

DEMOLITION NOTES

- ALL WORK SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL LAWS, RULES AND REGULATIONS IN FORCE AT TIME OF CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS, PERMIT COSTS, TAP FEES, METER DEPOSITS, PERMANENT UTILITY APPLICATIONS, BONDS, AND OTHER FEES REQUIRED FOR PROPOSED WORK. THIS SHALL INCLUDE, BUT SHALL NOT BE LIMITED TO THOSE REQUIRED BY THE CITY OF KALAMAZOO, AND KALAMAZOO COUNTY.
- CONTACT MISS DIG "811" FOR LOCATION OF UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS BEFORE COMMENCING EXCAVATION WORK. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO ARE NOT PART OF THE "MISS DIG" ALERT SYSTEM. THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS IN A MANNER AS TO ENSURE THAT THOSE UTILITIES NOT REQUIRING RELOCATION WILL NOT BE DISTURBED.
- DEMOLISH & REMOVE ALL EXISTING SITE FEATURES AS REQUIRED.
- ALL SOIL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO DEMOLITION.
- ALL EXCAVATION SHALL BE IN ACCORDANCE WITH THE TECHNICAL SPECIFICATIONS AND GEOTECHNICAL REPORT FOR THIS SITE.
- ALL EXISTING ELEVATIONS ARE TO BE VERIFIED AND ACCEPTED AS SHOWN PRIOR TO COMMENCEMENT OF WORK.
- CONTRACTOR SHALL TAKE PRECAUTIONS TO AVOID TRACKING SOIL ONTO ADJACENT ROADWAYS. CONTRACTOR SHALL SWEEP IMMEDIATELY IF OCCURS.
- ANY DISTURBED AREA WHICH WILL BE LEFT UNWORKED 15 DAYS OR LONGER MUST BE SEEDED TO ESTABLISH VEGETATION FOR TEMPORARY STABILIZATION. BASINS TO BE SEEDED AND MULCH BLANKETS APPLIED IMMEDIATELY TO PROVIDE A STABLE BASE AND AVOID EXCESSIVE EROSION.
- REVIEW ALL THE REMOVALS AND PROTECTION WITH OWNER PRIOR TO COMMENCING CONSTRUCTION. INSTALL TEMPORARY SNOW FENCE AROUND ALL TREES REQUIRING PROTECTION. SNOW FENCE SHALL BE PLACED AT EDGE OF DRIP LINE.
- SAWCUT ALL CURB, SIDEWALK, AND PAVEMENTS PRIOR TO REMOVAL. ADDITIONAL SAWCUT MAY BE NECESSARY PRIOR TO REPLACEMENT TO ENSURE CLEAN EDGE.
- ALL REMOVALS SHALL BE TAKEN OFF-SITE AND DISPOSED OF PROPERLY. NO STOCKPILE OR BURNING OF DEBRIS IS ALLOWED.
- ALL REMOVALS SHALL BE TO THE LIMITS INDICATED ABOVE UNLESS OTHERWISE DIRECTED BY THE ENGINEER. UNAUTHORIZED REMOVALS AND SUBSEQUENT REPLACEMENT SHALL BE AT THE CONTRACTOR'S EXPENSE.
- REMOVE, STORE, AND RESET ANY EXISTING SIGNS AS DIRECTED BY THE ENGINEER/OWNER.
- REMOVE ALL TREES TO THE CLEARING LIMITS AS SHOWN. REMOVE ALL EXISTING TREES, STUMPS AND BRUSH FROM THE SITE AS NECESSARY TO CONSTRUCT THE IMPROVEMENTS.
- THE CONTRACTOR SHALL DEMOLISH AND REMOVE ANY ITEMS REMAINING FROM THE EXISTING BUILDING, IN ITS ENTIRETY, INCLUDING WALLS, FOUNDATIONS AND FOOTINGS. ALL BUILDING DRAINS AND UTILITY LEADS SHALL BE LOCATED AND PROPERLY PLUGGED. UTILITY LEAD WORK SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.
- BACKFILL EXCAVATED AREAS WITH CLEAN GRANULAR FILL COMPACTED TO 95% OF THE MATERIAL UNIT WEIGHT BY MODIFIED PROCTOR.
- CONTROL SHALL BE MAINTAINED OVER THE SITE AND OPERATION TO ELIMINATE HAZARDS TO THE PUBLIC. NAILS OR OTHER TIRE PUNCTURING ITEMS SHALL NOT BE DROPPED ON STREETS, ALLEYS AND ADJACENT PROPERTY. PUBLIC STREETS, CURBS AND SIDEWALKS SHALL BE PROTECTED FROM DAMAGE. THE PERSON ENGAGED IN THE DEMOLITION WORK SHALL BE LIABLE FOR ANY AND ALL DAMAGE TO CURBS, STREETS, SIDEWALKS AND OTHER PUBLIC OR PRIVATE PROPERTY AND FOR ANY BODILY INJURY OCCURRING AS A RESULT OF THE DEMOLITION WORK.
- NO KNOWN ENDANGERED/RARE SPECIES/HABITAT AREA ON SITE.
- NO KNOWN WOODS, WETLANDS, STREAMS, RIVERS, LAKE, DRAINS, 100-YEAR FLOOD PLAINS, FLOODWAYS, WETLANDS, SOIL CONTAMINATION AND/OR GROUNDWATER CONTAMINATION IS PRESENT IN THE NORTH PARKING LOT OF 622 JOHN ST (SEE ENVIRONMENTAL REPORTS). NO KNOWN SOIL OR GROUNDWATER CONTAMINATION IS PRESENT AT 119 E DUTTON.
- SITE IS LOCATED IN A 5-YEAR WELLHEAD PROTECTION AREA.

LEGEND

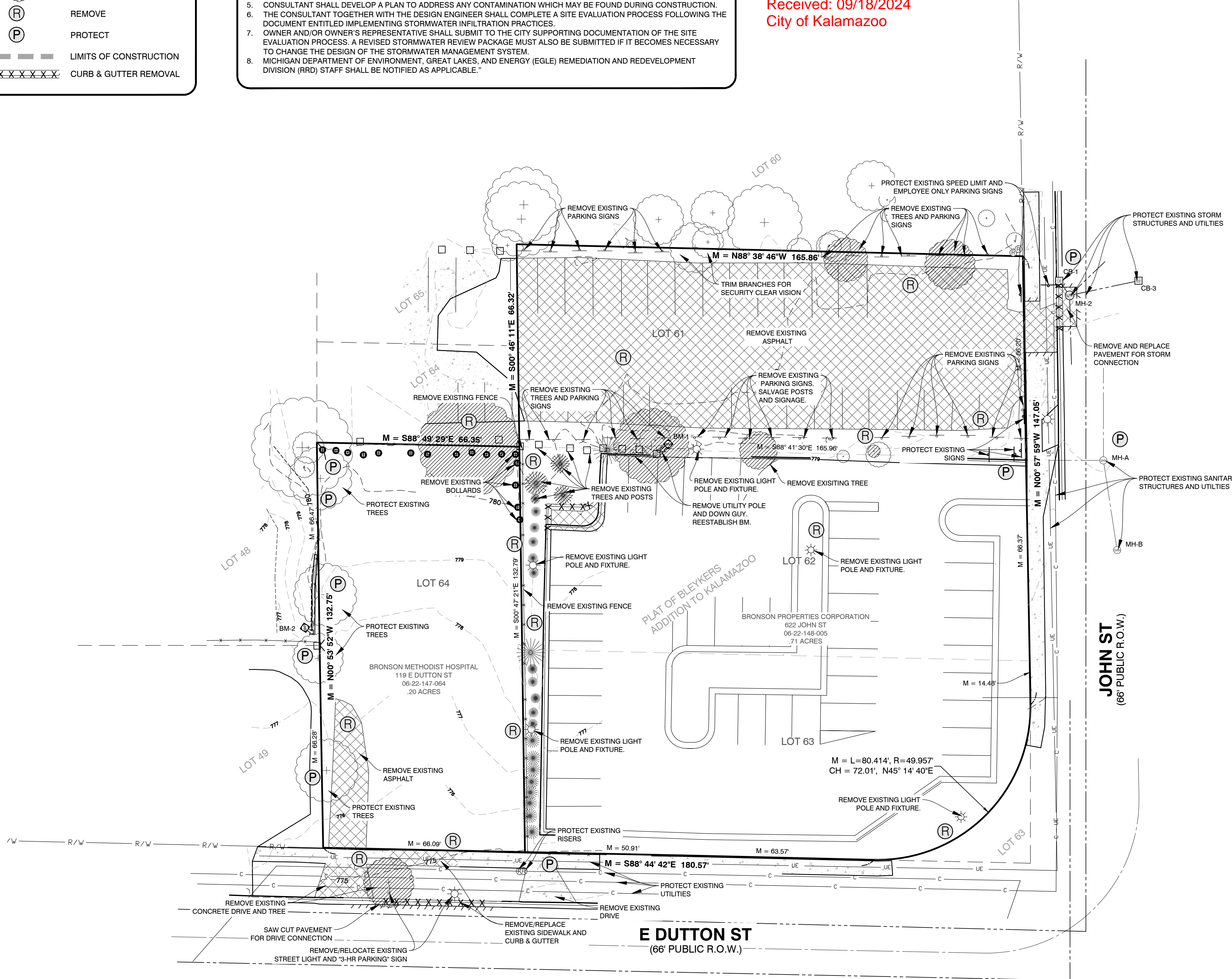
- PAVEMENT REMOVAL
- SAWCUT
- TREE REMOVAL
- REMOVE
- PROTECT
- LIMITS OF CONSTRUCTION
- CURB & GUTTER REMOVAL

