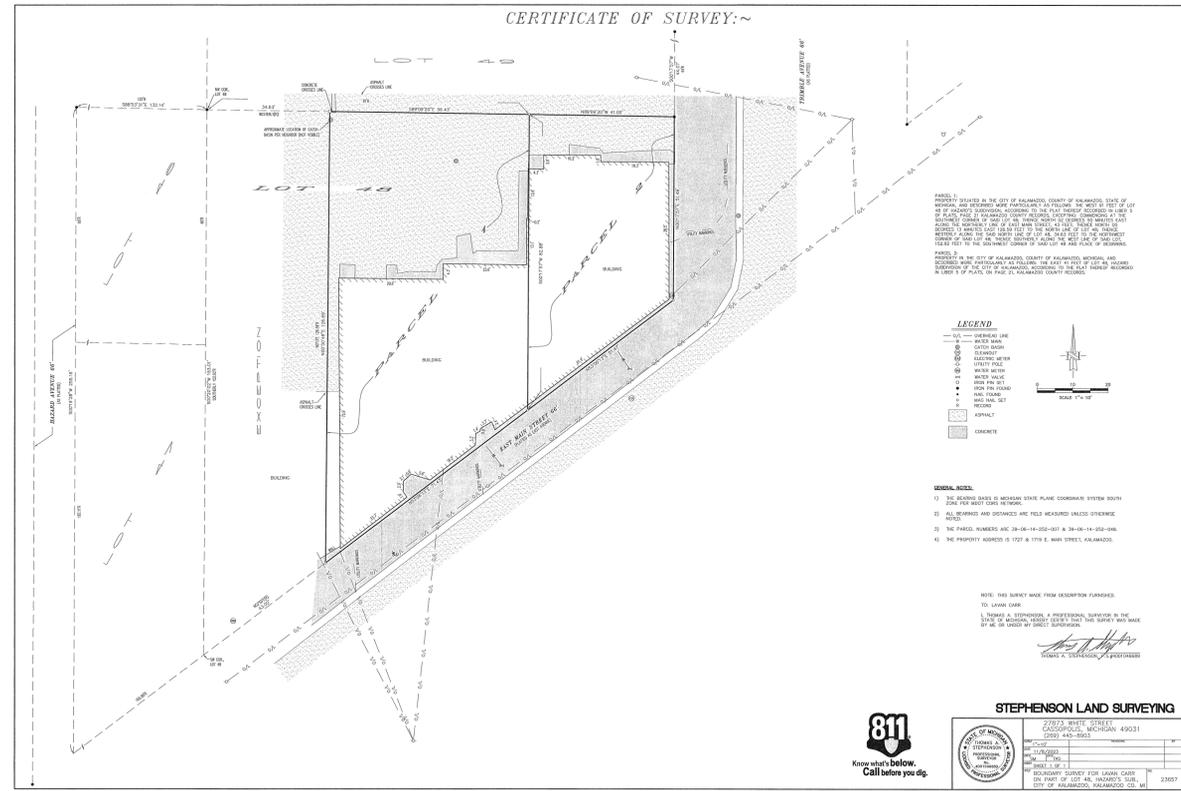


1727 & 1719 E. Main St.

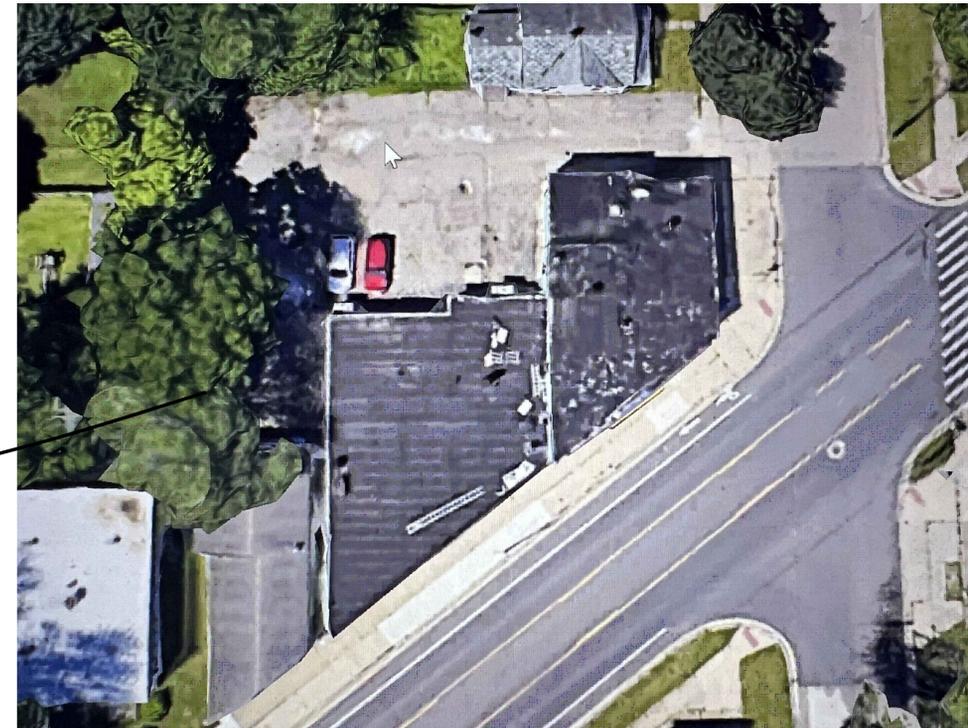
Kalamazoo, Michigan
Pastor Lavan Carr

SHEET INDEX:

- 1 TITLE, MAP, SURVEY
- 2 EXISTING SITE
- 3 EXISTING ELEVATIONS
- 4 PROPOSED SITE
- 5 PROPOSED ELEVATIONS
- 6 AREA 1: EXISTING
- 7 AREA 1: PROPOSED
- 8 AREAS 2 & 3: PROPOSED
- 9 AREA 4: PROPOSED



Site Plan Review
Received: 05/31/2024
City of Kalamazoo



Commercial Zone - LW1 - Flex - Storefront Entry
Parcels to the east, west & south also LW1
Parcels to the north are RS5

