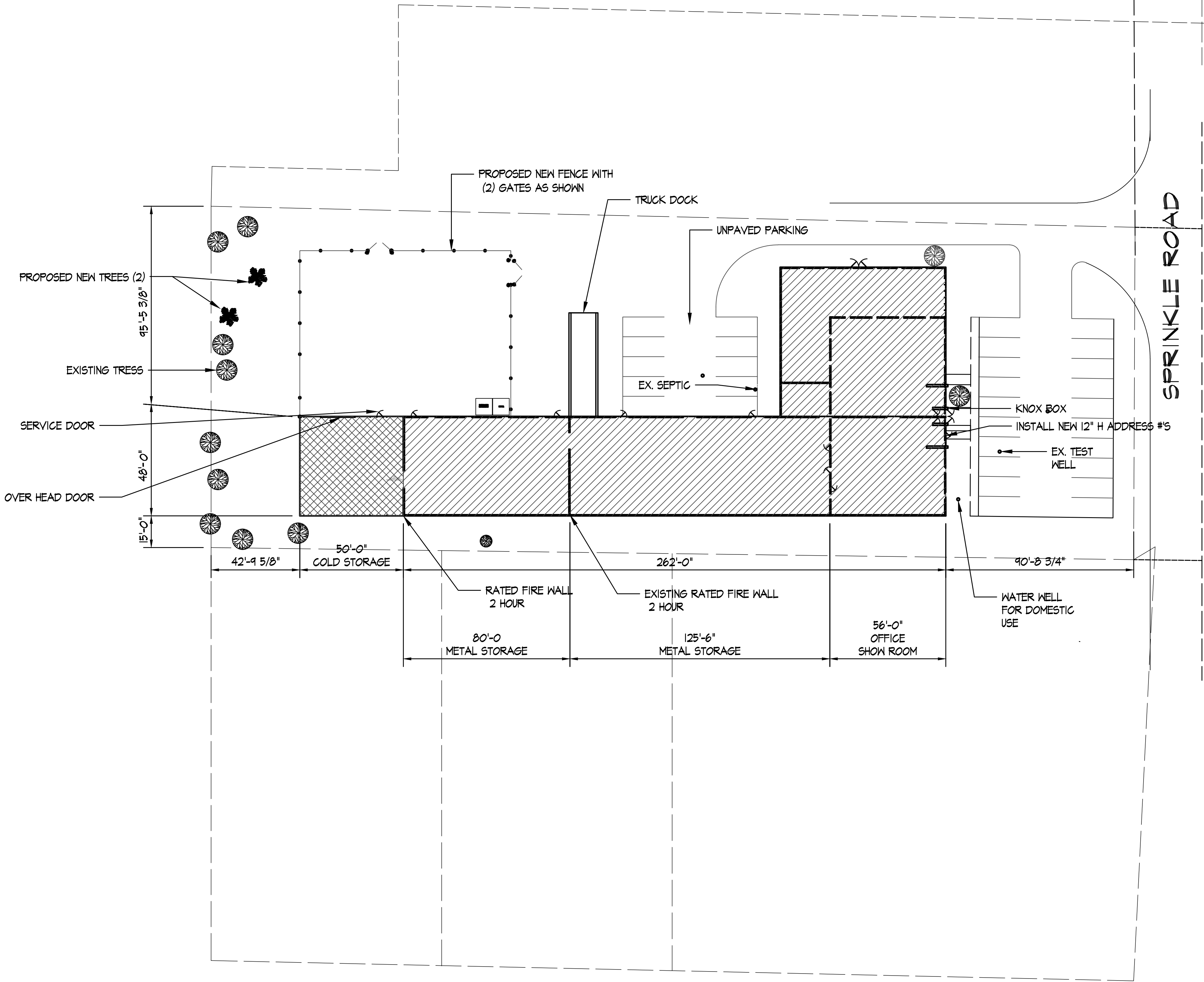


Site Plan Review  
Received: 11/11/2025  
City of Kalamazoo  
E.Szymanski



Owner: 2504 Sprinkle LLC  
2504 Sprinkle Road  
Kalamazoo, Michigan

Arnie Polmanter

Zoning: CC

G25-32 Section 25 T25 RIIM Beg in E ll sd Sect at a pt 384.37ft S of E 1/4 post of sd Sect, th S Odeg E alg sd E ll 160.13ft, th N 84deg 14min 51sec W 478.5ft, th N Odeg E 164.78ft, th S 88deg 41min 30sec E 478.54ft to P.O.B. Exc the E 33ft for Sprinkle Road. Parcel contains appr. 1.66 Acres.

TRESS: 2 ADDITIONAL TO BE PROVIDED -  
2 EXISTING BUSHES AT FRONT AND N. SIDE  
(10) TREES EXISTING AT WEST SIDE OF NEW BUILDING

EXISTING BUILDING:  
USE GROUP B & S1  
CONSTRUCTION TYPE - 5B UNPROTECTED  
NO INSIDE VEHICLE STORAGE

BUILDING AREA: 20,735.5 SQ FT TOTAL  
EXISTING : 18,335.5 SQ FT  
FRONT : SALES / OFFICE 14,466.6  
2 HOUR FIRE SEPARATION  
MIDDLE AREA: STORAGE - METAL 3,864 SQ FT  
2 HOUR FIRE SEPARATION  
NEW PROPOSED AREA:  
PROPOSED: 48'-0" X 50'-0" = 2,400 SQ FT  
BUILDING HT: 16' EVE / 26' RIDGE  
COLD STORAGE - METAL

PARKING: EXISTING PAVED FRONT PARKING WITH (20) SPACES  
REMAINDER IS NON-PAVED OPEN SPACE

NO DEWATERING, GERERATORS, SUMP PUMPS OR SNOW MELT SYSTEMS PROPOSED



SITE PLAN  
SCALE 1" = 30'-0"

NO.	DATE	REVISION
1		
2		
3		
4		
5		
6		
7		



POLE STRUCTURE  
PRECISON GLASS  
2504 SPRINKLE ROAD, KALAMAZOO, MI

SITE PLAN

**Vanderweele**  
Design Consultants, P.C.

6330 Torrington • Kalamazoo, Michigan 49009  
(269) 372-7227  
e mail: bvanderweele@vanderweele.com

XREFs.

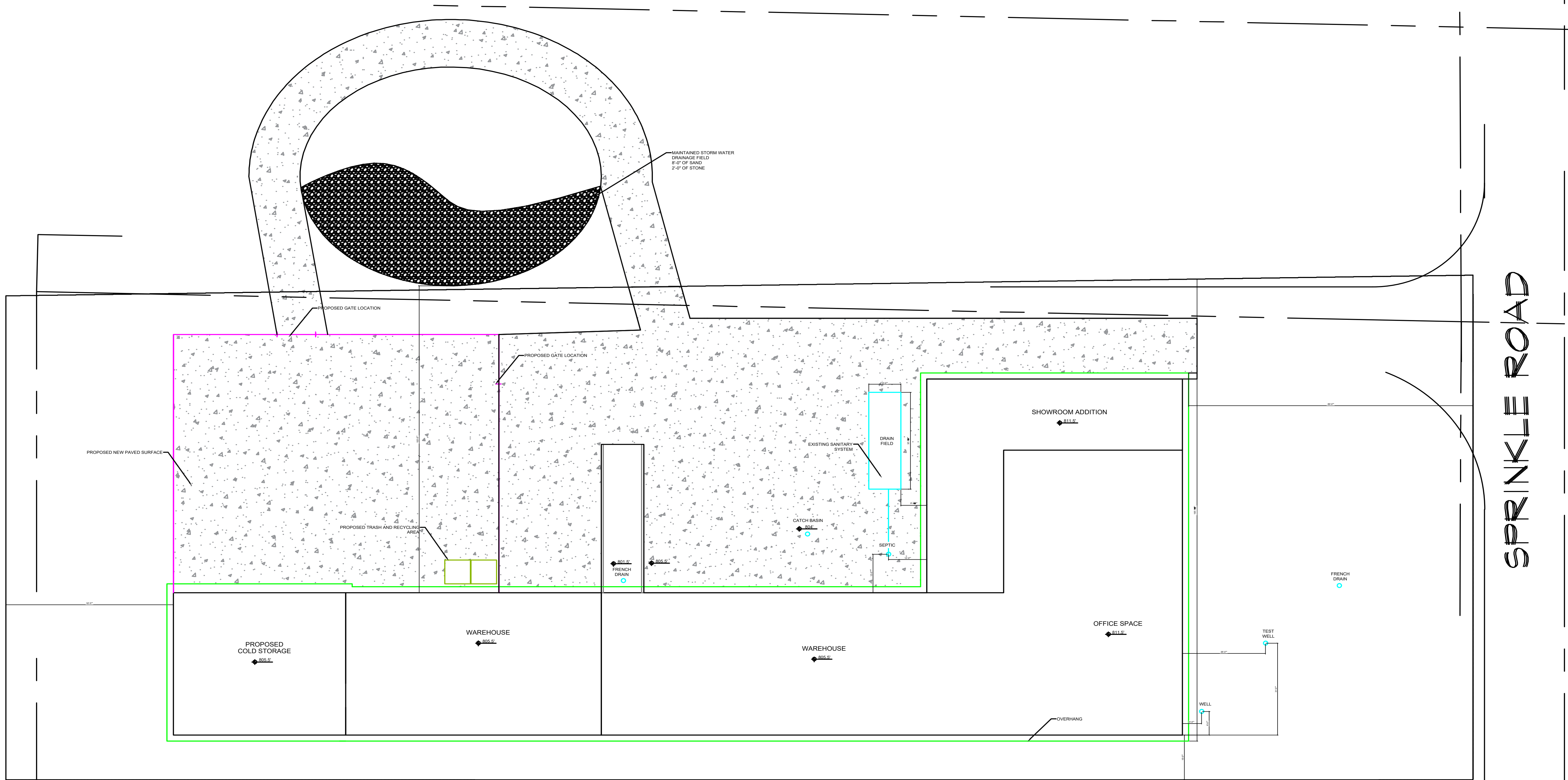
PLOT SCALE

ISSUE DATE:  
10/6/25

DRAWN BY:  
BAV

SHEET NO.  
**C1.01**

PROJECT NO.  
**11919**



SITE PLAN

NO.	DATE	REVISION
1		
2		
3		
4		
5		
6		
7		



POLE STRUCTURE

PRECISON GLASS

2504 SPRINKLE ROAD, KALAMAZOO, MI

SITE PLAN

**Vanderweele**  
Design Consultants, P.C.

6330 Terrington • Kalamazoo, Michigan 49009  
(269) 372-2227 Fax: (269) 372-3964  
e-mail: bvanderweele@vanderweele.com

XREFs.

PLOT SCALE

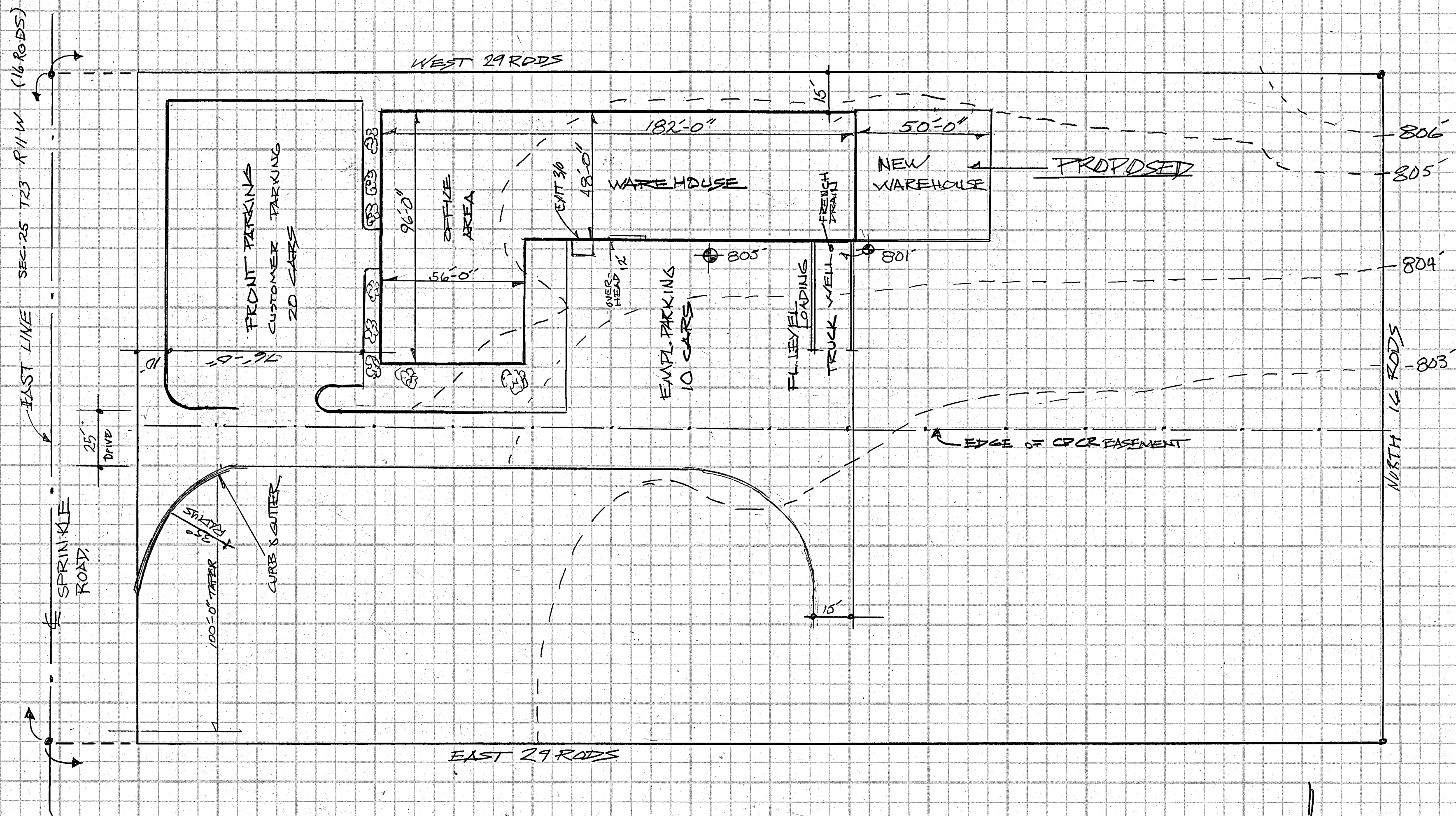
ISSUE DATE:  
10/6/25

DRAWN BY:  
BAV

SHEET NO.  
C1.02

PROJECT NO.  
11919





# SITE PLAN for PRECISION GLASS

SCALE 1"=30'

NEW PROPOSED

WAREHOUSE

ADDITION

ADDRESS: 2504 S. SPRINKLE  
KALAMAZOO, MI 49048



## GENERAL INFORMATION SHEET

- \*PROPERTY IS NOT LOCATED IN HISTORIC DISTRICT
- \*PROPERTY IS NOT WITHIN THE BROWNFIELD REDEVELOPMENT AUTHORITY
- \*PROPERTY IS NOT ON STATE / FEDERAL LIST FOR SOIL/GROUNDWATER CONTAMINATION.
- \*PROPERTY IS NOT REQUIRED TO REPORT RCRA/US EPA HAZARDOUS WASTE.
- \*PROPERTY IS NOT A SOLID WASTE FACILITY
- \*PROPERTY IS NOT A TAX CAPTURE OR DEFERMENT AREA
- \*PROPERTY HAS NO NATURAL PROTECTION AREA.
- \*PROPERTY IS NOT A WELL HEAD PROTECTION AREA.
- \*PROJECT WILL NOT DISTURB AN AREA GREATER THAN 1 ACRE WITHIN 500' OF A LAKE OR STREAM.

7		
6		
5		
4		
3		
2		
1		
NO. DATE		REVISION



POLE STRUCTURE  
PRECISION GLASS  
2504 SPRINKLE ROAD, KALAMAZOO, MI

**SITE PLAN**

---

***V*ander Weele**  
Design Consultants, P.C.

6330 Torrington \* Kalamazoo, Michigan \* 49009  
Tel: (269) 372-7227 Fax: (269) 372-3954  
e mail: bvanderweele@vanderweele.com

XREFs.

PLOT SCALE

ISSUE DATE:  
10/6/25

DRAWN BY:  
BAV

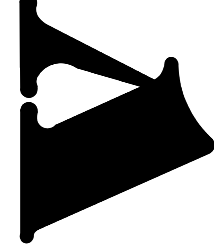
SHEET NO.

PROJECT NO.  
**11919**





SITE PLAN



**Vander Weele**  
Design Consultants, P.C.  
6330 Torrington • Kalamazoo, Michigan 49009  
(269) 372-2227  
e mail: bvanderweele@vanderweele.com

POLE STRUCTURE  
PRECISON GLASS  
2504 SPRINKLE ROAD, KALAMAZOO, MI



*B Vanderweele*

NO.	DATE	REVISION
1		
2		
3		
4		
5		
6		
7		

XREFs.

PLOT SCALE

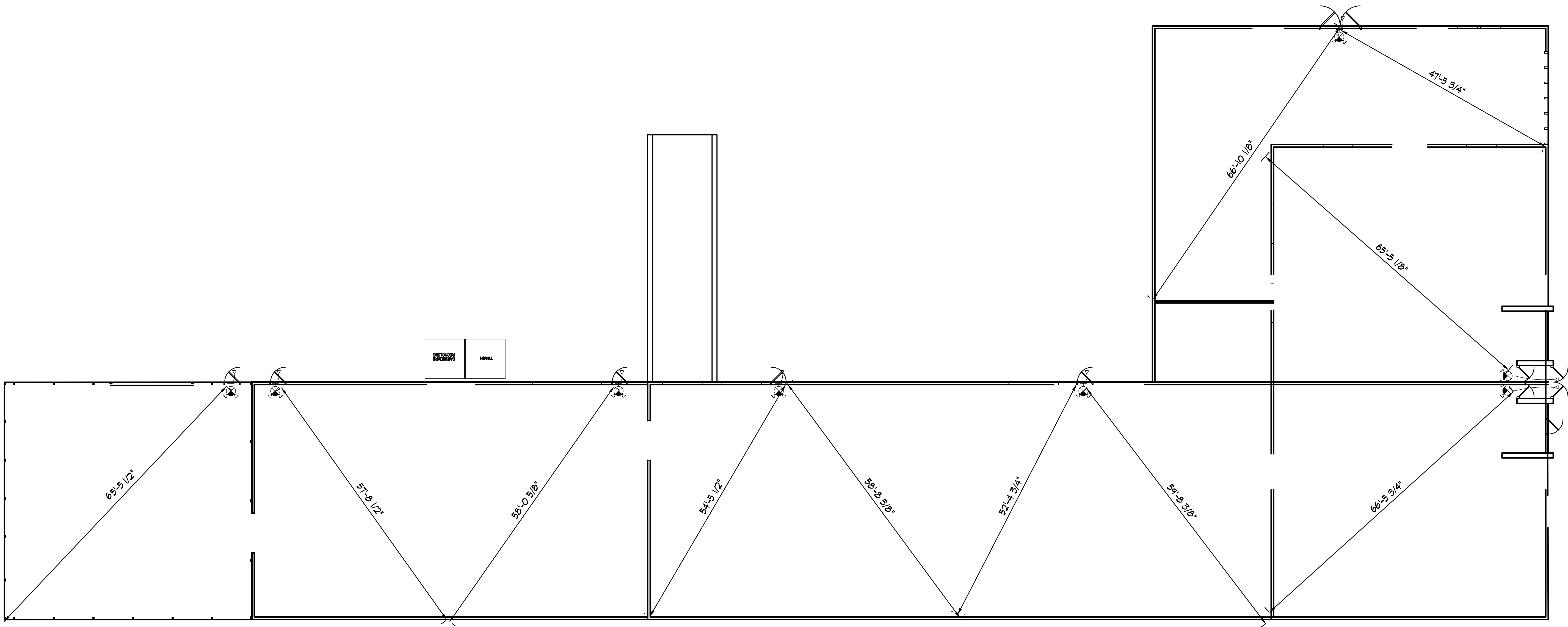
ISSUE DATE:  
10/6/25

DRAWN BY:  
BAV

SHEET NO.

PROJECT NO.

11919



EXIT SIGN WITH BATTERY BU AND EXTERIOR DANGLE  
CONFIRM WORKING CONDITION - REPLACE / INSTALL AS REQ'D



**LIFE SAFETY PLAN**  
SCALE 3/32" = 1'-0"

XREFs.

