

ROSE STREET PLAZA AND FARMERS ALLEY IMPROVEMENTS

CITY OF KALAMAZOO, MICHIGAN

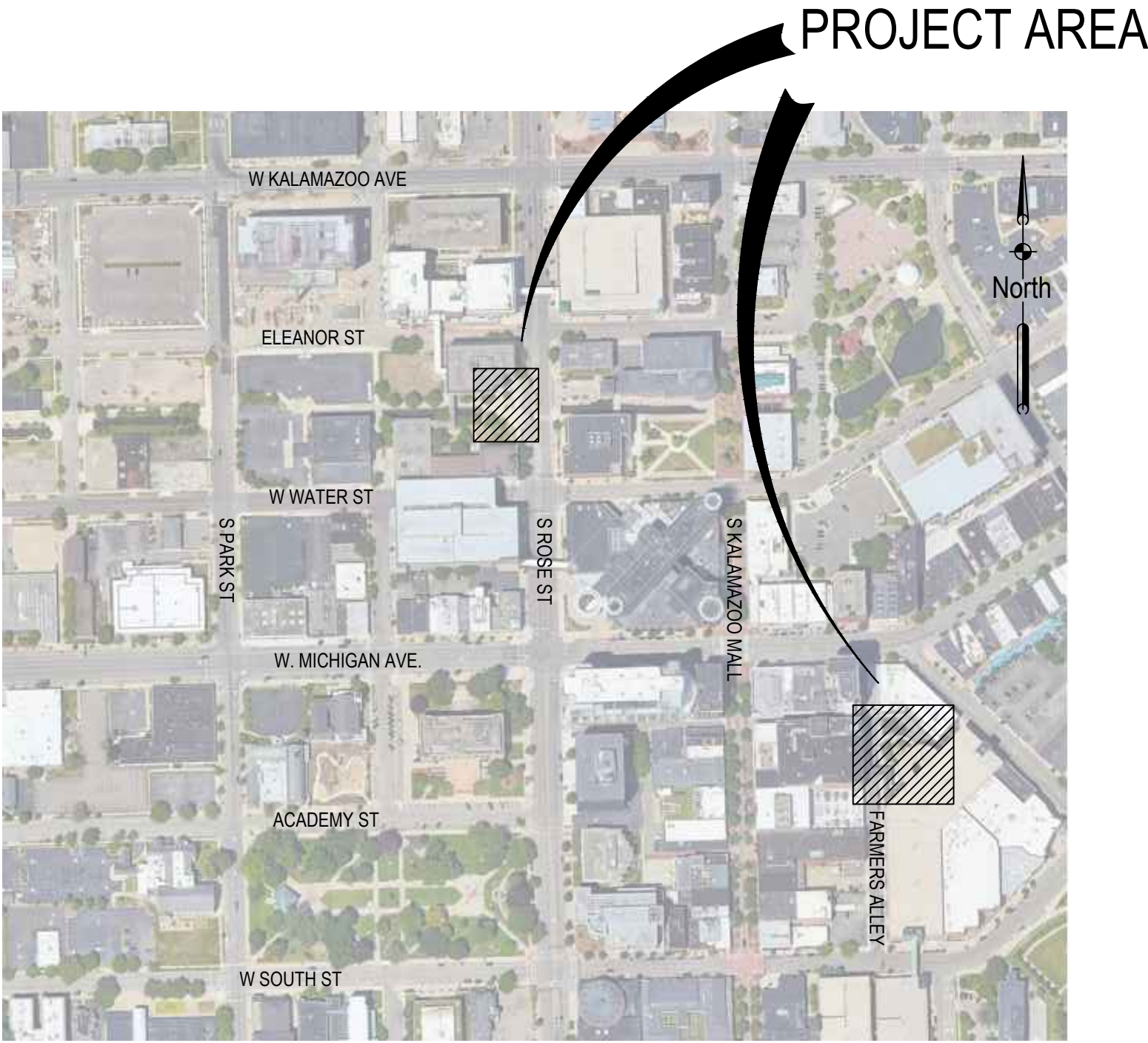
Site Plan Review
Received: 10/17/2025
City of Kalamazoo
E.Szymanski

OCTOBER 17, 2025
SITE PLAN REVIEW

SmithGroup Project Number: 00014735.000

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CD102	SESC & SITE PREPARATION PLAN - ROSE STREET PLAZA
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PROJECT LOCATION MAP

ALL AREAS WITHIN PROJECT LOCATION MAP ARE DESIGNATED DOWNTOWN IN THE CITY OF KALAMAZOO'S 2025 MASTER PLAN FUTURE LAND DEVELOPMENT MAP.

PROJECT DESCRIPTION

THE PROJECT INCLUDES HARDSCAPE AND LANDSCAPE IMPROVEMENTS TO ROSE STREET PLAZA AND FARMERS ALLY. THERE WILL BE MINIMAL CHANGES TO EXISTING GRADES AND EXISTING STORMWATER FLOW. THE PROJECT DOES NOT INCLUDE UTILITY WORK. IMPROVEMENTS WILL BE ON PRIVATE PROPERTY, WITHIN THE RIGHT-OF-WAY, AND ON CITY OF KALAMAZOO PROPERTY.

ALIGNMENT WITH 2025 MASTER PLAN

THE PROPOSED IMPROVEMENTS FOCUS ON TWO GOALS FROM THE 2025 MASTER PLAN: A CONNECTED CITY AND INVITING PUBLIC SPACES. THE PROJECT WILL IMPROVE PEDESTRIAN CONNECTIVITY BY REPLACING PAVEMENT IN POOR CONDITION. ADDITIONALLY, IT WILL ADDRESS THE GOAL OF CREATING INVITING PUBLIC SPACES BY INTEGRATING ART FEATURES, SUCH AS A MURAL ON THE PAVEMENT IN FARMERS ALLEY. ACCESSIBILITY AND SAFETY ARE CENTRAL TO THE DESIGN. THE SPACES WILL BE FULLY ACCESSIBLE AND THE IMPROVEMENTS ADDRESS SAFETY ISSUES AT BOTH LOCATIONS. THE IMPROVED ROSE STREET PLAZA WILL PROTECT PEDESTRIANS BY CREATING BARRIERS TO PREVENT VEHICLES FROM DRIVING ONTO THE PEDESTRIAN-ONLY SPACE, A CURRENT SAFETY ISSUE. THE FARMERS ALLEY IMPROVEMENTS WILL INCREASE VISIBILITY TO AND THROUGH THE SPACE TO IMPROVE SAFETY.

RIGHT-OF-WAY WORK, TRAFFIC CONTROL

A TRAFFIC CONTROL PLAN, INCLUDING THE TIMELINE OF RIGHT-OF-WAY WORK, SIDEWALK CLOSURES, AND OTHER RELATED TRAFFIC CONTROL MEASURES TO BE DEVELOPED BY THE CONTRACTOR AND SUBMITTED TO THE CITY DURING PERMITTING. CONTRACTOR TO FOLLOW MUTCD REQUIREMENTS.

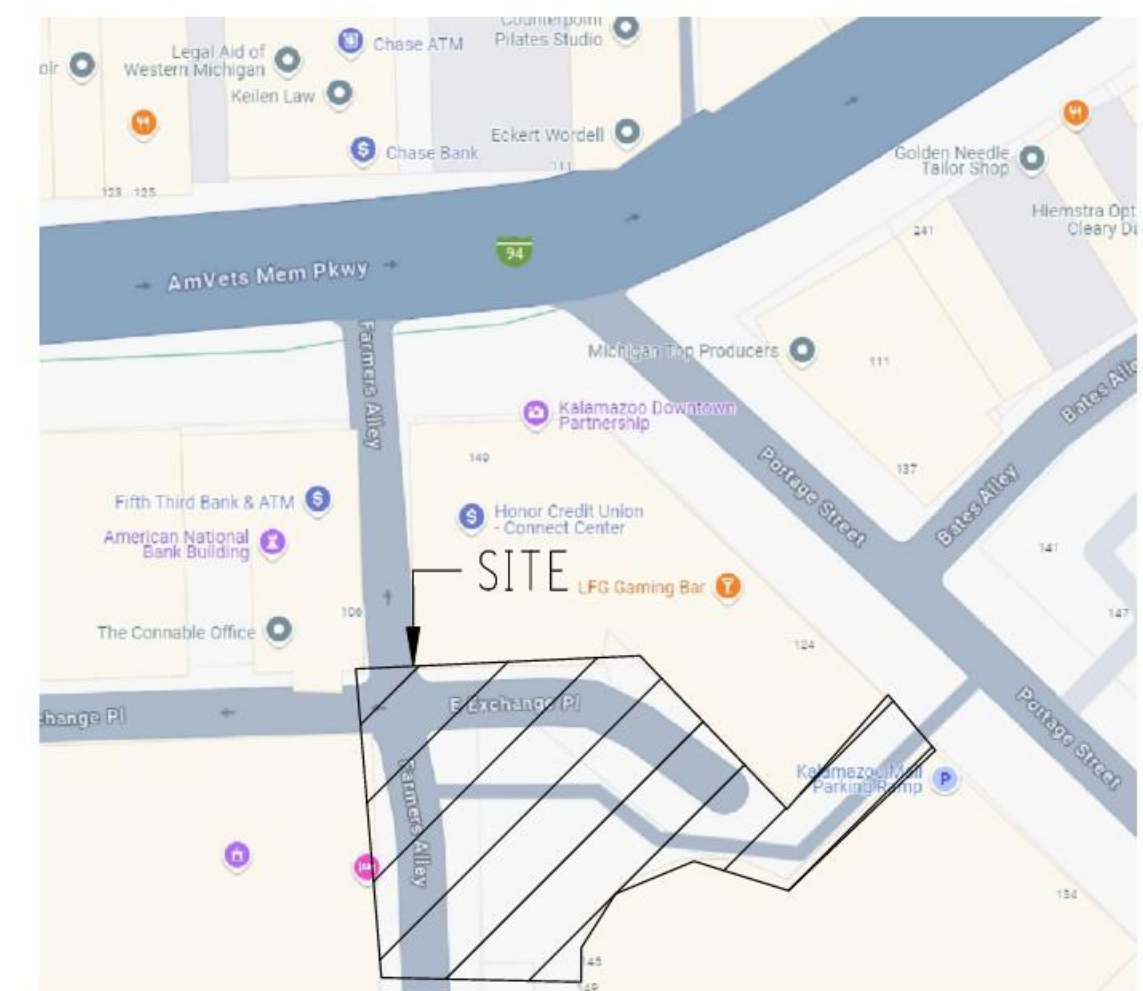
Prepared for:



Prepared by:

SMITHGROUP

201 DEPOT STREET
SECOND FLOOR
ANN ARBOR, MI 48104
734.662.4457
www.smithgroup.com



LEGEND

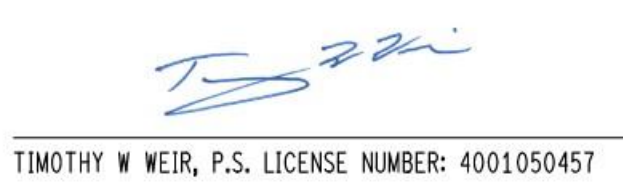
EXISTING	
— S —	STORM SEWER
— S —	SANITARY SEWER
— W —	WATER MAIN
— G —	GAS MAIN
— E —	UNDERGROUND ELECTRIC
— C & V —	UNDERGROUND CABLE
— T —	UNDERGROUND TELEPHONE/CONDUIT
— F —	UNDERGROUND FIBER OPTIC
	STORM MANHOLE
	CATCH BASIN
	SANITARY MANHOLE
	CLEAN OUT
	FIRE HYDRANT
	GATE VALVE & WELL
	FIRE HYDRANT VALVE
	WATER SERVICE - SHUT OFF
	GAS VALVE
	GAS METER
	GAS MARKER
	ELECTRIC MANHOLE
	ELECTRIC METER
	UG ELECTRIC BOX
	ELECTRIC OUTLET
	ELECTRIC MARKER
	TELEPHONE MANHOLE
	TELEPHONE PEDISTAL
	UG TELEPHONE BOX
	UG CABLE TV BOX
	SPRINKLER VALVE
	SPRINKLER HEAD
	WELL
	UTILITY POLE
	GUY ANCHOR
	LIGHT POLE
	GUARD POST
	POST
	CONCRETE FILLED POST
	MAILBOX
	SIGN
	MONITORING WELL
	FOUND IRON/ROD/PIPE
	FOUND MONUMENT
	ELEVATION TAKEN HERE
	BUSH
	DECIDUOUS TREE w/ DRIPLINE
	CONIFEROUS TREE w/ DRIPLINE
	EX. CONCRETE
	EX. GRAVEL
	EX. BITUMINOUS PAVEMENT
	EX. BRICK PAVEMENT