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269.767.1811

1

5.30.2024

1727 & 1719 E. Main St.
for: Pastor Lavan Carr
Kalamazoo, Michigan

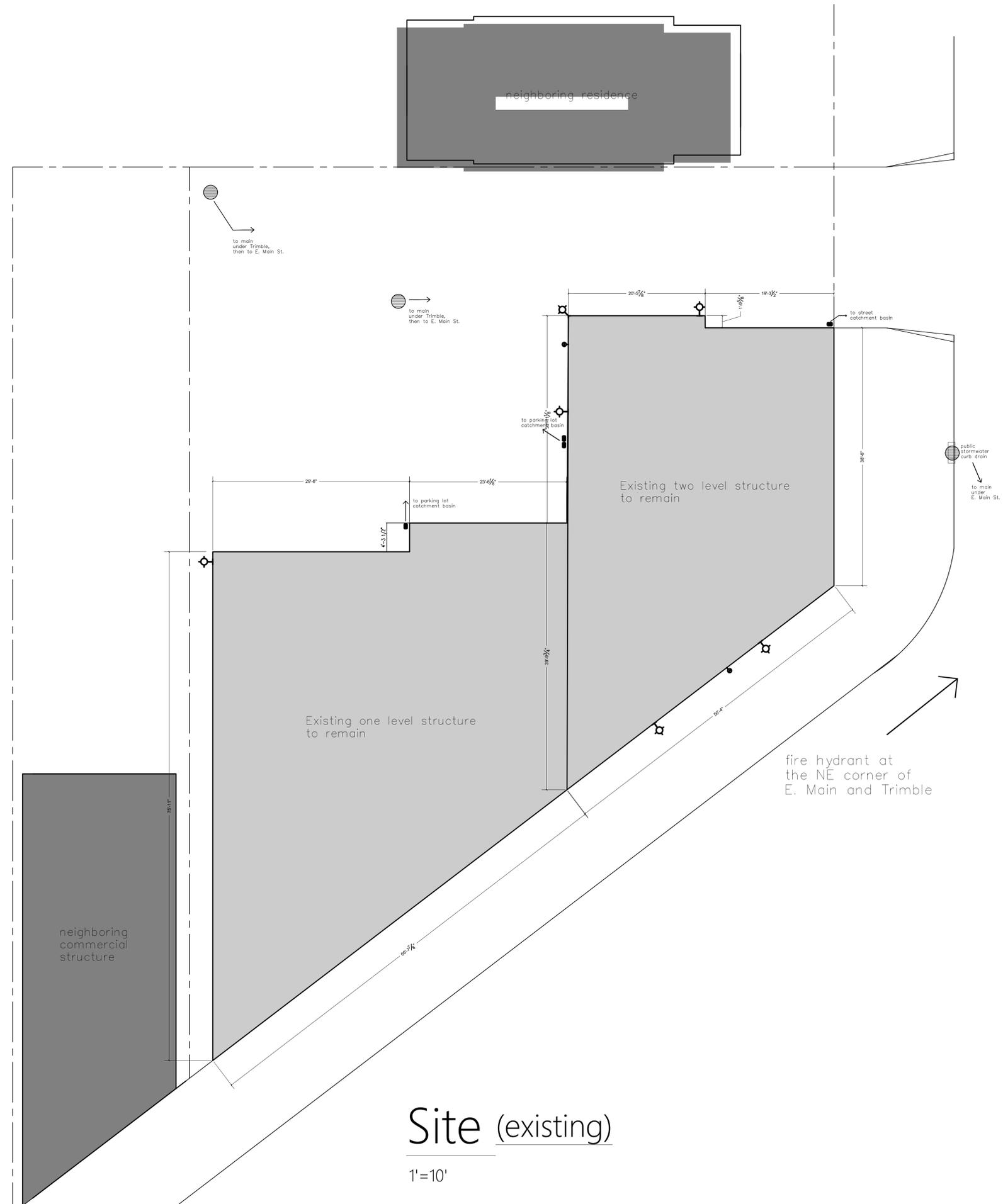
1719 & 1727 East Main Street, Kalamazoo

1719: Parcel Number: 06-14-252-048
 Legal Desc: 23430 HAZARDS SUBDIVISION
 OF SECTION 14 W 91ft of Lot 48 Exc W
 34.63ft.

1727: Parcel Number: 06-14-252-007
 Legal Desc: 23432 HAZARDS SUBDIVISION
 OF SECTION 14 E 41ft of Lot 48

Lot Square Footage: approx. 9,310
 Square Footage of catchment basin
 Covered by Structures: approx. 5,300
 Square Footage of Lot
 Covered by impervious
 materials (asphalt
 parking lot): approx. 3,850

-  wall mounted area light
-  downspout
-  security camera
-  catchment basin



Site (existing)

1"=10'

Brian Peterson 269.767.1811	
2	
Project	as shown
Date	3.13.2024
1727 & 1719 E. Main St. for: Pastor Lavan Carr Kalamazoo, Michigan	

-  wall mounted area light
-  downspout
-  security camera
-  catchment basin
-  Knox Box

Area 1:
 Mercantile – Store
 square footage – 1,965 s.f.
 occupancy load – 66
 (@ 30 s.f. per occupant)
 parking spaces – 10
 Single user unisex ADA restroom

Area 2:
 square footage – 1,000 s.f.
 occupancy load – 10
 (office – business occupancy
 @ 100 s.f. per occupant)
 parking spaces – 3
 Single use ADA restroom

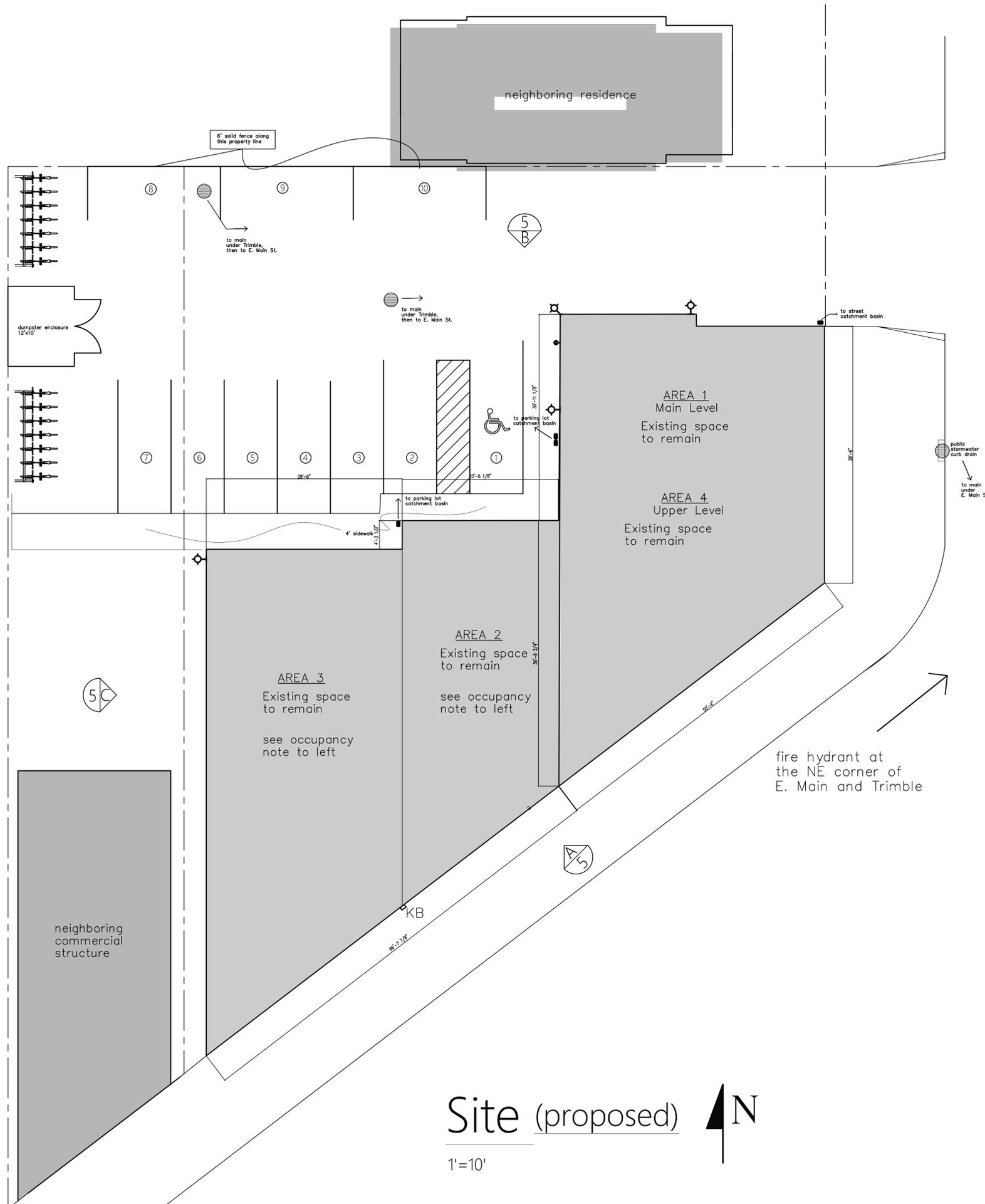
Area 3:
 Assembly (A3) – Fellowship Hall
 square footage – 1,700 s.f.
 occupancy load – 113
 (@ 15 s.f. per occupant)
 parking spaces – TBD