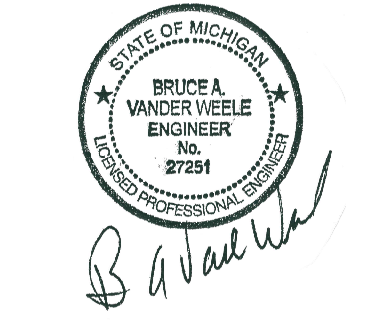
PLOT SCALE  
ISSUE DATE:  
10/6/25  
DRAWN BY:  
BAV  
SHEET NO.

**C1.00**  
PROJECT NO.  
**11919**

Life Safety Plan

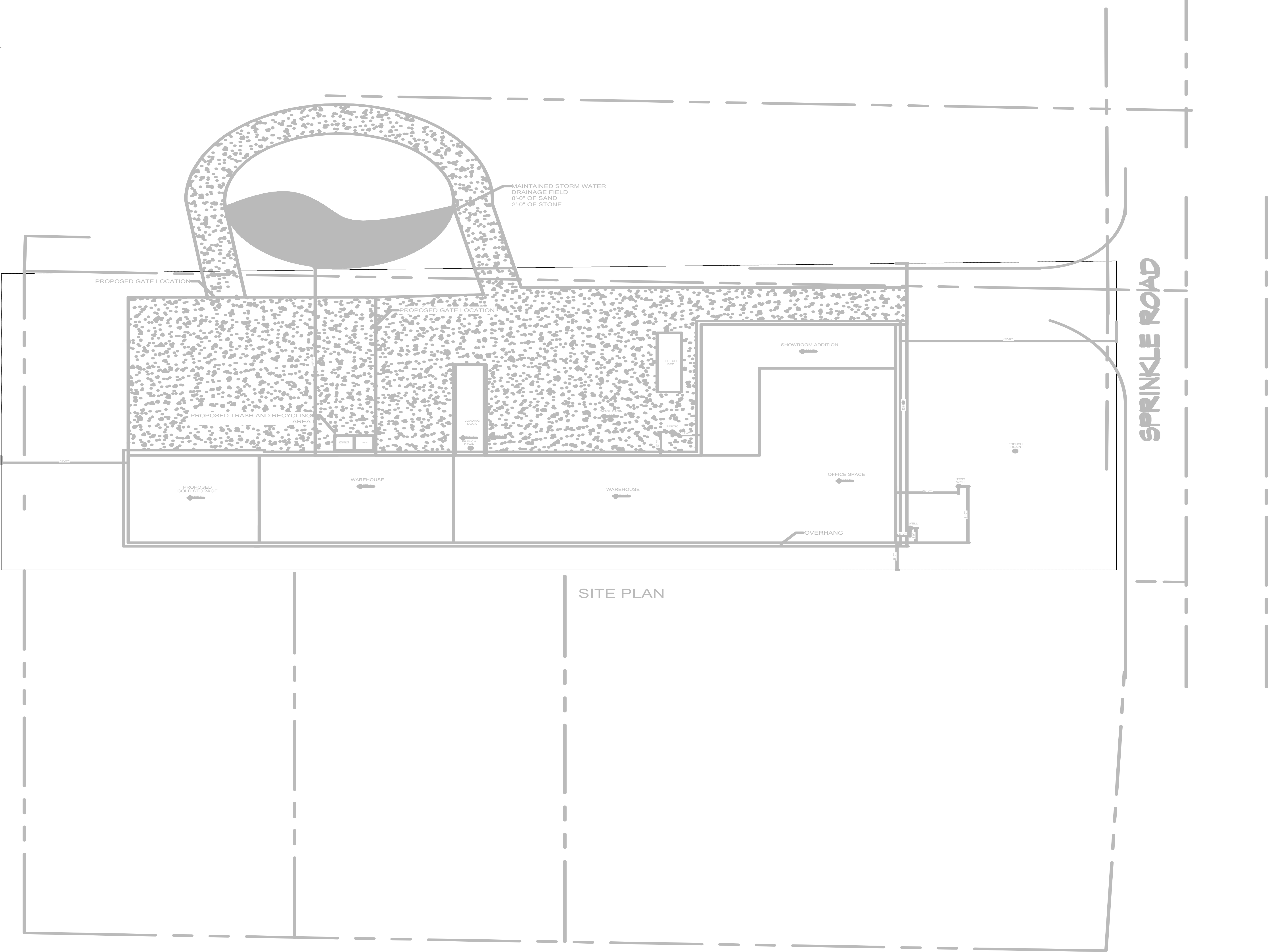
**Vander Weele**  
Design Consultants, P.C.  
6330 Torrington • Kalamazoo, Michigan 49009  
Fax: (269) 372-3964  
e-mail: bvanderweele@vanderweele.com

**POLE STRUCTURE  
PRECISION GLASS**  
2504 SPRINKLE ROAD, KALAMAZOO, MI

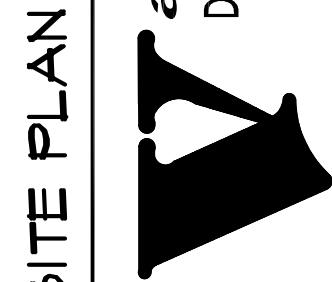


NO.	DATE	REVISION
1		
2		
3		
4		
5		
6		
7		





SITE PLAN



**SITE PLAN**

**Vander Weele**  
Design Consultants, P.C.  
6330 Torrington • Kalamazoo, Michigan 49009  
(269) 372-2227 Fax: (269) 372-3964  
e-mail: bvanderweele@vanderweele.com

XREFs.

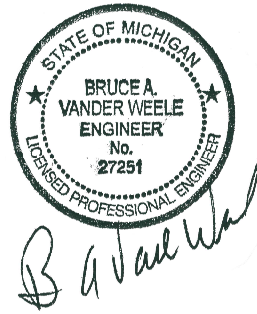
PLOT SCALE

ISSUE DATE:  
10/6/25  
DRAWN BY:  
BAV  
SHEET NO.

C1.02  
PROJECT NO.

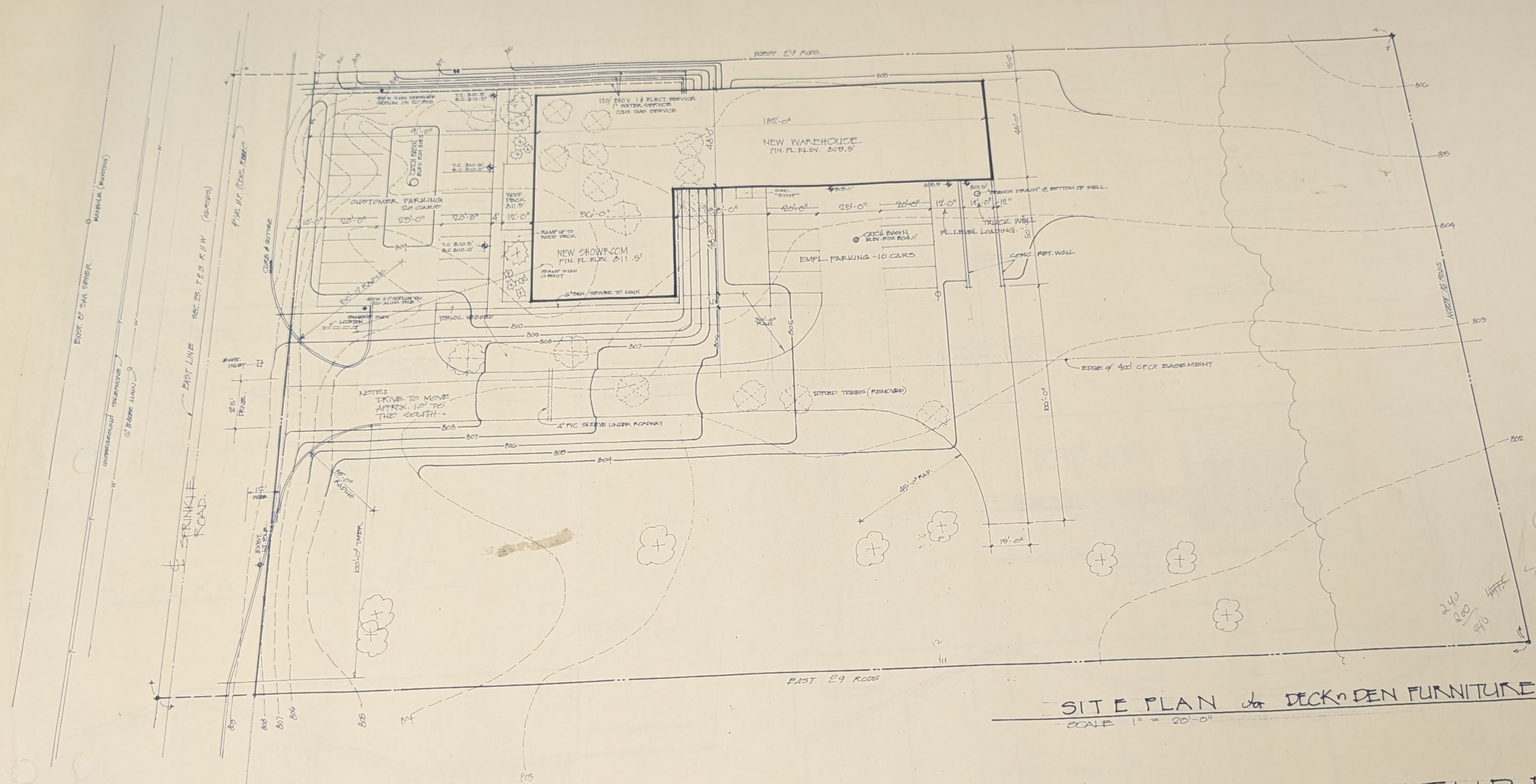
11919

POLE STRUCTURE  
PRECISION GLASS  
2504 SPRINKLE ROAD, KALAMAZOO, MI



NO.	DATE	REVISION
1		
2		
3		
4		
5		
6		
7		





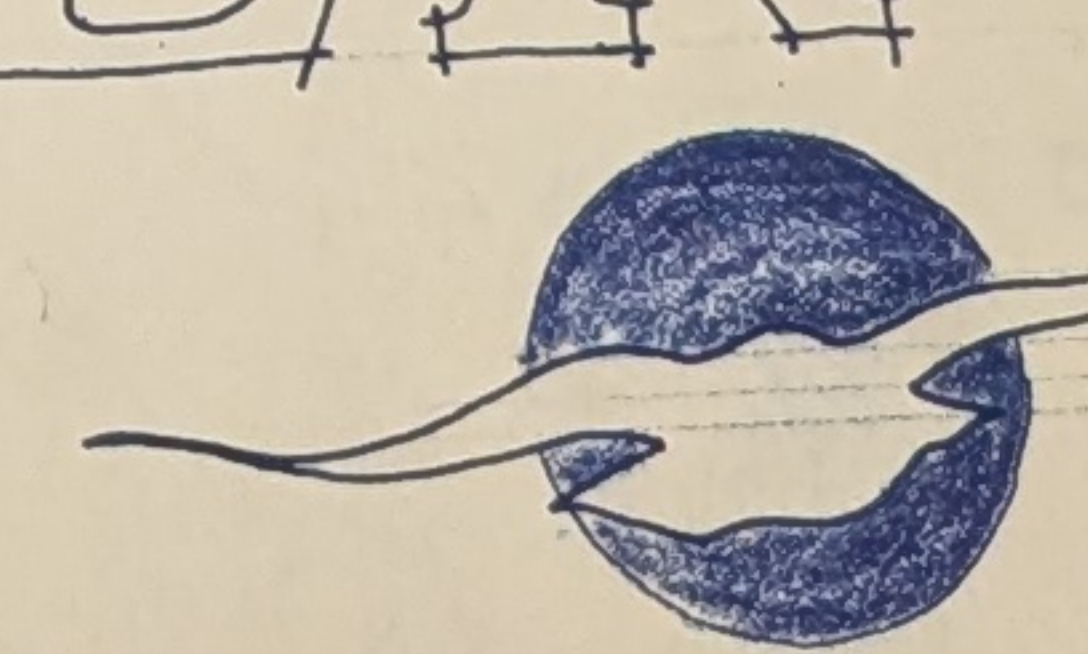
15  
 3/452  
 3  
 15.66

7.5  
 452

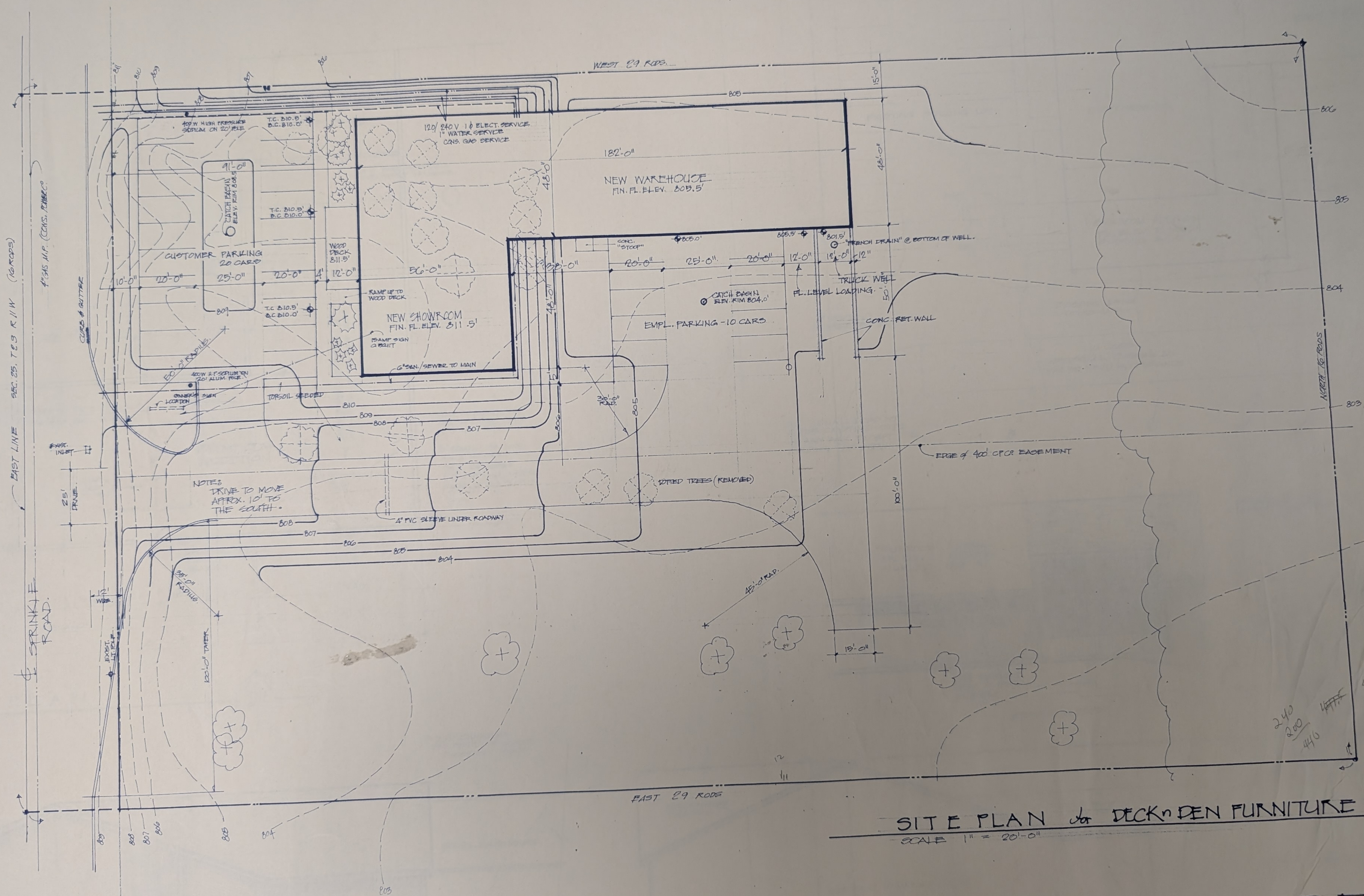
SITE PLAN for DECK n DEN FURNITURE  
 SCALE 1" = 20'-0"

NEW BUILDING FOR THE **DECK n DEN** FURNITURE CO.  
 "furniture for all seasons"

150  
 40  
 140  
 150  
 2


**Jim DeDobbs, architect**  
 151 SECOND STREET • PLAINWELL, MI • PH. 685-6923



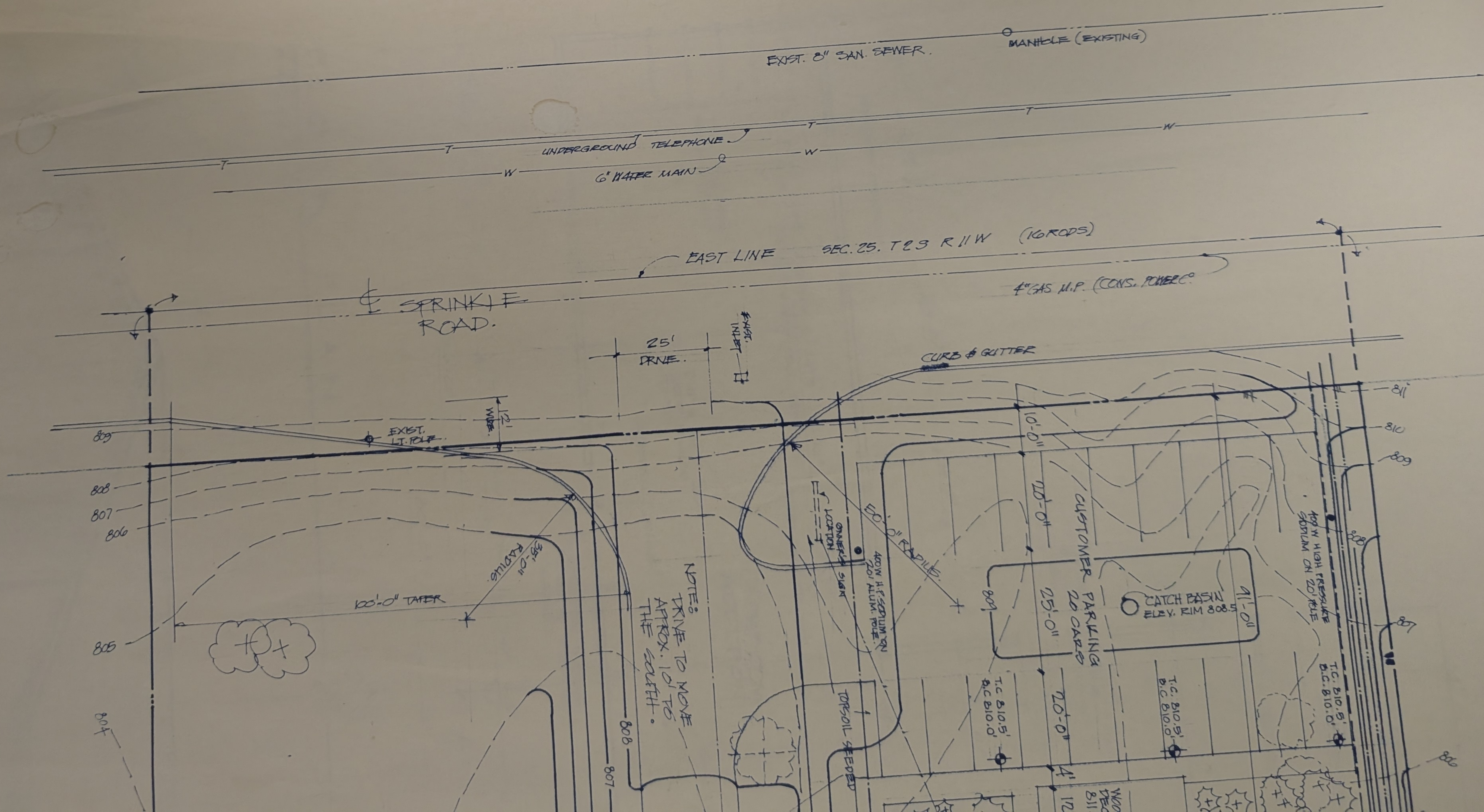


SITE PLAN for DECK n DEN FURNITURE CO  
 SCALE 1" = 20'-0"