SOIL AND GROUNDWATER CONTAMINATION

- IF SOIL OR GROUNDWATER CONTAMINATION IS ENCOUNTERED OR SUSPECTED DURING CONSTRUCTION THE FOLLOWING STEPS SHALL BE FOLLOWED:
- CONTRACTOR SHALL STOP WORK IMMEDIATELY AND NOTIFY OWNER AND/OR OWNER'S REPRESENTATIVE.
 - OWNER AND/OR OWNER'S REPRESENTATIVE SHALL NOTIFY THE CITY.
 - OWNER SHALL ENGAGE THE SERVICES OF A QUALIFIED ENVIRONMENTAL CONSULTANT (CONSULTANT).
 - CONSULTANT SHALL CONDUCT A SITE ASSESSMENT AND REPORT TO THE ABOVE PARTIES.
 - CONSULTANT SHALL DEVELOP A PLAN TO ADDRESS ANY CONTAMINATION WHICH MAY BE FOUND DURING CONSTRUCTION.
 - THE CONSULTANT TOGETHER WITH THE DESIGN ENGINEER SHALL COMPLETE A SITE EVALUATION PROCESS FOLLOWING THE DOCUMENT ENTITLED IMPLEMENTING STORMWATER INFILTRATION PRACTICES.
 - OWNER AND/OR OWNER'S REPRESENTATIVE SHALL SUBMIT TO THE CITY SUPPORTING DOCUMENTATION OF THE SITE EVALUATION PROCESS. A REVISED STORMWATER REVIEW PACKAGE MUST ALSO BE SUBMITTED IF IT BECOMES NECESSARY TO CHANGE THE DESIGN OF THE STORMWATER MANAGEMENT SYSTEM.
 - MICHIGAN DEPARTMENT OF ENVIRONMENT, GREAT LAKES, AND ENERGY (EGLE) REMEDIATION AND REDEVELOPMENT DIVISION (RRD) STAFF SHALL BE NOTIFIED AS APPLICABLE.

PLANS ARE IN NAD83 MICHIGAN STATE PLANES, SOUTH ZONE, INTERNATIONAL FOOT

Site Plan Review
Received: 09/18/2024
City of Kalamazoo



BENCHMARK INFORMATION

- BM-1: ELEV: 781.43
SET NAIL IN EAST SIDE OF POWER POLE LOCATED 10' ± SOUTH OF SOUTH EDGE OF ASPHALT OF NORTH PARKING LOT AND 132' ± WEST OF THE WEST EDGE OF BIT OF JOHN ST.
- BM-2: ELEV: 780.32
SET CUT X ON SOUTH END OF CONCRETE RETAINING WALL LOCATED 90' NORTH OF NORTH EDGE OF BIT OF E DUTTON ST & 5' ± EAST OF EAST EDGE OF ASPHALT PARKING LOT.

SANITARY STRUCTURE INFORMATION

- MH-A, 4' CONC STRUCTURE
RIM = 776.12
N 6' CLAY (INV. = 768.57)
SSE 6' CLAY (INV. = 768.52)
W 6' CLAY (INV. = 768.52)
- MH-B, 4' BLOCK STRUCTURE
RIM = 775.18
NNW 6' CLAY (INV. = 767.23)

STORM STRUCTURE INFORMATION

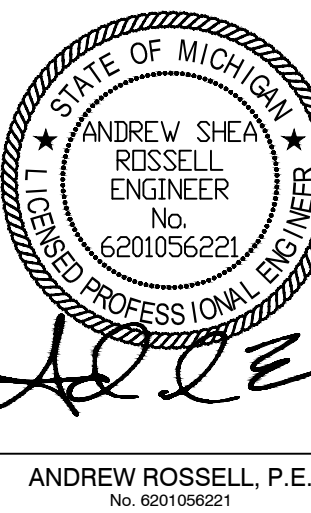
- CB-1, 2' CONC. STRUCTURE
RIM = 777.33
SE 12' RCP (INV. = 771.93)
SUMP = 771.33'
- MH-2, 4' CONC. STRUCTURE
RIM = 777.38
NW 12' RCP (INV. = 771.58)
NE 12' RCP (INV. = 771.63)
ENE 12' RCP (INV. = 771.53)
S 12' RCP (INV. = 771.48)
SUMP = 771.43'

- CB-3, 2' CONC. STRUCTURE
RIM = 777.24
WSW 12' RCP (INV. = 772.39)
SUMP = 771.79'

PLANS PREPARED BY:



DRAWN: sap
CHECKED: ASR



No.	ISSUED FOR:	DATE	BY
0	OWNER REVIEW	5/10/24	sap
1	CITY RESUBMITTAL	9/18/24	sap
2			
3			
4			

EXISTING CONDITIONS & DEMO PLAN
JOHN STREET ER OVERFLOW LOTS
BRONSON HEALTHCARE GROUP
JOHN ST & DUTTON ST
SECTION 22, T02S, R11W

SHEET TITLE:
PROJECT:
CLIENT:
SITE ADDRESS:
SITE SECTION:

JOB NUMBER
22047013

DATE
09/18/2024

SHEET NUMBER

C1.0



ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA. FIELD WORK PERFORMED BY: AR ENGINEERING & SURVEYING

SITE DATA

1. PROPERTY INFORMATION:
PARCEL #S: 06-22-148-005
06-22-147-064
SITE AREA: 41,238 SF (0.95 AC)
- OWNER: BRONSON HEALTHCARE GROUP
601 JOHN ST BOX 9
KALAMAZOO, MI 49007
- DEVELOPER: BRONSON HEALTHCARE GROUP
601 JOHN ST BOX 9
KALAMAZOO, MI 49007
2. ZONING:
PROPERTY CURRENTLY ZONED D-3 DOWNTOWN DISTRICT
ABUTTING PROPERTY CURRENTLY ZONED:
NORTH: D-3 DOWNTOWN DISTRICT
SOUTH: D-3 DOWNTOWN DISTRICT
EAST: D-3 DOWNTOWN DISTRICT
WEST: D-3 DOWNTOWN DISTRICT
PROPOSED LAND USE = OVERFLOW PARKING
3. SETBACKS
FRONT = NONE
SIDES = NONE
REAR = NONE
4. PARKING:
PROVIDED = STANDARD 9'X18' SPACES = 53
EXISTING SPACES = 41
TOTAL PROVIDED = 94
*REQUIRED BICYCLE RACK TO BE INSTALLED ON CAMPUS
5. LOT:
MINIMUM LOT SIZE: N/A
MINIMUM LOT WIDTH: N/A
LOT SIZE: 41,238 SFT / 0.95 ACRES
LOT DIMENSIONS: IRREGULAR
LOT COVERAGE ALLOWED: 100%
LOT COVERAGE PROVIDED: 119 DUTTON 81.4%
700 JOHN ST 85.2%
6. LANDSCAPING:
SHALL BE IN ACCORDANCE WITH LANDSCAPING PLAN.
7. STORM WATER DETENTION REQUIRED:
STORM WATER MANAGEMENT SHALL BE IN ACCORDANCE WITH COUNTY STORM WATER GUIDELINES.

SITE PLAN NOTES

- A BITUMINOUS PAVEMENT (SEE DETAIL, SHEET C5.0)
- B 4" PAINTED PARKING LOT MARKING/ STRIPING (TYP.) (SEE DETAIL, THIS SHEET).
- C 4' WROUGHT IRON FENCE.
- D 6' TALL VINYL SCREENING FENCE.
- E MDOT F4 CURB & GUTTER (SEE DETAIL THIS SHEET).
- F MDOT E2 CURB (SEE DETAIL THIS SHEET).
- G 3" PVC CONDUIT FOR IRRIGATION LINE.
- H 2" PVC CONDUIT FOR ELECTRIC SERVICE.
- I 2" PVC CONDUIT FOR ADDITIONAL CONNECTIONS.
- J LIGHT POLE/FIXTURE. (SEE L2.0 PHOTOMETRIC PLAN).