Men's: 1 WC (1 per 150), 1 lav
 Women's: 2 WC (1 per 75), 1 lav

Area 4:
 Residential

Only for informative purposes, still working on the layout and not planning on working on or occupying until sprinkler system is installed and approved by the city
 square footage – approx. 1,900 s.f.
 occupancy load – 13
 (residential occupancy
 @ 200 s.f. per occupant)
 parking spaces – 7

fire hydrant at the NW corner of E. Main and Hazard



Site (proposed)

1' = 10'



1727 & 1719 E. Main St.

for: Pastor Lavan Carr

Kalamazoo, Michigan

Brian Peterson
 269.767.1811

4

5.30.2024 removed phase wording

Project
 Date
 as shown

DRAWING LOCATION: H:\31-0000 (Carr Mixed Use - 1777 & 1778 E. Main)_FINAL DRAWINGS\Utility\Drawings - LAST SAVED BY: CESTARO ON 5/17/2024

UTILITY NOTES

1. FOR PROTECTION OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL CALL 1-800-482-7171 A MINIMUM OF THREE FULL WORKING DAYS EXCLUDING SATURDAYS, SUNDAYS AND HOLIDAYS PRIOR TO BEGINNING EACH EXCAVATION IN AREAS WHERE PUBLIC UTILITIES HAVE NOT BEEN PREVIOUSLY LOCATED. MEMBERS WILL BE ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING OWNERS WHO MAY NOT BE A PART OF THE "MISS DIG" ALERT SYSTEM.
2. ALL MATERIAL AND CONSTRUCTION WILL BE IN ACCORDANCE WITH THE MOST RECENT CONSTRUCTION STANDARDS AND SPECIFICATIONS OF THE STATE OF MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT). MDOT SPECIFICATIONS ARE SUBJECT TO THE CURRENT ADDENDA. IN ADDITION, ALL WORK WILL BE IN COMPLIANCE WITH ALL APPLICABLE FEDERAL AND STATE STANDARDS AND REGULATIONS.
3. PLACE SANITARY CLEANOUT EVERY 100' AND/OR AT BENDS ON ALL 6" SANITARY SEWER LEADS.
4. ALL BEDDING MATERIAL TYPES ARE TO BE PER MDOT SPEC. 603.06.
5. DEWATERING MAY BE REQUIRED TO INSTALL OR REMOVE SOME UTILITIES. REFER TO SPECIFICATIONS FOR SPECIFIC REQUIREMENTS. REFER TO GEOTECHNICAL REPORT FOR MORE INFORMATION.
6. ALL STRUCTURE CASTINGS TO BE EAST JORDAN IRON WORKS OR APPROVED EQUAL. SEE STRUCTURE TABLE FOR SPECIFIC CASTING AT EACH STRUCTURE.
7. STORM SEWERS SHALL BE CONCRETE C75-III, SOLID WALL ADS N-12 RIGID PIPE MEETING AASHTO M-294, TYPE S, OR APPROVED EQUAL INSTALLED PER THE REQUIREMENTS OF MDOT AND THE CITY OF KALAMAZOO. MANDREL TESTING SHALL BE PERFORMED PRIOR TO PAVING. USE CONCRETE PIPE WHERE INDICATED.
8. VERIFY LOCATION AND ELEVATION OF EXISTING SANITARY LEAD PRIOR TO ORDERING STRUCTURES AND CONSTRUCTION.
9. ALL WATER MAIN INSTALLED IN GROUNDWATER SHALL BE WRAPPED WITH POLYETHYLENE.
10. PROVIDE 18" WATER MAIN SEPARATION WHEN CROSSING OTHER UTILITIES. DEFLECT UNDER OTHER UTILITIES W/O USING FITTINGS WHENEVER POSSIBLE. SEE WATER MAIN PROFILE SHEET.
11. VERIFY NUMBER OF FITTINGS PRIOR TO ORDERING. TOTALS DO NOT INCLUDE VERTICAL DEFLECTIONS THAT MAY BE NEEDED.
12. THE CONTRACTOR SHALL INSTALL PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT AS REQUIRED.
13. CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT FOR GROUNDWATER AND SOILS INFORMATION. ANY UTILITIES REQUIRING DEWATERING SHALL BE INSTALLED TO THE CITY OF KALAMAZOO STANDARDS AND INCLUDED IN THE INSTALLATION COSTS. CONTRACTOR IS RESPONSIBLE FOR ALL DEWATERING NECESSARY TO CONSTRUCT UTILITIES IN THE DRY.
14. CONTRACTOR TO COORDINATE PRIVATE UTILITY CONNECTIONS WITH UTILITY COMPANIES.
15. SITE CONTRACTOR RESPONSIBLE FOR INSTALLATION OF ALL UTILITIES TO 5' FROM BUILDING WALL.
16. COORDINATE ALL UTILITY LOCATIONS AND ELEVATIONS WITH MECHANICAL DRAWINGS AND BUILDING CONTRACTOR PRIOR TO INSTALLATION.
17. SANITARY SEWER MATERIALS AND INSTALLATION SHALL COMPLY WITH CITY OF KALAMAZOO REQUIREMENTS. COORDINATE WORK AND INSPECTIONS WITH CITY OF KALAMAZOO.
18. WATER SUPPLY MATERIALS AND INSTALLATION SHALL COMPLY WITH CITY OF KALAMAZOO UTILITIES REQUIREMENTS AND SPECIFICATIONS. COORDINATE CONNECTIONS WITH CITY OF KALAMAZOO.
19. SEE SITE ELECTRICAL PLAN FOR LOCATION OF ALL ELECTRICAL SLEEVES AND CONDUIT.
20. UNDERGROUND ELECTRICAL SHALL BE PROVIDED TO THE SITE LIGHT POLES.
21. REMOVE SEDIMENT FROM ALL STRUCTURES ONCE PAVING IS COMPLETE AND REMOVE SILT SACKS.
22. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS BECOME APPARENT, THESE SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.

