDOW NUMBERS.
 - DIMENSIONS ARE TYPICALLY TO FACE OF STRUCTURE (FACE OF STUD, FACE OF MASONRY, ETC.) CENTER LINE OF STRUCTURAL STEEL AND CENTER LINE OF OPENINGS IN STUD FRAME WALLS, UNLESS NOTED OTHERWISE. DO NOT SCALE DRAWINGS.

INTERIOR FINISH LEGEND:

1. REFER TO MATERIALS SCHEDULE AND ROOM FINISH SCHEDULE FOR MORE INFORMATION

SYMBOLS LEGEND	
	DOOR TAG
	WALL TAG
	LEVEL SYMBOL
	ROOM TAG
	1 HOUR FIRE BARRIER
	BUILDING SECTION SYMBOL
	WALL SECTION SYMBOL
	DETAIL SYMBOL
	ELEVATION SYMBOL
	INTERIOR ELEVATION SYMBOL

WALL TYPE LEGEND		
ABBREV	GRAPHIC	DESCRIPTION
1		2X4 WOOD FRAMING @ 16" O.C. WITH 5/8" TYPE "X" GYPSUM BOARD ON ONE SIDE WITH BATT. INSULATION TO DECK.
2		2X4 WOOD FRAMING @ 16" O.C. WITH 5/8" TYPE "X" GYPSUM BOARD ON EACH SIDE WITH BATT. INSULATION TO DECK.
3		2X6 WOOD FRAMING @ 16" O.C. WITH 5/8" TYPE "X" GYPSUM BOARD ON ONE SIDE WITH MIN. R-21 INSULATION.
4		EXTERIOR WALL: VINYL SIDING, WITH TYVEK, PLYWOOD SHEATHING AND 2X6 WOOD FRAMING @ 16" O.C. WITH 5/8" TYPE "X" GYPSUM BOARD ON ONE SIDE WITH MIN. R-21 INSULATION.
5		EXTERIOR WALL: VINYL SIDING, WITH TYVEK, PLYWOOD SHEATHING AND 2X6 WOOD FRAMING @ 16" O.C. WITH 5/8" TYPE "X" GYPSUM BOARD ON ONE SIDE WITH MIN. R-21 INSULATION. 17'-4" AFF. 4" VINYL SHAKE SIDING WITH TYVEK, PLYWOOD SHEATHING, AND 2X6 WOOD FRAMING @ 16" O.C. WITH 5/8" TYPE "X" GYPSUM BOARD ON ONE SIDE WITH MIN. R-21 INSULATION.



PROJECT:

**New Facility for:
Reach Sober Living
Chris Pompey
1109 Engleman -
Kalamazoo, MI. 49048**

NOT FOR CONSTRUCTION

EXTERIOR ELEVATIONS

MODELED BY: Author

DESIGNED BY: Designer

PM REVIEW: Approver

QA/QC REVIEW: Checker

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SHEET NO.