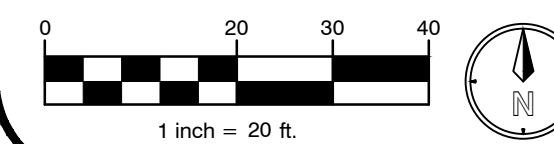
LEGEND

- LIGHT DUTY PAVEMENT
(SEE DETAIL THIS SHEET)
- CONCRETE PAVEMENT AND
SIDEWALK
(SEE DETAIL THIS SHEET)

GENERAL NOTES

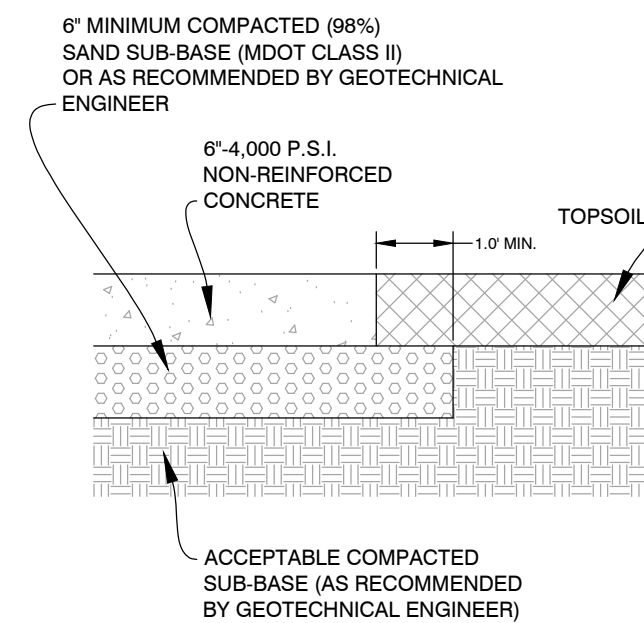
1. DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
2. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ ENGINEER PRIOR TO CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
3. ALL CURB RADII AND DIMENSIONS ARE TO FACE OF CURB. CURB TO BE PROVIDED WHERE SHOWN AND INTEGRAL WITH SIDEWALK AT PAVING EDGE.
4. SLOPE GRADES UNIFORMLY BETWEEN ELEVATIONS SHOWN. NOMINAL GRADING. SLOPE SIDEWALKS AWAY FROM BUILDING AT 1/4" PER FOOT ON ENTRY WALK.

PLANS ARE IN NAD83 MICHIGAN STATE
PLANES, SOUTH ZONE, INTERNATIONAL FOOT

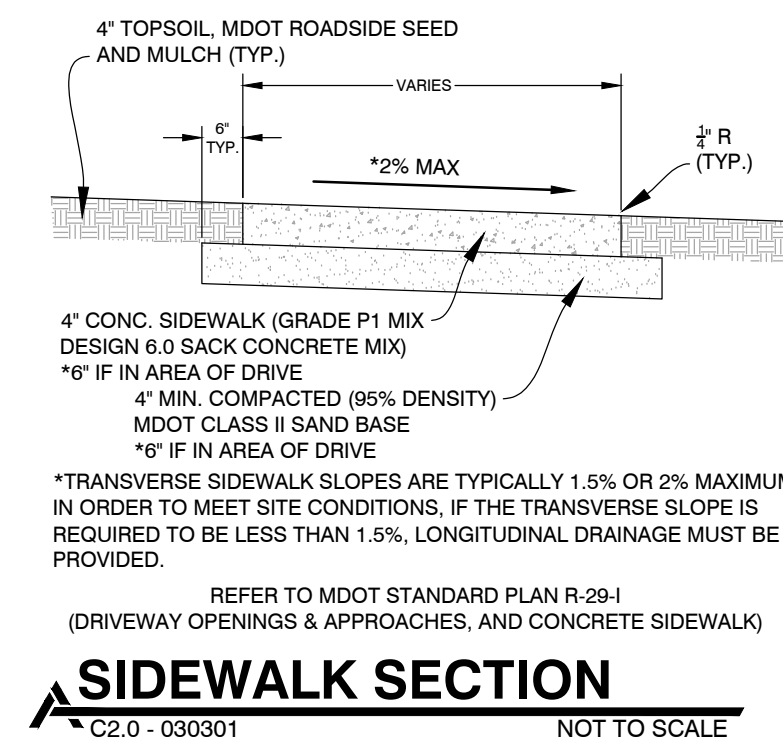


BENCHMARK INFORMATION

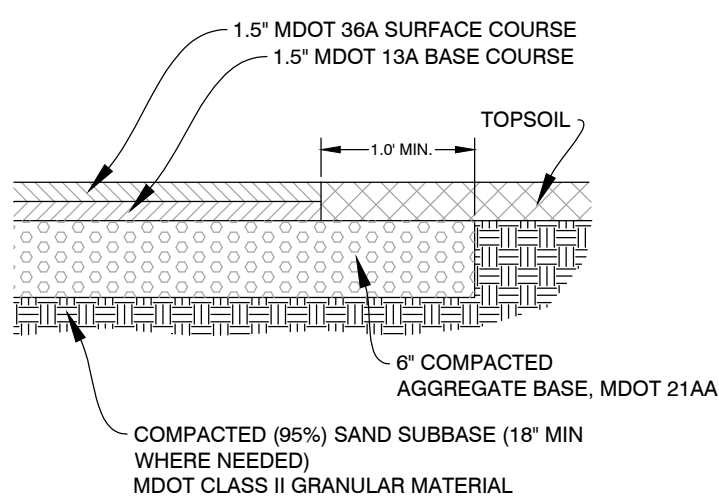
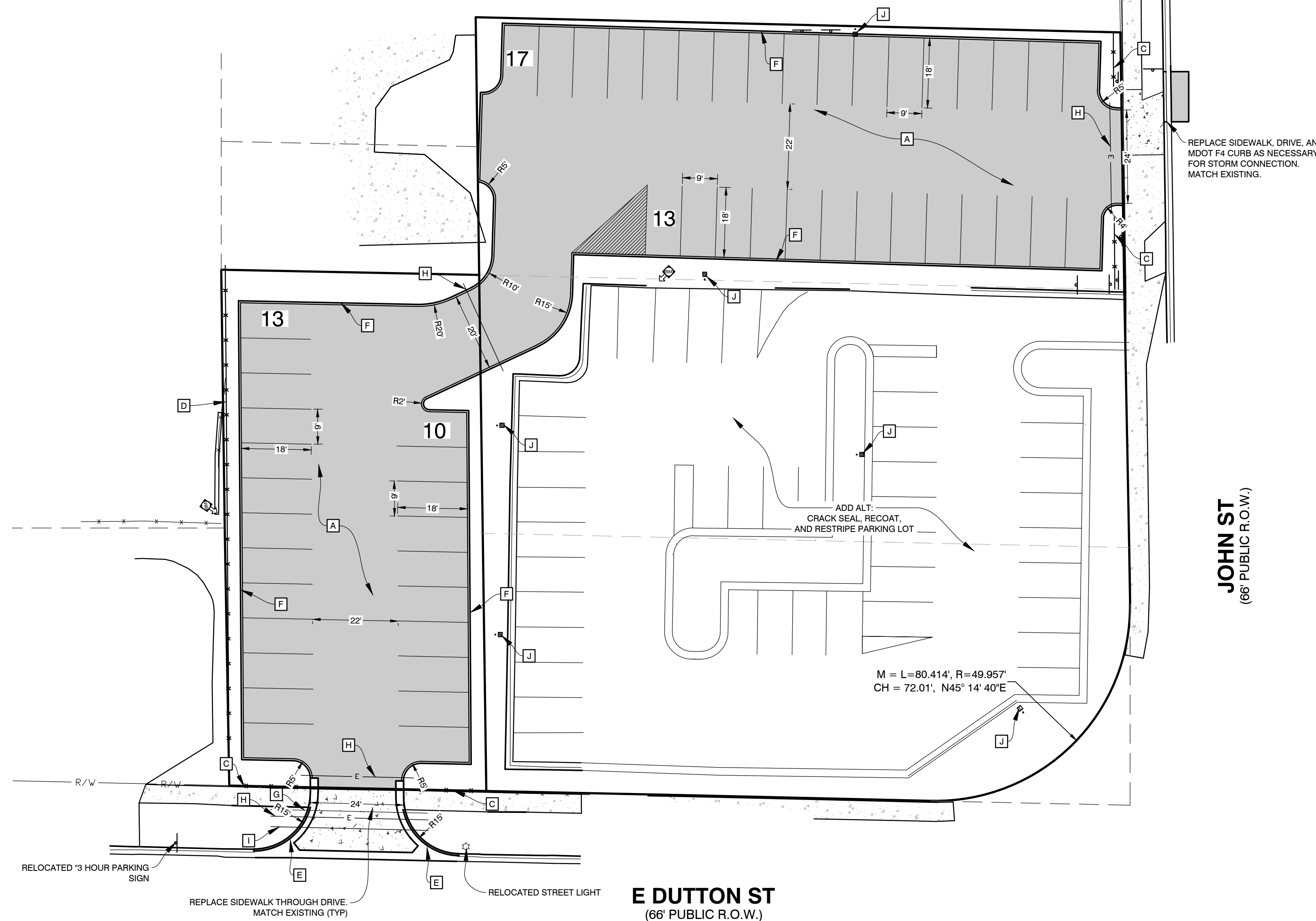
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- BM-2: ELEV: 780.32
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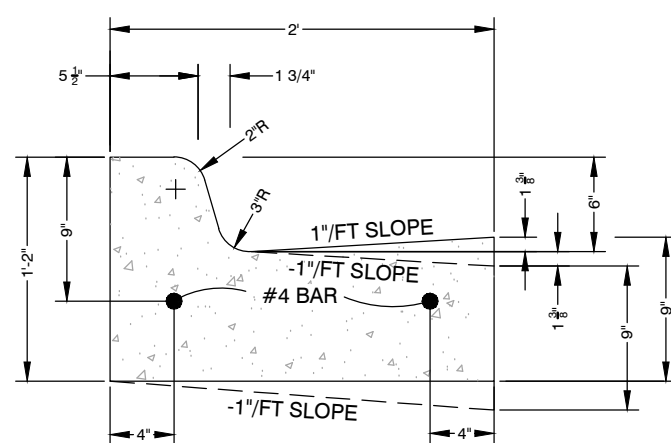
CONC. PAVEMENT SECTION
C2.0 - 030402 NOT TO SCALE