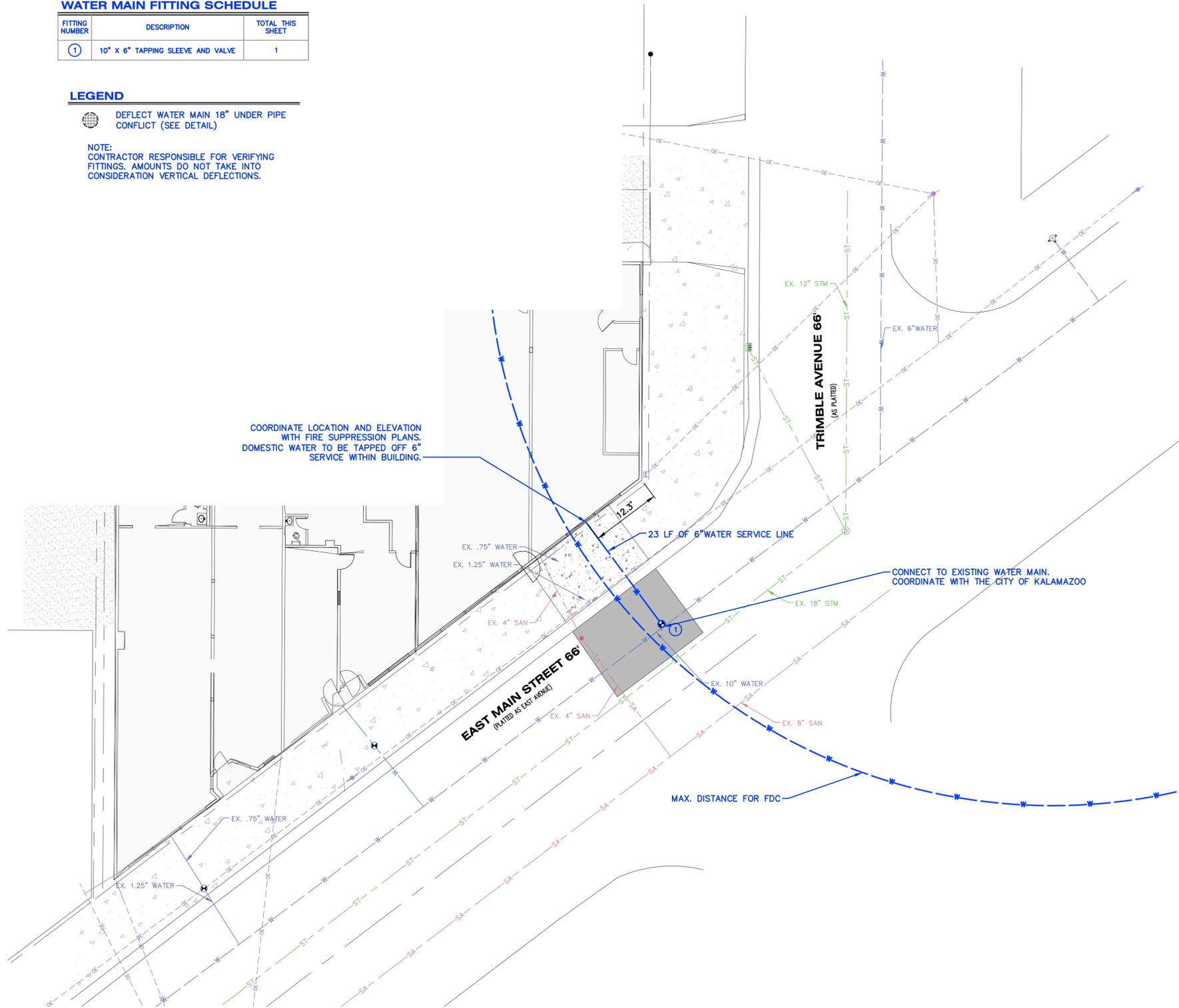
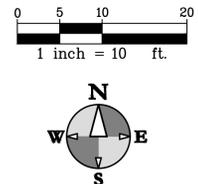
WATER MAIN FITTING SCHEDULE

FITTING NUMBER	DESCRIPTION	TOTAL THIS SHEET
1	10" X 6" TAPPING SLEEVE AND VALVE	1

LEGEND

 DEFLECT WATER MAIN 18" UNDER PIPE CONFLICT (SEE DETAIL)

NOTE:
CONTRACTOR RESPONSIBLE FOR VERIFYING FITTINGS. AMOUNTS DO NOT TAKE INTO CONSIDERATION VERTICAL DEFLECTIONS.



hurley & stewart, llc
2800 s. 11th street
kalamazoo, michigan 49009
269.552.4960 fax 269.552.4961
www.hurleystewart.com

Job No.: 24-056D - P.M.A.I.P. - Drt-LRC - QA/QC: 5/17/24

ISSUED FOR/REVISIONS:

NO.	DATE	DESCRIPTION
1	5/17/24	SITE PLAN REVIEW
2		
3		
4		

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**SITE UTILITY PLAN
CARR MIXED USE
PASTOR CARR**

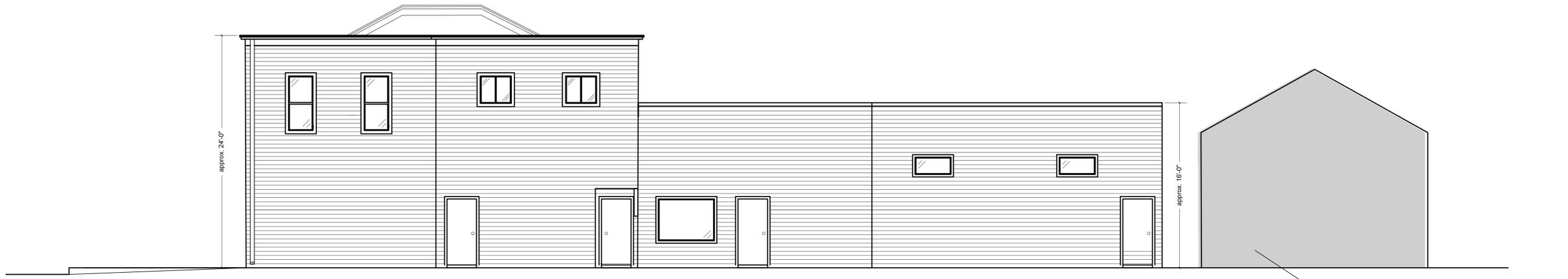


ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA.

Sheet Title:
Project:
Client:

5/17/24

Sheet
C-2



(B) Rear Elevation
North (existing)
 3/16" = 1'-0"

structure to the south



(A) Street-Facing Elevation
South & East (existing)
 3/16" = 1'-0"

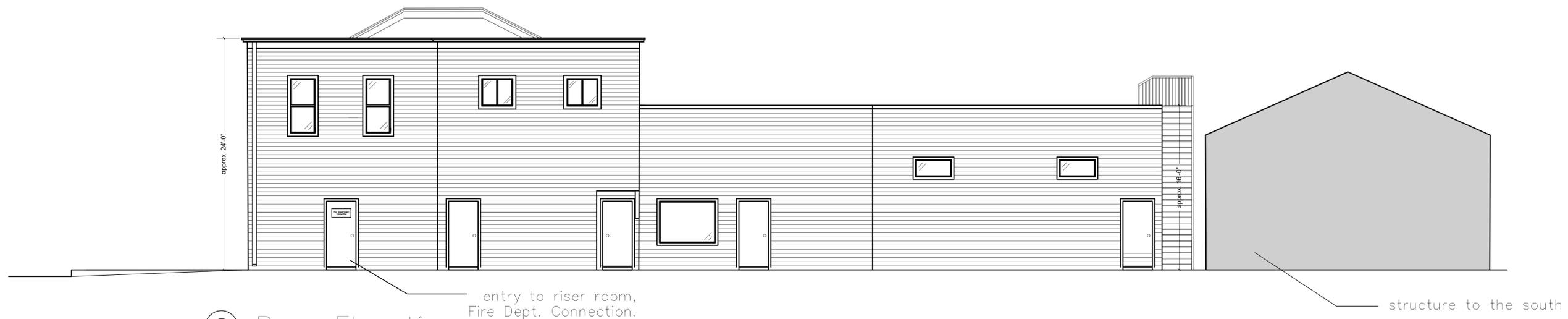
structure to the south

south ← east



(C) West (existing)
 3/16" = 1'-0"

Brian Peterson 269.767.1811	
<h1>3</h1>	
Project Date 3.1.2024	as shown
<h2>1727 & 1719 E. Main St.</h2> <p>for: Pastor Lavan Carr Kalamazoo, Michigan</p>	



(B) Rear Elevation North (proposed)
3/16"=1'-0"

entry to riser room,
Fire Dept. Connection.