HORIZONTAL DATUM: MICHIGAN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE 2113, INTERNATIONAL FEET, NAD 83, 2011 ADJUSTMENT YEAR
VERTICAL DATUM: NAVD 1988 (BASED ON GPS OBSERVATION REFERENCED TO MSRN NETWORK)

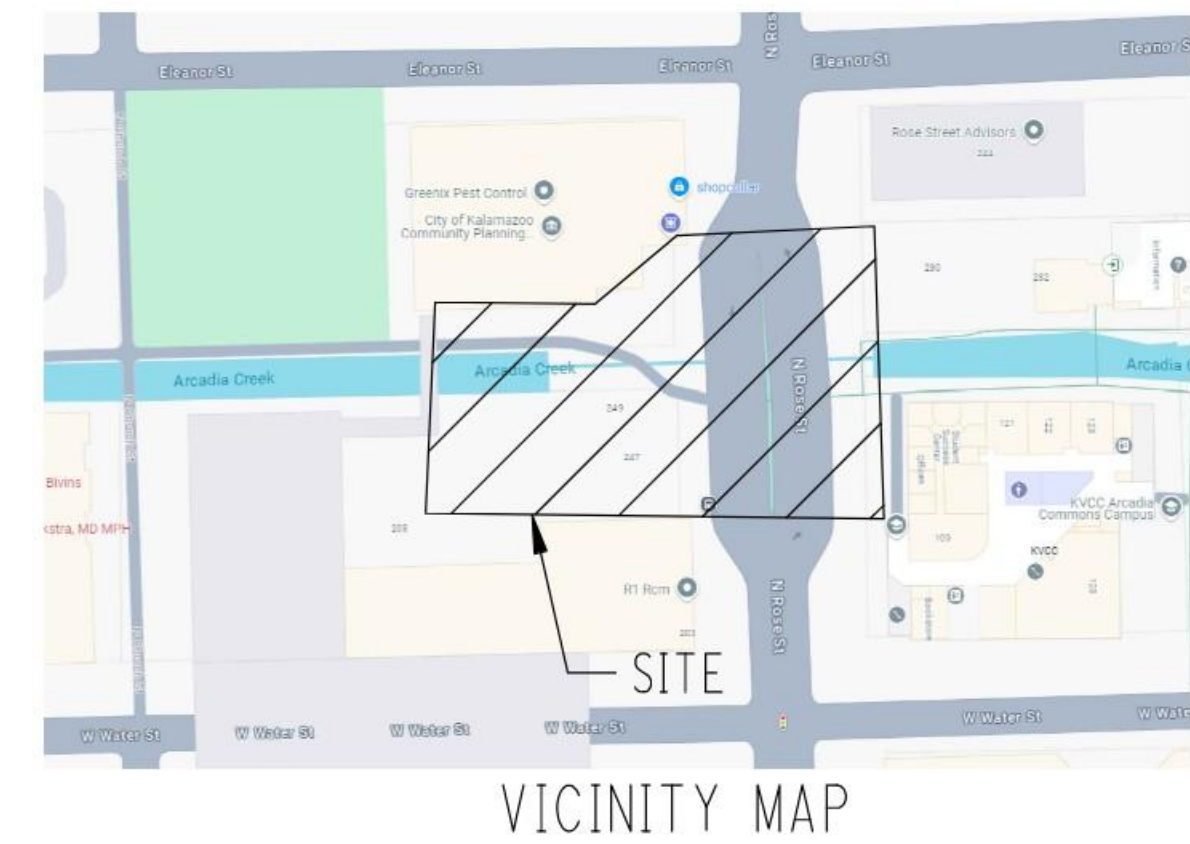
UTILITIES SHOWN ARE BASED ON PLAN INFORMATION RECEIVED FROM UTILITY OWNERS IN RESPONSE TO A MISS DIG TICKET. RESPONSES WERE USED TO SUPPLEMENT FIELD EVIDENCE. UTILITY INFORMATION SHOULD BE CONSIDERED APPROXIMATE AND WILL NEED TO BE VERIFIED PRIOR TO ANY CONSTRUCTION.

MISS DIG TICKET #: 2024071702495
RESPONDING UTILITIES AS OF 9/13/2024:
AT&T
CHARTER
CITY OF KALAMAZOO
COMCAST
CONSUMERS

BOUNDARY IS BASED OFF OF THE SURVEY OF 162 E MICHIGAN AVENUE COMPLETED ON 8-8-2020 BY DRIESEN & ASSOCIATES. MINIMAL BOUNDARY EVIDENCE WAS OBSERVED AND BOUNDARY LOCATION SHOULD BE CONSIDERED APPROXIMATE.



THIS SURVEY IS GIVEN AS TO THE BEST OF THE SURVEYOR'S
KNOWLEDGE, INFORMATION AND BELIEF.



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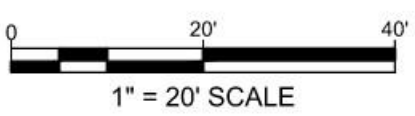
INNOVATIVE IDEAS
EXCEPTIONAL DESIGN
UNMATCHED CLIENT SERVICE

WARNING

City of Kalamazoo
245 N Rose Ave
Kalamazoo, Michigan 49007

Rose Street Plaza and Farmers Alley Improvements Topographic Survey

N. Rose Street
Kalamazoo, Michigan 49007

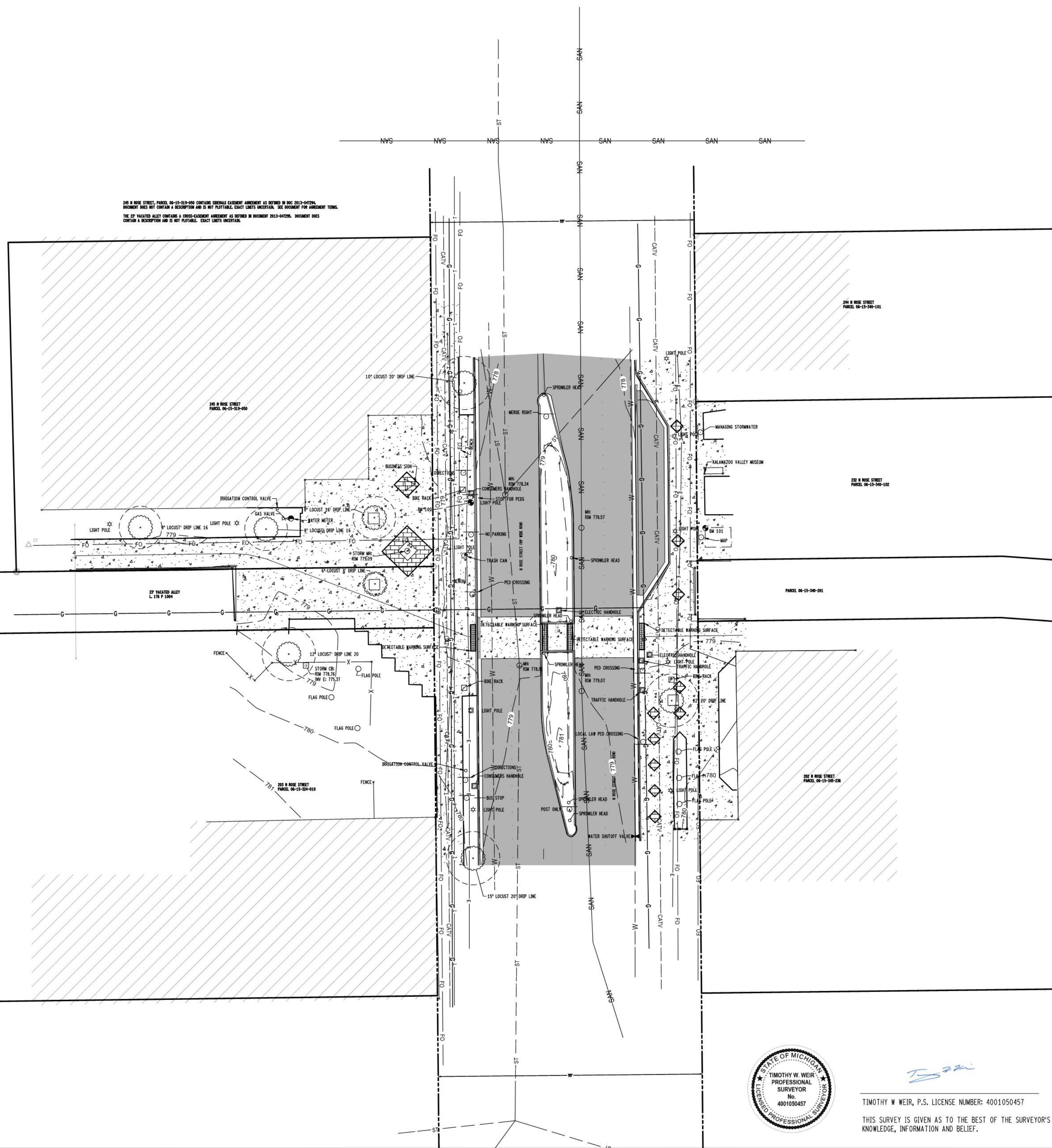
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DRAWN BY: DLZ
DESIGN BY: -
CHECKED BY: -

DLZ JOB NUMBER: 2441776100

SHEET NO

V102



CONTROL POINTS				
Pt. No.	Northing	Easting	Elev.	Description
10	291766.03	12793756.21	779.39	CP IRON
11	291399.92	12793791.71	779.45	CP DH
12	291428.87	12793592.35	779.24	CP MAG

HORIZONTAL DATUM: MICHIGAN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE 2113, INTERNATIONAL FEET, NAD 83, 2011 ADJUSTMENT YEAR
VERTICAL DATUM: NAVD 1988 (BASED ON GPS OBSERVATION REFERENCED TO MSRN NETWORK)

BM 100: ELEV = 779.06'
SOUTHEAST LIGHT POLE BOLT.

BM 101 ELEV=580.06'
NORTHWEST CORNER OF CONC RETAINING WALL PLANTER..

SITE IS IN ZONE X, AREA OF MINIMAL FLOOD HAZARD PER FIRM PANEL 26077C0187E EFFECTIVE 7/31/2024 WITH 0.2 PERCENT CHANCE OF FLOOD DISCHARGE CONTAINED IN THE ARCADIA CREEK STRUCTURE. PER FIRM PANEL 26077C0187E EFFECTIVE 7/31/2024.

SURVEY COMPLETED ON 8/7/2024.

UTILITIES SHOWN ARE BASED ON PLAN INFORMATION RECEIVED FROM UTILITY OWNERS IN RESPONSE TO A MISS DIG TICKET. RECEIVED PLANS WERE USED TO SUPPLEMENT FIELD EVIDENCE. UTILITY INFORMATION SHOULD BE CONSIDERED APPROXIMATE AND WILL NEED TO BE VERIFIED PRIOR TO ANY CONSTRUCTION.