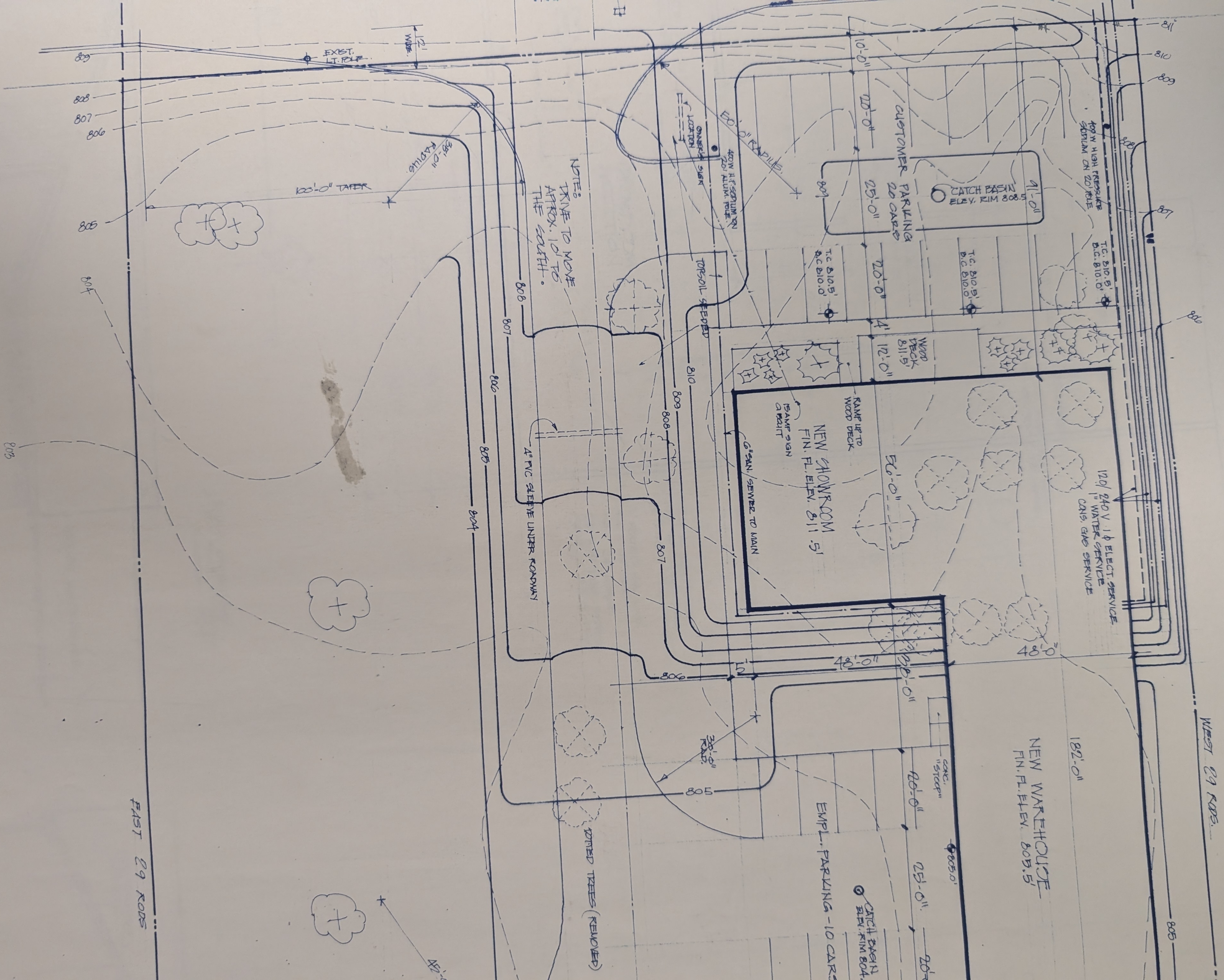
BUILDING **DECK n DEN** FURNITURE CO  
 "Furniture for all seasons"



NEW BUILDING



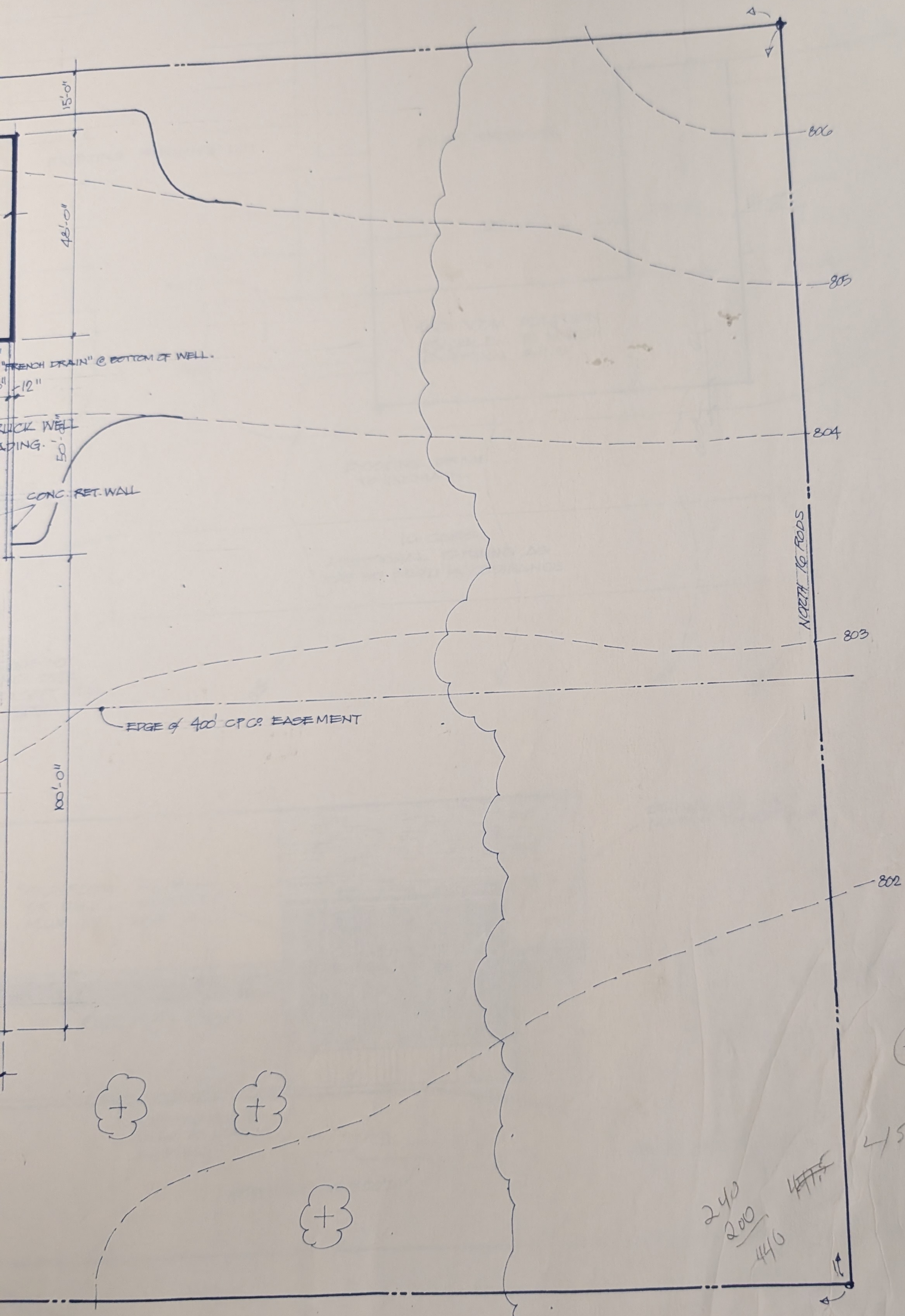












$$\begin{array}{r} 15 \\ 3 \overline{) 452} \\ \underline{3} \phantom{0} \\ 15.66 \end{array}$$

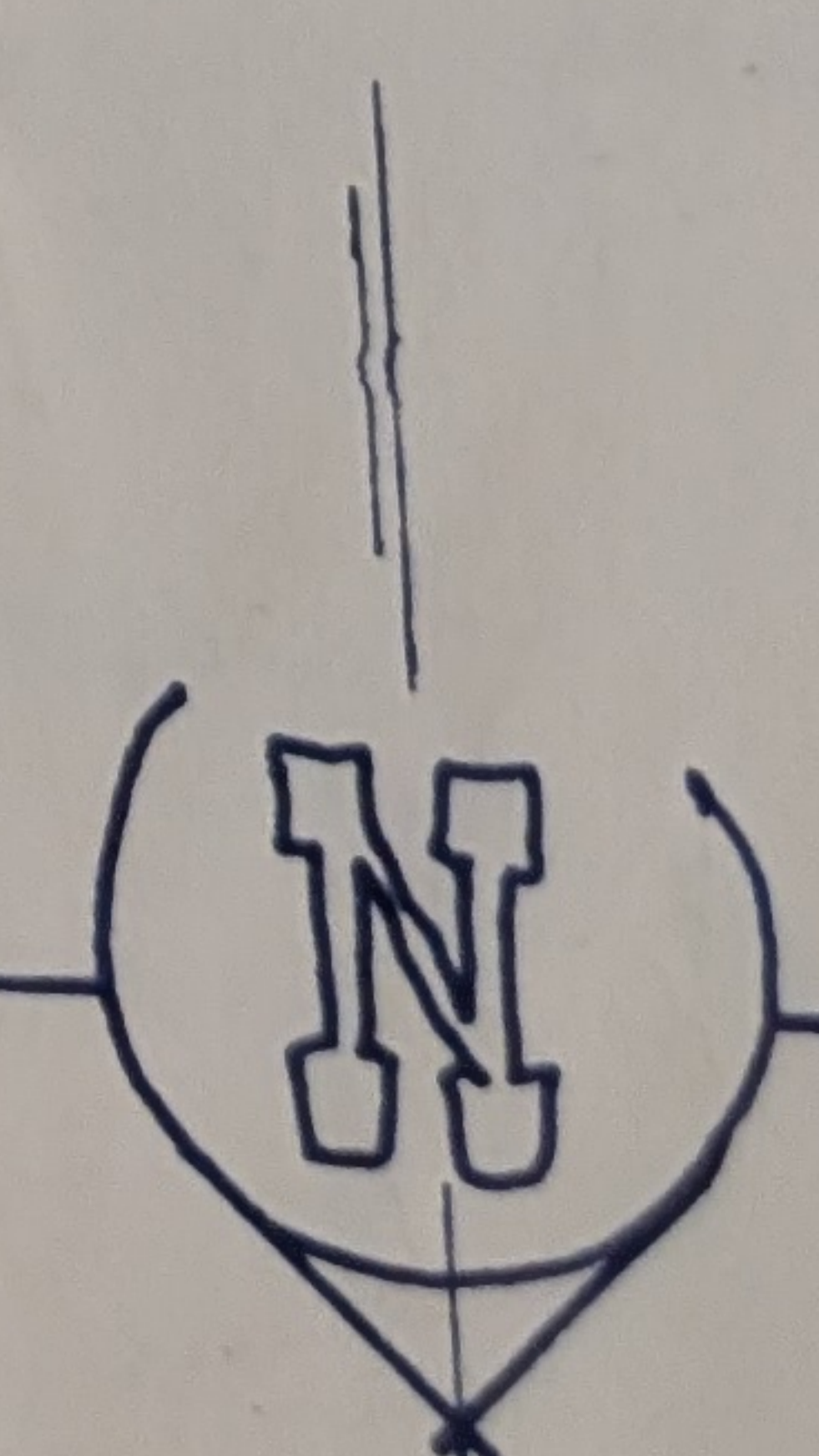
7.5

4/52

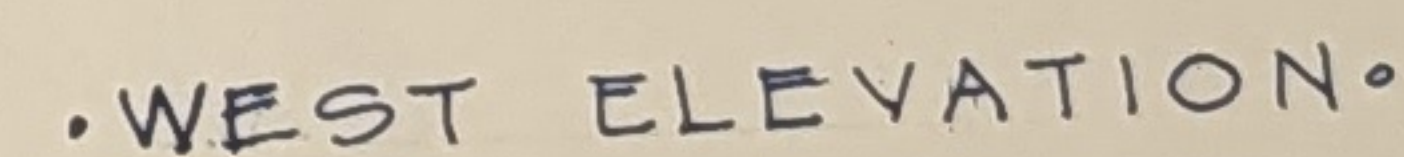
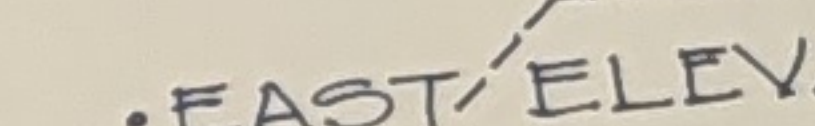
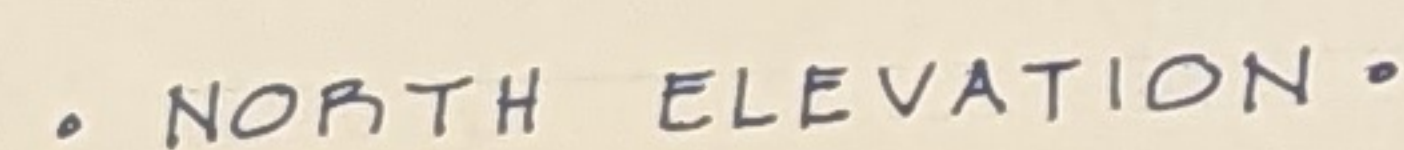
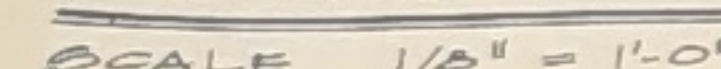
$$\begin{array}{r} 240 \\ 200 \\ \hline 440 \end{array}$$

SITE PLAN for DECK & DEN FURNITURE

SCALE 1" = 20'-0"





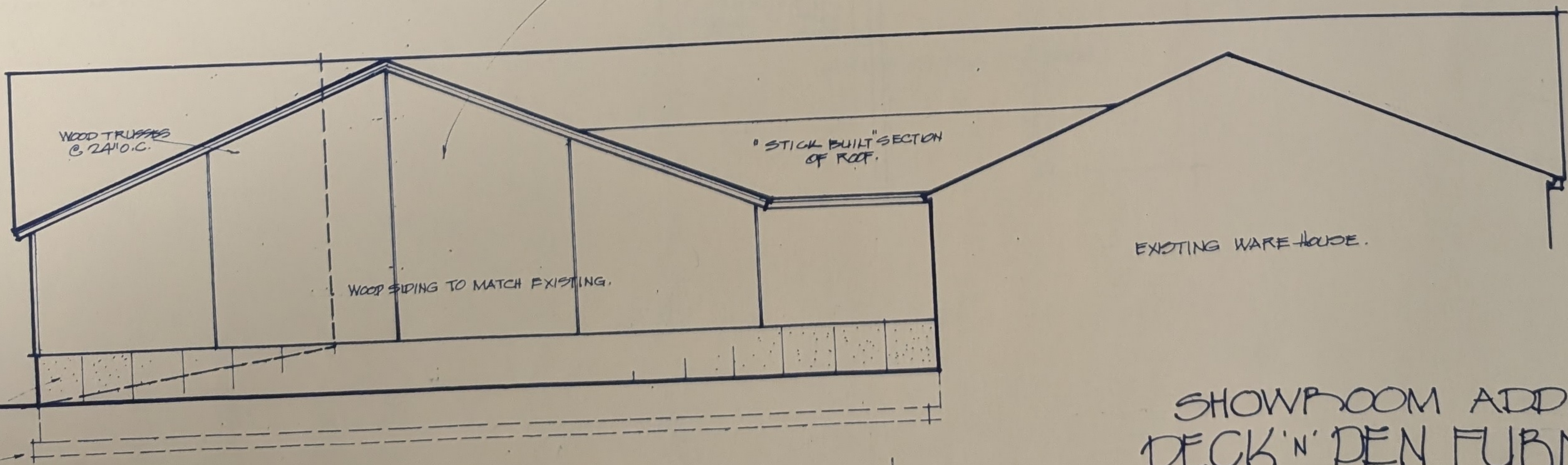
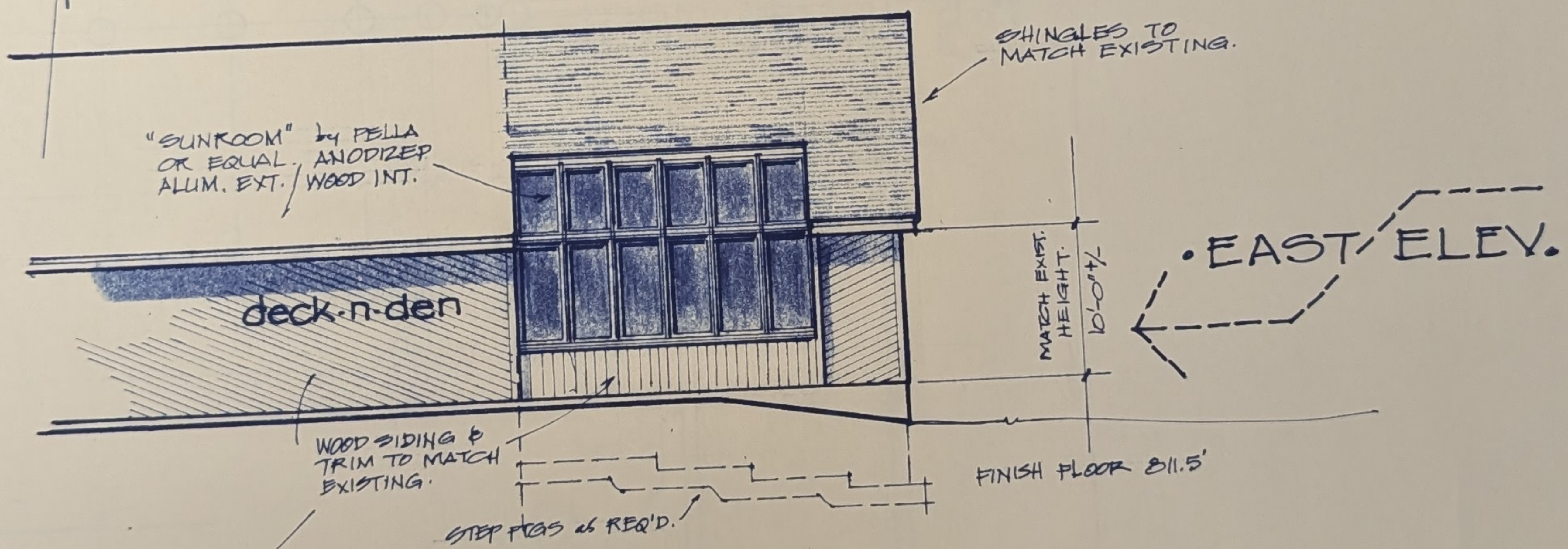
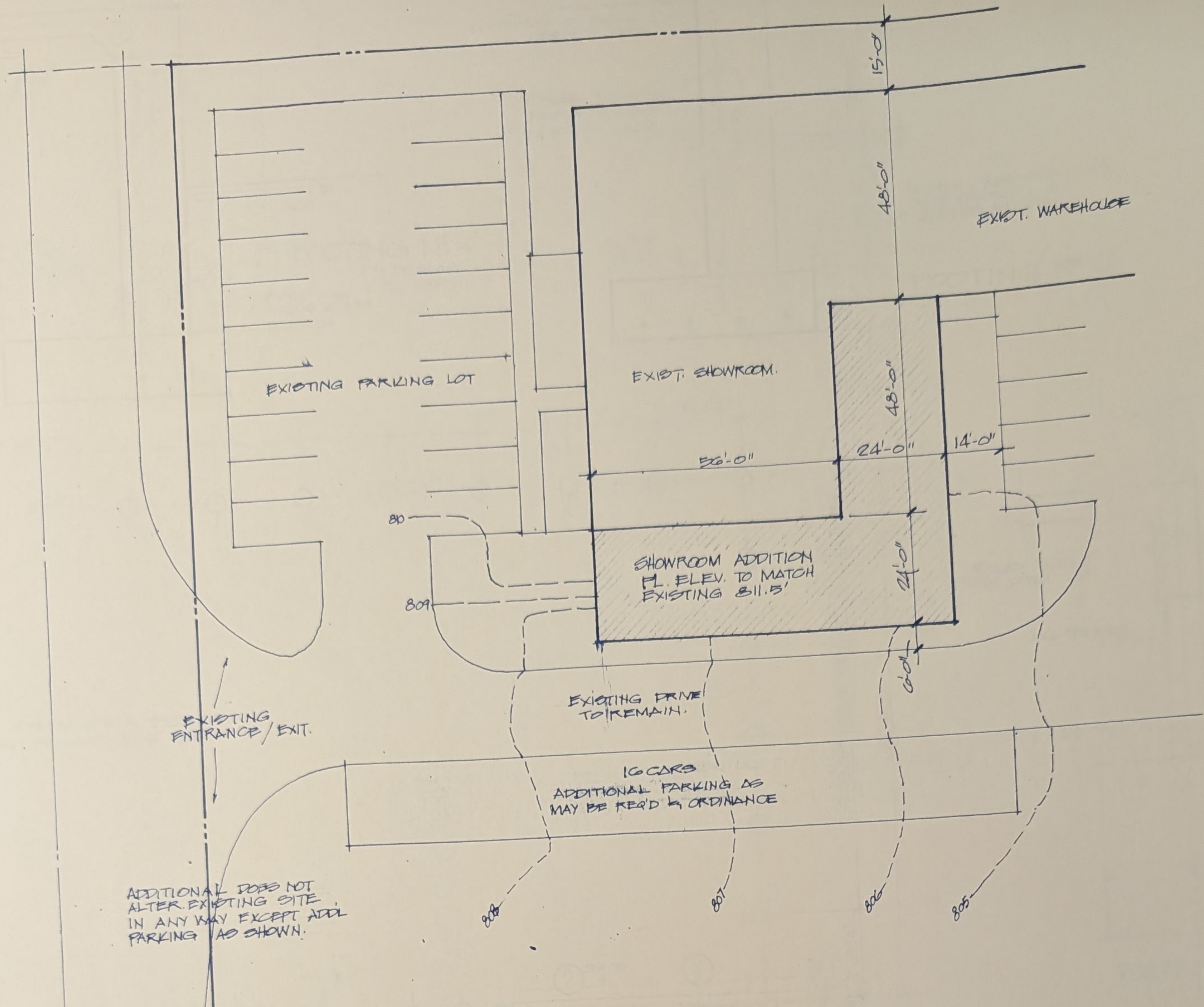


SHOWROOM ADDITION  
DECK'N' DEN FURNITURE  
SPRINKLE ROAD  
KALAMAZOO, MI.  
JACK and GWEN PASSEMAN - OWNERS.