structure to the south

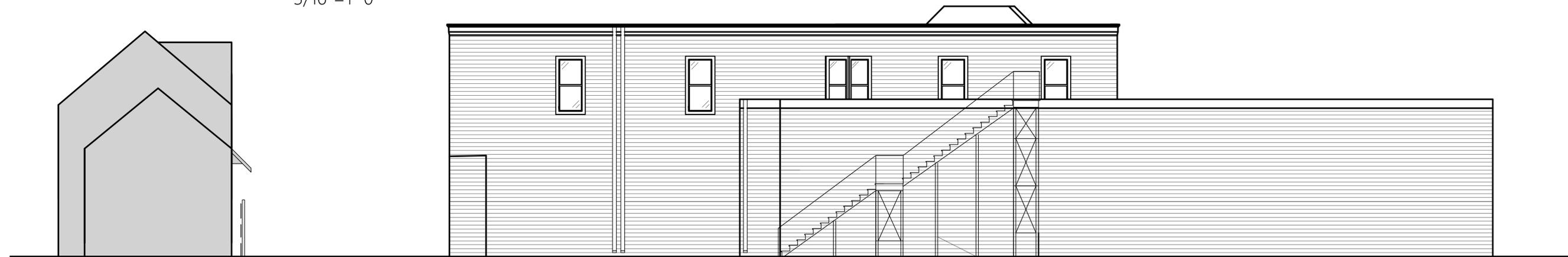


(A) Street-Facing Elevation South & East (proposed)
3/16"=1'-0"

Knox Box
(can be relocated to wherever deemed most convenient by the FD)

entry portico, please see Sheet 7

south ← east



(C) West (proposed)
3/16"=1'-0"

emergency egress stair (built to code) either metal or wood, plans & specs to be provided when material choice is determined

1727 & 1719 E. Main St.
for: Pastor Lavan Carr
Kalamazoo, Michigan

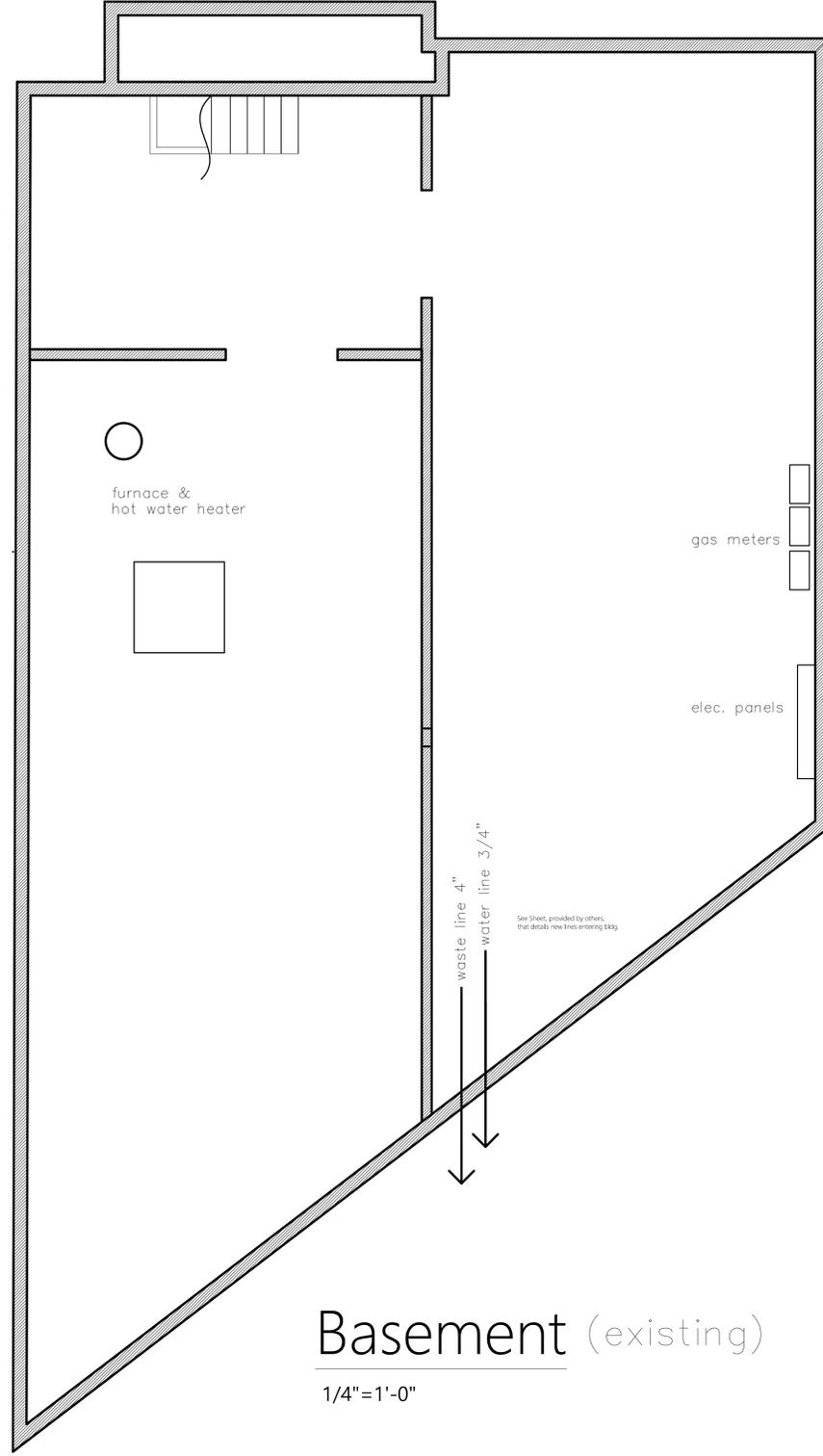
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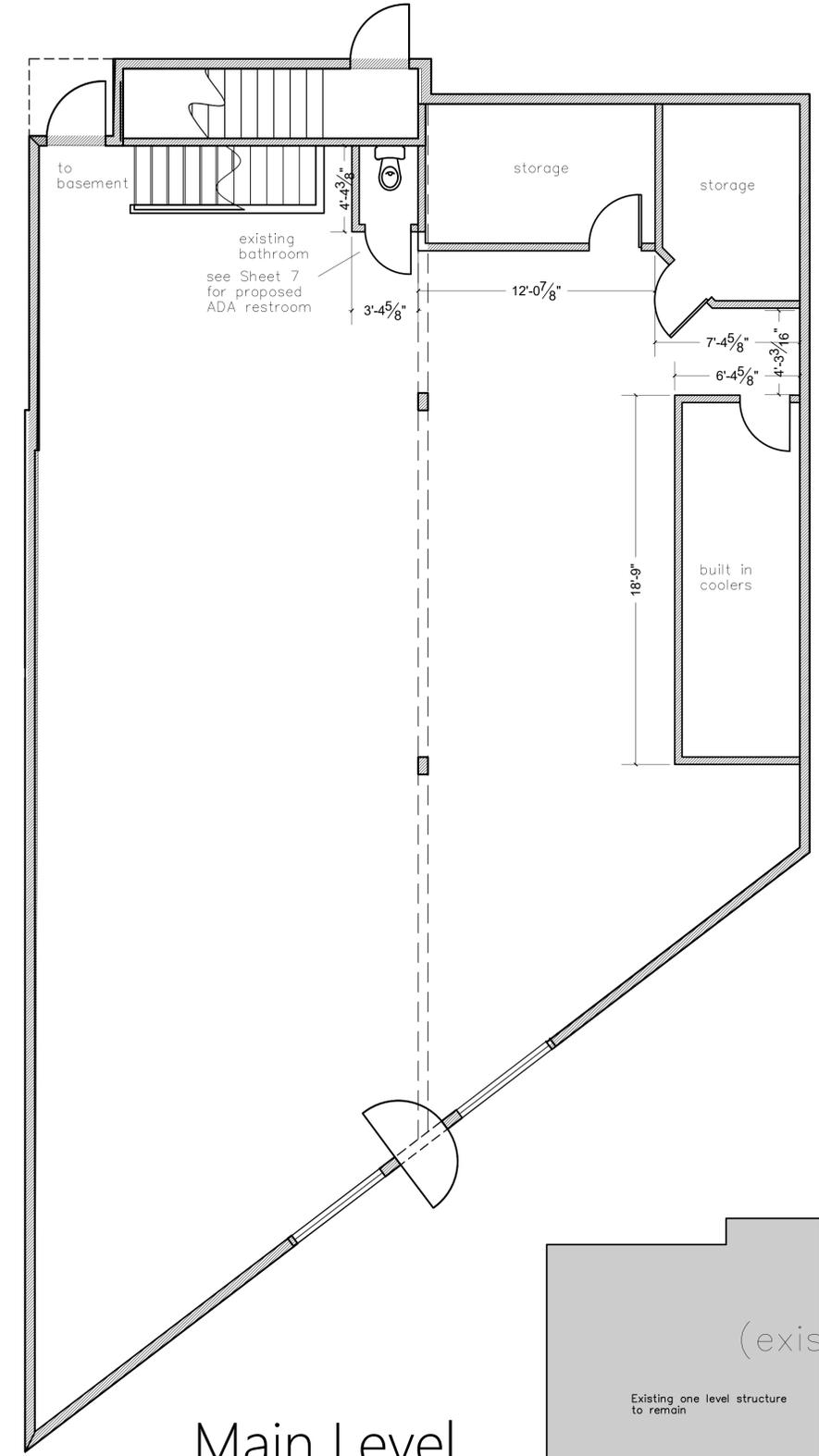
Date: 5.30.2024