MISS DIG TICKET #: 2024071702411
RESPONDING UTILITIES AS OF 9/13/2024
123 NET
AT&T
CENTURY LINK.
CHARTER
CITY OF KALAMAZOO
COMCAST
CONSUMERS
MFN FIBER



TIMOTHY W WEIR, P.S. LICENSE NUMBER: 4001050457

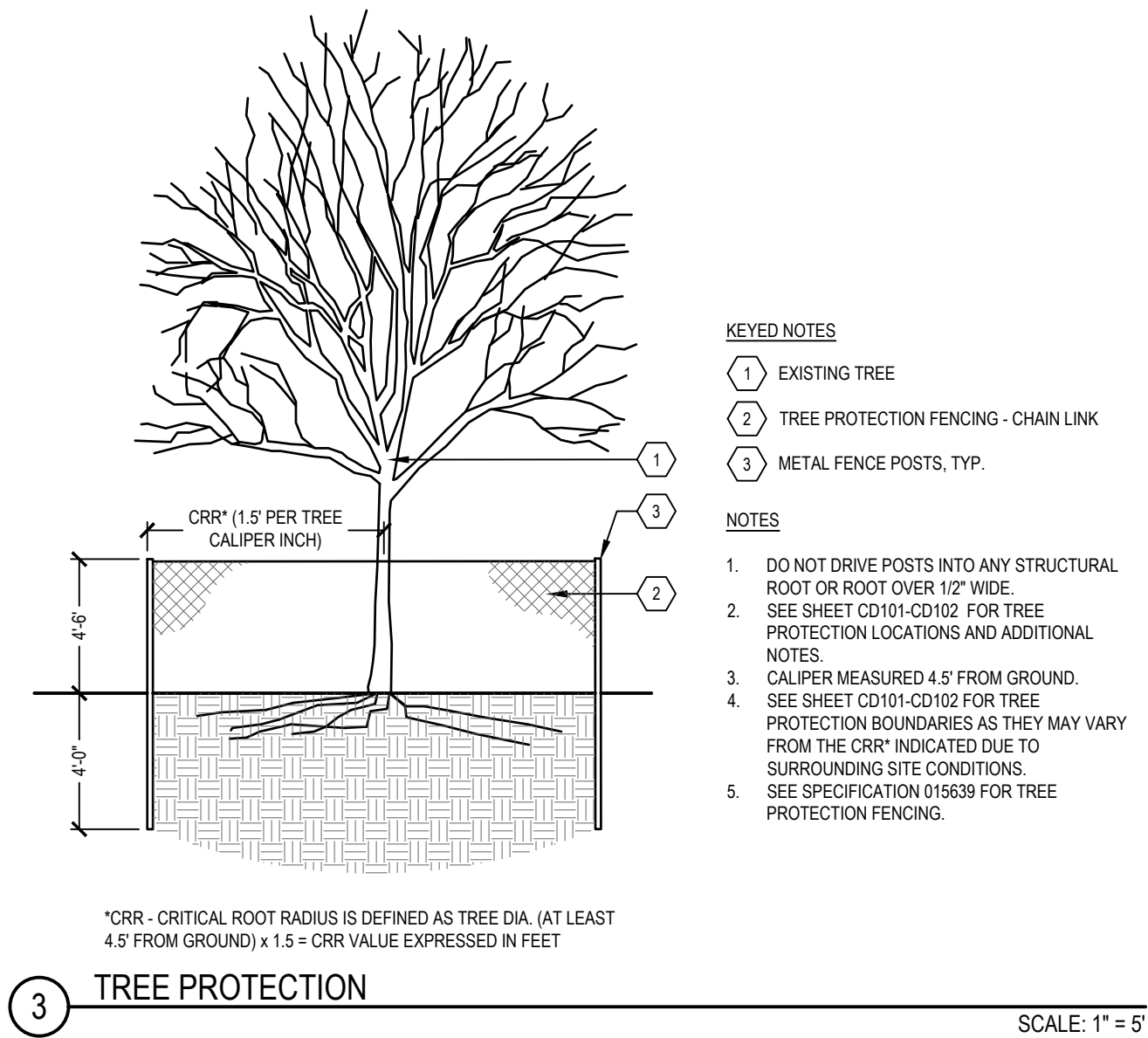
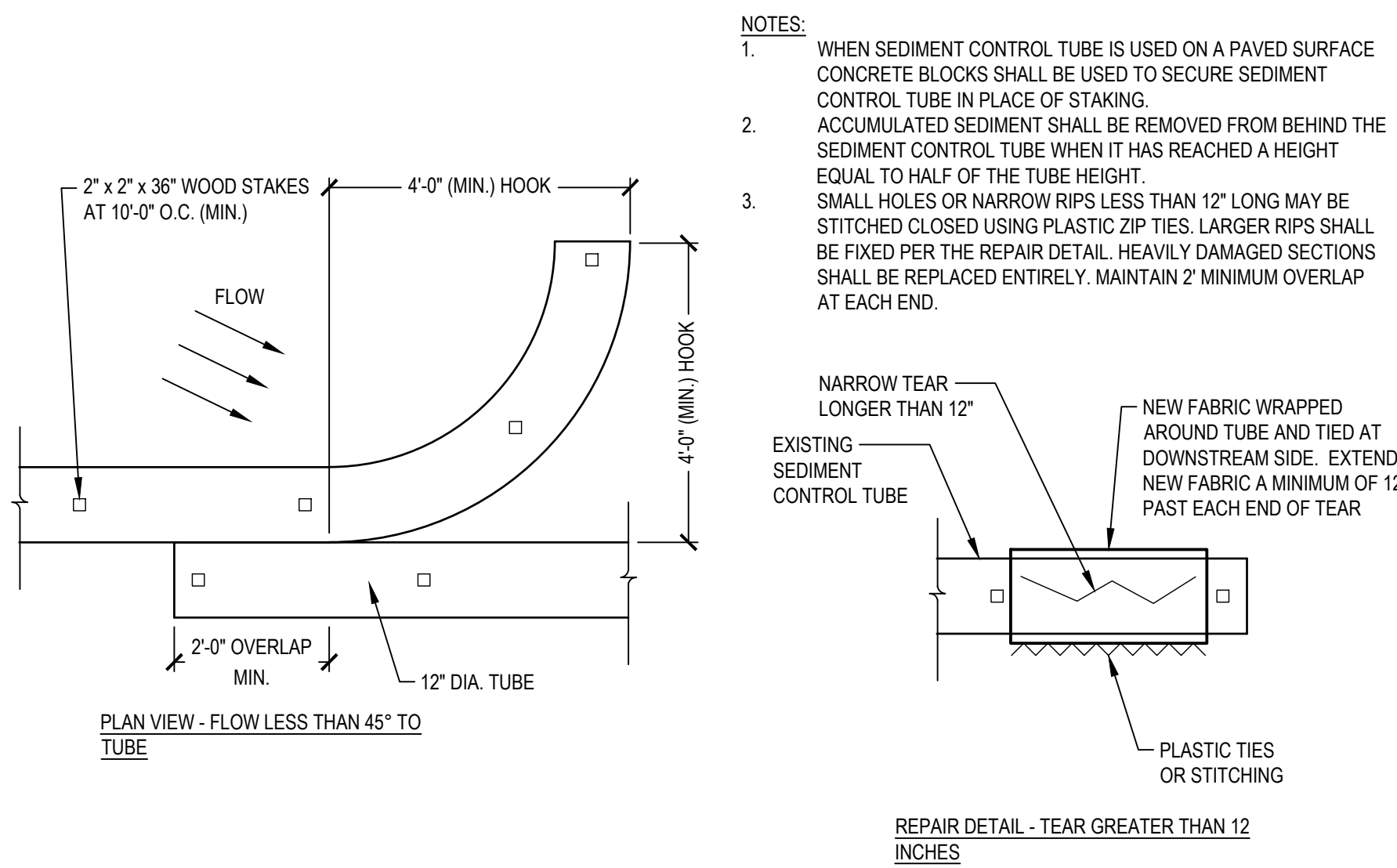
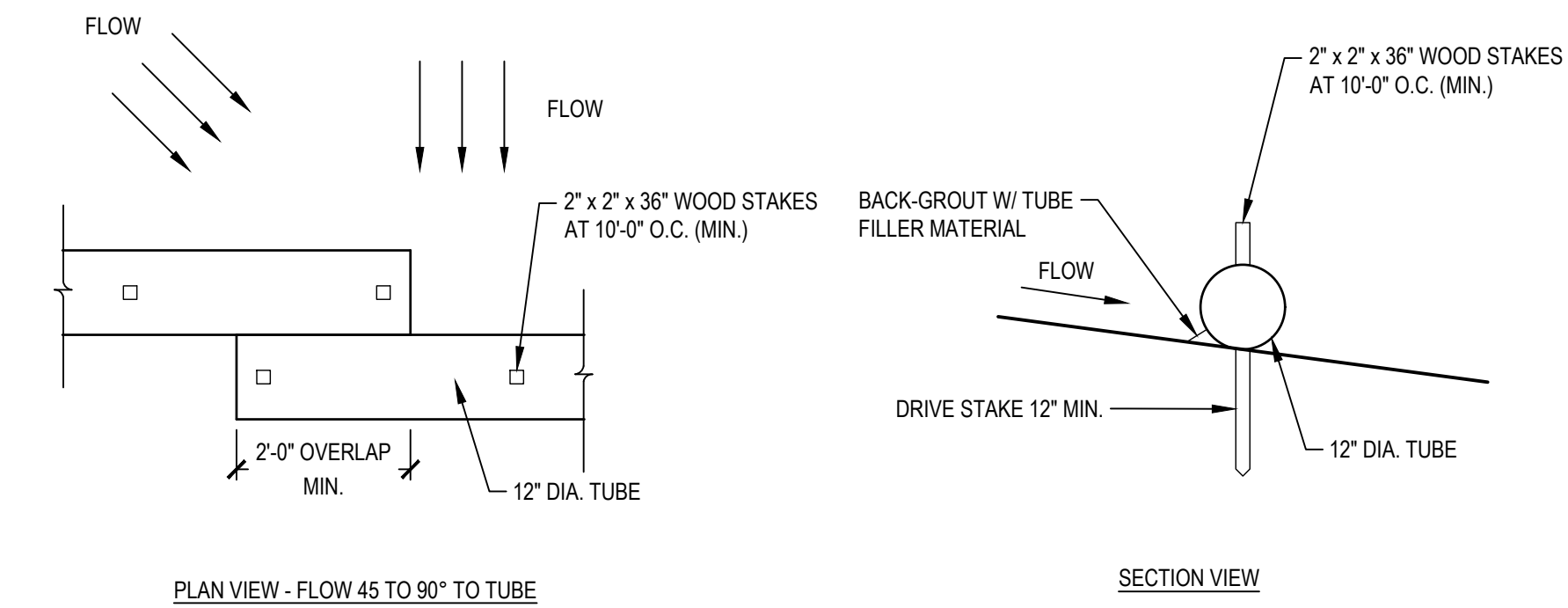
THIS SURVEY IS GIVEN AS TO THE BEST OF THE SURVEYOR'S
KNOWLEDGE, INFORMATION AND BELIEF.