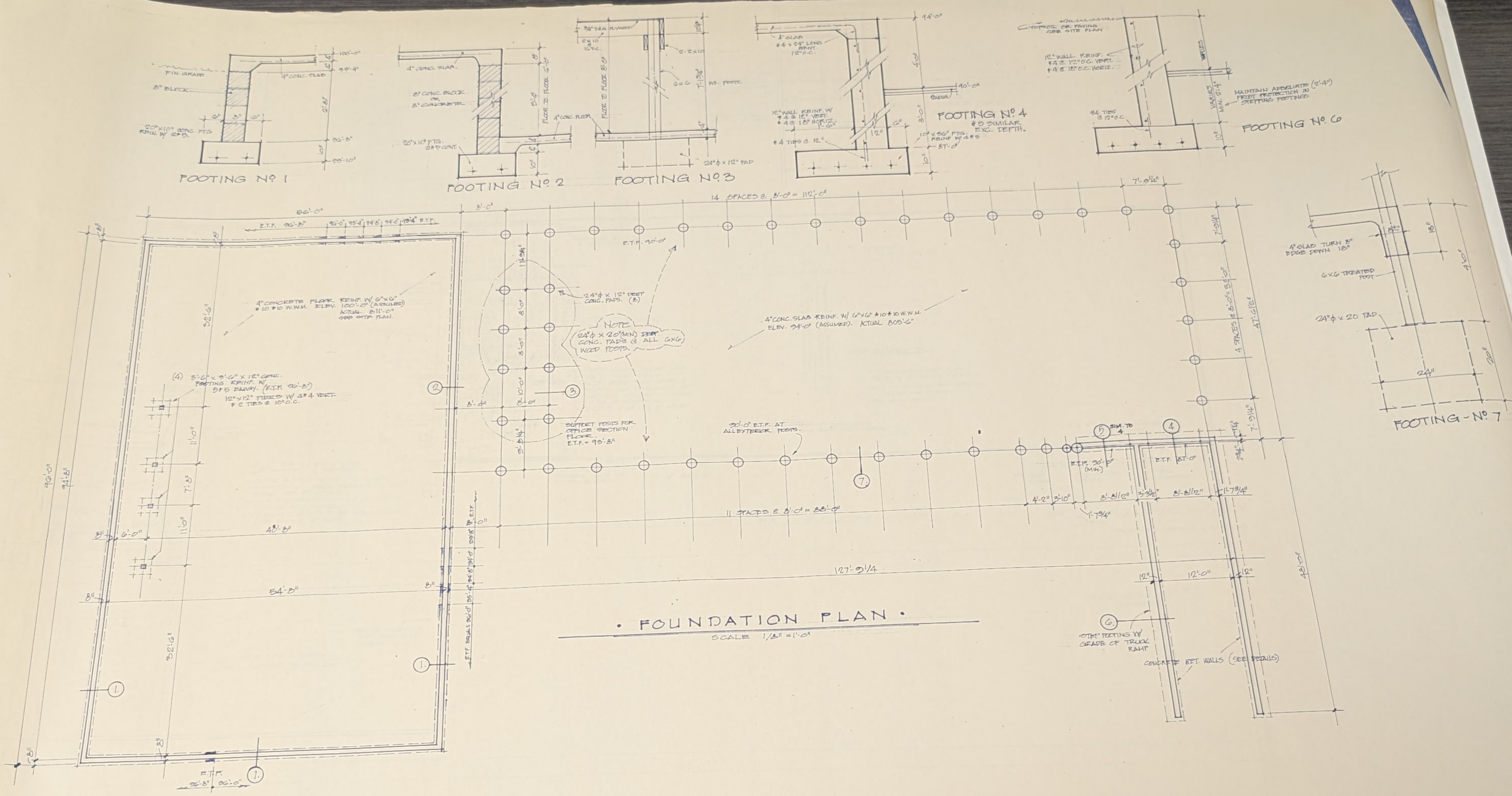




• WEST ELEVATION •

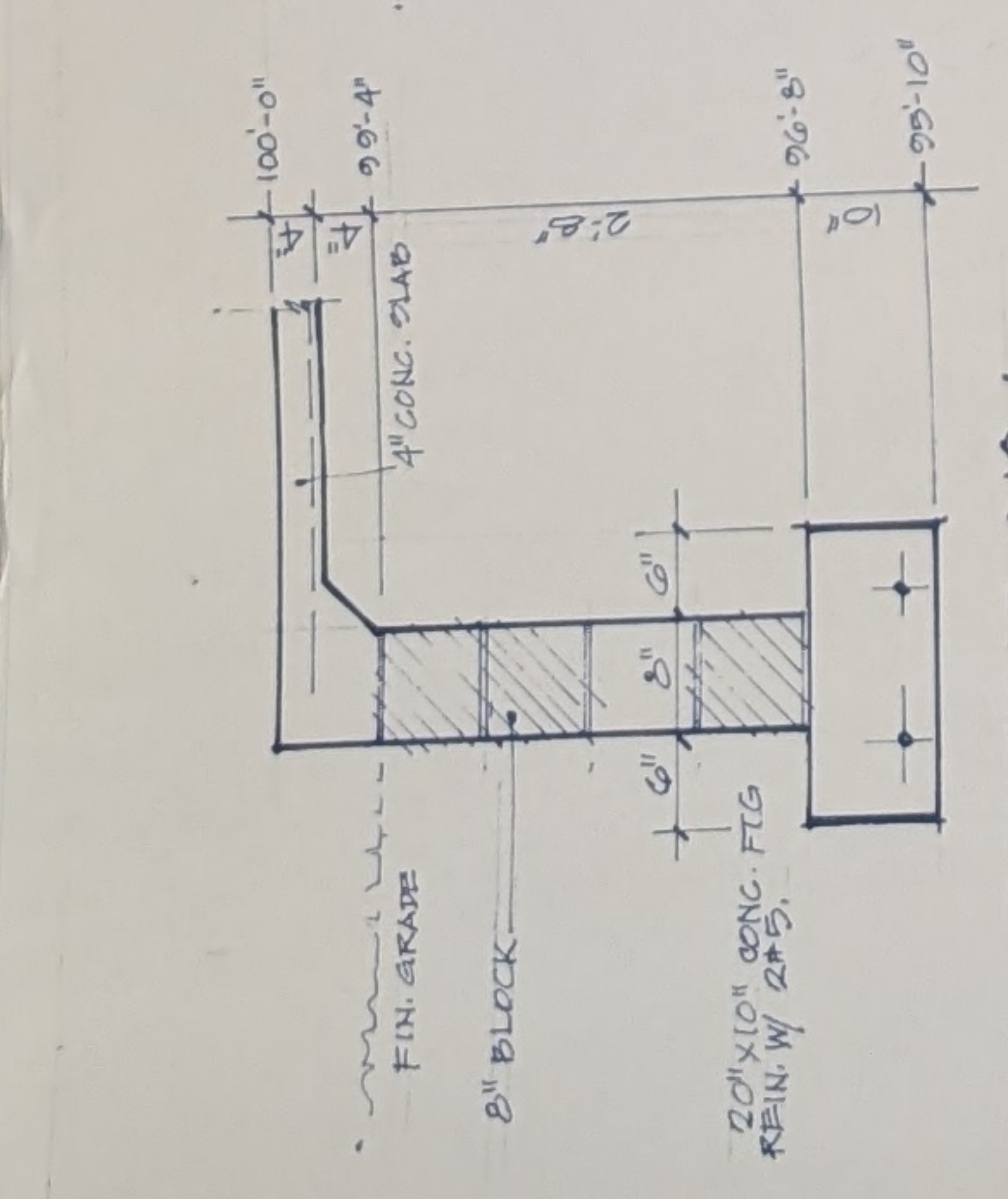
SHOWROOM ADDITION  
DECK'N' DEN FURNITURE  
SPRINKLE ROAD  
KALAMAZOO, MI.  
JACK and GWEN PASEMAN - OWNERS