Project: as shown

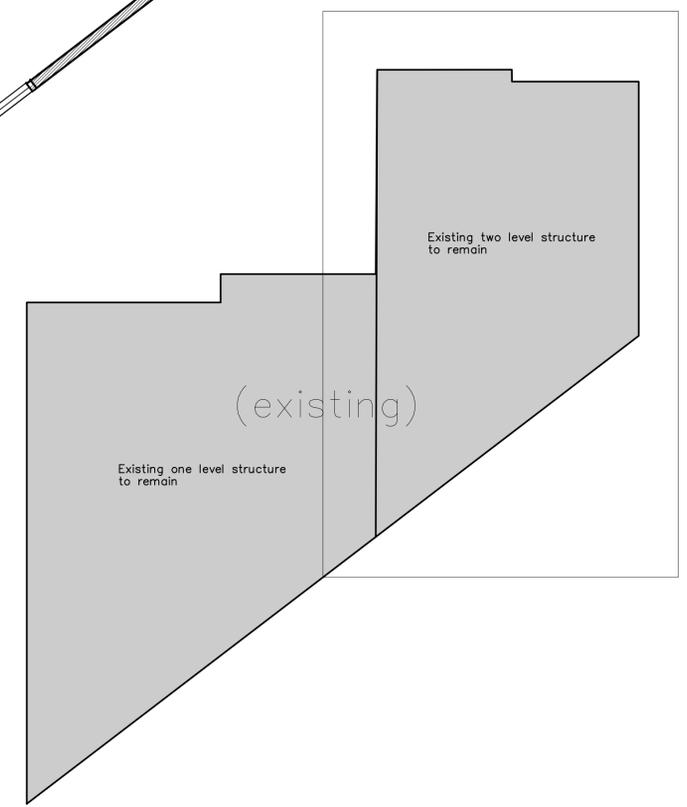
5.30.2024 added ext. edgress stair



Basement (existing)
1/4"=1'-0"



Main Level
1/4"=1'-0"

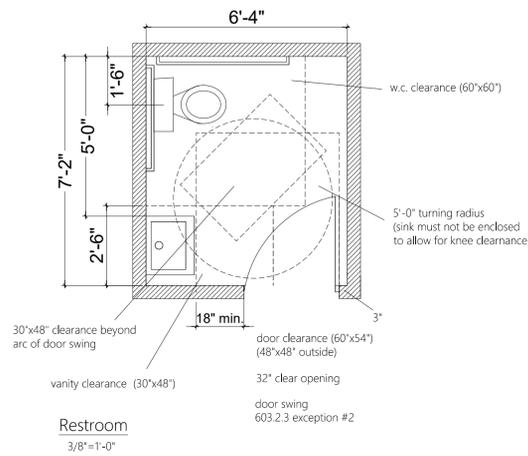
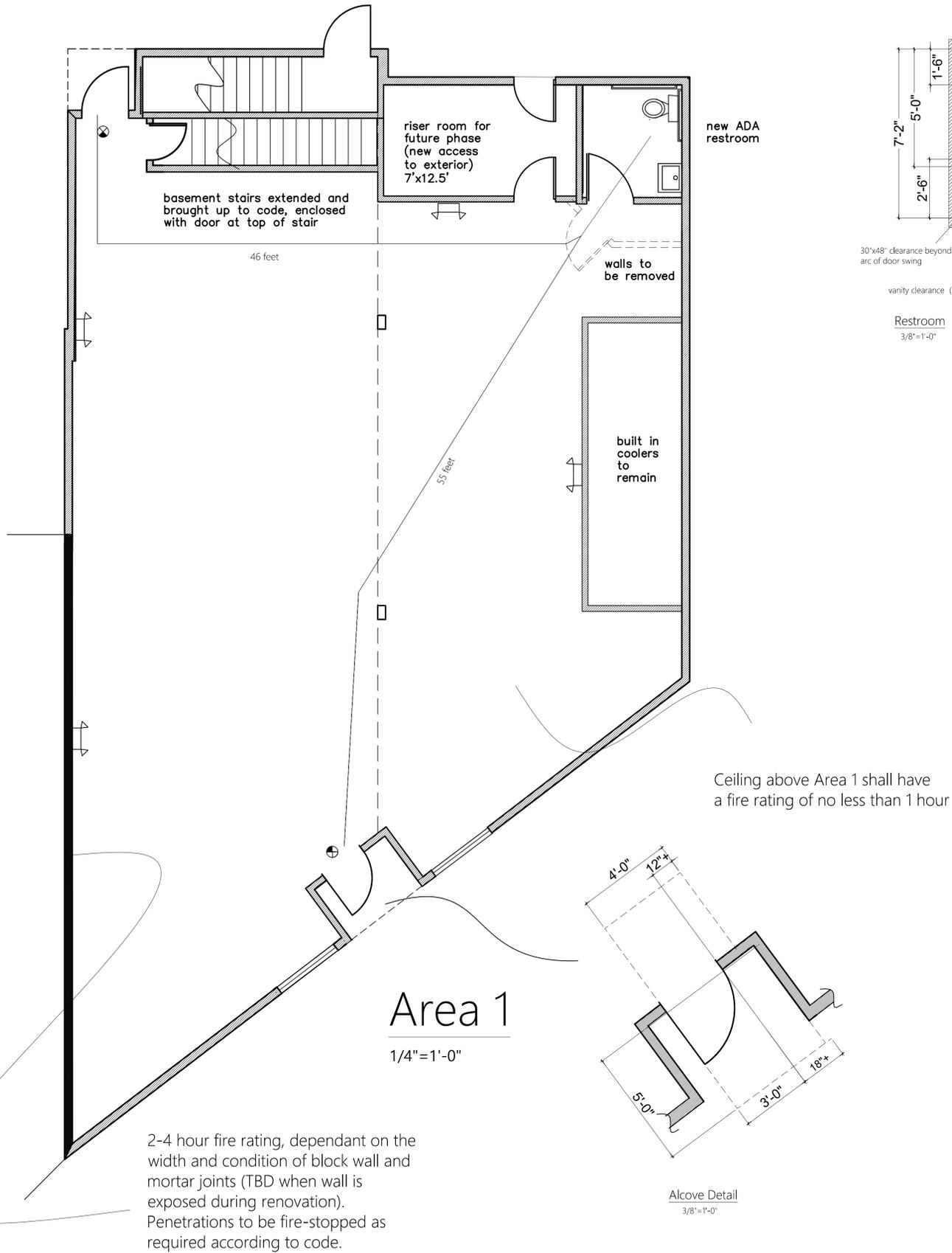