1. NOTIFY THE ENGINEER IN WRITING OF ANY IDENTIFIED DISCREPANCIES WITHIN THE CONSTRUCTION DOCUMENTS PRIOR TO THE START OF WORK. DURING PERFORMANCE OF THE WORK, VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE. CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS PRIOR TO STARTING WORK. IN ALL CASES WHERE A CONFLICT MAY OCCUR, THE ENGINEER SHALL BE NOTIFIED AND WILL INTERPRET THE INTENT OF THE CONTRACT DOCUMENTS.
2. PRIOR TO THE COMMENCEMENT OF WORK, VERIFY LOCATIONS AND DEPTHS OF ALL UNDERGROUND UTILITIES THAT MAY BE AFFECTED BY CONSTRUCTION AND TAKE RESPONSIBILITY FOR DAMAGES TO SUCH UTILITIES CAUSED AS A RESULT OF CONSTRUCTION.
3. TAKE ALL NECESSARY PRECAUTIONARY MEASURES TO PROTECT THE PUBLIC AND ADJACENT PROPERTIES FROM DAMAGE THROUGHOUT CONSTRUCTION, INCLUDING DAMAGES TO UTILITIES, WALKS, WALLS, DRIVES, CURBS, ETC.
4. ALL MATERIAL TO BE REMOVED WHETHER SPECIFICALLY NOTED IN THE PLANS OR NOT, SHALL BE REMOVED BY THE CONTRACTOR AND TRANSPORTED OFF SITE. MATERIAL TO BE DISPOSED OF OFFSITE AND IN A LEGAL MANNER. NO BURY OR BURN PITS SHALL BE ALLOWED. PROVIDE RECEIPTS AND LETTERS FROM DISPOSAL SITES TO OWNER AS REQUIRED BY THE OWNER.
5. SECURE ALL NECESSARY PERMITS AND NOTIFY ALL UTILITY COMPANIES WITH UTILITIES ON THE SITE PRIOR TO THE CONSTRUCTION OF THE PROJECT. ADHERE TO ALL APPLICABLE LOCAL, STATE AND FEDERAL LAWS OR REGULATIONS PERTAINING TO THE PROJECT.
6. CALL MISS DIG 811 A MINIMUM OF 48 HOURS TO BEGINNING ANY EXCAVATION ACTIVITIES.
7. SPECIFIC DEMOLITION ITEMS HAVE BEEN INDICATED ON THE PLANS AS A GUIDE TO THE GENERAL SCOPE OF THE WORK. IT IS THE INTENT THAT THESE ITEMS WILL BE COMPLETELY REMOVED BY THE CONTRACTOR ABOVE AND BELOW GROUND, UNLESS SPECIFICALLY NOTED OTHERWISE, AND THAT DEMOLITION WILL INCLUDE BUT WILL NOT NECESSARILY BE LIMITED TO THESE ITEMS. CONTRACTOR SHALL VISIT SITE TO VERIFY EXISTING CONDITIONS AND EXTENTS OF THE DEMOLITION THAT WILL BE REQUIRED PRIOR TO SUBMITTING A BID.
8. THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE TREE PROTECTION FENCING AROUND EXISTING TREES TO BE SAVED THAT ARE WITHIN 45' OF CONSTRUCTION ACTIVITIES AND AS INDICATED IN THE PLANS OR PER LOCAL AGENCY REQUIREMENTS.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEAN UP, NOISE, DUST CONTROL, STREET SWEEPING AND HOURS OF OPERATION IN ACCORDANCE WITH THE LOCAL CODES.
10. THE CONTRACTOR SHALL PROVIDE NECESSARY BARRICADES, SIGNAGE, MARKINGS, LIGHTS AND OTHER TRAFFIC CONTROL DEVICES TO PROTECT THE WORK ZONE AND SAFELY MAINTAIN TRAFFIC PER MUTCD REQUIREMENTS.
11. COORDINATE REMOVALS WITH SITE LAYOUT AND MATERIALS PLANS. NOTIFY ENGINEER OF ANY DISCREPANCIES.
12. IF CONTRACTOR DISTURBS AREA OUTSIDE LIMITS OF DISTURBANCE, CONTRACTOR TO REPLACE MATERIAL AT NO COST OF OWNER.
13. REFER TO THE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS NOT SHOWN ON DRAWINGS.
14. CONSTRUCTION FENCE AND GATE TO BE DETERMINED BY CONTRACTOR ON SITE

- A. PROTECT EXISTING CURB & GUTTER
- B. PROTECT EXISTING FENCE
- C. PROTECT EXISTING BUILDING
- D. PROTECT EXISTING EQUIPMENT AND AGGREGATE
- E. PROTECT EXISTING PAVEMENT. CONTRACTOR SHALL REPLACE PAVEMENT DAMAGED FROM CONSTRUCTION ACTIVITIES AT THE CONTRACTOR'S EXPENSE. (PHOTOGRAPH PAVEMENT PRIOR TO CONSTRUCTION AND SUBMIT TO THE OWNER'S REPRESENTATIVE.)
- F. REMOVE & REPLACE CURB AND GUTTER AS-NEEDED TO REMOVE FENCE FOUNDATIONS
- G. REPAIR CORNER POST AS-NEEDED AFTER FENCE REMOVAL. COVER ALL EXPOSED HOLES WITH ALUMINUM PLATES RIVETED INTO THE POST. ALUMINUM PLATES TO MATCH POSTS THICKNESS AND FINISH.
- H. LOCATE, PROTECT, AND SALVAGE EXISTING IRRIGATION SYSTEM. PRIOR TO REMOVALS, IDENTIFY ALL IRRIGATION LINES, VALVES, AND HEADS WITHIN THE WORK AREA. TAKE NECESSARY PRECAUTIONS TO PREVENT DAMAGE DURING DEMOLITION AND REPAIRS. REVIEW LANDSCAPE PLANS TO DETERMINE WHICH COMPONENTS WILL BE REUSED, RELOCATED, OR MODIFIED. CAREFULLY REMOVE AND STORE IRRIGATION COMPONENTS DESIGNATED FOR REUSE.

	LIMITS OF CONSTRUCTION
	CURB REMOVAL
	REMOVE CONCRETE PAVEMENT FULL DEPTH, INCLUDING AGGREGATE BASE
	CLEAR & GRUB (REMOVE LAWN/PLANTINGS/ ORGANIC MATERIAL / STUMP / ROOT / EDGING / GRAVEL / DEBRIS)
	REMOVE LANDSCAPE MATERIAL (PLANTINGS / MULCH/ EDGING/ GRAVEL / DEBRIS). PROTECT ROOTS OF EXISTING TREE TO REMAIN. DO NOT GRUB
	POWERWASH EXISTING CONCRETE PAVEMENT
	TREE REMOVAL (INCLUDING STUMP & GRATE, IF PRESENT)
	TREE PROTECTION FENCE
	PROTECTION
	REMOVE
	SALVAGE FOR REINSTALLATION
	SAW CUT PAVEMENT AT EXISTING JOINT
	FENCE REMOVAL
	INLET PROTECTION

[illegible]

ROSE STREET PLAZA AND FARMERS ALLEY IMPROVEMENTS

Owner:
CITY OF KALAMAZOO

SMITHGROUP

201 DEPOT STREET
SECOND FLOOR
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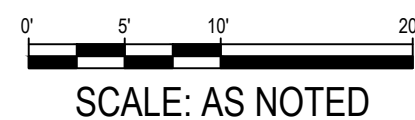
ISSUED FOR	REV	DATE
SITE PLAN REVIEW		17OCT25

SEALS AND SIGNATURES

NOT FOR CONSTRUCTION

KEY PLAN

DRAWING TITLE
PREPARATION DETAILS



SCALE _____

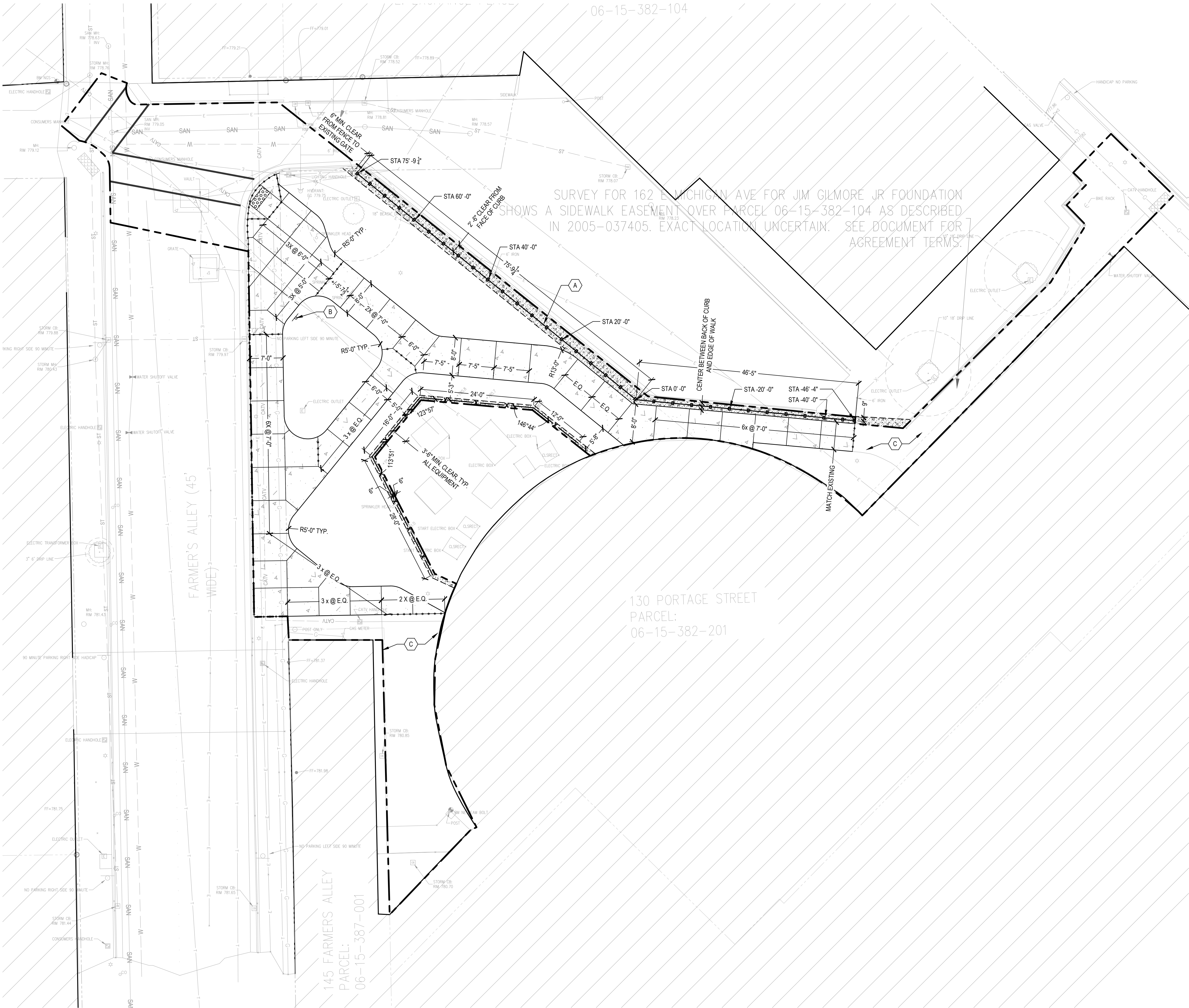
PROJECT NUMBER _____

CD500

DRAWING NUMBER _____

FILE(C:\Users\jdhong\OneDrive\Documents\Projects\14735 - K202 placemaking - d:\s\project files\BMA\05 Civil\plans-rose & farmer\14735-CS101.dwg USER:jdhong DATE:Oct, 16, 2025 TIME: 10:32 am

1 FARMER'S ALLEY
PLAN



SHEET NOTES

- ELECTRONIC FILES WILL BE PROVIDED TO THE CONTRACTOR FOR USE DURING CONSTRUCTION. THE CONTRACTOR WILL BE REQUIRED TO SIGN SMITHGROUP'S "ELECTRONIC DATA/DIGITAL FILES USER AGREEMENT" TO OBTAIN AND USE THE FILES.

ONLY FILES WITH THE CLASSIFICATION "MASTER," AS NOTED BY THE ABBREVIATION "MST" IN THE FILE NAME, ARE INCORPORATED INTO THE CONTRACT DOCUMENTS. DATA CONTAINED IN A MASTER FILE IS INTENDED TO COMPLEMENT AND SUPPLEMENT BUT NOT SUPERSEDE OTHER CONTRACT DOCUMENTS. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT/ENGINEER IMMEDIATELY OF ANY DISCREPANCY BETWEEN AN ELECTRONIC FILE, OTHER CONTRACT DOCUMENTS, AND/OR FIELD CONDITIONS.

ALL FILES NOT DESIGNATED WITH THE ABBREVIATION MST IN THE FILE NAME ARE PROVIDED AS REFERENCE FOR CONVENIENCE AND INFORMATIONAL PURPOSES ONLY, INCLUDING ANY FILE THAT IS AN ATTACHMENT OR XREF TO A MASTER FILE. REFERENCE FILES HAVE NO CONTRACTUAL RELEVANCE AND ARE USED SOLELY AT THE CONTRACTOR'S OWN RISK, AS THE INFORMATION CONTAINED WITHIN MAY BE INCOMPLETE, MAY NOT REPRESENT ACTUAL FIELD CONDITIONS, OR MAY BE DIAGRAMMATIC IN NATURE.

THE FOLLOWING MASTER FILE IS SPECIFICALLY INCORPORATED INTO THE CONTRACT DOCUMENTS:
MST-14735-C-LAYO.DWG
- DETAILS NOTED AS TYPICAL SHALL APPLY IN ALL CASES UNLESS SPECIFICALLY SHOWN OR NOTED OTHERWISE. WHERE NO SPECIFIC DETAIL IS SHOWN, THE CONSTRUCTION SHALL BE IDENTICAL OR SIMILAR TO THAT INDICATED FOR LIKE CASES OF CONSTRUCTION ON THIS PROJECT.
- PROTECT EXISTING LANDSCAPING, CONTRACTOR RESPONSIBLE IF DAMAGE OCCURS DURING PROJECT DURATION. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF TREE PROTECTION FENCE DURING PROJECT DURATION.