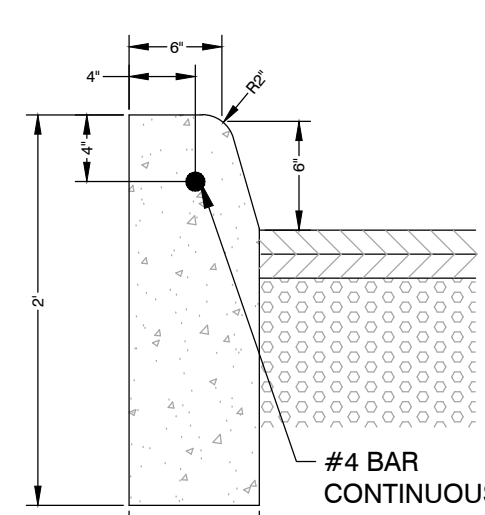
SIDEWALK SECTION
C2.0 - 030301 NOT TO SCALE



ASPHALT SECTION
C2.0 - 030401 NOT TO SCALE



MDOT F4 CONC. CURB & GUTTER
C2.0 - 030109 NOT TO SCALE



E2 CURB DETAIL
C2.0 - 030111 NOT TO SCALE

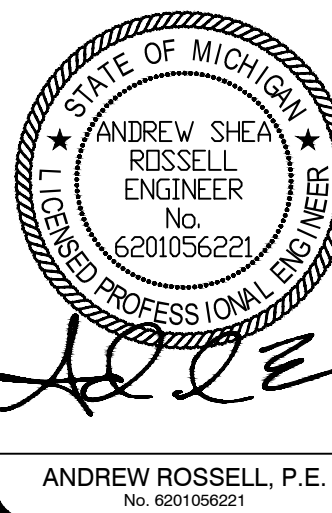


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PLANS PREPARED BY:



DRAWN: sap
CHECKED: ASR



No.	ISSUED FOR:	DATE	BY
0	OWNER REVIEW	5/10/24	sap
1	CITY RESUBMITTAL	9/18/24	sap
2			
3			
4			

SITE LAYOUT
JOHN STREET ER OVERFLOW LOTS
BRONSON HEALTHCARE GROUP
JOHN ST & DUTTON ST
SECTION 22, T02S, R11W

SHEET TITLE:
PROJECT:
CLIENT:
SITE ADDRESS:
SITE SECTION:

JOB NUMBER
22047013

DATE
09/18/2024

SHEET NUMBER
C2.0

GRADING NOTES

1. ALL WORK SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL LAWS, RULES AND REGULATIONS IN FORCE AT TIME OF CONSTRUCTION.
2. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS, PERMIT COSTS, TAP FEES, METER DEPOSITS, PERMANENT UTILITY APPLICATIONS, BONDS, AND OTHER FEES REQUIRED FOR PROPOSED WORK. THIS SHALL INCLUDE, BUT SHALL NOT BE LIMITED TO THOSE REQUIRED BY THE MICHIGAN DEPARTMENT OF TRANSPORTATION.
3. CONTACT MISS DIG "B11" FOR LOCATION OF UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS BEFORE COMMENCING EXCAVATION WORK. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO ARE NOT PART OF THE "MISS DIG" ALERT SYSTEM. THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS IN A MANNER AS TO ENSURE THAT THOSE UTILITIES NOT REQUIRING RELOCATION WILL NOT BE DISTURBED.
4. DEMOLISH & REMOVE ALL EXISTING SITE FEATURES AS REQUIRED.
5. MATCH EXISTING GRADES AROUND PERIMETER WITH SLOPES AS SHOWN.
6. ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT GRADES AT EDGE OF METAL (EOM) UNLESS OTHERWISE NOTED.
7. ALL SOIL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO MASS GRADING.
8. ALL EARTHWORK SHALL BE IN ACCORDANCE WITH THE TECHNICAL SPECIFICATIONS AND GEOTECHNICAL REPORT PREPARED BY AR ENGINEERING & SURVEYING.
9. ALL EXISTING ELEVATIONS ARE TO BE VERIFIED AND ACCEPTED AS SHOWN PRIOR TO COMMENCEMENT OF WORK.
10. CONTRACTOR SHALL TAKE PRECAUTIONS TO AVOID TRACKING SOIL ONTO ADJACENT ROADWAYS. CONTRACTOR SHALL SWEEP IMMEDIATELY IF OCCURS.
11. ANY DISTURBED AREA WHICH WILL BE LEFT UNWORKED 15 DAYS OR LONGER MUST BE SEEDED TO ESTABLISH VEGETATION FOR TEMPORARY STABILIZATION. BASINS TO BE SEEDED AND MULCH BLANKETS APPLIED IMMEDIATELY TO PROVIDE A STABLE BASE AND AVOID EXCESSIVE EROSION.

SOIL EROSION & SEDIMENT CONTROL NOTES

1. ALL CONSTRUCTION METHODS SHALL BE DONE IN COMPLIANCE WITH [TRANSPORT AGENCY]-[ENVIRO. AGENCY]. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING A "SOIL EROSION PERMIT" FROM THE GOVERNING AUTHORITY AND A "PERMIT BY RULE/NOTICE OF COVERAGE" FROM THE GOVERNING AUTHORITY, IF APPLICABLE. PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL REQUIREMENTS OF THE "SOIL EROSION PERMIT" AND FOR ALL CERTIFIED STORM WATER INSPECTION SERVICE REQUIRED BY THE "PERMIT BY RULE." EROSION CONTROL MEASURES SHOWN ON THE PLANS ARE THE MINIMUM REQUIREMENTS AND SHALL NOT RELIEVE THE CONTRACTOR'S RESPONSIBILITY FOR PROVIDING ALL REQUIRED EROSION CONTROL MEASURES.

2. AVOID UNNECESSARY DISTURBING OR REMOVING OF EXISTING VEGETATED TOPSOIL OR EARTH COVER. THESE COVER AREAS ACT AS SEDIMENT FILTERS.

3. ALL TEMPORARY SOIL EROSION PROTECTION SHALL REMAIN IN PLACE UNTIL REMOVAL IS REQUIRED FOR FINAL CLEAN UP AND APPROVAL.

4. GEOTEXTILE SILT FENCE SHALL BE INSTALLED AS REQUIRED WHEN CROSSING CREEKS OR WHEN ADJACENT TO WETLANDS OR SURFACE WATER BODIES TO PREVENT SILTATION AND ELSEWHERE AS DIRECTED BY THE ENGINEER. SEEDING AND/OR SODDING SHALL BE INSTALLED ON CREEK BANKS IMMEDIATELY AFTER CONSTRUCTION TO PREVENT EROSION.