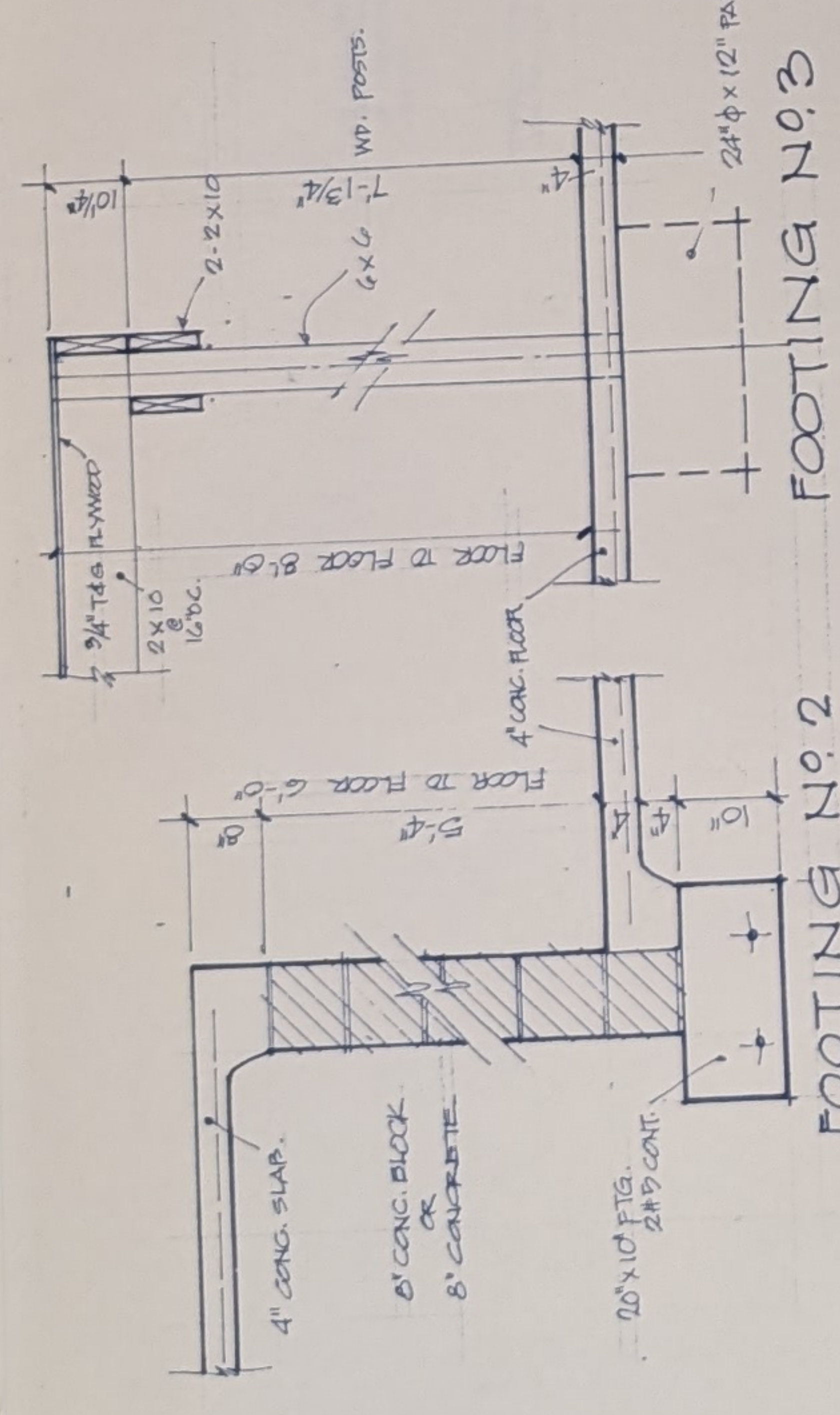


SHEET ONE

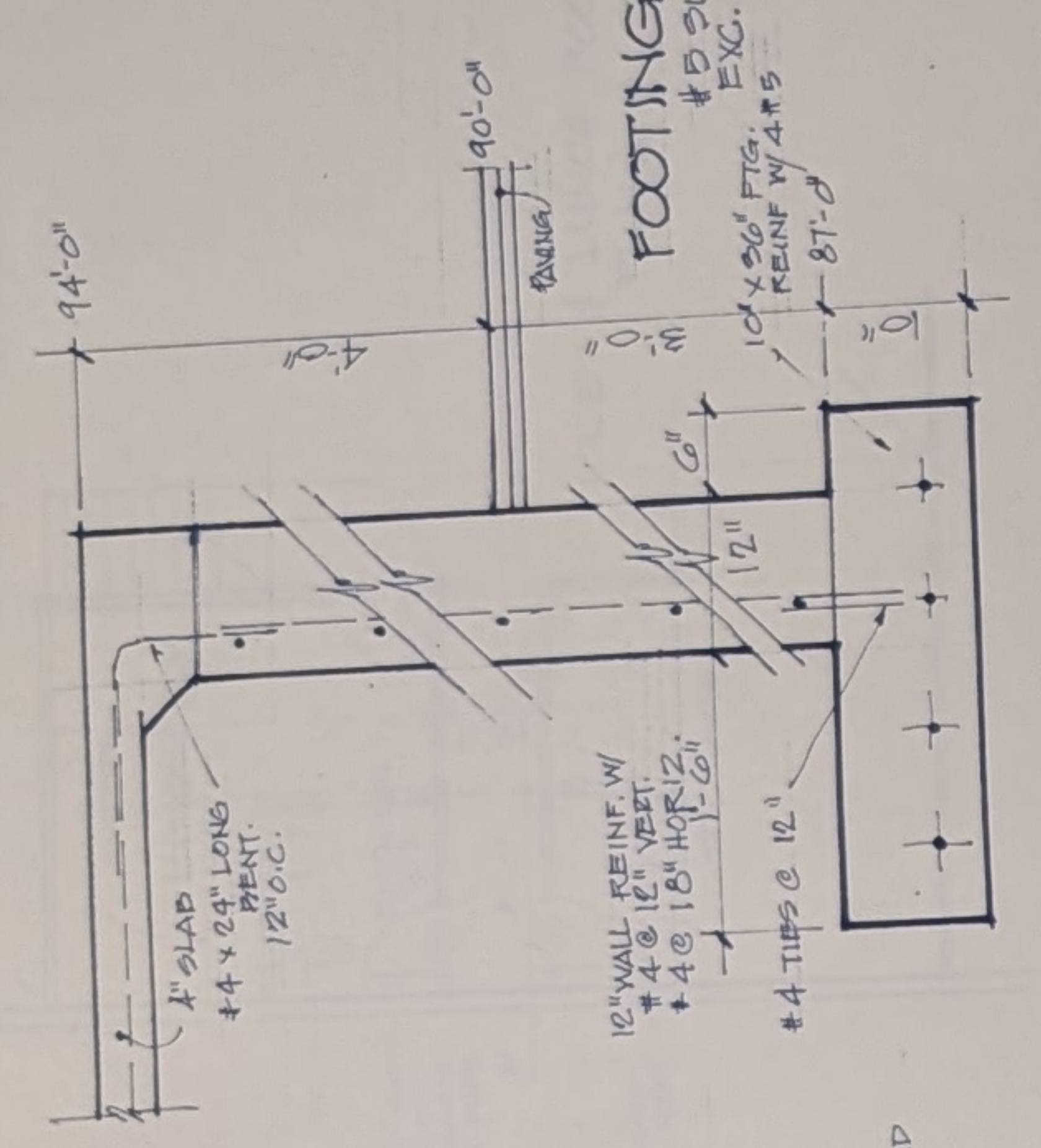




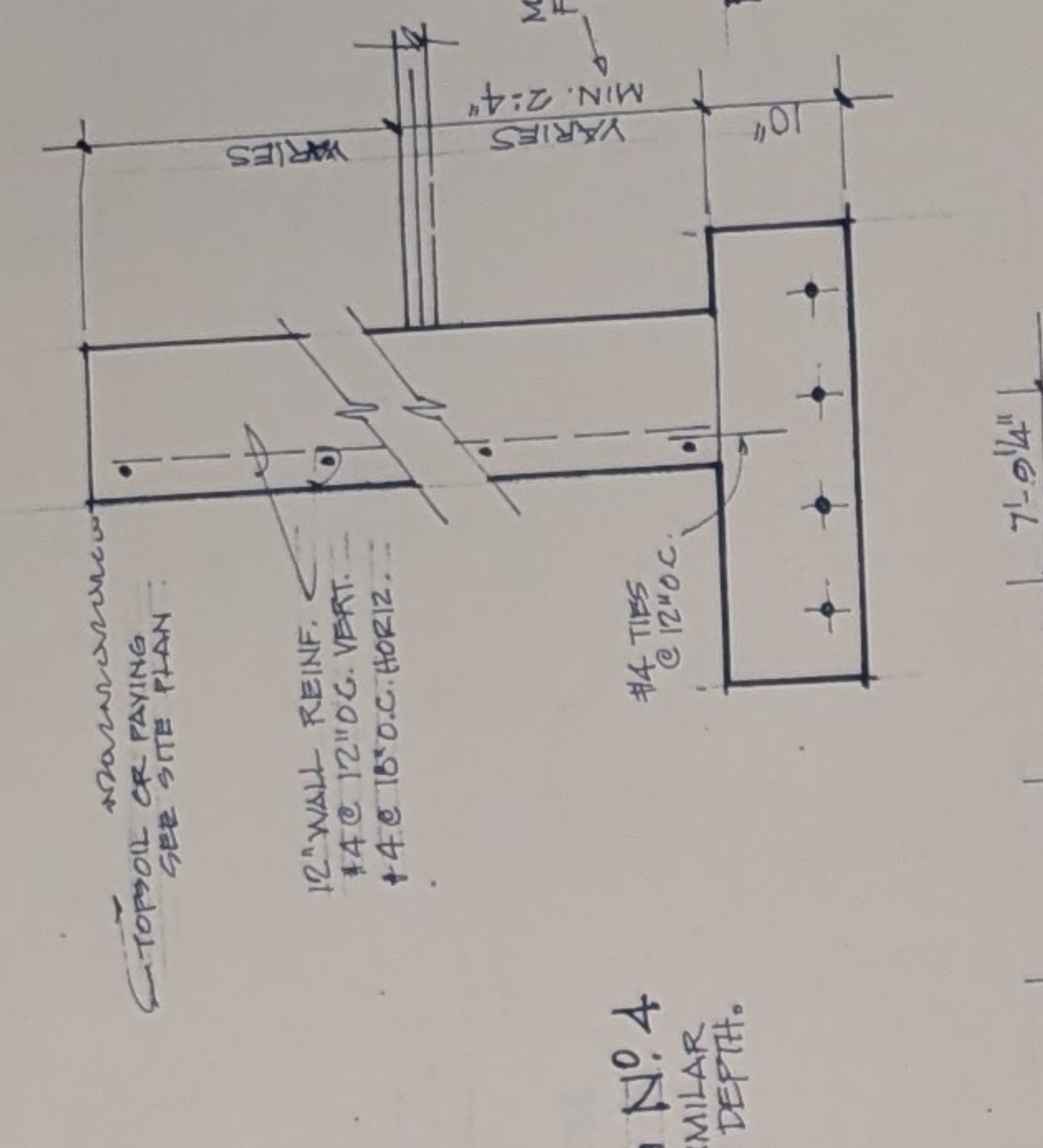
FOOTING NO. 1



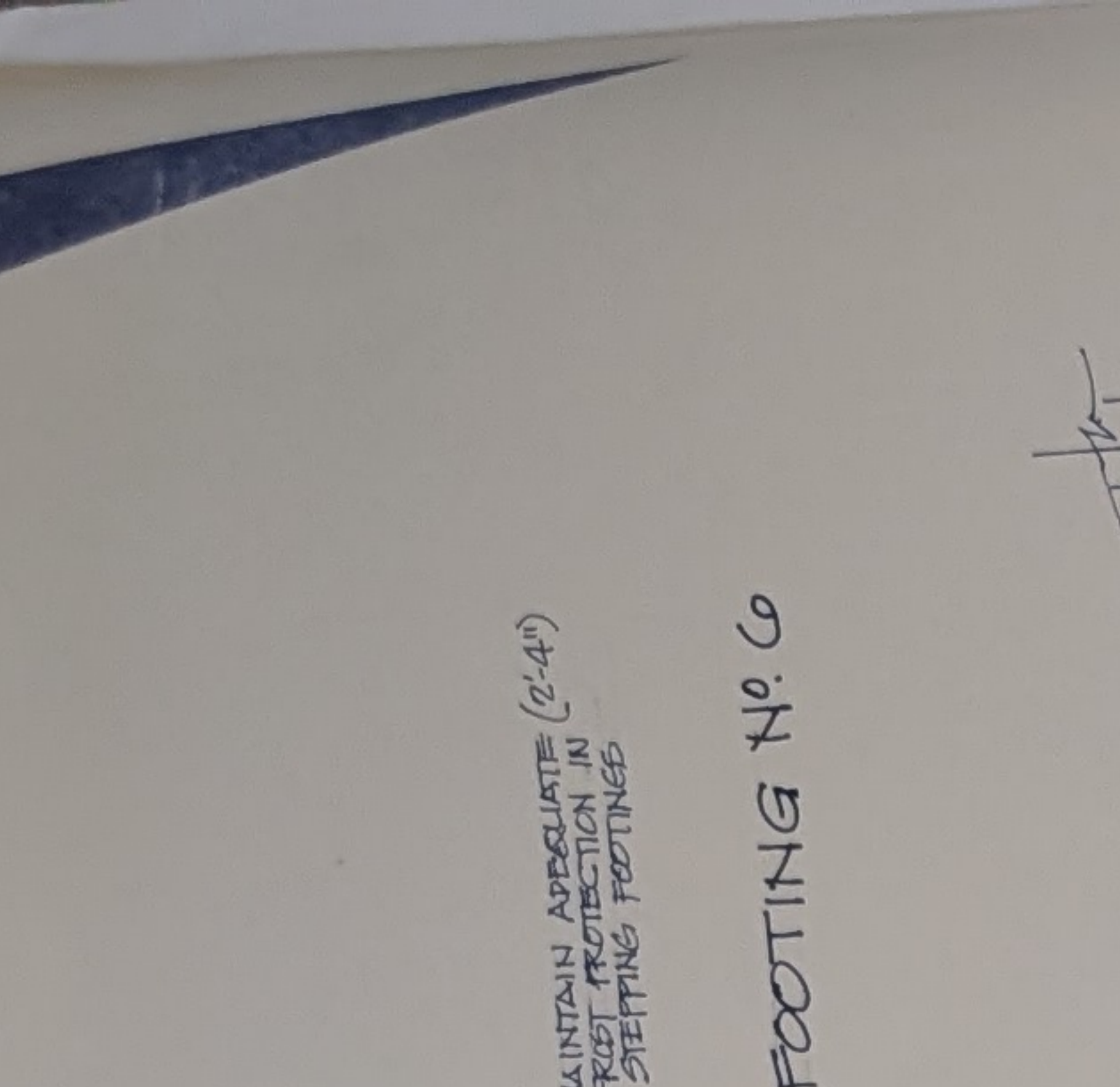
FOOTING NO. 2



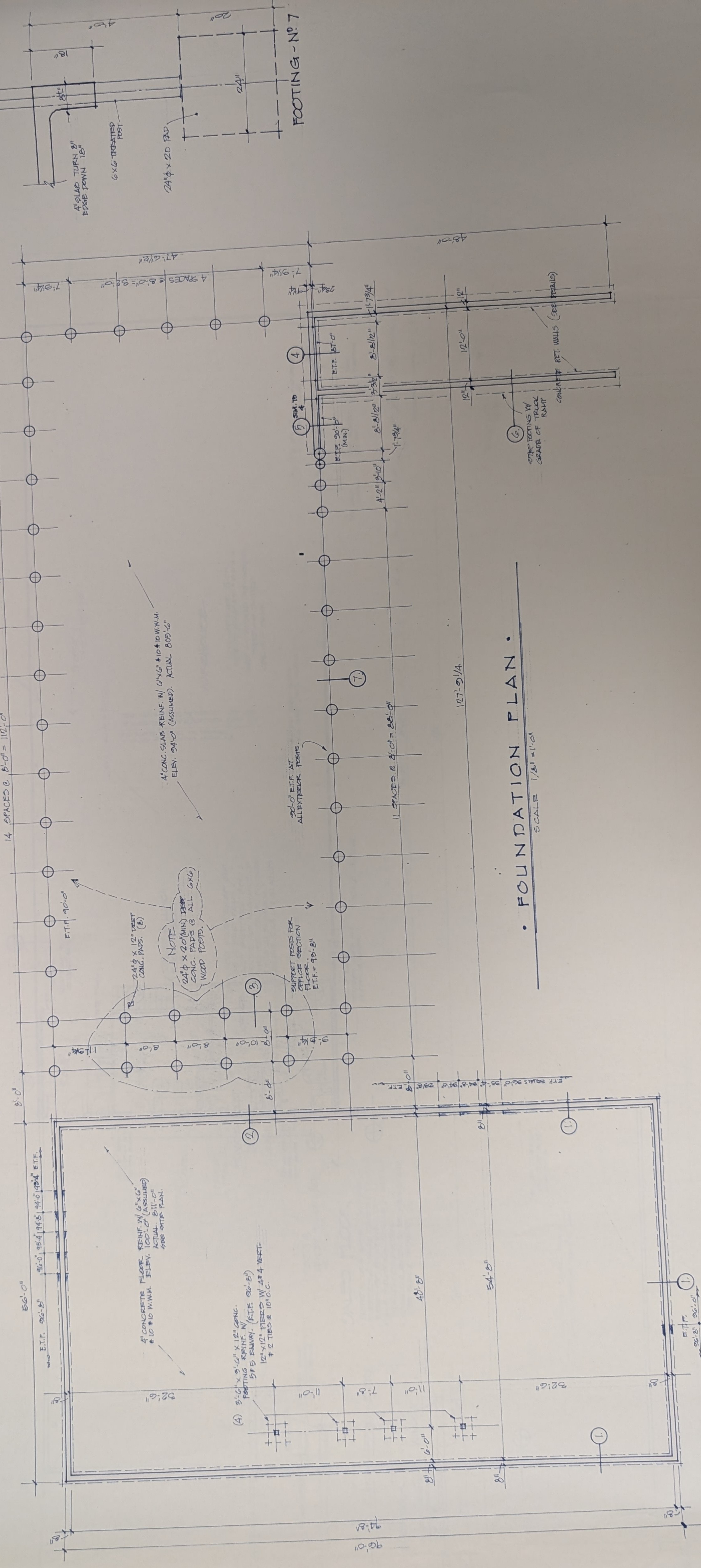
FOOTING NO. 3



FOOTING NO. 4



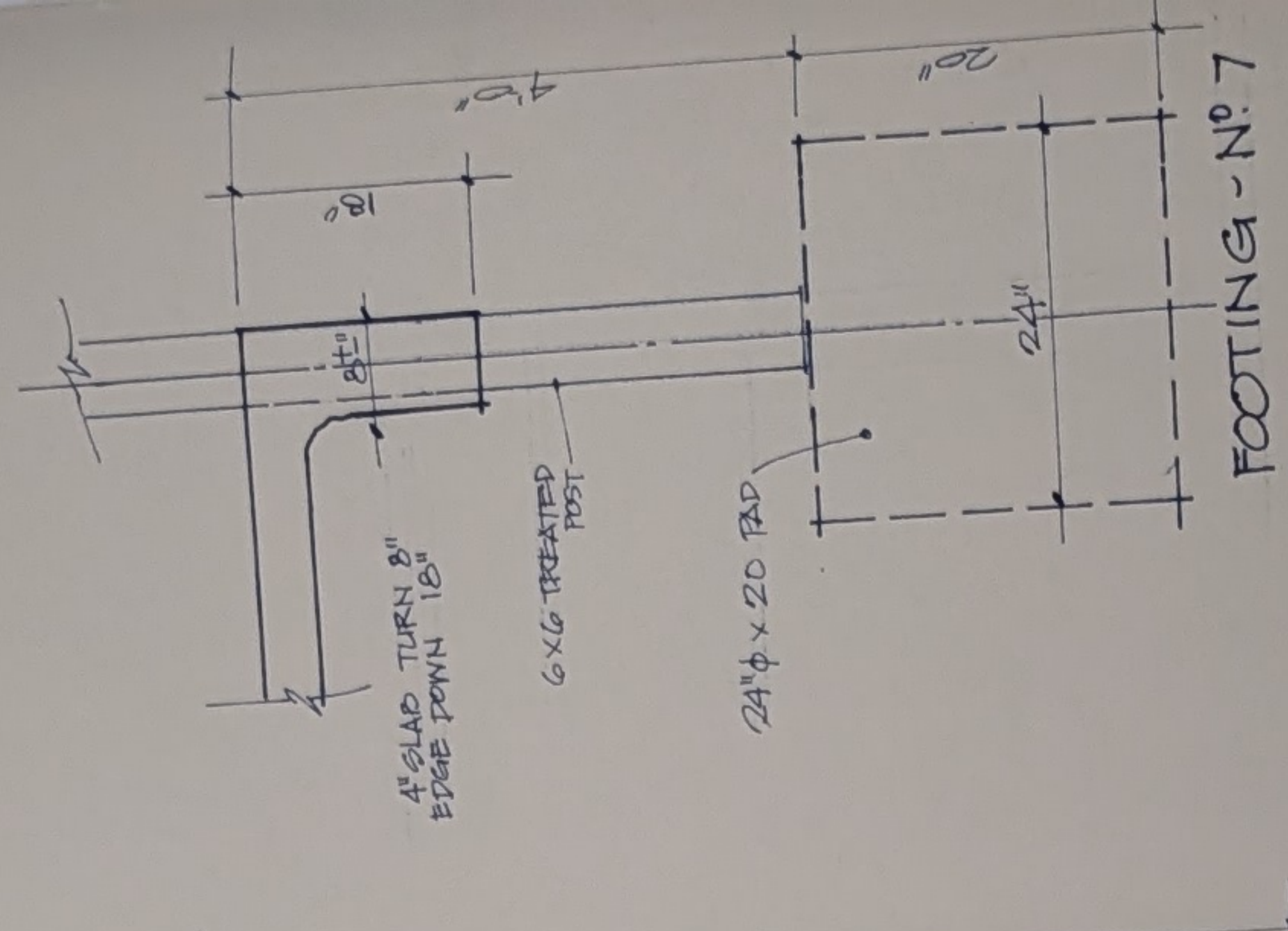
FOOTING NO. 6



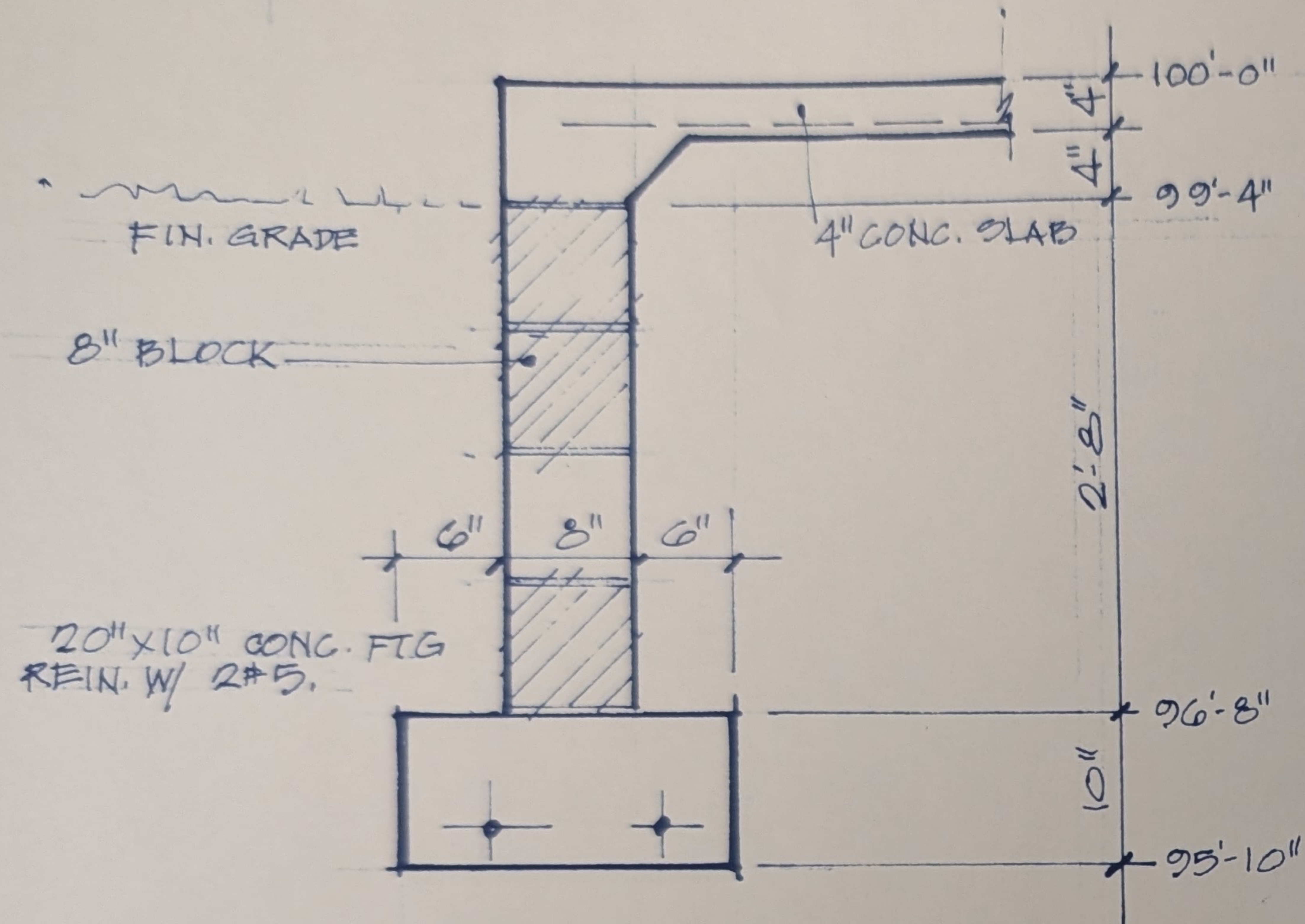
FOUNDATION PLAN

SCALE 1/8" = 1'-0"