KEYED NOTES

- A** REPLACE AGGREGATE AS-NEEDED AFTER DISTURBANCE FROM SCREEN FENCE FOOTING INSTALLATION. MATCH EXISTING AGGREGATE SIZE, COLOR, AND STONE.
- B** REINSTALLED "NO PETS ALLOWED" SIGN
- C** EXISTING PAVEMENT TO REMAIN

LEGEND

- LIMITS OF CONSTRUCTION
- CONCRETE PAVEMENT
- MAINTENANCE EDGE AGGREGATE
- DOWELED EXPANSION JOINT
- CONTROL JOINT
- DETECTABLE WARNING STRIP
- METAL LANDSCAPE EDGE
- PARKING SCREEN FENCE
- UTILITY AREA SCREEN FENCE
- CROSSWALK PAVEMENT MARKING

NOT FOR CONSTRUCTION

KEY PLAN
PROJECT NORTH

DRAWING TITLE
LAYOUT & MATERIALS PLAN
- FARMERS ALLEY

SCALE: 1" = 10'

SCALE 14735.00

PROJECT NUMBER

DRAWING NUMBER

MISSDIG811



ROSE STREET PLAZA AND
FARMERS ALLEY
IMPROVEMENTS

Owner:
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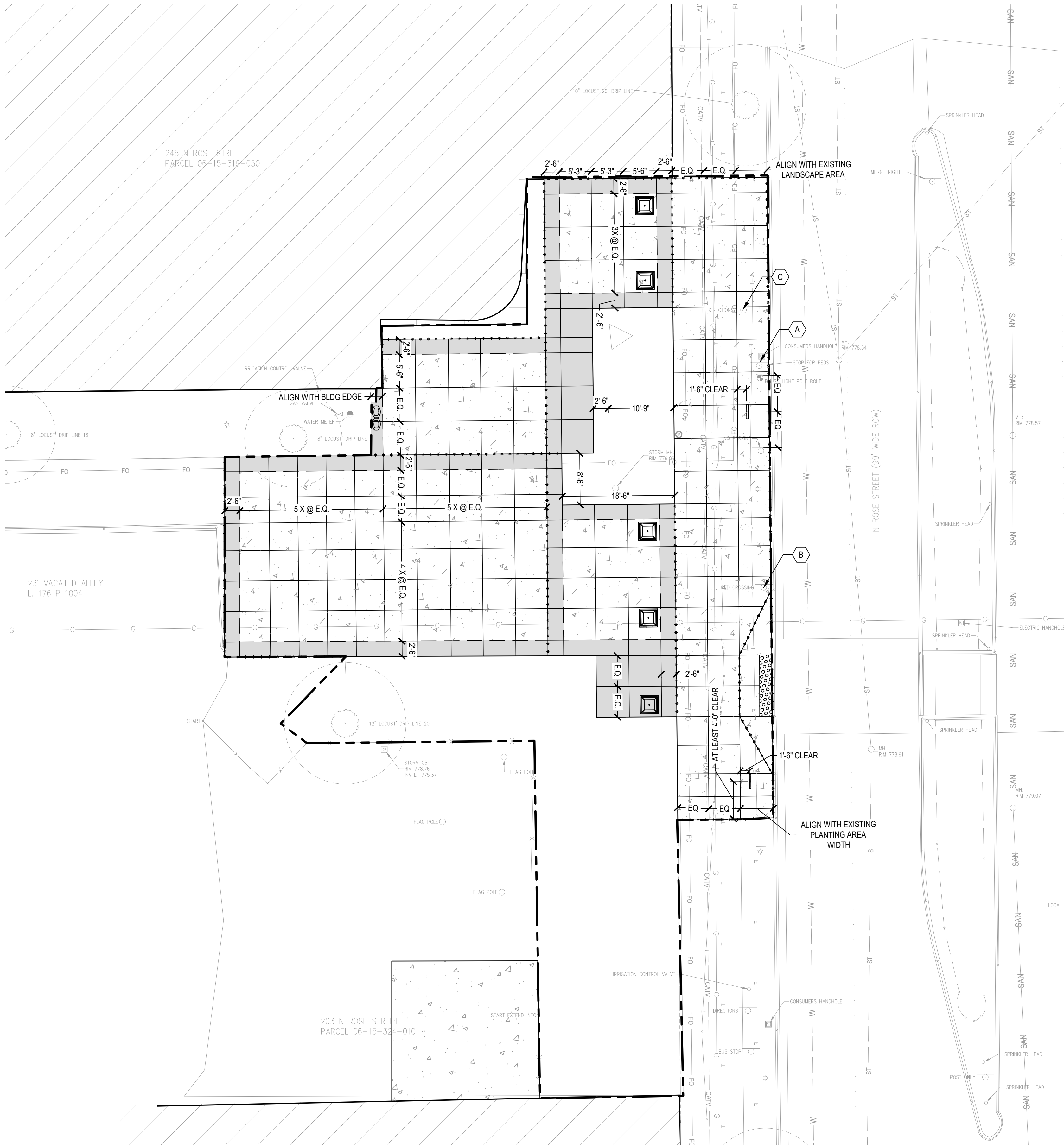
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SITE PLAN REVIEW 17OCT25

SEALS AND SIGNATURES

FILE(C:\Users\cdhara\OneDrive\Documents\Smithgroup\14735 - K202 placemaking_d\is\project_files\BMA\05_Civil\sheets-rose & farmer\14735-CS101.dwg USER:cdhara DATE:Oct, 16, 2025 TIME: 10:32 am



1 ROSE STREET PLAZA
PLAN

SHEET NOTES

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KEYED NOTES

- A REINSTALL SALVAGED STOP FOR Peds SIGN
- B REINSTALL SALVAGED PED CROSSING SIGN
- C REINSTALL SIGN IF SALVAGED. MOUNTING METHOD UNKNOWN.

LEGEND

- LIMITS OF CONSTRUCTION
- CONCRETE PAVEMENT
- CONCRETE PAVEMENT-EXPOSED AGGREGATE
- DOWELED EXPANSION JOINT
- CONTROL JOINT
- DOWELED COLD JOINT
- DETECTABLE WARNING STRIP
- BIKE RACK
- RECEPTACLE
- PLANTER

- 3 CS500
- 3 CS500
- 5 CS500
- 4 CS500
- 6 CS500
- 1 CS500
- 7 CS500
- 8 CS500
- 9 CS500

NOT FOR CONSTRUCTION

KEY PLAN



DRAWING TITLE
LAYOUT & MATERIALS PLAN
- ROSE STREET PLAZA



SCALE 14735.00

PROJECT NUMBER

DRAWING NUMBER



THE CITY OF



ROSE STREET PLAZA AND
FARMERS ALLEY
IMPROVEMENTS

Owner:

CITY OF KALAMAZOO

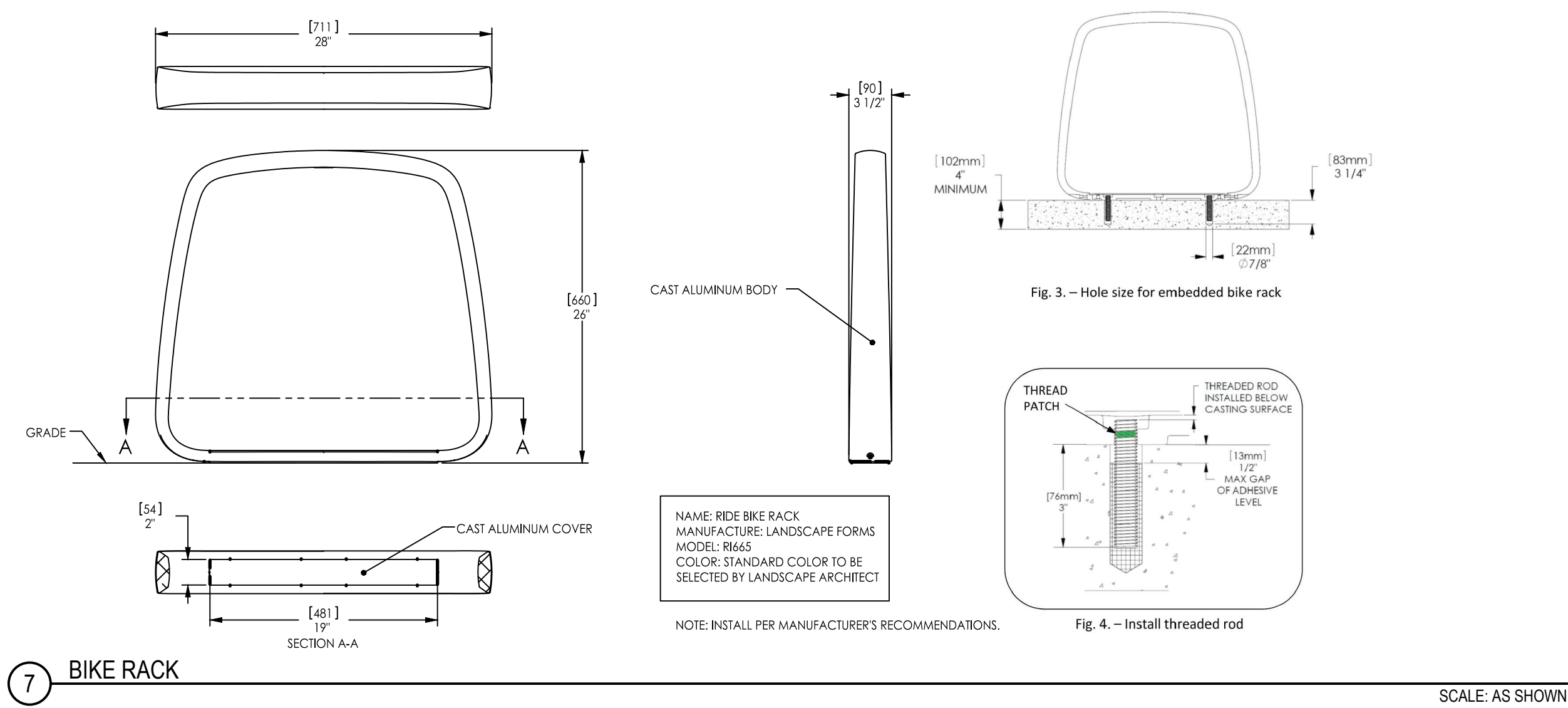
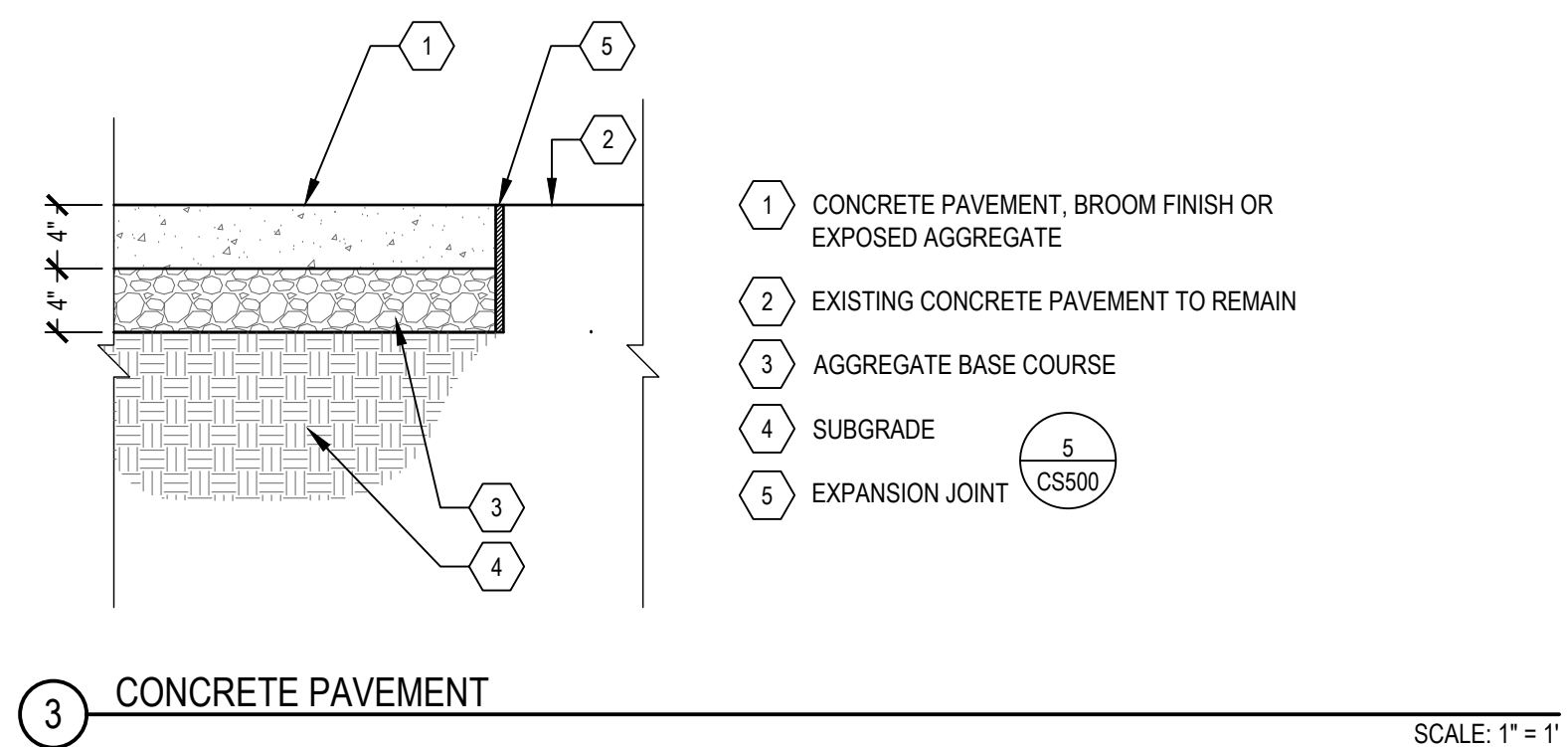
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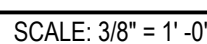
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ANN ARBOR, MI 48104
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DRAWING NUMBER