5. MAINTENANCE, CLEANING, AND REMOVAL OF THE VARIOUS SEDIMENT CONTROL MEASURES SHALL BE INCLUDED IN THE VARIOUS EROSION CONTROL ITEMS.

- ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE PER MDOT STANDARD DETAILS. "P" DENOTES PERMANENT MEASURE AND "T" DENOTES TEMPORARY MEASURE. SOIL EROSION CONTROL PLANS DENOTE MINIMUM EROSION MEASURES REQUIRED AS DESCRIBED BELOW.

- DENOTES PERMANENT SEEDING. ALL DISTURBED AREAS NOT PAVED OR GRAVELED SHALL BE RESTORED. PLACE TOPSOIL SURFACE, SALV. 3 INCH, MDOT SEEDING, MIXTURE TUF APPLIED AT A RATE OF 220 LB/ACRE, FERTILIZER, CHEMICAL NUTRIENT, CL A APPLIED AT A RATE OF 228 LB/ACRE; MULCH AT A RATE OF 2 TON/ACRE AND MULCH ANCHORING. (APPLIES TO ENTIRE PROJECT)

- DENOTES TEMPORARY SEEDING. TEMPORARY SEEDING SHALL BE PLACED AT LOCATIONS DETERMINED BY THE ENGINEER IN THE FIELD AND SHALL INCLUDE CEREAL RYE SEED APPLIED AT A RATE OF 70 LB/ACRE AND MULCH.

- DENOTES DUST CONTROL. DUST CONTROL MAY BE REQUIRED ON THE SUBGRADE CONSTRUCTION AND WILL INCLUDE APPLYING FRESH WATER TO BE INCLUDED IN THE ITEM OF EMBANKMENT. DUST CONTROL ON THE AGGREGATE BASE COURSE WILL BE ACCOMPLISHED BY APPLYING FRESH WATER (INCLUDED IN THE ITEM OF AGGREGATE BASE, 6 INCH) AND APPLYING DUST PALLIATIVE, APPLIED, $CaCl_2$ (TON) AS DIRECTED BY THE PROJECT ENGINEER.

- DENOTES AGGREGATE COVER/PERMANENT PAVEMENT RESTORATION

- DENOTES GRAVEL ACCESS APPROACH. APPROACH SHALL BE INSTALLED TO PROVIDE STABLE ACCESS TO ROADWAYS AND MINIMIZE DUST AND TRACKING OF MATERIALS ONTO PUBLIC STREETS AND HIGHWAYS. THE APPROACH SHALL BE A MINIMUM OF 12' WIDE, 6" DEEP, AND CONSIST OF 2"-4" AGGREGATE.

- DENOTES TEMPORARY SILT FENCE. SILT FENCE SHALL BE INSTALLED AT CREEK CROSSINGS, ADJACENT TO ALL WETLANDS AND SURFACE WATERS, AND OTHER LOCATIONS AS DIRECTED BY THE ENGINEER. EACH SILT FENCE SHALL BE INSTALLED GENERALLY ALONG THE SAME CONTOUR ELEVATION.

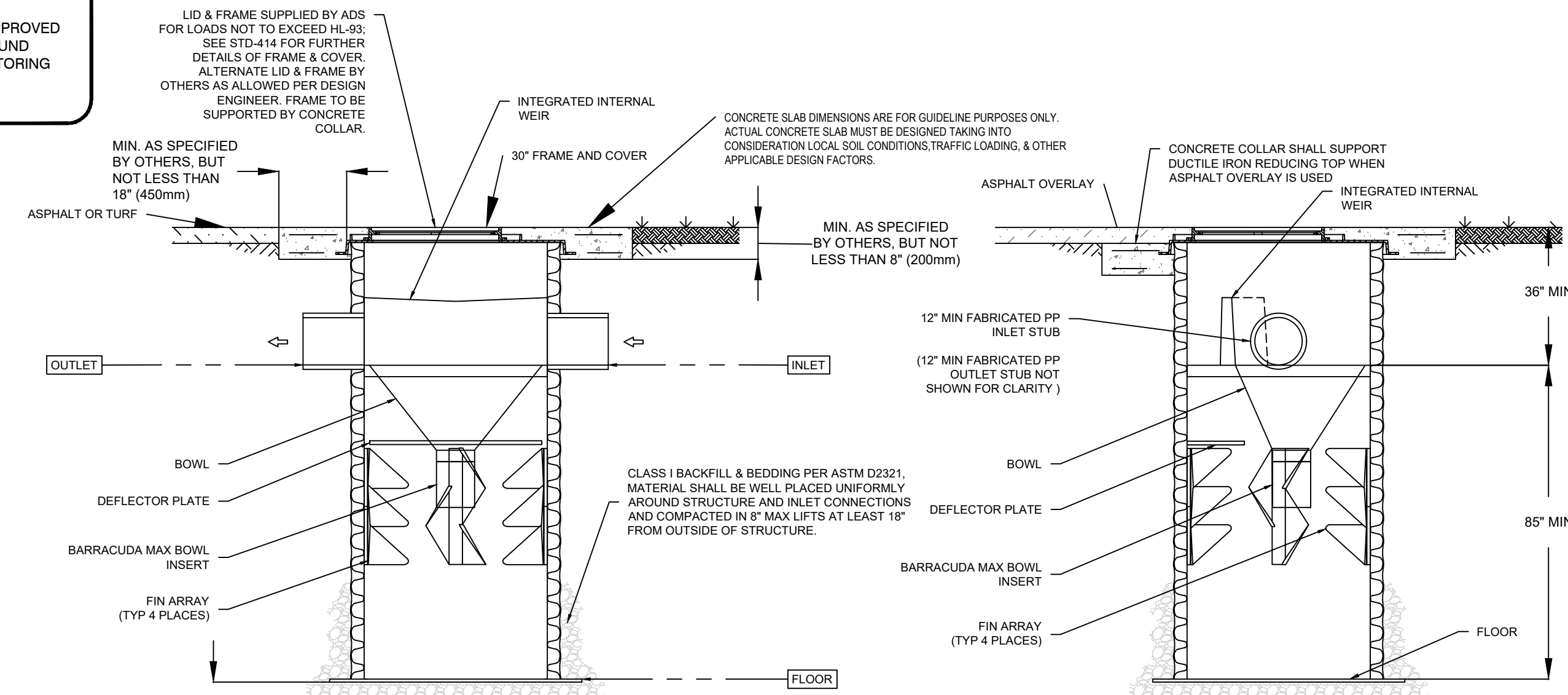
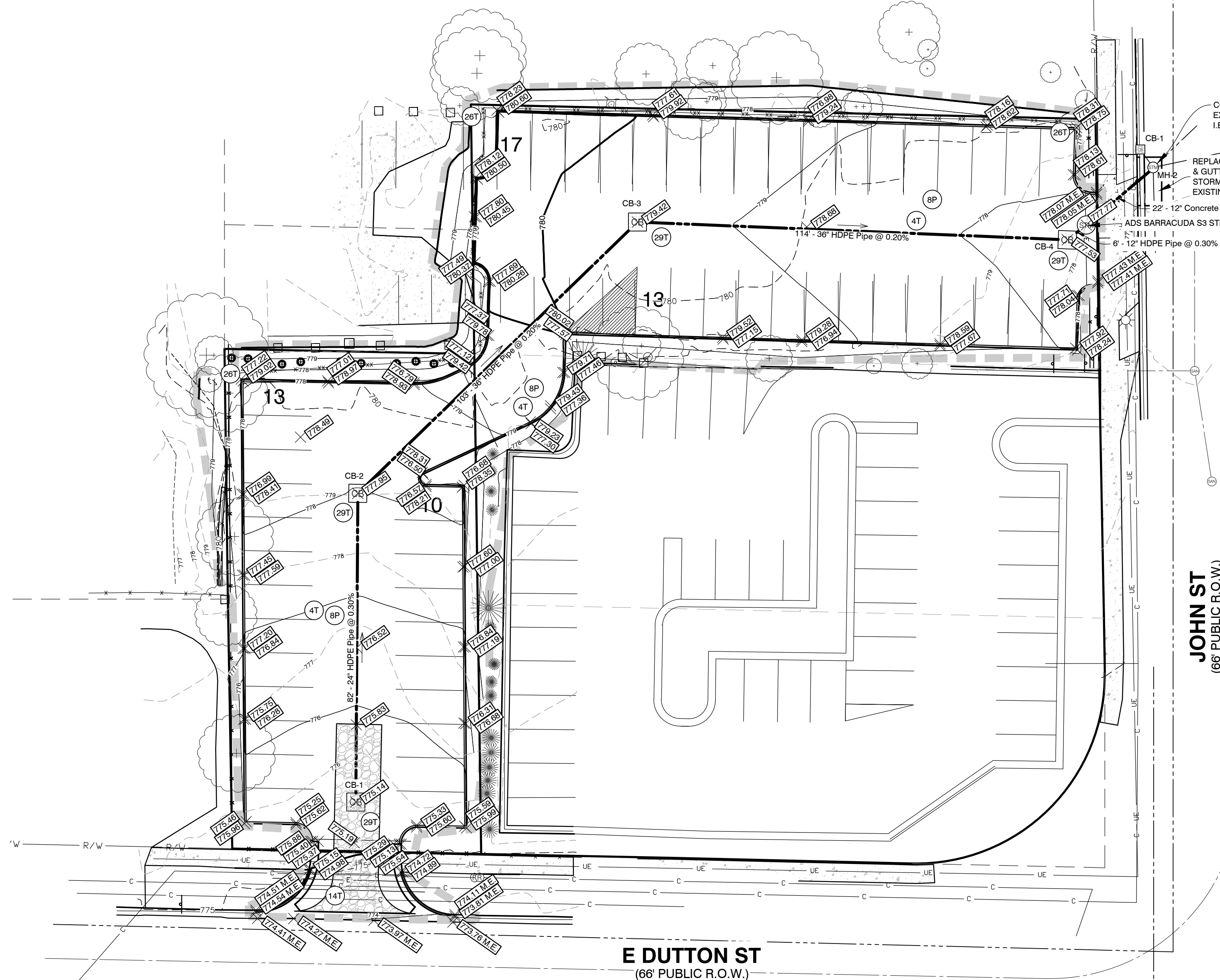
- DENOTES INLET PROTECTION FABRIC DROP. SHALL BE INSTALLED AT EXISTING AND PROPOSED STORM SEWER INLETS TO PROVIDE SETTLING AND FILTERING OF SILT LADEN WATER PRIOR TO ENTRY INTO THE DRAINAGE SYSTEM.