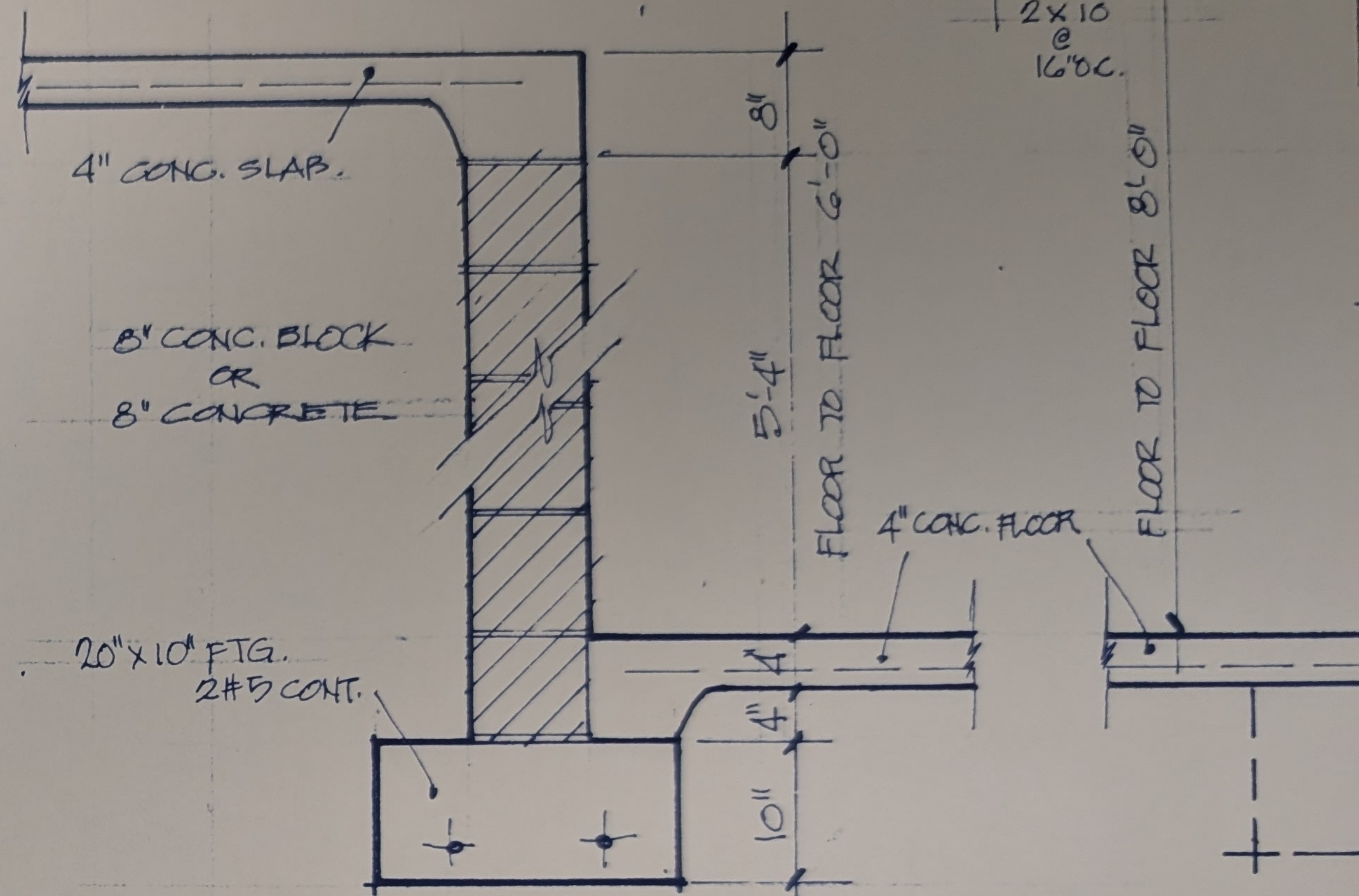
FOOTING NO. 7



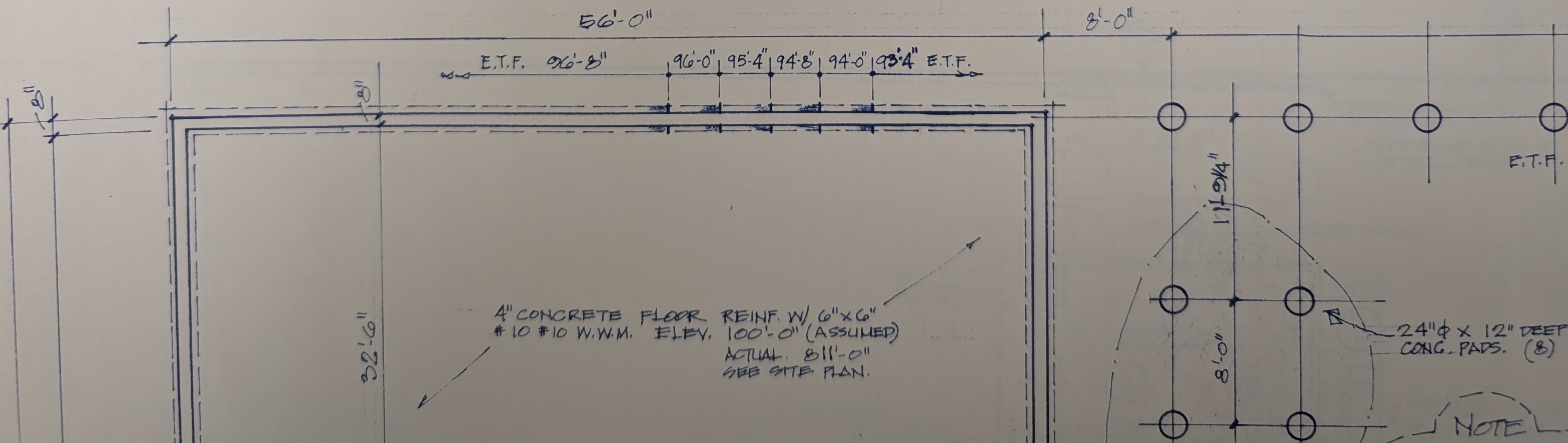




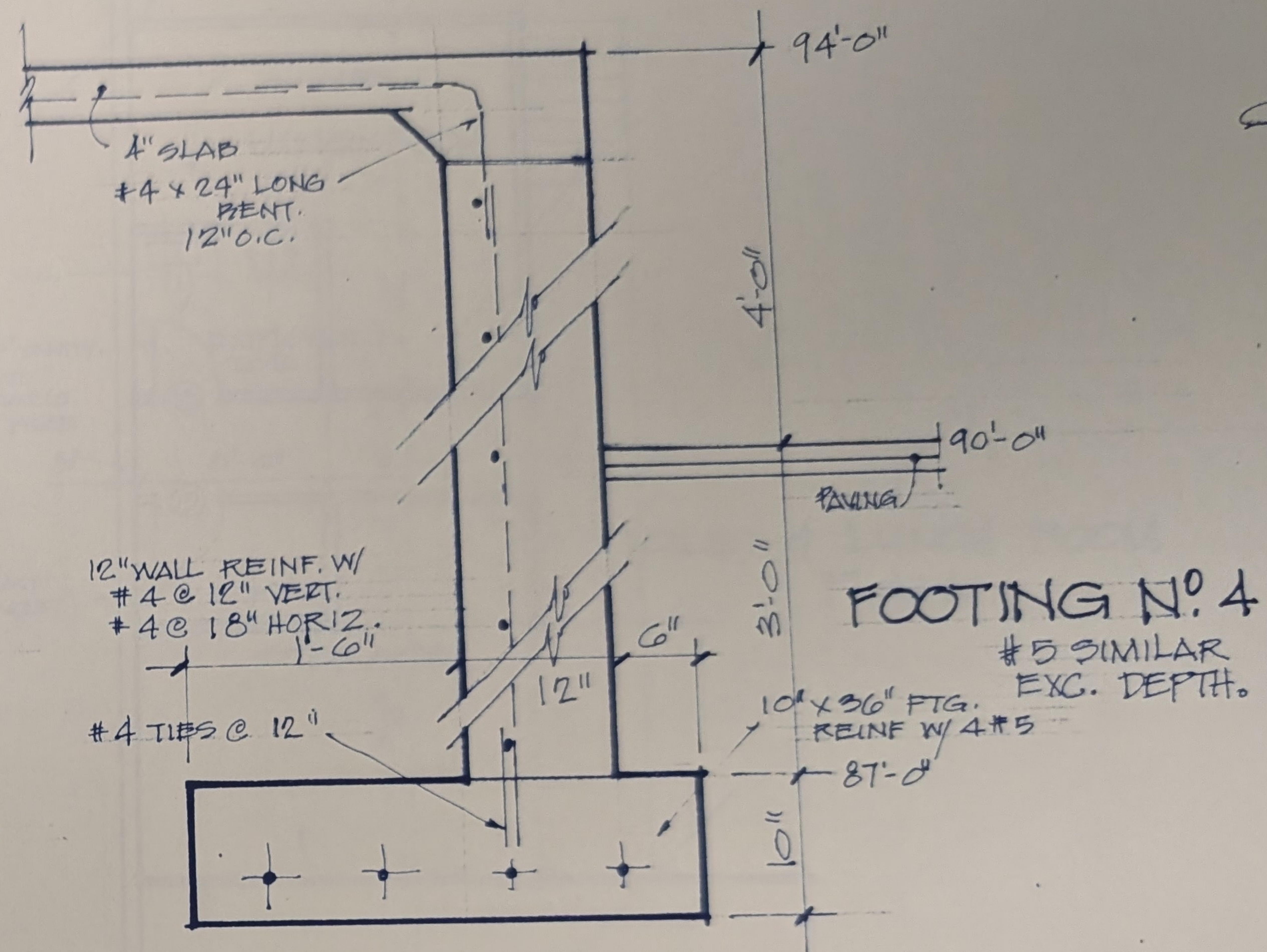
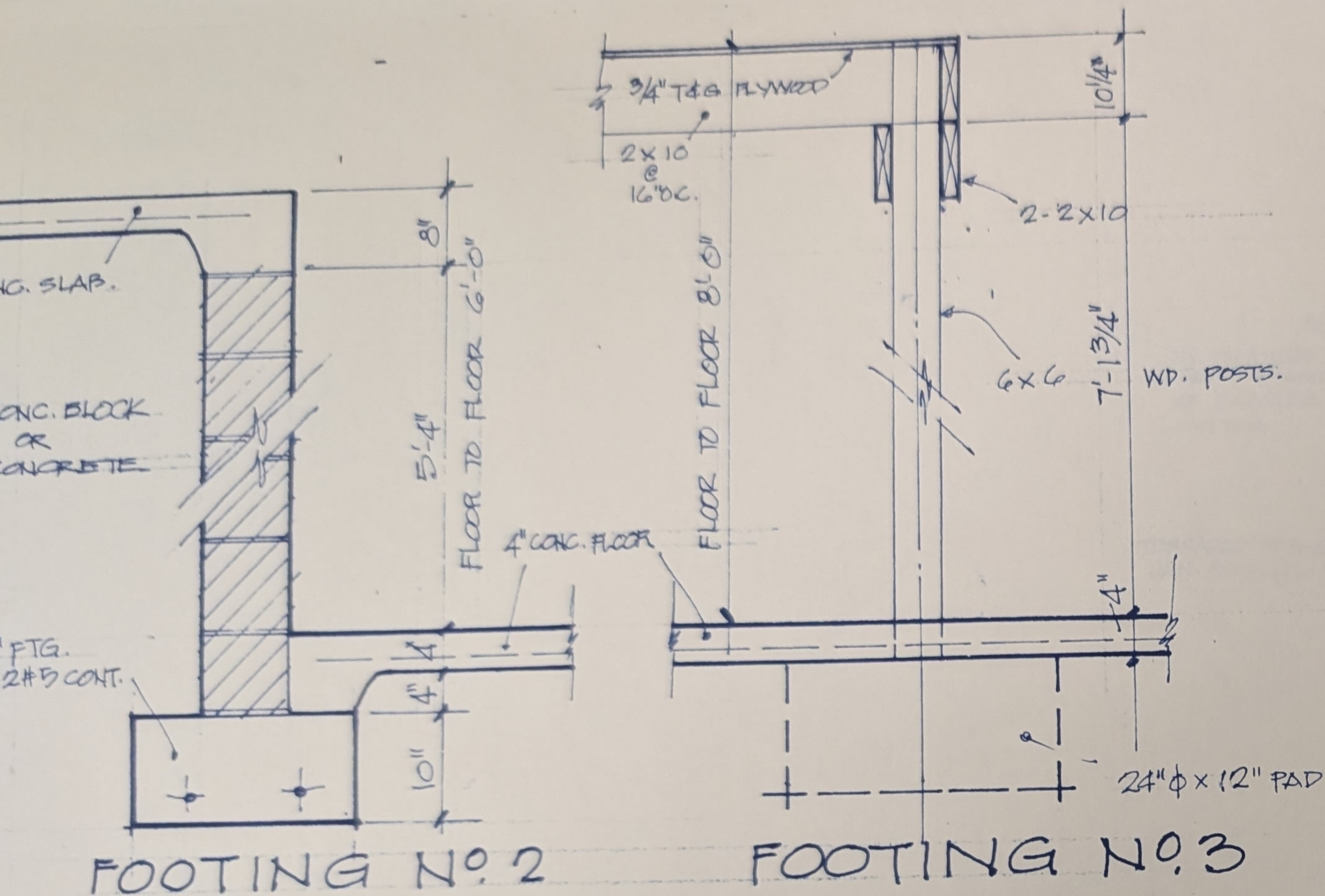
FOOTING NO. 1



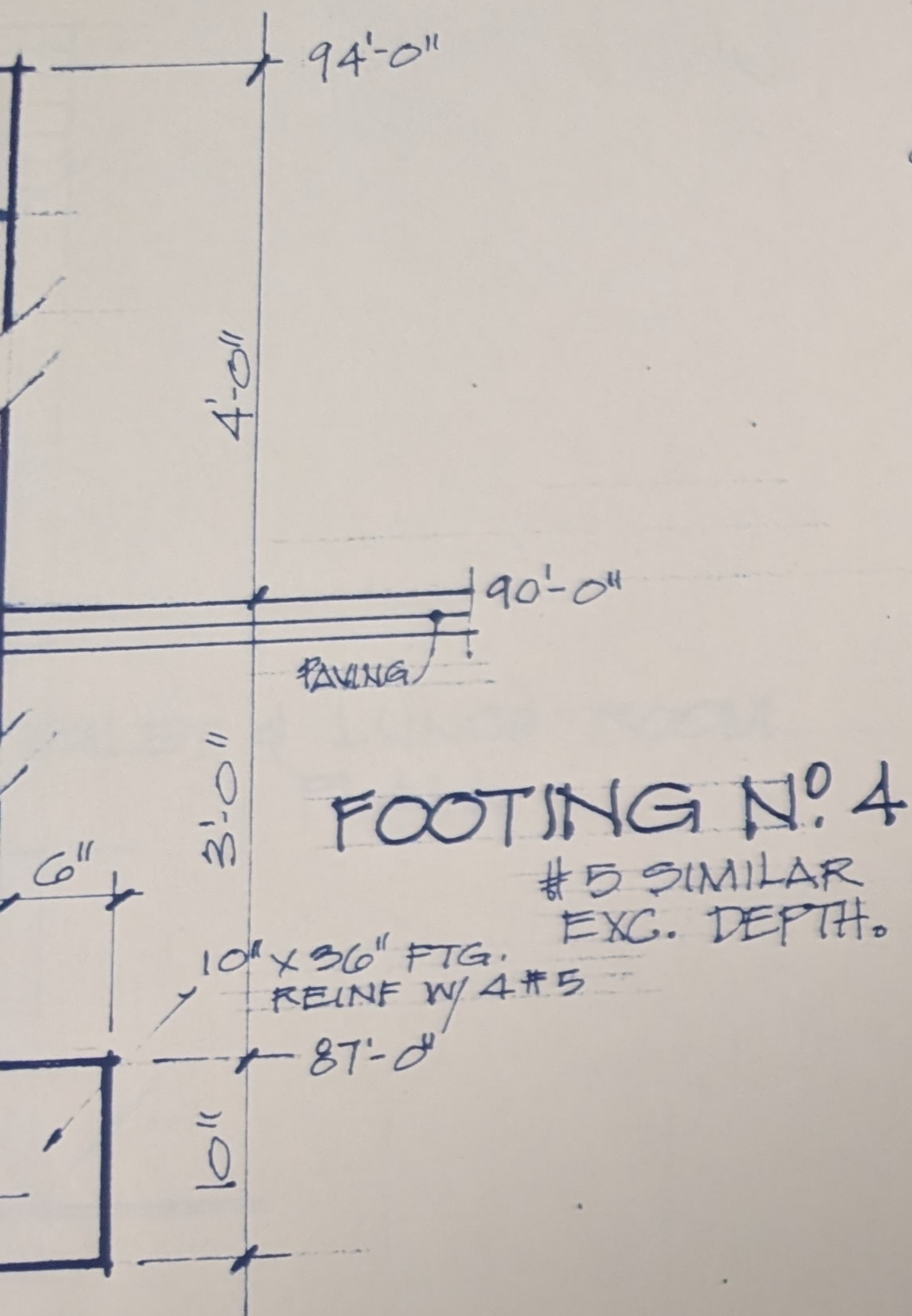
FOOTING NO. 2







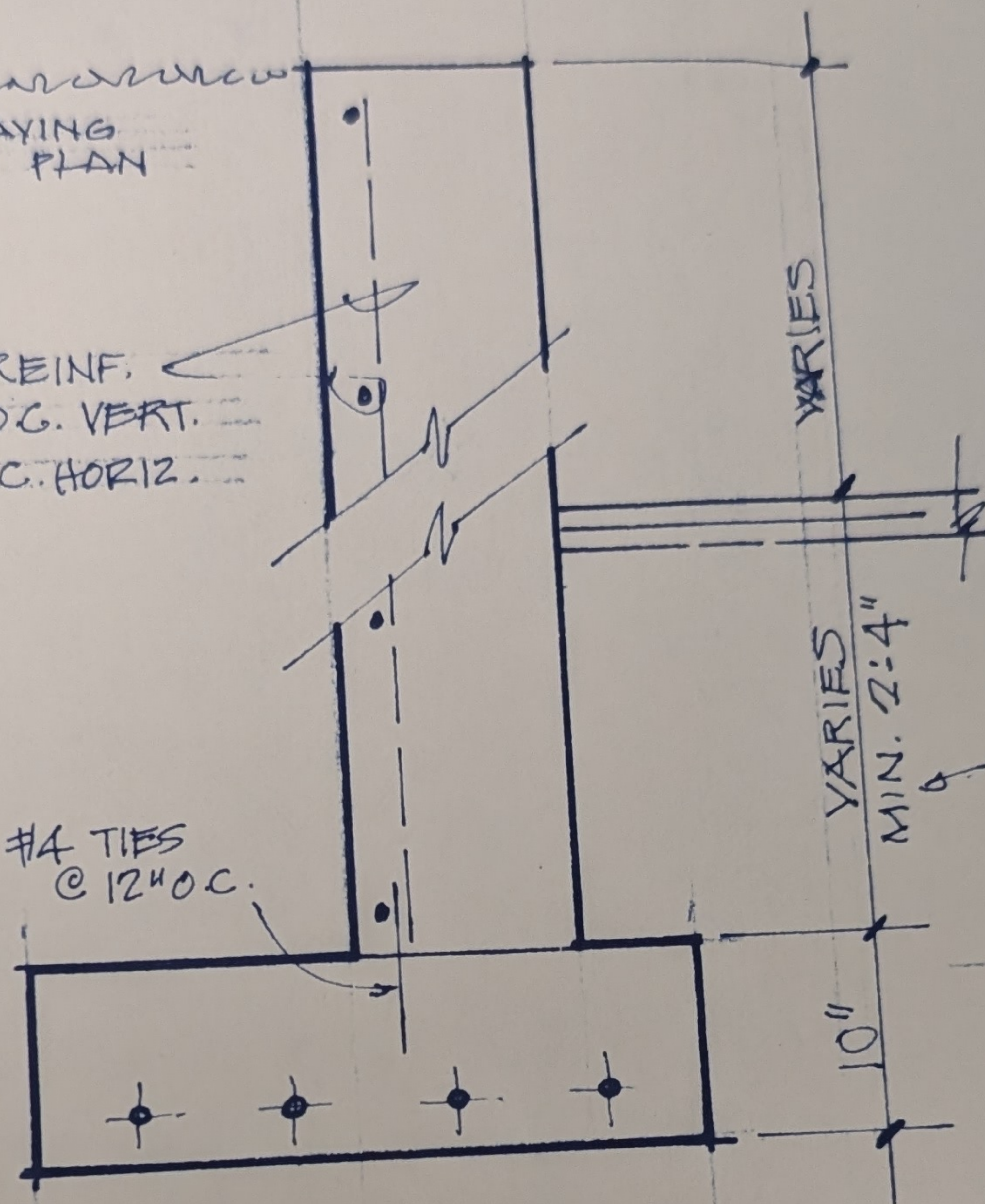




TOP SOIL OR PAVING  
SEE SITE PLAN

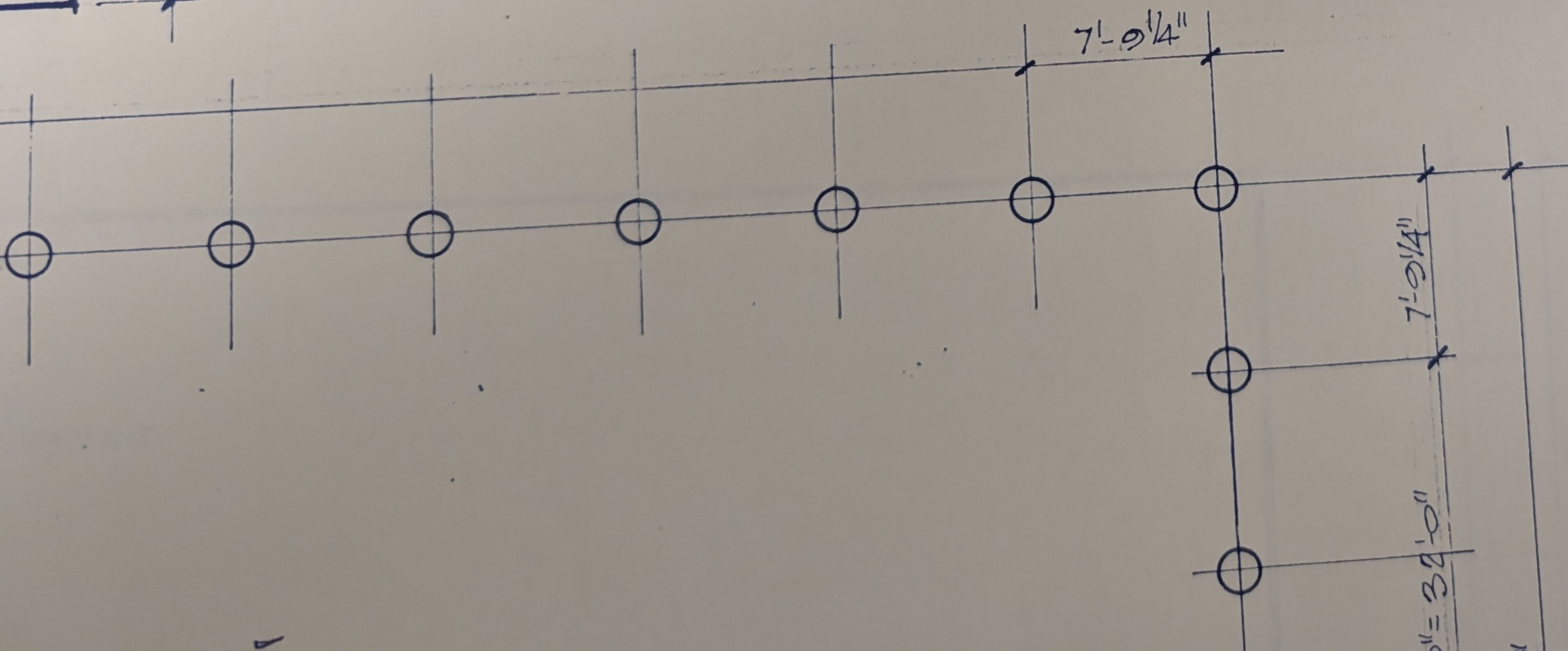
12" WALL REINF.  
#4 @ 12" O.C. VERT.  
#4 @ 18" O.C. HORIZ.