CS103

[illegible]



- SCALE: 3" = 1'-0"

- NOTES: SEE DETAIL 2 SHEET CS501 FOR
ADDITIONAL LUMBER INFORMATION.

- SCALE: 1" = 1' -0"





Owner: CITY OF KALAMAZOO

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SECOND FLOOR
ANN ARBOR, MI 48104
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865 --- EXISTING MAJOR CONTOUR

864 --- EXISTING MINOR CONTOUR

861.50 --- X EXISTING SPOT ELEVATION

865 --- PROPOSED MAJOR CONTOUR

864 --- PROPOSED MINOR CONTOUR

2.5% ← DRAINAGE SLOPE

861.50 --- X PROPOSED SPOT ELEVATION

861.50 M.E. --- X APPROX. SPOT ELEVATION: MATCH EXISTING GRADE

T/C 861.50 M.E. --- X APPROX. SPOT ELEVATION: MATCH EXISTING TOP OF CURB

RIM 861.50 --- X STRUCTURE RIM ELEVATION

ISSUED FOR	REV	DATE
SITE PLAN REVIEW		17OCT25

SEALS AND SIGNATURES

NOT FOR CONSTRUCTION

KEY PLAN



DRAWING TITLE

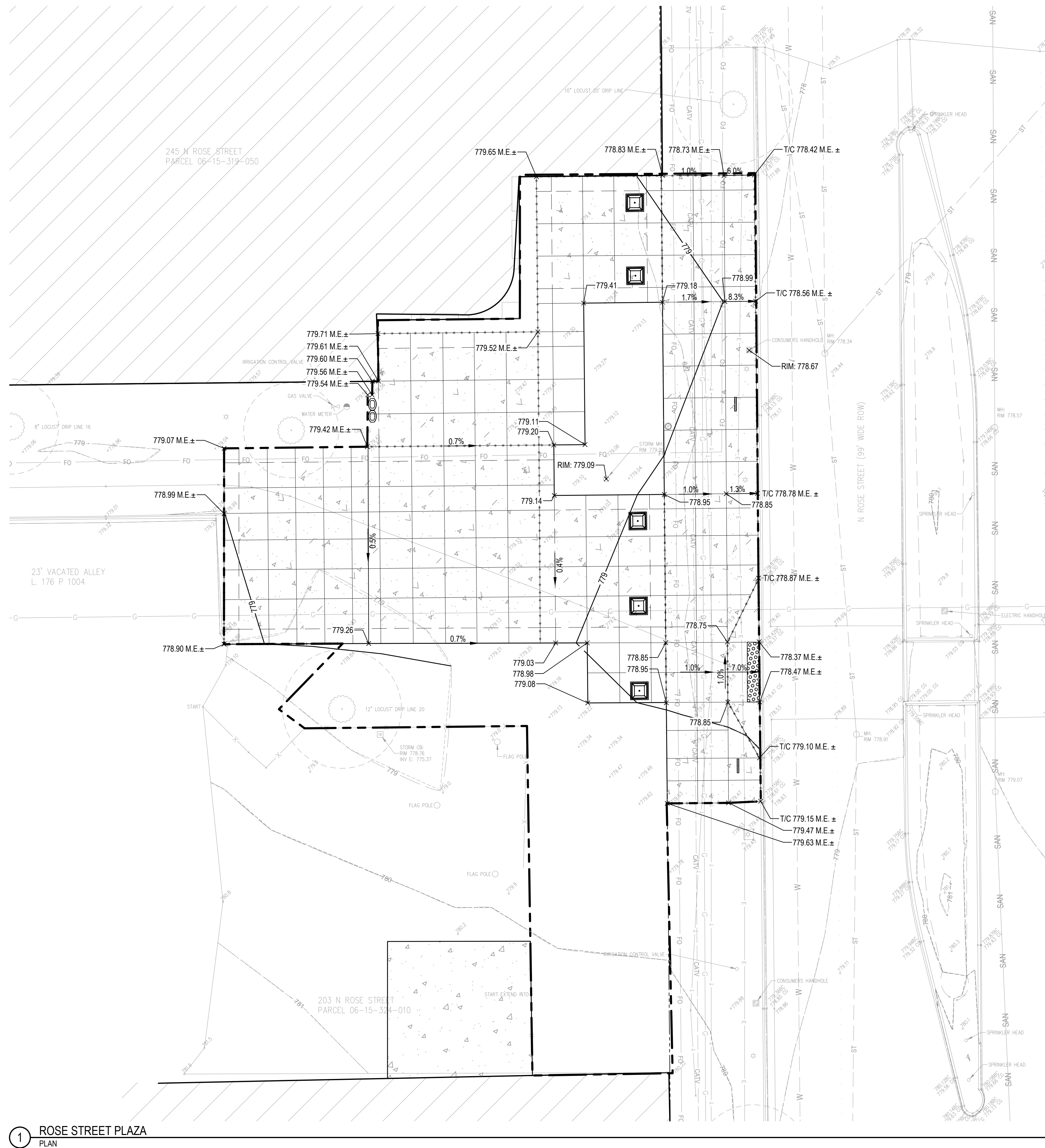
GRADING PLAN - FARMERS
ALLEY



SCALE 14735.00

CG101

DRAWING NUMBER



1 ROSE STREET PLAZA
PLAN

SHEET NOTES

1. PRIOR TO THE COMMENCEMENT OF WORK, VERIFY LOCATIONS AND DEPTHS OF ALL UNDERGROUND UTILITIES THAT MAY BE AFFECTED BY CONSTRUCTION AND TAKE RESPONSIBILITY FOR DAMAGES TO SUCH UTILITIES CAUSED AS A RESULT OF CONSTRUCTION.
2. TAKE ALL NECESSARY PRECAUTIONARY MEASURES TO PROTECT THE PUBLIC AND ADJACENT PROPERTIES FROM DAMAGE THROUGHOUT CONSTRUCTION, INCLUDING DAMAGES TO UTILITIES, WALKS, WALLS, DRIVES, CURBS, ETC.
3. REFER TO THE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS NOT SHOWN ON DRAWINGS.
4. TAKE NOTE OF ALL GRADING AND DRAINAGE WORK AND MAINTAIN THESE DRAIN WAYS FLOWING FREE OF OBSTRUCTIONS.
5. COORDINATE WORK OF SUBCONTRACTORS AND ALL OTHER CONTRACTORS TO ENSURE ORDERLY AND EFFICIENT COMPLETIONS OF ALL WORK.

LEGEND

-
- Diagram illustrating the relationship between existing and proposed contours, spot elevations, and drainage slope:
- EXISTING MAJOR CONTOUR: 865
 - EXISTING MINOR CONTOUR: 864
 - EXISTING SPOT ELEVATION: 861.50
 - PROPOSED MAJOR CONTOUR: 865
 - PROPOSED MINOR CONTOUR: 864
 - DRAINAGE SLOPE: 2.5%
 - PROPOSED SPOT ELEVATION: 861.50
 - APPROX. SPOT ELEVATION: MATCH EXISTING GRADE: 861.50 M.E.
 - APPROX. SPOT ELEVATION: MATCH EXISTING TOP OF CURB: T/C 861.50 M.E.
 - STRUCTURE RIM ELEVATION: RIM 861.50

THE CITY OF



ROSE STREET PLAZA AND FARMERS ALLEY IMPROVEMENTS

Owner:

CITY OF KALAMAZOO

SMITHGROUP

201 DEPOT STREET
SECOND FLOOR
ANN ARBOR, MI 48104
734.662.4457
www.smithgroup.com

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SITE PLAN REVIEW

T25

SEALS AND SIGNATURES

KEY PLAN



PROJECT NORT

DRAWING TITLE

GRADING PLAN - ROSE STREET PLAZA



SCALE: 1" = 10'