1727 & 1719 E. Main St.
for: Pastor Lavan Carr
Kalamazoo, Michigan

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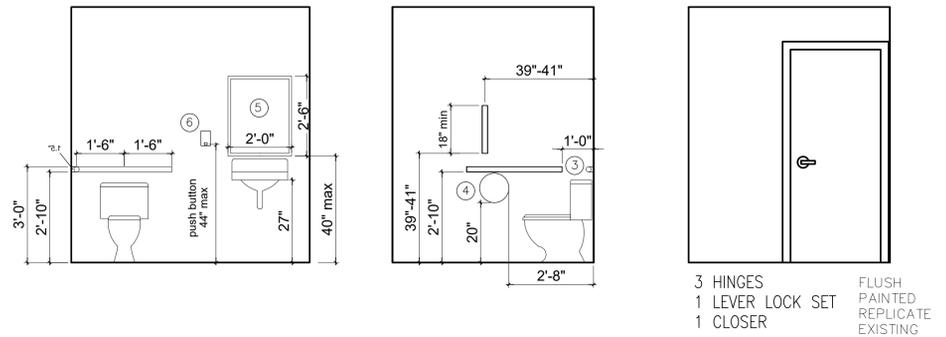
Project	6
Date	5.30.2024
Scale	1/4"=1'-0"

3.18.2024 added waste/water line sizes from main



PLUMBING & ANCILLARY FIXTURES		
Item	Manufacturer & Item Number	Notes
① Toilet	Amer. Standard Madera ADA Everclean Flushometer	Installed as drawn on Sheet 4 *
② Lavatory	Amer. Standard Comrade Wall-Mounted Sink	Installed as drawn on Sheet 4 * with ADA compliant faucet
③ Grab Bars	Bradley 817 Series 1.5"	Installed as drawn on Sheet 4 *
④ Toilet Paper Dispenser	Bobrick B2890	Installed as drawn on Sheet 4 *
⑤ Mirror	Bobrick B165 2430	Installed as drawn on Sheet 4 *
⑥ Soap Dispenser	Bobrick B-2111	Installed as drawn on Sheet 4 *

* In compliance with ADA regulations



Note: Exit and emergency lighting to be placed, installed, maintained and ensured to perform to Chapter 7 of the NFPA 101, Life Safety Code.

Install emergency lighting according to manufacturers specifications regarding placement to ensure proper illumination as specified by 7.9.2.1 of NFPA 101, Life Safety Code.

Ensure exit sign are mounted above the doors and visible from 75 feet away. All egress lighting is to point down to illuminate the egress path of travel.

All fire extinguishers are to be ABC extinguishers, unless noted otherwise. All extinguishers are to be tagged with the current year's inspection on it. Annual inspections are to occur for all fire extinguishers.

Hard-wired w/ battery back-up smoke alarm system to be installed in each space according to code.

All entry doors to have 32" clear opening (404.2.3) and ADA threshold (404.2.5)

48"x48" clear floor space for outswinging door, push side (48" deep and width of door plus 12" + latch side space width) and 60"x48" or 60" pull side (60" deep and width of door plus 18" min., 24" preferred latch side space width) (404.2.4)

All doors to have closer and latch

All door hardware to comply with ADA 404.2.7

No alterations to water needs at this time. Owner is discussing with a fire suppression firm to determine the needs for supplying water for a suppression system in future phases.

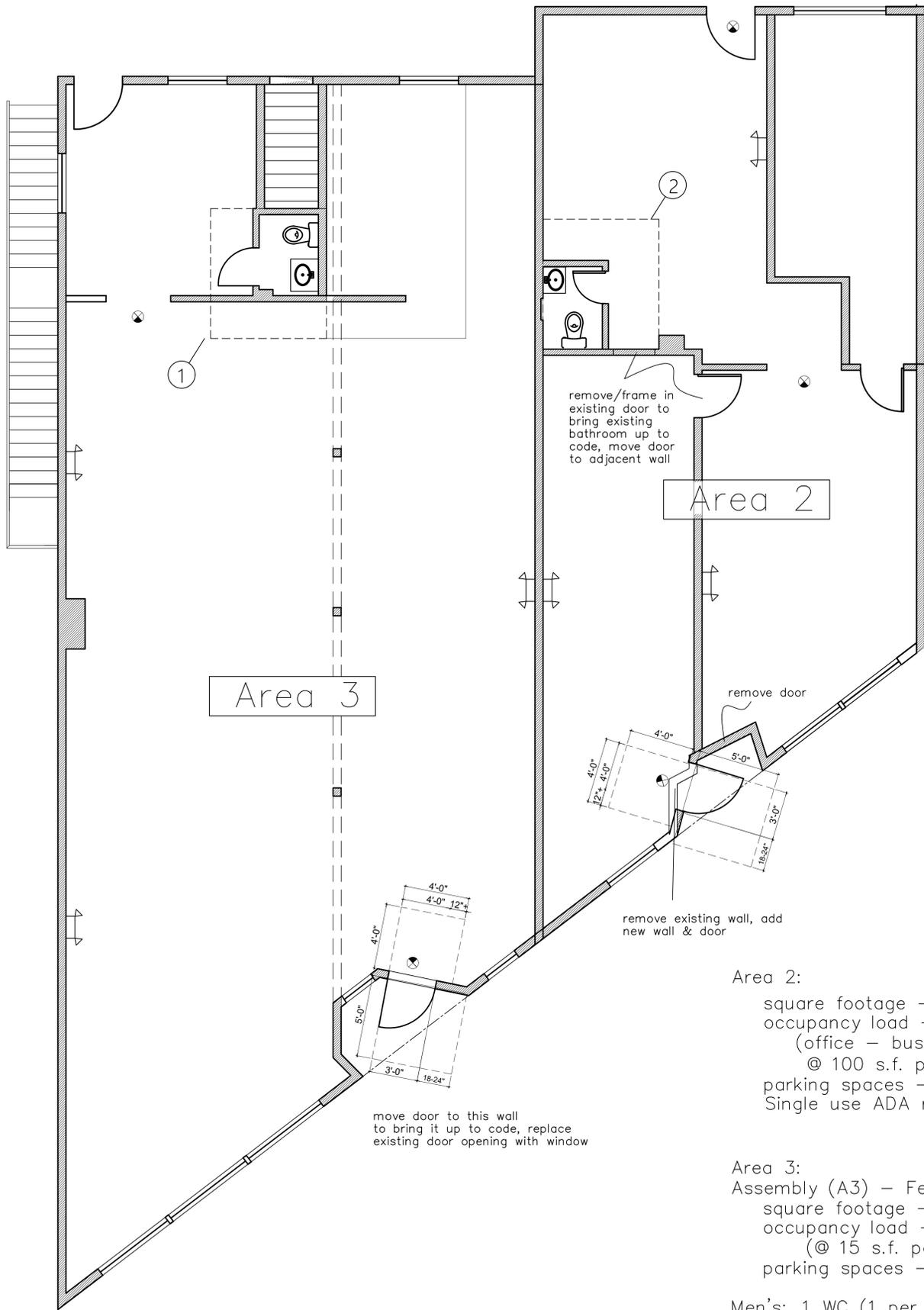
With the exception of spot repairs and creating sidewalks against the building, the parking lot area will remain the same.