- DENOTES MULCH BLANKET OR MATTING. SHALL BE NORTH AMERICAN GREEN DS150, OR APPROVED EQUAL. MULCH BLANKETS SHALL BE PLACED ON ALL 1:3 SLOPES OR GREATER, IN AND AROUND DITCH BOTTOMS WHERE THERE IS NO BIOSWALE BY CONTRACTOR RESPONSIBLE FOR RESTORING THAT AREA.

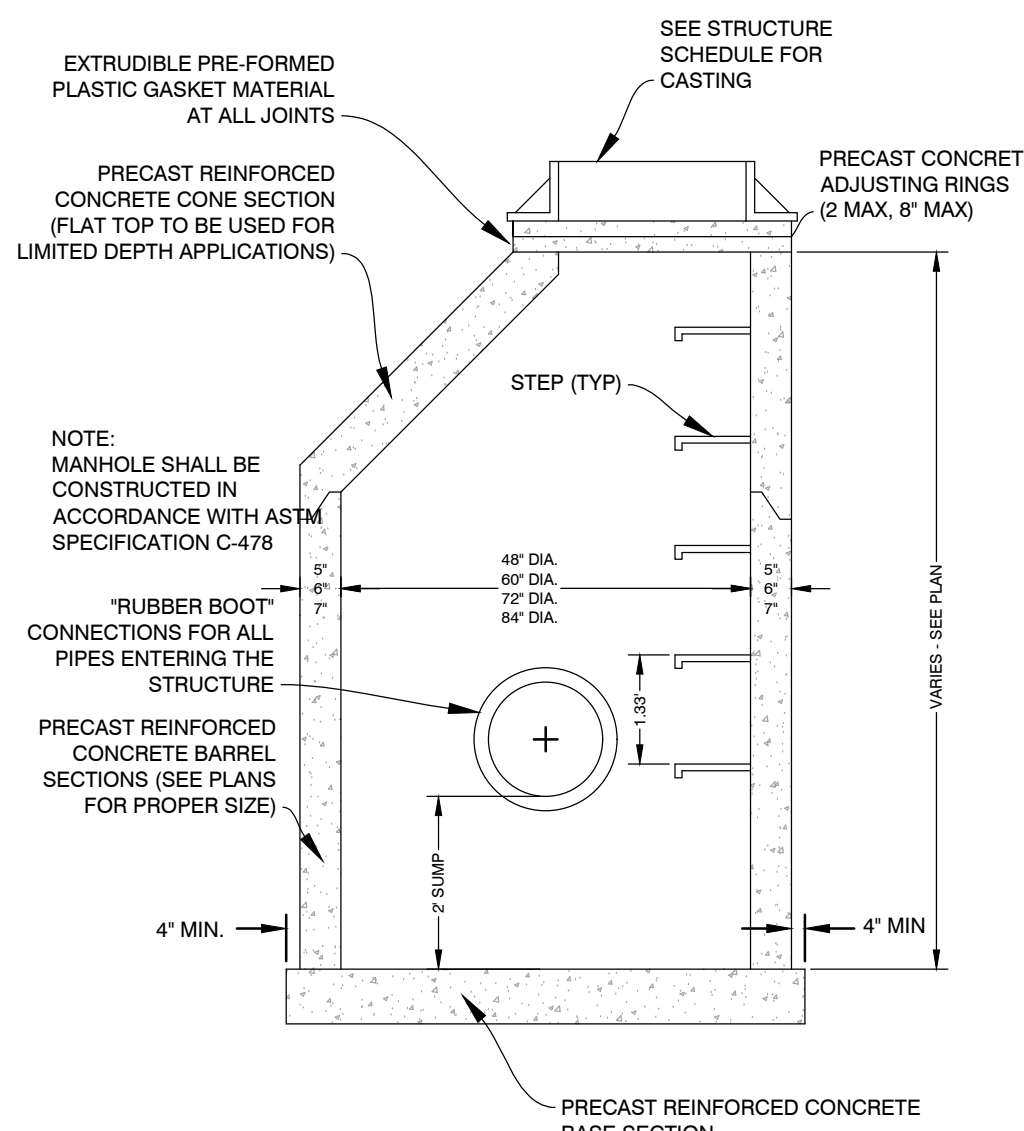
LEGEND

- LIMITS OF CONSTRUCTION
- SILT FENCE
- DRAINAGE ARROW

PLANS ARE IN NAD83 MICHIGAN STATE PLANES, SOUTH ZONE, INTERNATIONAL FOOT



BARRACUDA DETAIL



STORM CATCH BASIN DETAIL

BENCHMARK INFORMATION

- BM-1: ELEV: 781.43
SET NAIL IN EAST SIDE OF POWER POLE LOCATED 10' ± SOUTH OF SOUTH EDGE OF ASPHALT OF NORTH PARKING LOT AND 132' ± WEST OF THE WEST EDGE OF BIT OF JOHN ST.
- BM-2: ELEV: 780.32
SET OUT X ON SOUTH END OF CONCRETE RETAINING WALL LOCATED 90' NORTH OF NORTH EDGE OF BIT OF E DUTTON ST & 5' ± EAST OF EAST EDGE OF ASPHALT PARKING LOT.

EX. STORM STRUCTURE INFORMATION

- CB-1, 2' CONC. STRUCTURE
RIM = 777.33'
SE 12" RCP (INV. = 771.93')
SUMP = 771.33'

- MH-2, 4' CONC. STRUCTURE
RIM = 777.38'
NW 12" RCP (INV. = 771.58')
NE 12" RCP (INV. = 771.63')
ENE 12" RCP (INV. = 771.53')
S 12" RCP (INV. = 771.48')
PROPOSED: SW 12" HDPE PIPE 771.66
SUMP = 771.43'

- CB-3, 2' CONC. STRUCTURE
RIM = 777.24'
WSW 12" RCP (INV. = 772.39')
SUMP = 771.79'