SCALE

14735.00

PROJECT NUMBER

CG102

DRAWING NUMBER

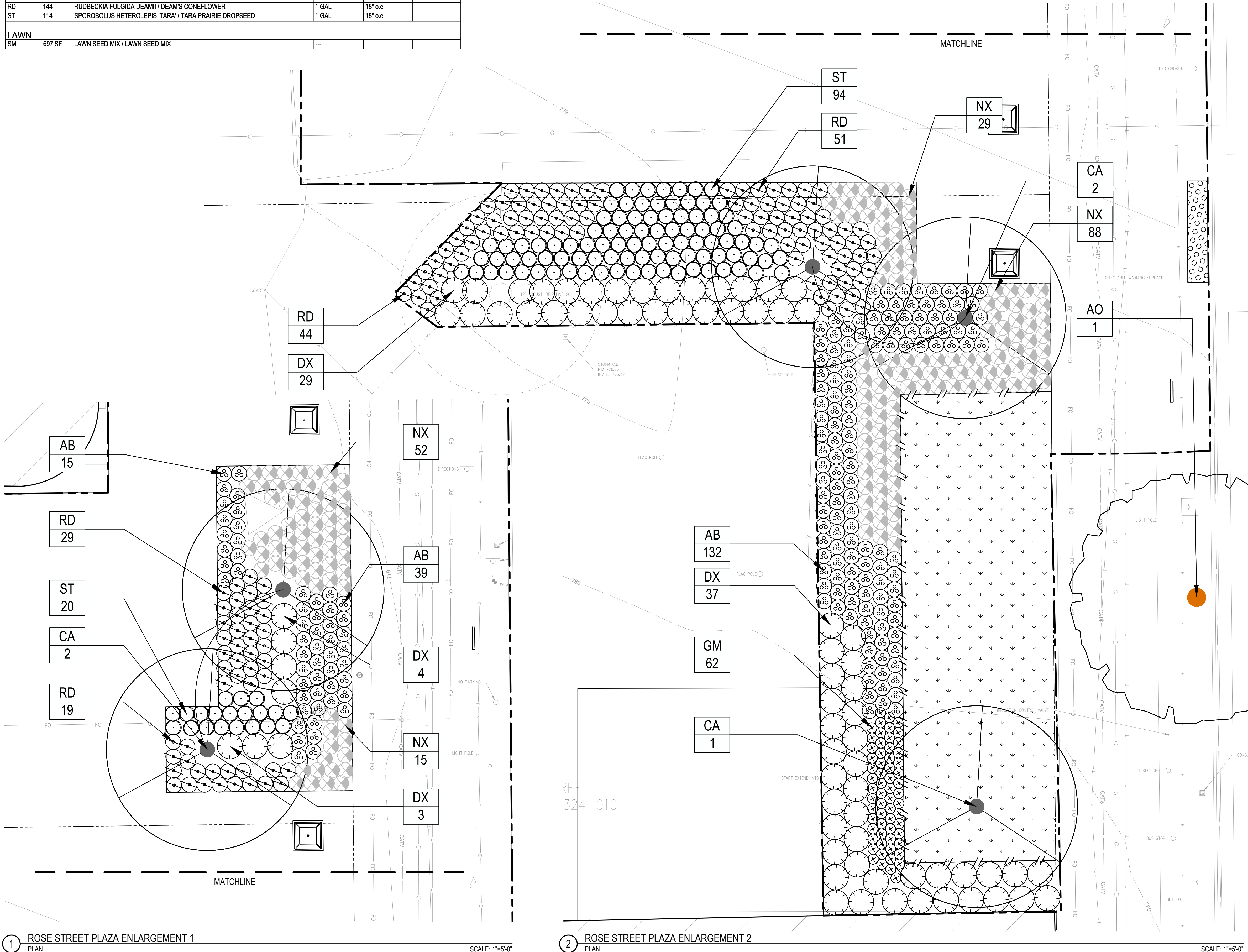
MISSDIG811



2 FARMER'S ALLEY ENLARGMENT 2 PLAN

MISS DIG 811

PLANT SCHEDULE ROSE STREET PLAZA						
CODE	QTY	BOTANICAL / COMMON NAME	SIZE			REMARKS
TREES						
AO	5	ACER RUBRUM 'OCTOBER GLORY' / OCTOBER GLORY RED MAPLE	2.5' CAL, B&B			
CA	1	CERCIS CANADENSIS 'ALBA' / WHITE EASTERN REDBUD	2' CAL, B&B			
CODE	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING		REMARKS
SHRUBS						
DX	73	DIERVILLA X 'SMINDSS' / KODIAK® FRESH™ DIERVILLA	1 GAL	30' o.c.		
GROUNDCOVER						
AB	186	AMSONIA TABERNAEMONTANA 'BLUE ICE' / BLUE ICE EASTERN BLUESTAR	1 GAL	18" o.c.		
GM	62	GERANIUM MACULATUM / SPOTTED GERANIUM	2 HT.	12" o.c.		
NX	184	NEPETA X 'CHARTREUSE ON THE LOOSE' / CHARTREUSE ON THE LOOSE CATMINT	1 GAL	18" o.c.		
RD	144	RUDBECKIA FULGIDA DEAMII / DEAM'S CONFLOWER	1 GAL	18" o.c.		
ST	114	SPOROBOLUS HETEROLEPIS 'TARA' / TARA PRAIRIE DROPSSEED	1 GAL	18" o.c.		
LAWN						
SM	697 SF	LAWN SEED MIX / LAWN SEED MIX	—			



SHEET NOTES

1. INDEPENDENT OF NUMERIC QUANTITIES ON DRAWINGS OR IN THE PLANT SCHEDULE, DETERMINE THE PLANT MATERIAL QUANTITIES REQUIRED BY THE PLANS. SPACE PLANT MATERIALS AS SHOWN ON PLANS AND INDICATED IN PLANT SCHEDULE. PLANT MATERIALS SHALL CONFORM TO PLANT SCHEDULES AND SIZES SHALL BE THE MINIMUM INDICATED ON THE PLANT SCHEDULE OR LARGER. INSTALLATION OF LARGER PLANTS AT NO ADDITIONAL COST TO OWNER. ALL MEASUREMENTS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF ANLA "STANDARDS FOR NURSERY STOCK".
2. PRIOR TO INSTALLATION, DEMARCATÉ LAYOUT OF ALL PLANTING BEDS, SEED AREAS, AND INDIVIDUAL TREES FOR REVIEW AND APPROVAL BY FIELDAPPROVER. INCLUDE PERENNIAL GROUPINGS BY SPECIES FOR INTERNAL BED LAYOUTS. FLAGGING, STAKES, OR PAINL MAY BE USED TO DELINEATE LOCATIONS AS SCALED FROM THE PLANS. THE FIELDAPPROVER WILL REVIEW THESE LOCATIONS WITH THE CONTRACTOR AND MAY MAKE MINOR ADJUSTMENTS AS NECESSARY. SUCH ADJUSTMENTS WILL BE AT NO ADDITIONAL COST TO THE OWNER.
3. UTILIZE HORTICULTURAL TREE WATERING BAGS FOR TREES PLANTED OUTSIDE OF IRRIGATED LANDSCAPE ZONES THROUGHOUT WARRANTY PERIOD. REPLENISH TREE WATERING BAGS REGULARLY SO THAT NONE REMAIN WITHOUT WATER FOR MORE THAN 24 HOURS.
4. MINIMIZE CULTIVATION WITHIN THE DRIPLINES OF EXISTING TREES. PREPARE SOIL FOR SEEDLING BY MINIMIZING DISTURBANCE TO 1-2" DEPTH. HAND CULTIVATE WITHIN DRIPLINE OF EXISTING TREES. NO HEAVY EQUIPMENT ALLOWED WITHIN DRIPLINE OF EXISTING TREES.
5. SHOVEL-CUT PLANTING BED EDGES UNLESS LABELED OTHERWISE.
6. MULCH PLANTING BEDS PER SPECIFICATIONS. KEEP MULCH 4 INCHES FROM TREE TRUNKS AND SHRUB CROWNS.
7. CONTACT "811" UNDERGROUND UTILITIES LOCATION CENTER PRIOR TO INSTALLATION OF PLANT MATERIAL AND IRRIGATION SYSTEM.
8. LEGALLY DISPOSE OF DEBRIS ASSOCIATED WITH PLANTING OFF-SITE.
9. PLANT BEDS ON PRIVATE PROPERTY TO BE IRRIGATED FROM THE EXISTING IRRIGATION SYSTEM ON THEIR RESPECTIVE PROPERTIES. COORDINATE CONNECTIONS WITH PLANTAGORP.

KEYED NOTES

LEGEND

-  EXISTING TREES
 DECIDUOUS SHADE TREE
 ORNAMENTAL TREE
 DECIDUOUS SHRUB
 INDIVIDUAL ORNAMENTAL GRASS / PERENNIAL
 LAWN SEED MIX
 METAL LANDSCAPE EDGING

ROSE STREET PLAZA AND FARMERS ALLEY IMPROVEMENTS

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SITE PLAN REVIEW		17OCT25

SEALS AND SIGNATURES

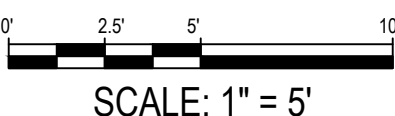
NOT FOR CONSTRUCTION

KEY PLAN



DRAWING TITLE

PLANTING PLAN - ROSE
STREET PLAZA



SCALE _____

PROJECT NUMBER

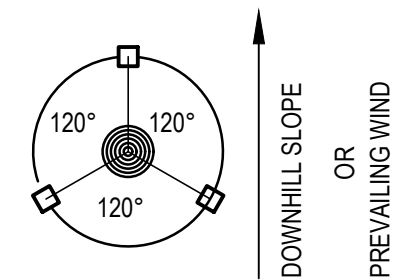
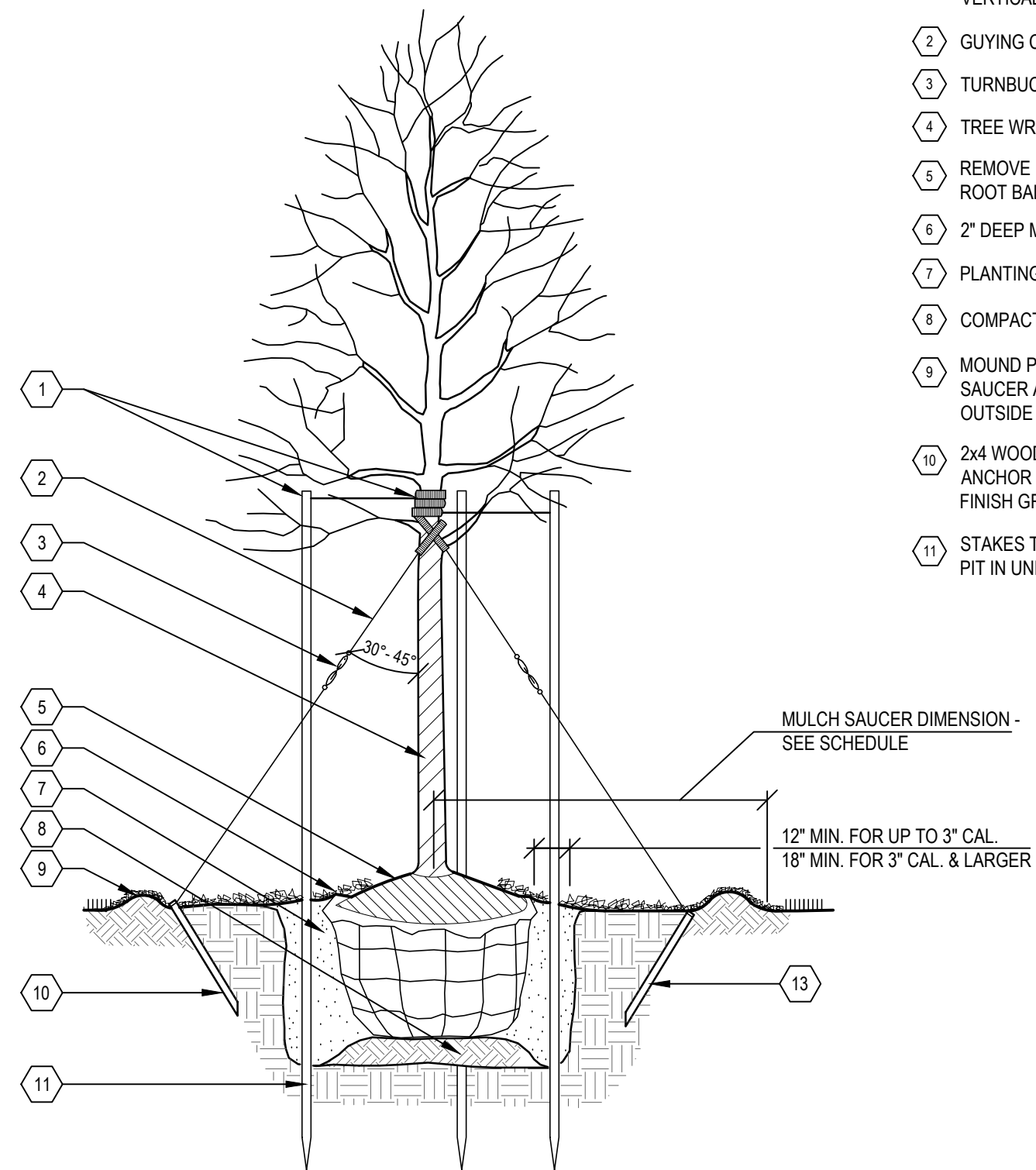
LP102

DRAWING NUMBER

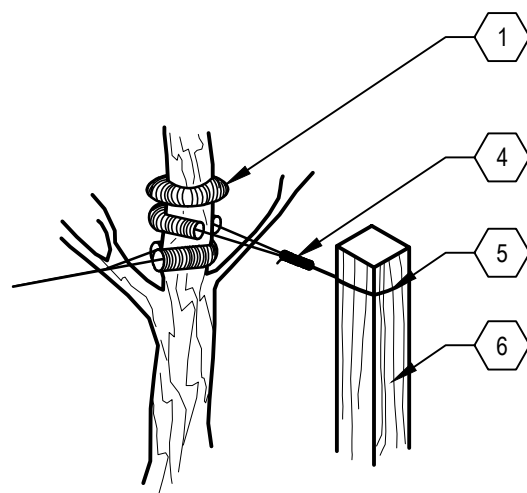
MISS DIG 811

SIZE	STAKING / GUYING	MULCH SAUCER DIMENSION (NON-BED AREAS)
• 2" CAL. & SMALLER • BETWEEN 2.5" & 3.5" CAL. • 4" CAL. - 6" CAL.	• DOUBLE STAKE • TRIPLE STAKE • TRIPLE GUY	• 4' DIA. • 5' DIA. • MIN. 8' DIA. - EXTEND OUTSIDE DIAMETER TO INCLUDE GUYING STAKES