1727 & 1719 E. Main St.
for: Pastor Lavan Carr
Kalamazoo, Michigan

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7
5.30.2024 added fire rating notation

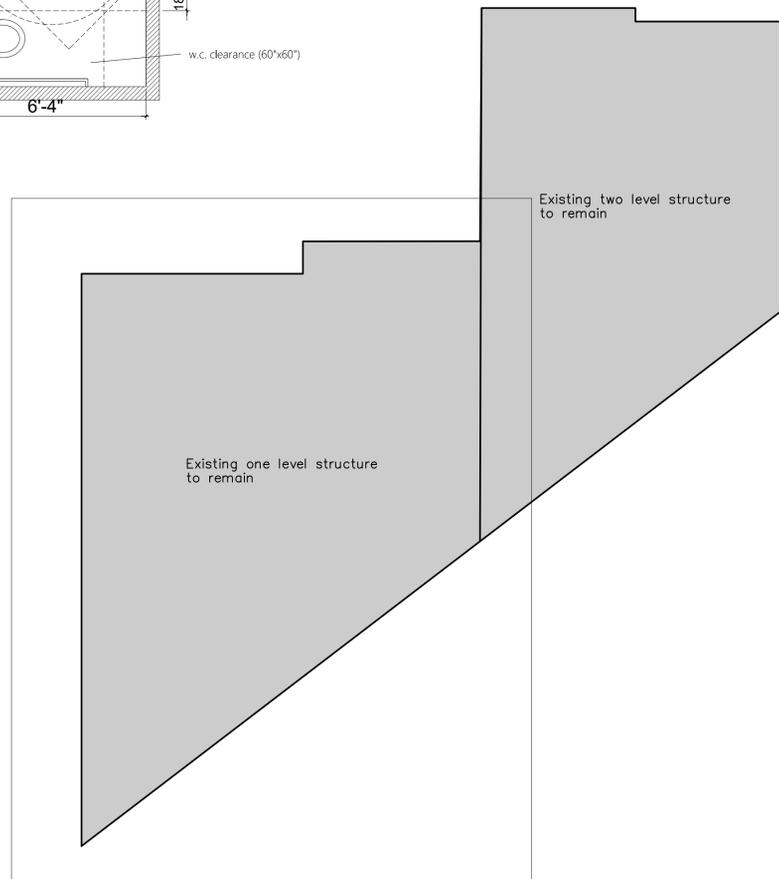
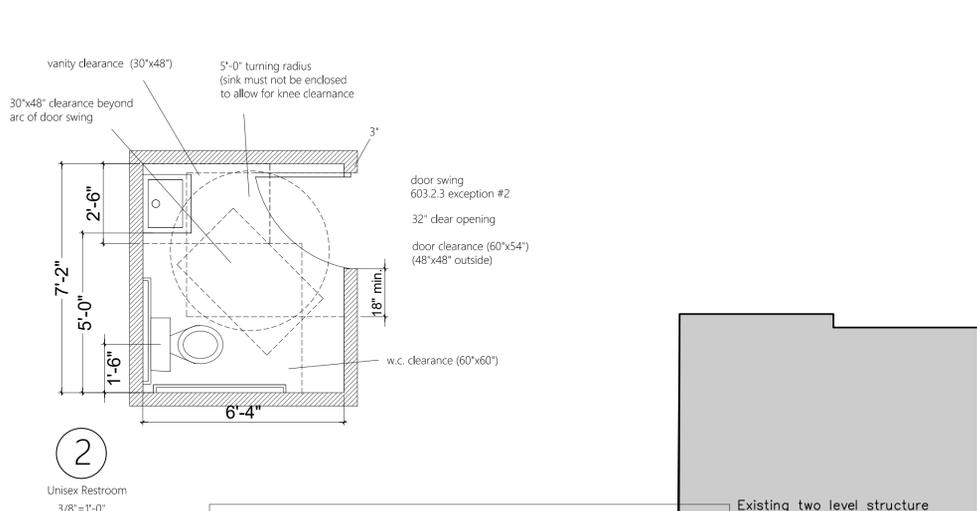
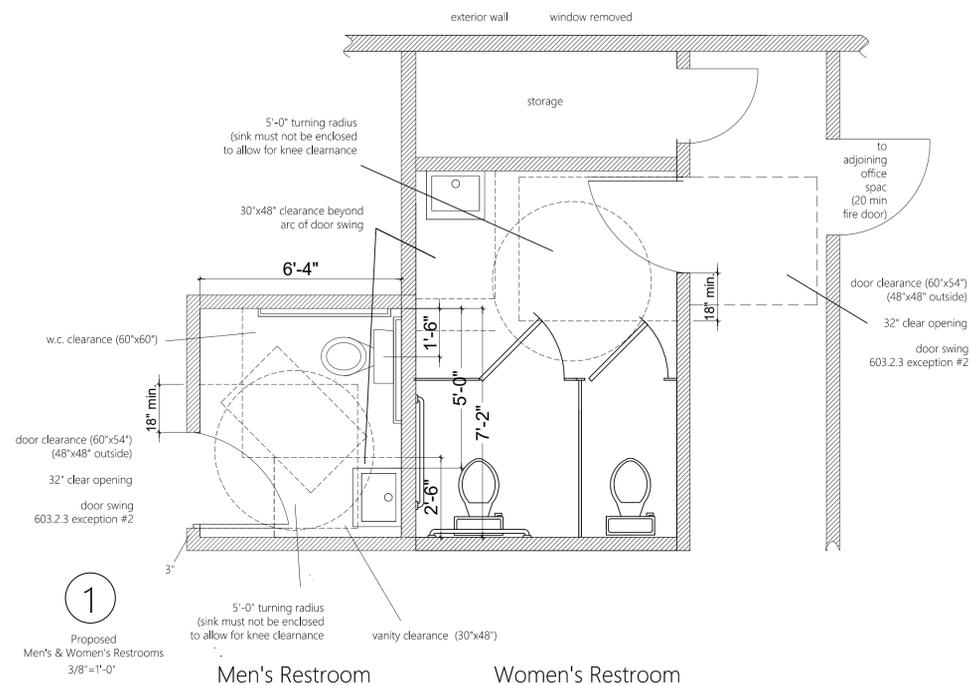
5.30.2024
as shown



Area 2:
 square footage – 1,000 s.f.
 occupancy load – 10
 (office – business occupancy
 @ 100 s.f. per occupant)
 parking spaces – 3
 Single use ADA restroom

Area 3:
 Assembly (A3) – Fellowship Hall
 square footage – 1,700 s.f.
 occupancy load – 113
 (@ 15 s.f. per occupant)
 parking spaces – TBD

Men's: 1 WC (1 per 150), 1 lav
 Women's: 2 WC (1 per 75), 1 lav



1727 & 1719 E. Main St.
 for: Pastor Lavan Carr
 Kalamazoo, Michigan

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8

Project
 Date 3.13.2024
 as shown