#4 TIES  
@ 12" O.C.



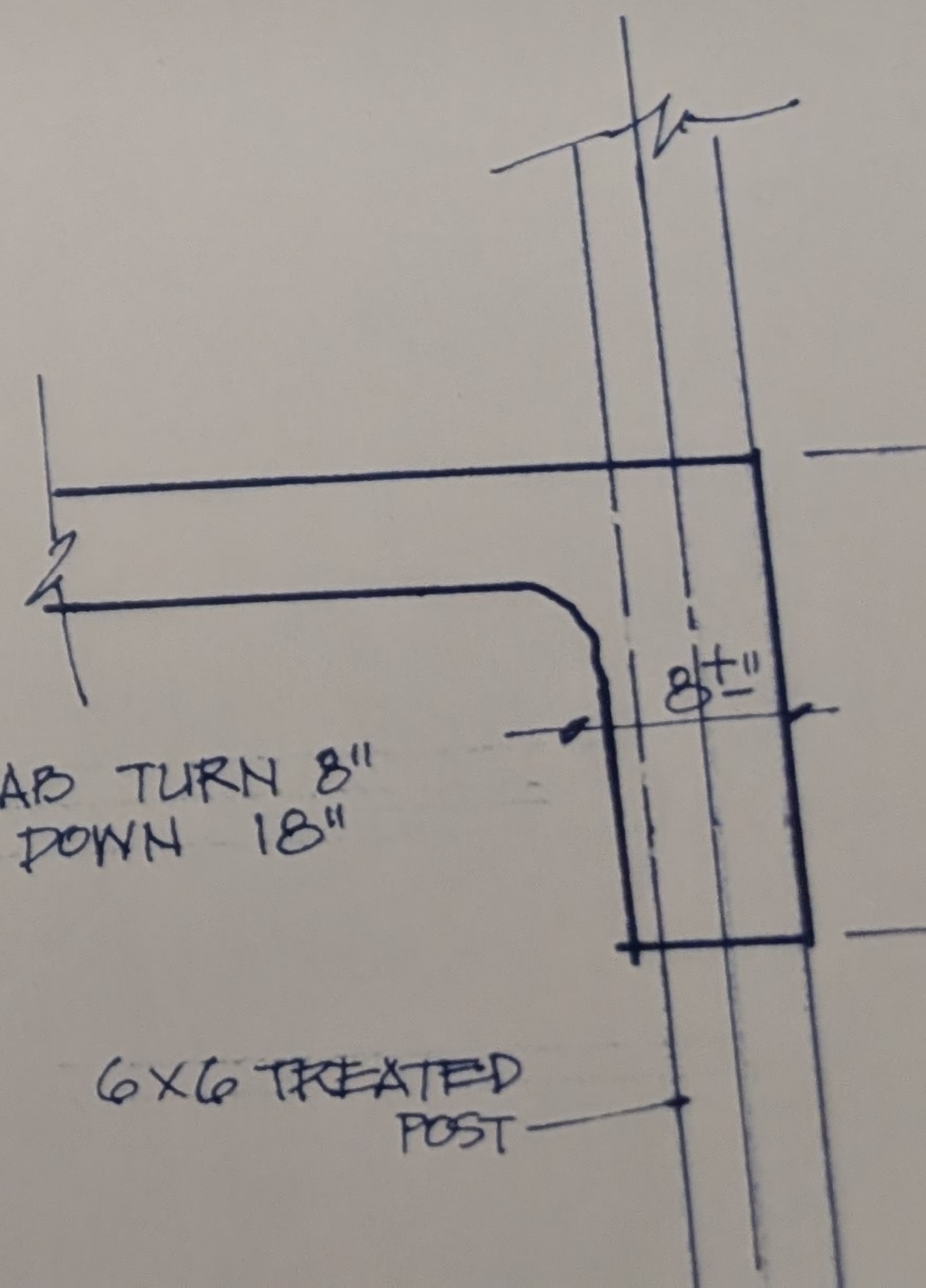
MAINTAIN ADEQUATE (2'-4")  
FROST PROTECTION IN  
STEPPING FOOTINGS

FOOTING NO. 6



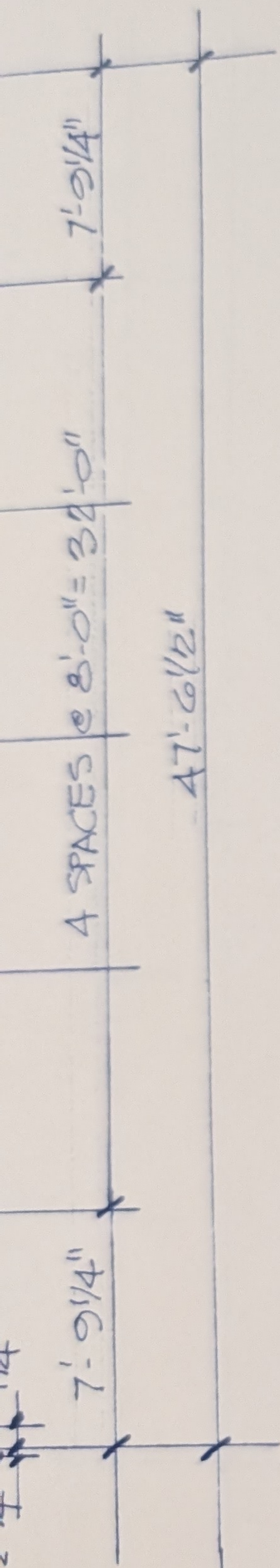
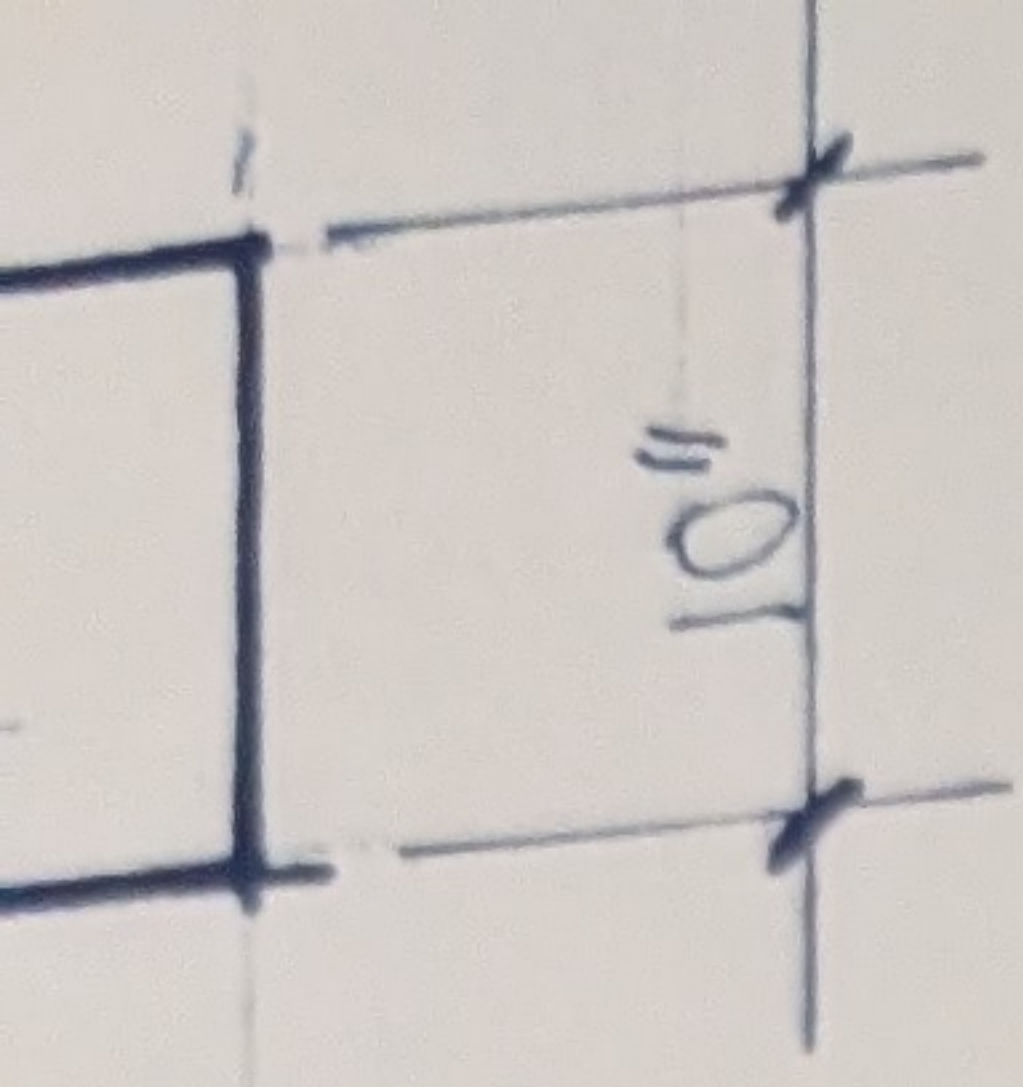
4" SLAB TURN 8"  
EDGE DOWN 18"

6x6 TREATED  
POST





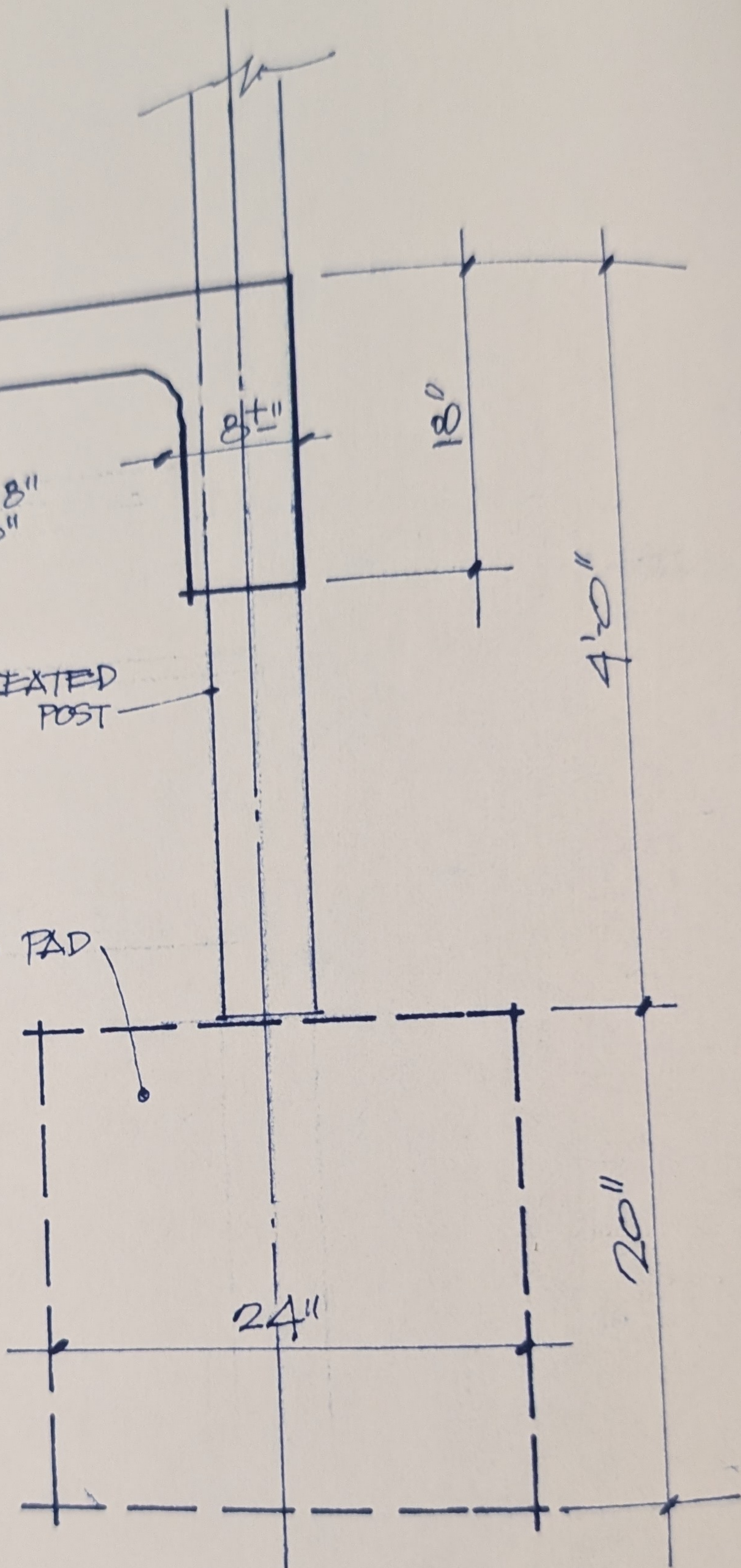
FOOTING NO. 6



4" SLAB TURN 8" EDGE DOWN 18"