PROPOSED STORM STRUCTURE INFORMATION

- CB-1, 2' DIA. EJIW 5105
RIM = 775.14
12" N 772.42 *

- CB-2, 4' DIA. EJIW 5105
RIM = 777.95
12" S 772.17 *
12" NE 772.17 *

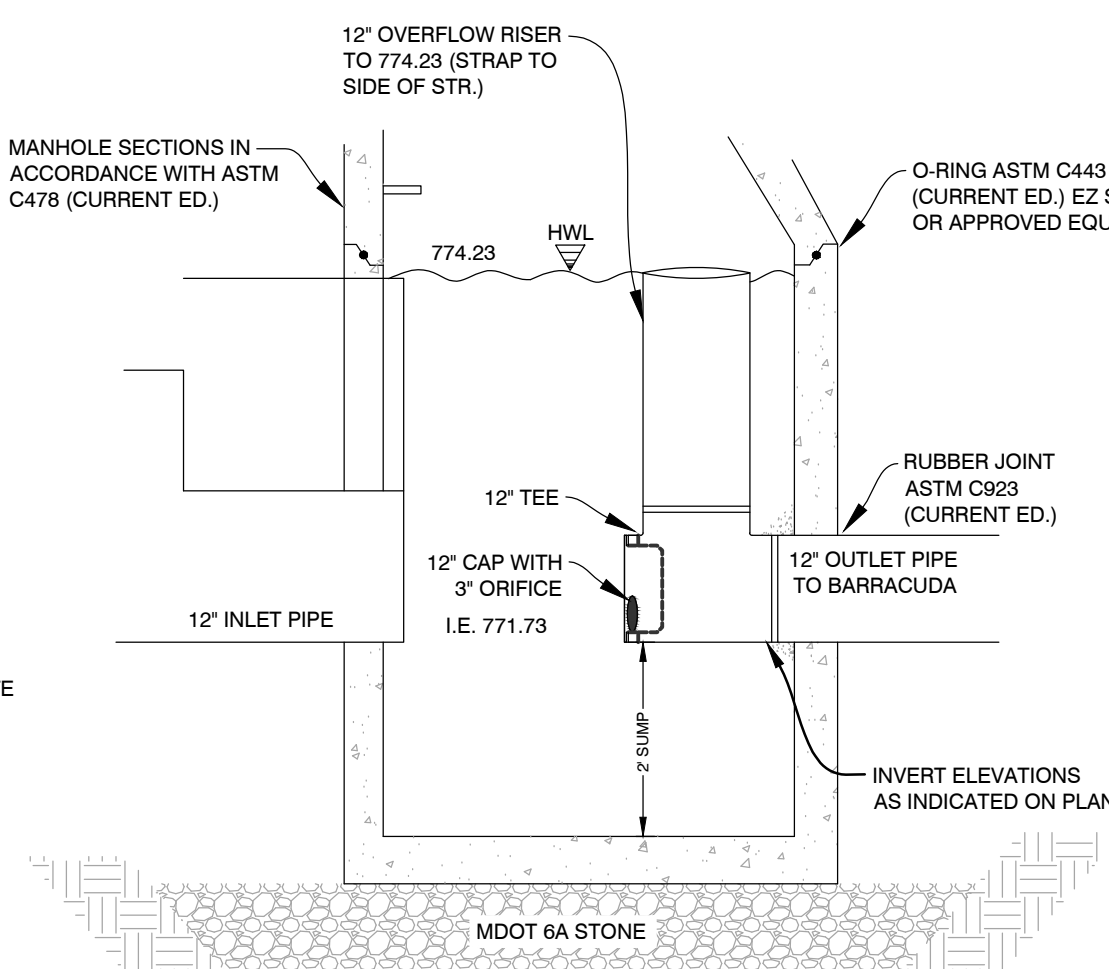
- CB-3, 5' DIA. EJIW 5105
RIM = 779.42
12" SW 771.96 *
12" E 771.96 *

- CB-4, 4' DIA. EJIW 5105
RIM = 777.53
12" W 771.74 **
12" NE 771.74

- BARRACUDA, 4' DIA. EJIW 1020 SOLID
RIM = 777.77
12" SW 771.72
12" NE 771.72

- * ALL NOTED PIPES TO HAVE 24" TO 12" REDUCING FITTINGS PRIOR TO ENTERING STRUCTURE

- ** ALL NOTED PIPES TO HAVE 36" TO 12" REDUCING FITTINGS PRIOR TO ENTERING STRUCTURE



CB-4 OUTLET STRUCTURE DETAIL

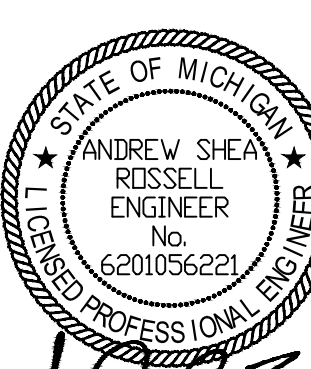


ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA. FIELD WORK PERFORMED BY: AR ENGINEERING & SURVEYING

PLANS PREPARED BY:



DRAWN: sap
CHECKED: ASR



ANDREW RUSSELL, P.E.
No. 6201036221

No.	DATE	BY	ISSUED FOR:
0	5/10/24	sap	OWNER REVIEW
1	9/18/24	sap	CITY RESUBMITTAL
2			
3			
4			

GRADING & UTILITY PLAN
JOHN STREET ER OVERFLOW LOTS
BRONSON HEALTHCARE GROUP
JOHN ST & DUTTON ST
SECTION 22, T02S, R11W

SHEET TITLE:
PROJECT:
CLIENT:
SITE ADDRESS:
SITE SECTION:





JOB NUMBER
22047013

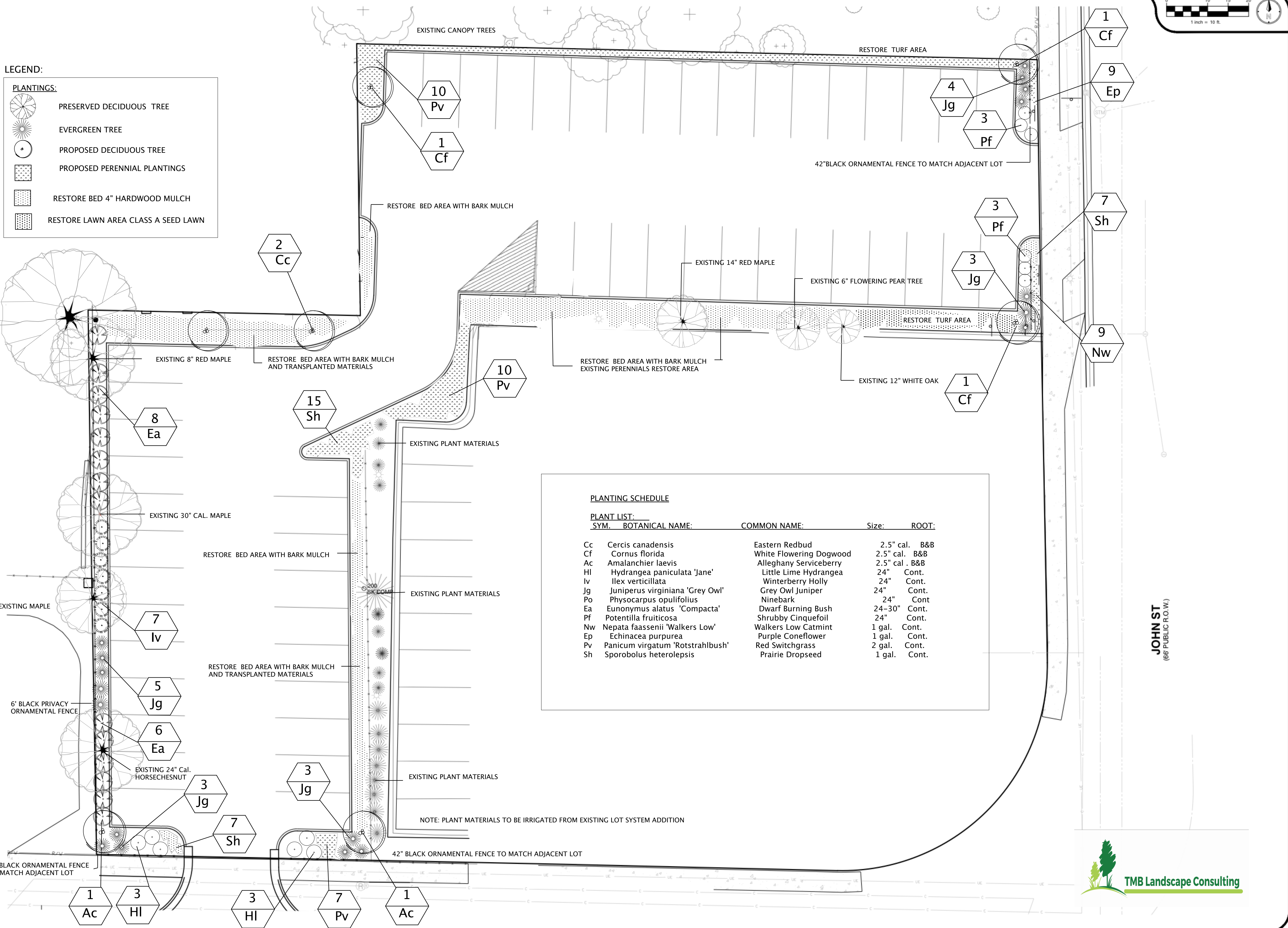
DATE
09/18/2024

SHEET NUMBER
C3.0

LEGEND:

PLANTINGS:

-  PRESERVED DECIDUOUS TREE
-  EVERGREEN TREE
-  PROPOSED DECIDUOUS TREE
-  PROPOSED PERENNIAL PLANTINGS
-



PLANTING SCHEDULE

PLANT LIST:

SYM.	BOTANICAL NAME:	COMMON NAME:	Size:	ROOT:
Cc	Cercis canadensis	Eastern Redbud	2.5" cal.	B&B
Cf	Cornus florida	White Flowering Dogwood	2.5" cal.	B&B
Ac	Amalanchier laevis	Alleghany Serviceberry	2.5" cal.	B&B
HI	Hydrangea paniculata 'Jane'	Little Lime Hydrangea	24"	Cont.
Iv	Ilex verticillata	Winterberry Holly	24"	Cont.
Jg	Juniperus virginiana 'Grey Owl'	Grey Owl Juniper	24"	Cont.
Po	Physocarpus opulifolius	Ninebark	24"	Cont.
Ea	Eunonymus alatus 'Compacta'	Dwarf Burning Bush	24-30"	Cont.
Pf	Potentilla fruticosa	Shrubby Cinquefoil	24"	Cont.
Nw	Nepata faassenii 'Walkers Low'	Walkers Low Catmint	1 gal.	Cont.
Ep	Echinacea purpurea	Purple Coneflower	1 gal.	Cont.
Pv	Panicum virgatum 'Rotstrahlbush'	Red Switchgrass	2 gal.	Cont.
Sh	Sporobolus heterolepsis	Prairie Dropseed	1 gal.	Cont.

PLANS PREPARED BY:



DRAWN: sap
CHECKED: ASR



No.	ISSUED FOR:	DATE	BY
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4			

LANDSCAPE PLAN
JOHN STREET ER OVERFLOW LOTS
BRONSON HEALTHCARE GROUP
JOHN ST & DUTTON ST
SECTION 22, T02S, R11W

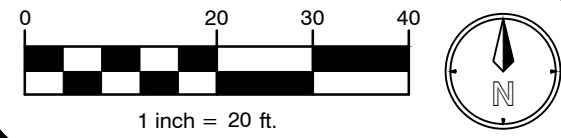
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PROJECT:
CLIENT:
SITE ADDRESS:
SITE SECTION:



JOB NUMBER
22047013
DATE
09/18/2024

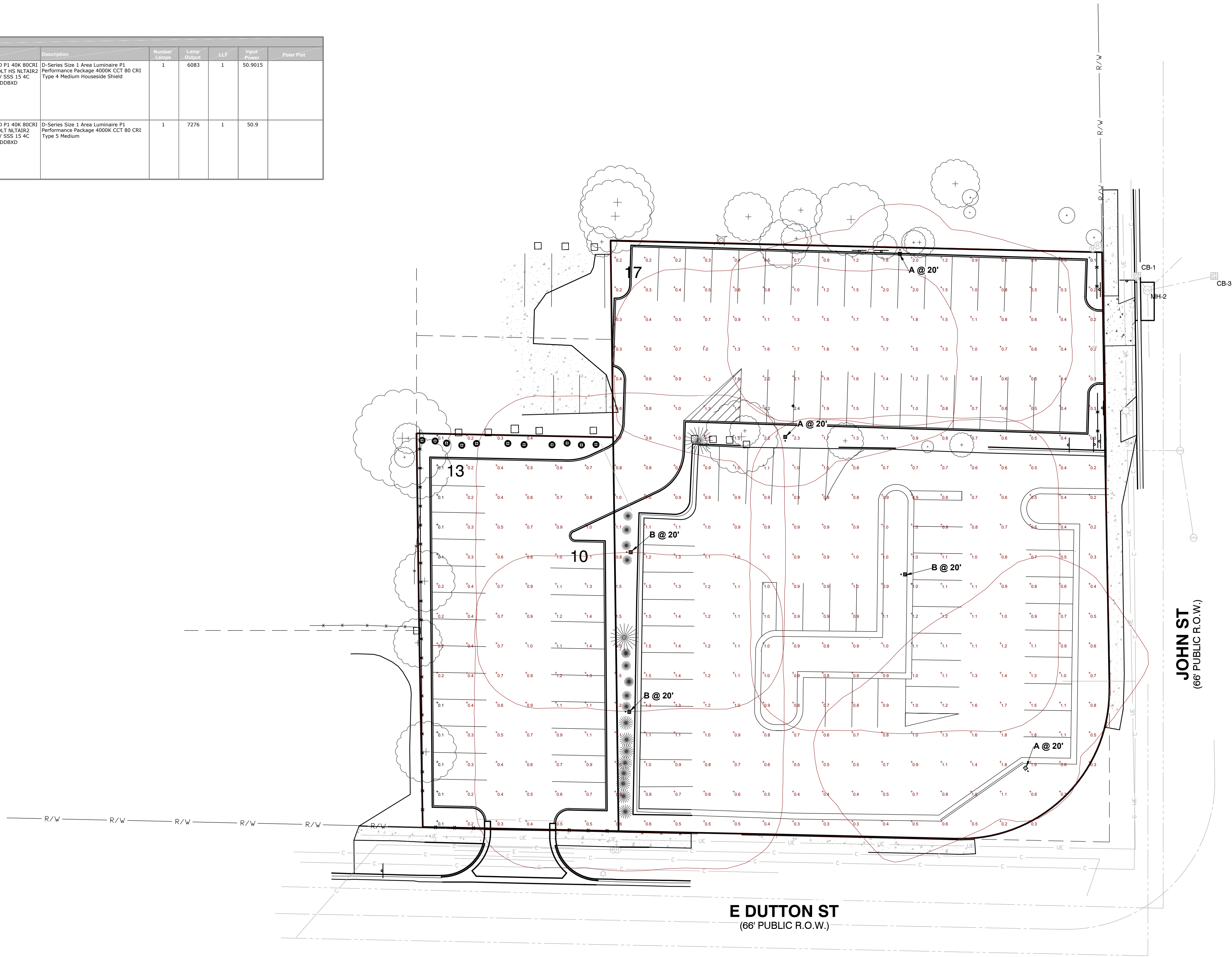
SHEET NUMBER
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PLANS ARE IN NAD83 MICHIGAN STATE
PLANES, SOUTH ZONE, INTERNATIONAL FOOT



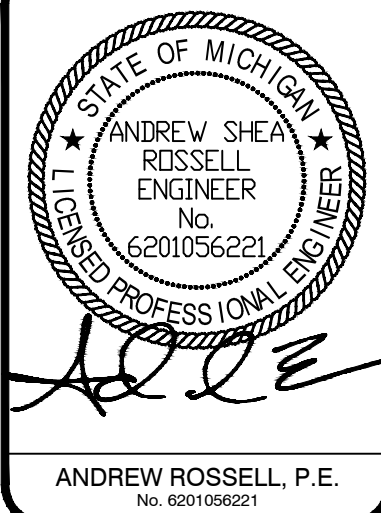
Schedule											
Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number	Lamp Output	LLF	Input Power	Polar Plot
	A		3	Lithonia Lighting	DSX1 LED P1 40K 80CRI 14M MVOLT HS NLTAIR2 PRHN W/ SSS 15 4C DW19AS DDBXD	D-Series Size 1 Area Luminaire P1 Performance Package 4000K CCT 80 CRI Type 4 Medium HouseSide Shield	1	6083	1	50.9015	
	B		3	Lithonia Lighting	DSX1 LED P1 40K 80CRI 15M MVOLT NLTAIR2 PRHN W/ SSS 15 4C DW19AS DDBXD	D-Series Size 1 Area Luminaire P1 Performance Package 4000K CCT 80 CRI Type 5 Medium	1	7276	1	50.9	



PLANS PREPARED BY:



DRAWN: sap
CHECKED: ASR



No.	ISSUED FOR:	DATE	BY
0	OWNER REVIEW	5/10/24	sap
1	CITY RESUBMITTAL	9/18/24	sap
2			
3			
4			

PHOTOMETRIC PLAN
JOHN STREET ER OVERFLOW LOTS
BRONSON HEALTHCARE GROUP
JOHN ST & DUTTON ST
SECTION 22, T02S, R11W

SHEET TITLE:
PROJECT:
CLIENT:
SITE ADDRESS:
SITE SECTION:

JOB NUMBER
22047013

DATE
09/18/2024

SHEET NUMBER
L2.0