A600

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BUILDING DATA								
Project:	REACH SOBER LIVING QUAD PLEX	APPLICABLE BUILDING CODES:						
Project Address:	1109 ENGLEMAN AVE. KALAMAZOO, MICHIGAN 49048	2015 MICHIGAN BUILDING CODE 2018 MICHIGAN PLUMBING CODE 2015 MICHIGAN MECHANICAL CODE 2018 NATIONAL ELECTRIC CODE W/ MICHIGAN PART 8 RULES 2015 MICHIGAN UNIFORM ENERGY CODE 2015 INTERNATIONAL FIRE CODE UNIFORM FEDERAL ACCESSIBILITY STANDARDS ICC / ANSI 117.1						
Municipality:	CITY OF KALAMAZOO							
BUILDING CODE ANALYSIS & REVIEW								
MBC CHAPTER 3: USE AND OCCUPANCY CLASSIFICATION								
SECTION 310.4	RESIDENTIAL GROUP R-2							
MBC CHAPTER 5: GENERAL BUILDING HEIGHTS AND AREAS								
TABLE 504.3	ALLOWABLE BUILDING HEIGHT (FEET ABOVE GROUND PLANE)	R-2 USE GROUP ALLOWED	PROPOSED					
TABLE 504.4	ALLOWABLE BUILDING HEIGHT (STORIES ABOVE GROUND PLANE)	4	2					
TABLE 506.2	ALLOWABLE AREA FACTOR (A _T) / STORY	12,000 SF		FIRST FLOOR LEVEL = 1,320 SF SECOND FLOOR LEVEL = 1,320 SF TOTAL = 2,640 SF				
MBC CHAPTER 6: TYPES OF CONSTRUCTION								
SECTION 602	CONSTRUCTION CLASSIFICATION	TYPE VB						
TABLE 601	FIRE RESISTANT RATINGS FOR BUILDING ELEMENTS							
	PRIMARY STRUCTURAL FRAME	0 HOURS						
	EXTERIOR BEARING WALLS	0 HOURS						
	INTERIOR BEARING WALLS	0 HOURS						
	EXTERIOR NON-BEARING WALLS	SEE TABLE 602						
	INTERIOR NON-BEARING WALLS	0 HOURS						
	FLOOR CONSTRUCTION	0 HOURS						
	ROOF CONSTRUCTION	0 HOURS						
TABLE 602	FIRE RESISTANT RATINGS FOR EXTERIOR WALLS							
	FIRE SEPARATION DISTANCE	REQUIRED RATING						
	X < 5'-0"	1 HOUR						
	5'-0" <= X < 10'-0"	1 HOUR						
	10'-0" <= X < 30'-0"	0 HOURS						
	X > 30'-0"	0 HOURS						
MBC CHAPTER 8: INTERIOR FINISHES								
TABLE 803.11	INTERIOR WALL AND CEILING FINISH REQUIREMENTS	SMOKE-DEVELOPED	FLAME SPREAD					
	INTERIOR WALL & CEILING FINISHES	CLASS	INDEX					
	EXIT ENCLOSURE AND PASSAGEWAY	C	0-450	76-200				
	CORRIDORS	C	0-450	76-200				
	ROOMS AND ENCLOSED SPACES	C	0-450	76-200				
	INTERIOR FINISH FLOOR REQUIREMENTS							
	INTERIOR WALL & CEILING FINISHES	CLASS	WATTS / CM2					
	EXIT ENCLOSURE AND PASSAGEWAY	II	22 OR GREATER					
	CORRIDORS	II	22 OR GREATER					
	ROOMS AND ENCLOSED SPACES	II	22 OR GREATER					
MBC Chapter 9: Fire Protection Systems								
SECTION 903.2.9.1	NFPA 13 COMPLIANT FIRE SUPPRESSION SYSTEM IS REQUIRED							
SECTION 906	PORTABLE FIRE-EXTINGUISHERS AT CLASS A FIRE AREAS REQUIRED AS FOLLOWS:							
TABLE 906.3	MINIMUM RATED SINGLE EXTINGUISHER	2-A						
	MAXIMUM FLOOR AREA PER UNIT OF A	1,500 s.f.						
	MAXIMUM FLOOR AREA FOR EXTINGUISHER	11,250 s.f.						
	MAXIMUM DISTANCE TO EXTINGUISHER	75'-0"						
MBC CHAPTER 10: MEAN OF EGRESS								
OCCUPANT AREA	TABLE 1004.1.2 MAX. FLOOR AREA / OCCUPANT	AREA	OCCUPANT LOAD PER TABLE	TABLE 1006.3.2(1) EXITS REQUIRED BY STORY	EXITS PROVIDED	TABLE 1006.2.1 COMMON PATH OF TRAVEL		
FIRST FLOOR RESIDENTIAL	1,200	1,320	7	1	1	125'-0"		
SECOND FLOOR RESIDENTIAL	1,200	1,320	7	1	1	125'-0"		
SECTION 1005	MEANS OF EGRESS SIZING							
SECTION 1005.3.1	STAIRWAYS	3" PER OCCUPANT; MINIMUM WIDTH 44" (36" IF < 50 OCCUPANTS (SECTION 1011.2))						
SECTION 1005.3.2	OTHER ELEMENTS	2" PER OCCUPANT						
SECTION 1010.1.1	DOORS	32" MINIMUM CLEAR WIDTH						
SECTION 1020.2	CORRIDORS	36" MINIMUM CLEAR WIDTH						
TABLE 1017.2	MAXIMUM EXIT ACCESS TRAVEL DISTANCE							
	R-2 USE GROUP AREAS	250'-0"						
TABLE 1020.4	MAXIMUM DEAD-END CORRIDOR < 50'-0"							
MBC Chapter 30: Plumbing Systems								
PLUMBING FIXTURE COUNTS ARE DETERMINED UTILIZING PROGRAMMED OCCUPANCY LOAD IN LIEU OF TABULAR OCCUPANCY								
OCCUPANCY		WATER CLOSETS		LAVATORIES		BATH/TUBS/ SHOWERS	DRINKING FOUNTAINS	SERVICE SINKS
		MEN	WOMEN	MEN	WOMEN			
RESIDENTIAL R-2 (14)OCC TOTAL	REQUIRED	1 PER DWELLING UNIT		1 PER DWELLING UNIT		1 PER DWELLING UNIT	-	1 KITCHEN SINK PER DWELLING UNIT; 1 AUTOMATIC CLOTHES WASHER CONNECTION PER 20 DWELLING UNITS
	CALCULATED	1		1		1	-	1
TOTAL REQUIRED:		1		1		1	-	1
TOTAL PROVIDED:		1		1		1	-	1