- 1 TOP OF STAKES AND GUYS TO BE SET ABOVE FIRST BRANCHES. SET STAKES VERTICAL AND AT SAME HEIGHT
- 2 VERIFY CABLE 3 GUYS PER TREE
- 3 TURNBUCKLE
- 4 TREE WRAP
- 5 REMOVE BURLAP FROM TOP 1/3 OF ROOT BALL
- 6 2" DEEP MULCH. DO NOT COVER ROOT FLARE
- 7 PLANTING BACKFILL
- 8 COMPACTED PLANTING BACKFILL
- 9 MOUND PLANTING BACKFILL TO FORM SAUCER AROUND PLANT PIT. SET SAUCER OUTSIDE OF GUY STAKES
- 10 2x4 WOOD OR #3/4" METAL FENCE POST ANCHOR STAKE TO BE DRIVEN BELOW FINISH GRADE. MIN. LENGTH TO BE 24"
- 11 STAKES TO EXTEND 12" BELOW TREE PIT IN UNDISTURBED GROUND



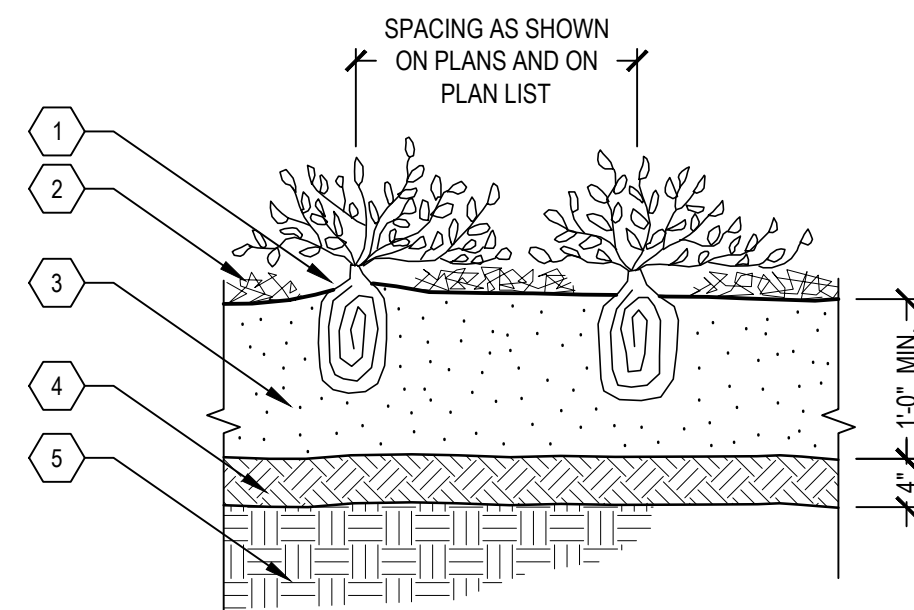
The diagram shows a mechanical assembly. Callout 1 points to a square component with a circular feature. Callout 2 points to a long, thin rod with a series of small rectangular features. Callout 3 points to a small, oval-shaped component with a central slot.



NOTES:

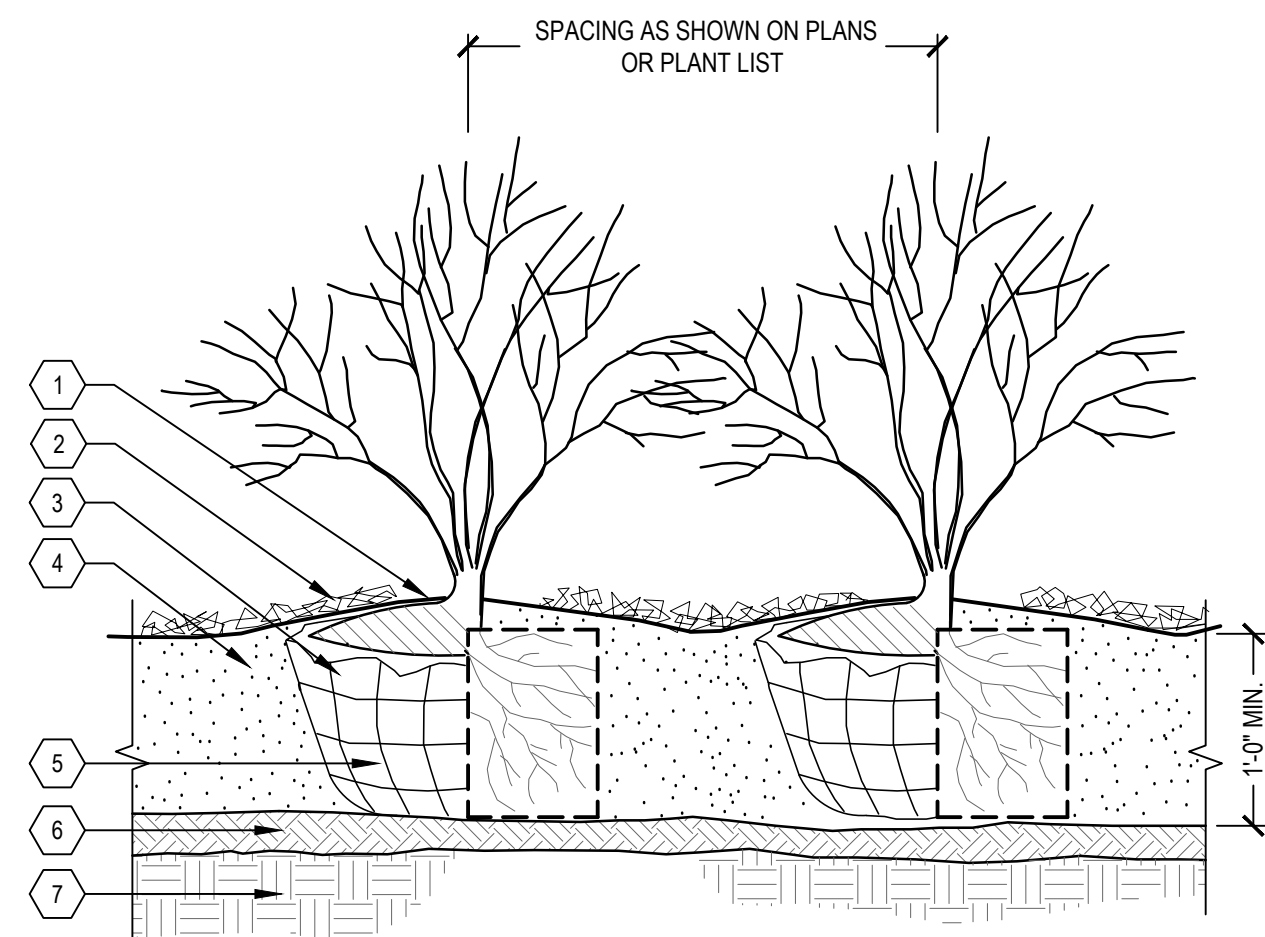
ORIENT STAKING/GUYING TO PREVAILING WINDS AND SLOPES, EXCEPT ON SLOPES GREATER THAN 3:1 ORIENT TO SLOPE.

USE SAME STAKING/GUYING ORIENTATION FOR ALL PLANTS WITHIN EACH GROUPING OR AREA.

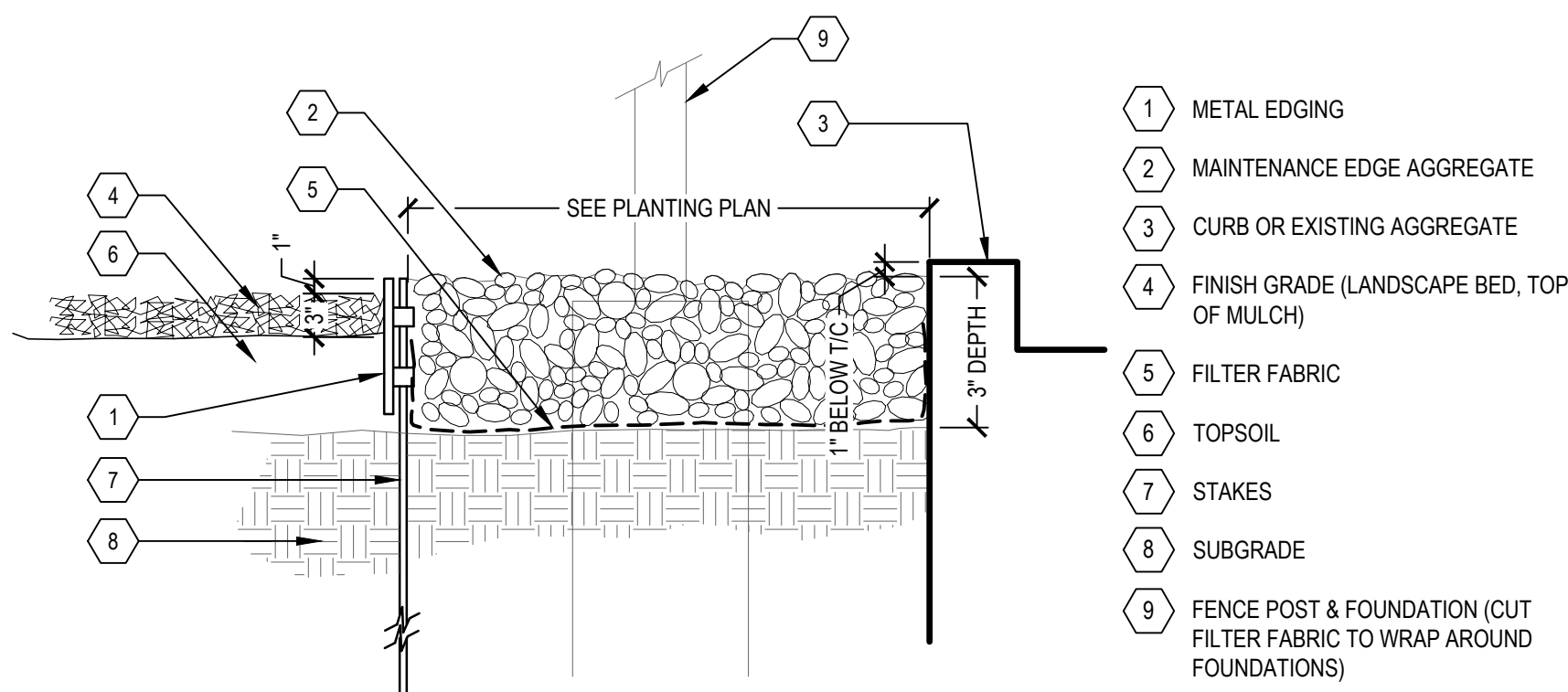


- 1 SET ROOT FLARE (COLLAR) AT FINISHED GRADE
- 2 3" DEEP MULCH. DO NOT COVER ROOT FLARE
- 3 PLANTING MIXTURE
- 4 SCARIFY TO 4" DEPTH AND RECOMPACT
- 5 SUBGRADE

SCALE: 1" = 1'-0"



- 1 SET ROOT FLARE CROWN OF BALL AT FINISHED GRADE
- 2 3" DEEP MULCH. DO NOT COVER ROOT FLARE
- 3 BALLED AND BURLAPPED SHRUB
- 4 PLANTING MIXTURE
- 5 BARE ROOT OR CONTAINER SHRUB
- 6 SCARIFY TO 4" DEPTH AND RECOMPACT.
- 7 SUBGRADE - SLOPE TO FOLLOW FINISH GRADES TO MAINTAIN UNIFORM PLAN BED MIX DEPTH



Technical drawing of a three-rod assembly. The drawing shows three vertical rods passing through a horizontal plate. Label 10 points to the top of the rods, label 11 points to the middle section, and label 12 points to the bottom section.

- 1 METAL EDGING
- 2 MAINTENANCE EDGE AGGREGATE
- 3 CURB OR EXISTING AGGREGATE
- 4 FINISH GRADE (LANDSCAPE BED, TOP OF MULCH)
- 5 FILTER FABRIC
- 6 TOPSOIL
- 7 STAKES
- 8 SUBGRADE
- 9 FENCE POST & FOUNDATION (CUT FILTER FABRIC TO WRAP AROUND FOUNDATIONS)
- 10 FLUSH OVERLAP JOINT ASSEMBLY
- 11 PUNCHED SLOTS
- 12 METAL STAKES - SET ON INSIDE EDGE OF MAINTENANCE EDGE AGGREGATE

SCALE: 1" = 1'-0"

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DRAWING TITLE
PLANTING DETAILS

SCALE 14735.00

PROJECT NUMBER _____

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