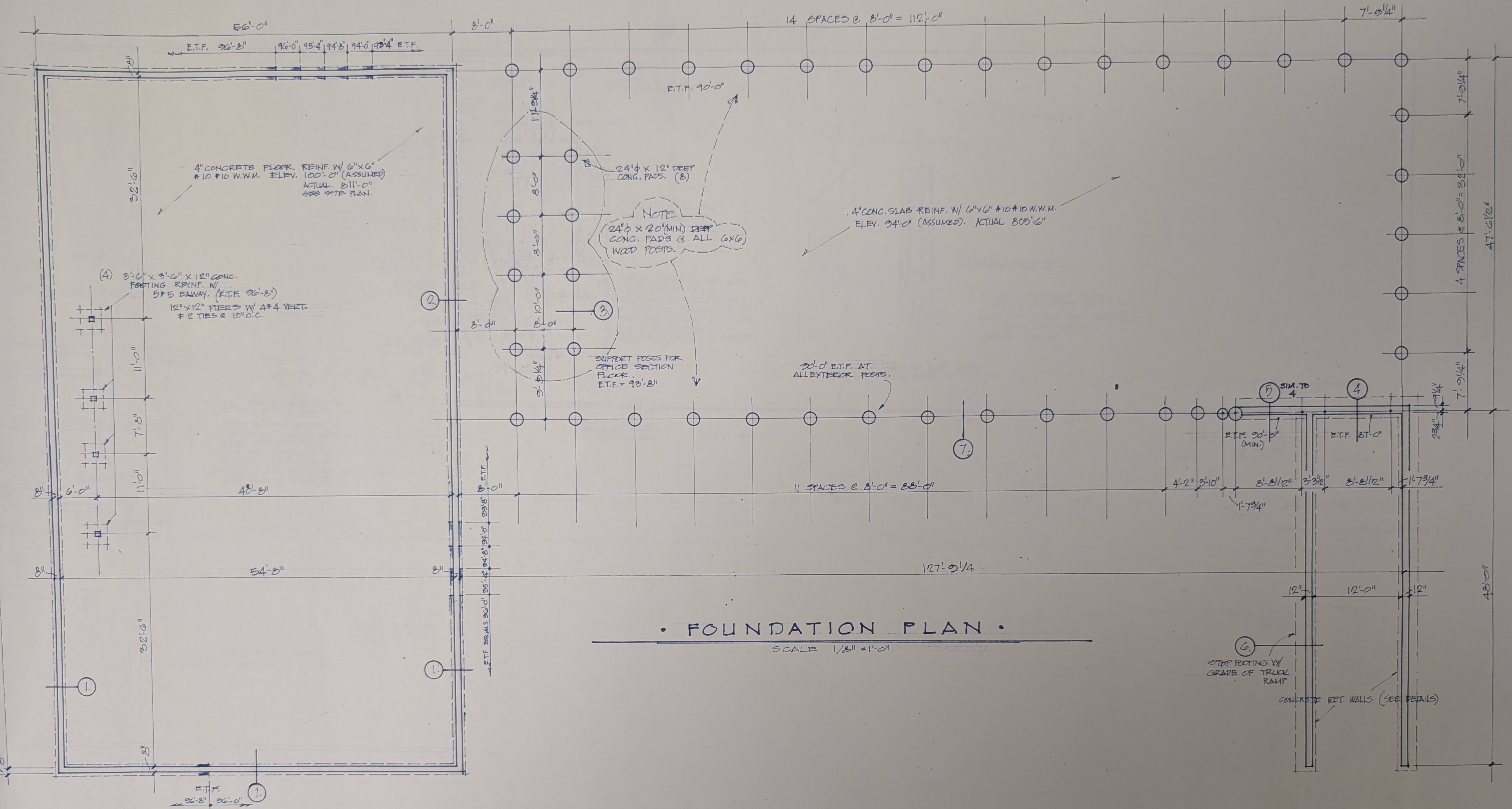
6x6 TREATED POST

24"  $\phi$  x 20 PAD

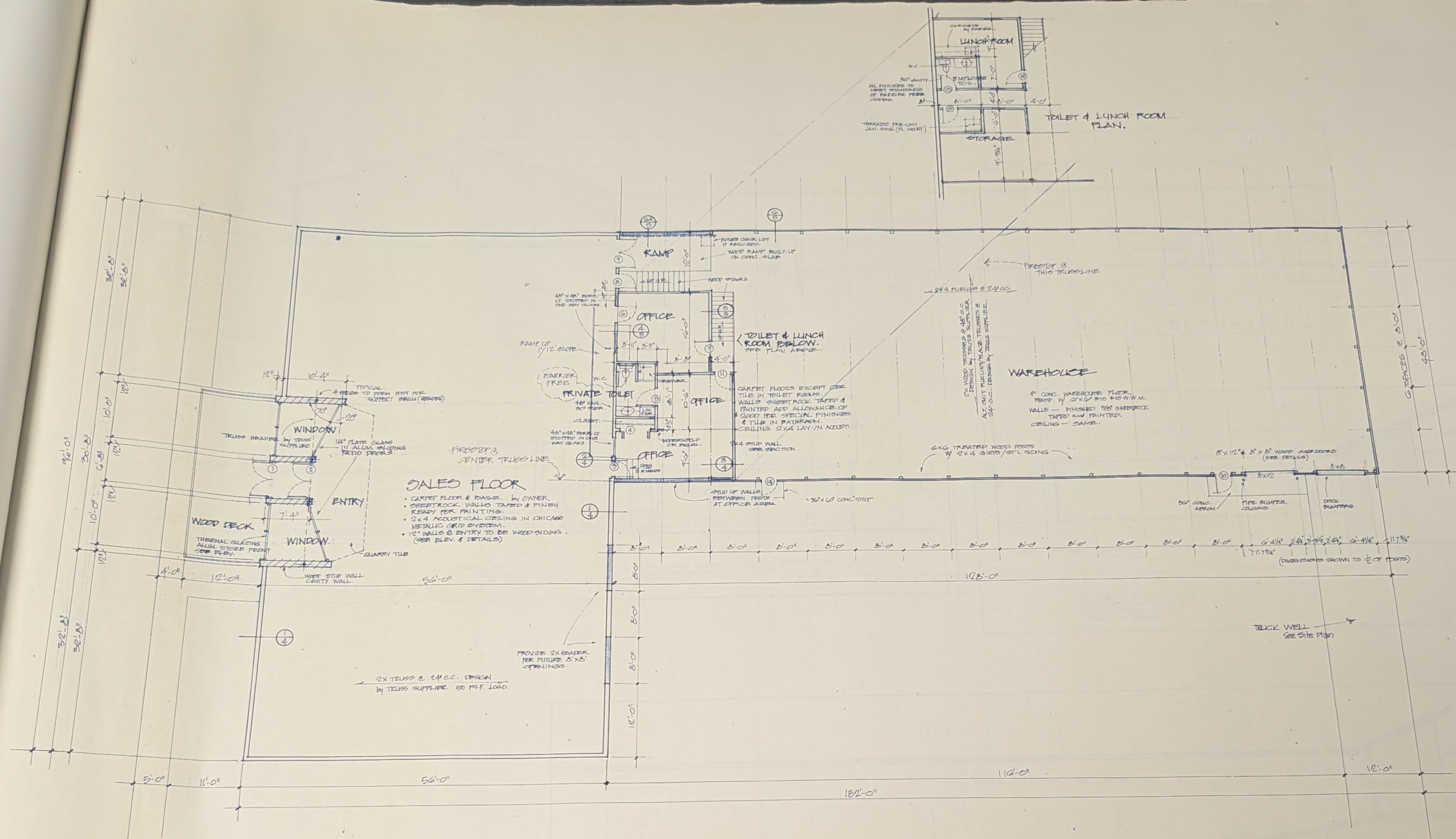


FOOTING - NO. 7

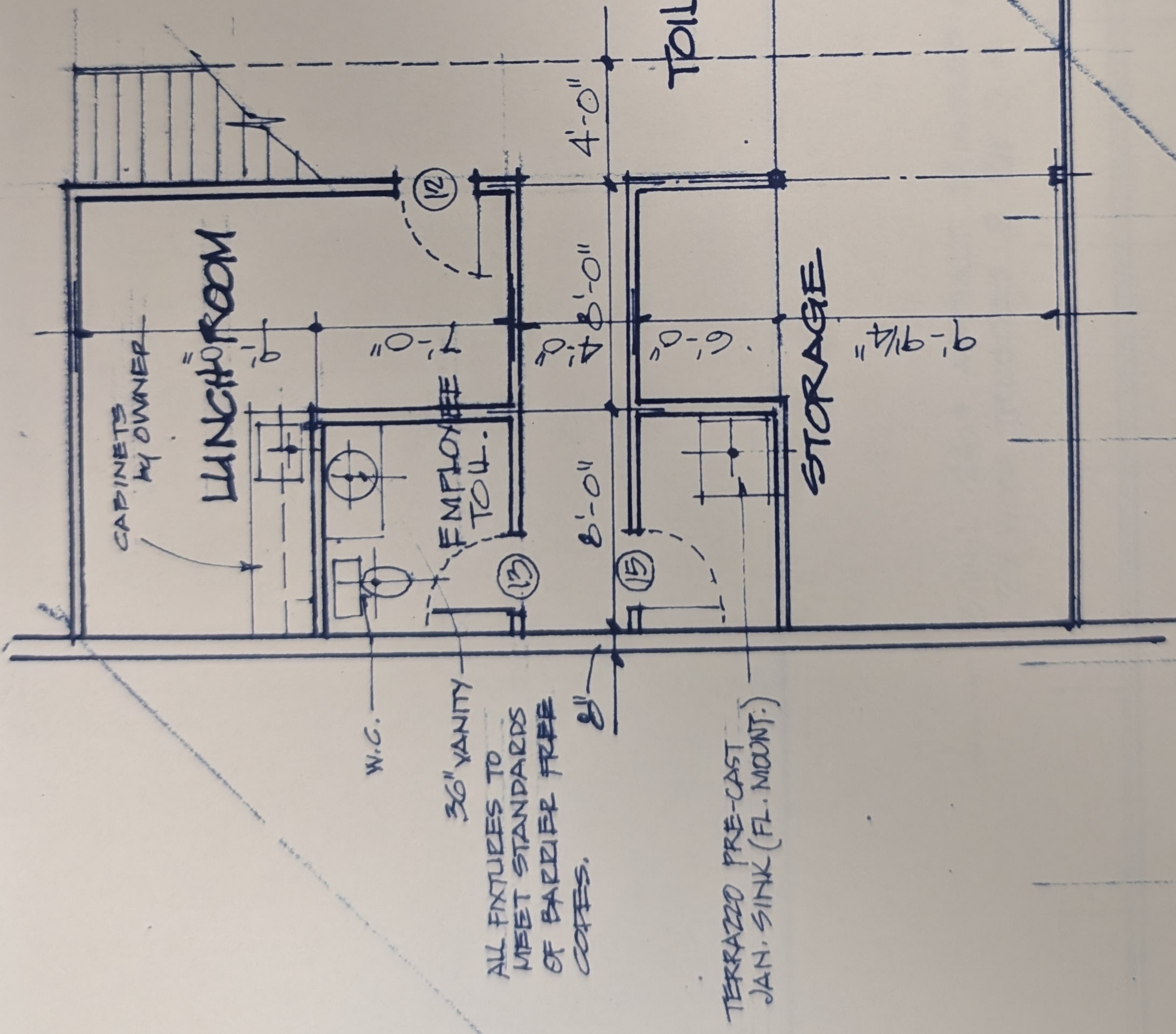










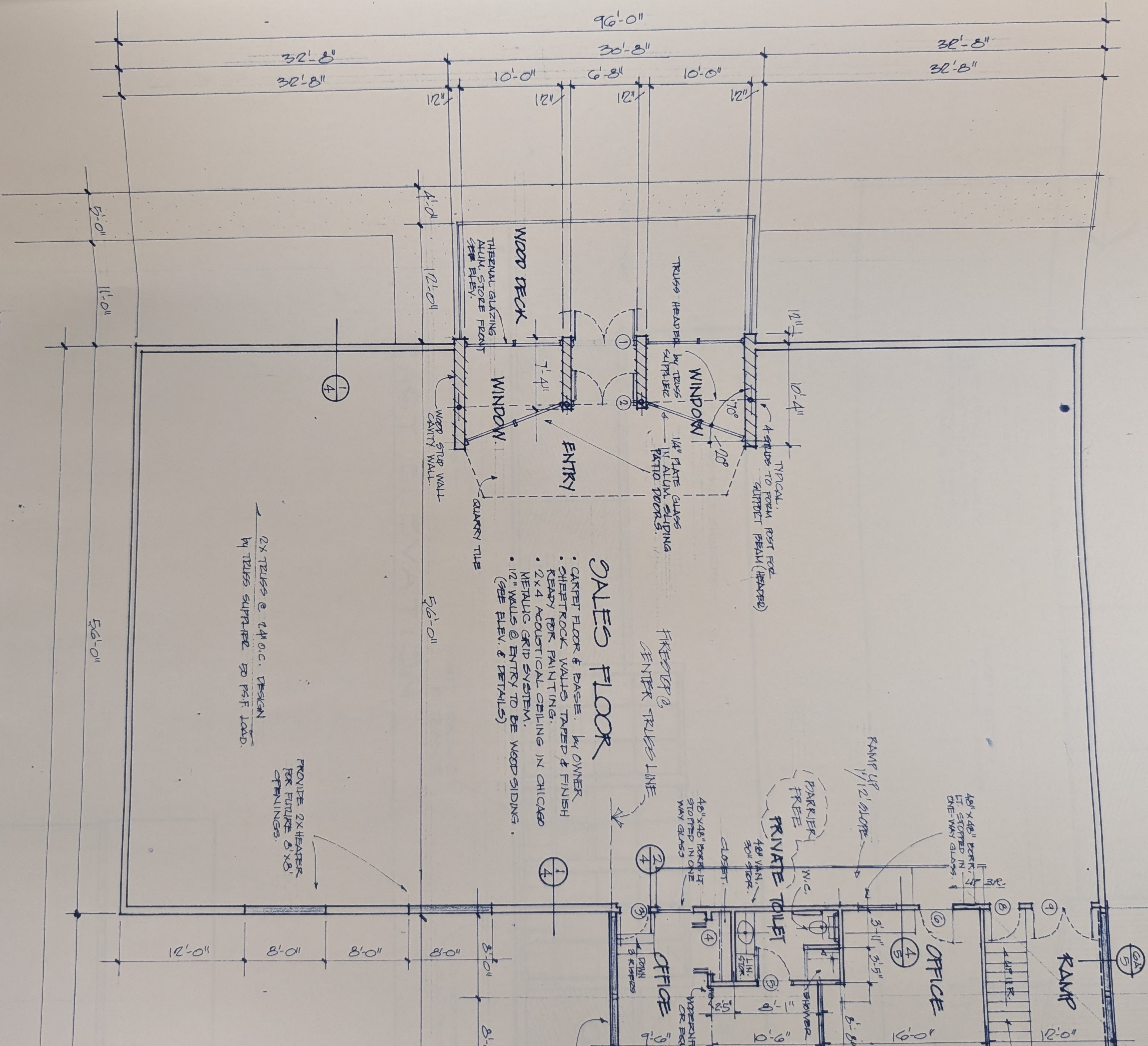


TOILET & LUNCH ROOM  
PLAN.









- SALES FLOOR**
- CARPET FLOOR & BASE. by OWNER.
  - SHEETROCK WALLS TAPED & FINISH READY FOR PAINTING.
  - 2x4 ACOUSTICAL CEILING IN CHICAGO METALIC GRID SYSTEM.
  - 12" WALLS @ ENTRY TO BE WOOD SIDING. (SEE ELEV. & DETAILS)

2x TRUSS @ 24 O.C. DESIGN  
by TRUSS SUPPLIER 50 PSF LOAD.

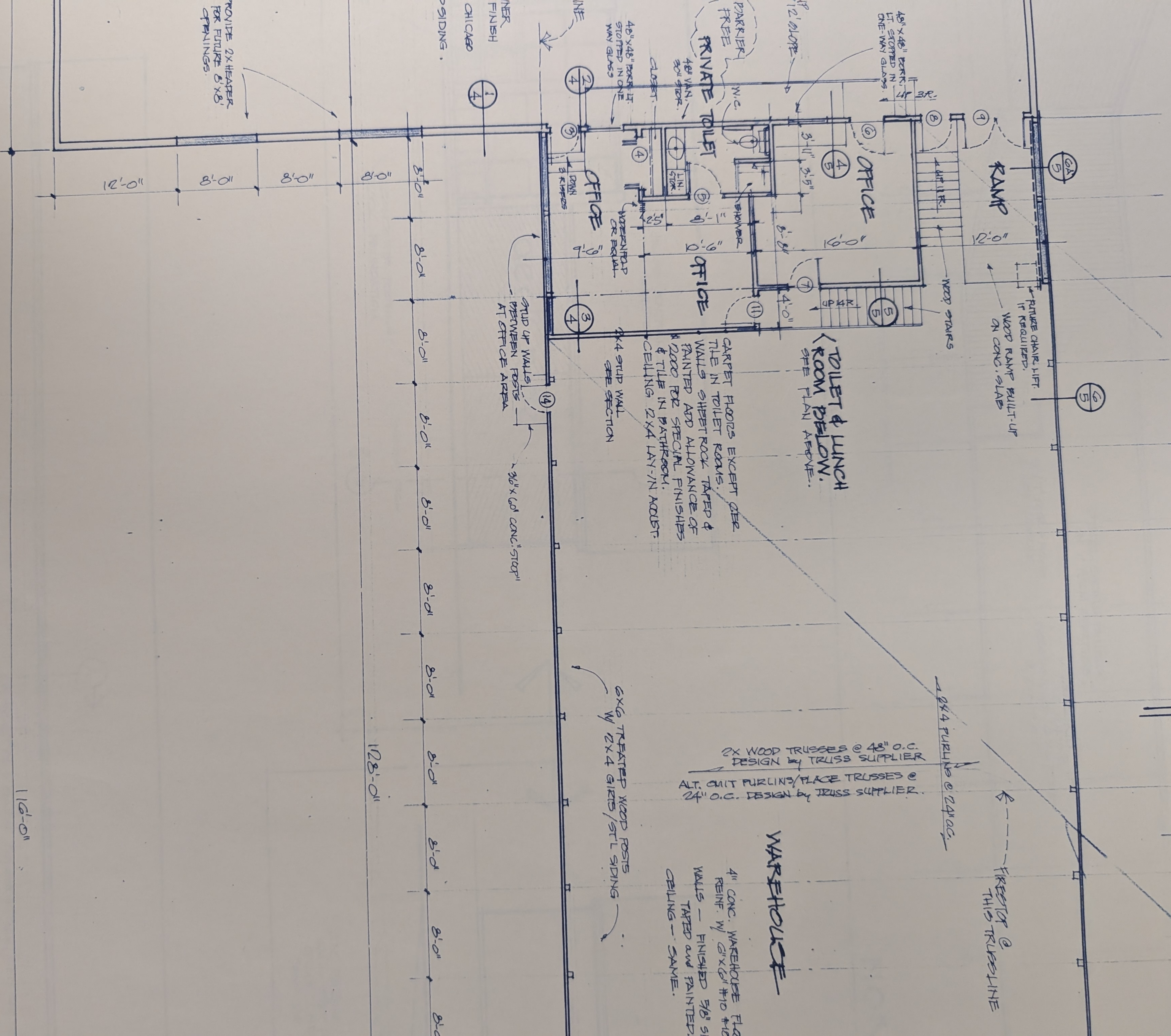
PROVIDE 2x HEATER  
FOR FUTURE 6'x8'  
OPENINGS.

# DOOR and FRAME SCHEDULE.

1. PAIR 5'-0" X 7'-0" ALUMINUM DOOR & FRAME - KAWNEER OR EQUAL - SEE ELEV. FURNISH COMPLETE HARDWARE EXCEPT CYLINDER LOCK by HDW. SUPPLIER. ANODIZE DARK BRONZE.
2. SAME AS ABOVE.
3. 3'-0" X 6'-8" OAK DOOR w/ OAK FRAME & TRIM TRE-HUNG
4. 5'-0" X 6'-8" LOUVERED BI-FOLD DOOR - OAK FRAME & TRIM/ PRIVACY LOCKSET.
5. 3'-0" X 6'-8" OAK DOOR & FRAME/ TRE-HUNG/ 16" X 12" WOOD LOUVER/ PRIVACY LOCKSET.
6. 3'-0" X 6'-8" OAK DOOR & FRAME/ TRE-HUNG/ TRIVACY LOCKSET.
7. 5'-0" X 6'-8" HOLLOW METAL DOOR & FRAME/ 1 1/2" R. B.D. BUTTS/ 4"D. LOCKSET 24" X 24" LEAF/ 3" PAIR #1.D. R.B. BUTTS/ 4"D. LOCKSET.
8. & 10. SAME AS NO. 7 ABOVE. (NO GLASS)
9. PAIR 5'-0" X 6'-8" HOLLOW METAL DOORS & FRAME/ DEAD BOLT TOP & BOTTOM OF LEAF.
11. 3'-0" X 6'-8" OAK DOOR w/ OAK FRAME & TRIM.



DUPLICATE.  
EQUAT - SEE ELEV. FURNISH COMPLETE W/ ALL  
ANODIZE DARK BRONZE



1. ALL CONCRETE TO HAVE COMPRESSIVE STRENGTH  $\geq$  3000 P.S.I.
2. ALL FRAMING LUMBER TO BE GRADE MARKED "CONSTRUCTION"
3. "TREATED POSTS" & OTHER MEMBERS REQUIRED TO BE "TREATED
4. TREATED VOL MANIZED OR APPROVED EQUAL.



~~2x4 PURCH @ 24<sup>th</sup> AC.~~

WARFOLLOW

4" CONC. WAREHOUSE FLOOR  
REINF. W/ 6"x6" #10 #10 W.W.M.  
WALLS - FINISHED 5/8" SHEETPI  
TAPED AND PAINTED.  
CEILING - SAME.

6x6 TREATED WOOD POSTS  
w/ 2x4 GIRTS / ST'L SIDING

8" x 12" 8" x 8" WOOD OVERDOORS  
(SEE DETAILS)

(SEE DETAILS)

36" CONC. PIPE BUMPER  
APRON COLUMNS

back  
pumpers

[illegible]

(DIMENSIONS SHOWN TO  $\pm$  OF POSTS)

BACK WELL —  
See Site Plan

 $2'-O''$ 

116-011

12'-0"

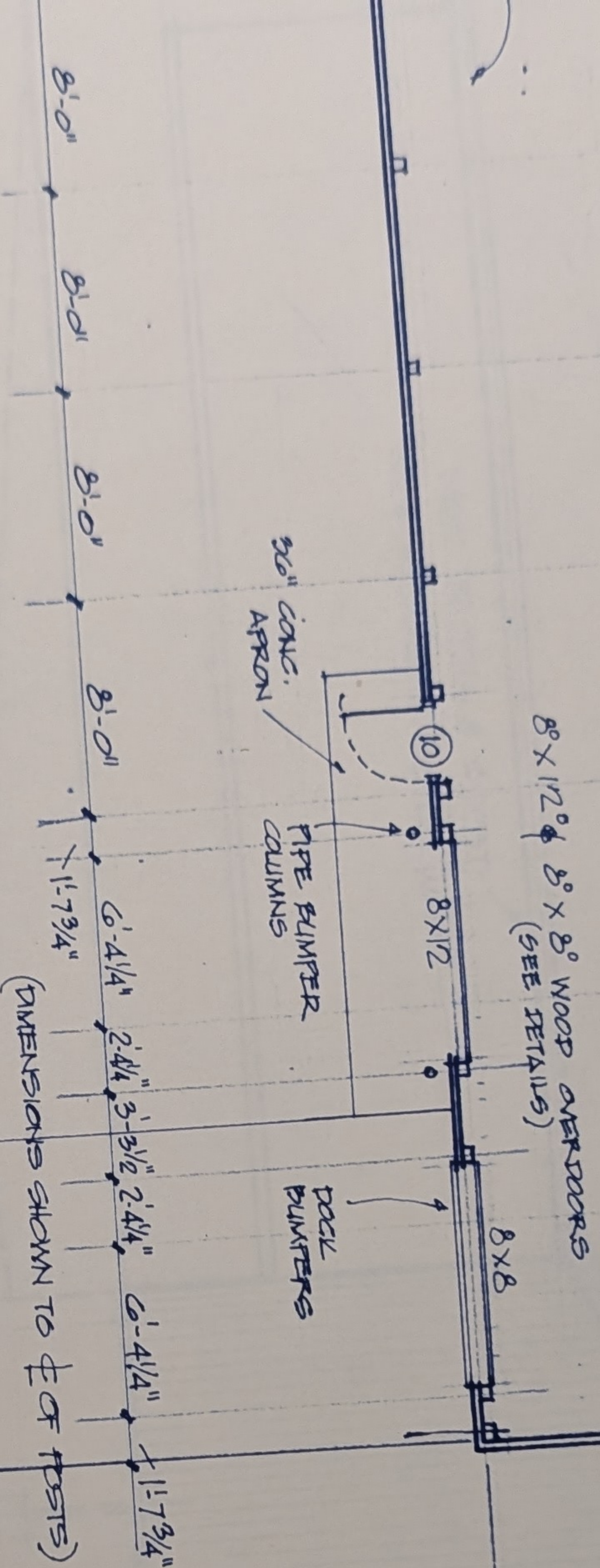
CONCRETE TO HAVE COMPRESSIVE STRENGTH OF 3000 P.S.I. IN 28 DAYS.  
TO BE GRADE MARKED "CONSTRUCTION GRADE" OR BETTER.



TRUSSLINE

DUCT

C. WAREHOUSE FLOOR  
w/ 6" x 6" #10 #10 W.W.M.  
FINISHED 5/8" SHEET PILE  
PAINTED AND PAINTED.  
KG - SAME.



BACK WELL  
See Site Plan

12'-0"

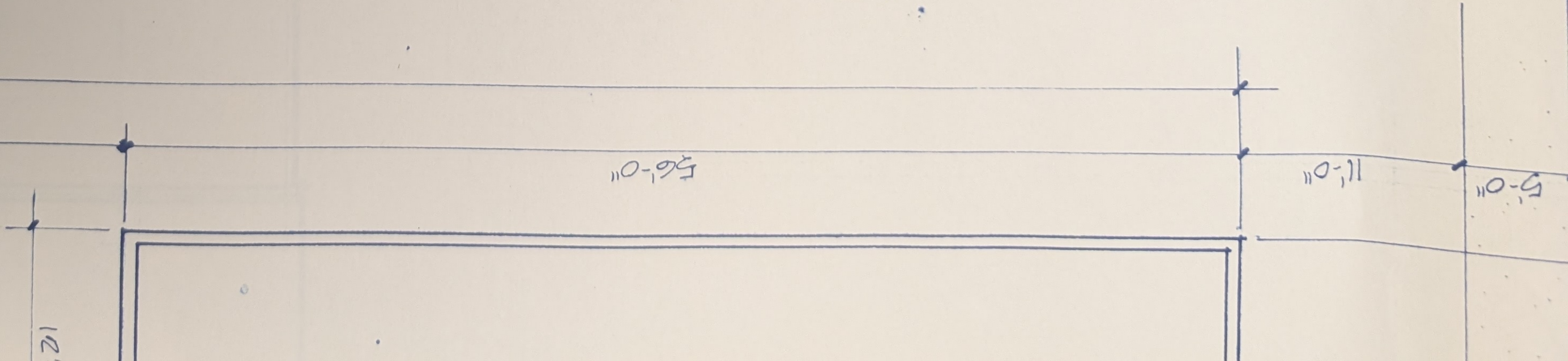
6 SPACES @ 8'-0"

48'-0"

LENGTH OF 3000 PSI IN 28 DAYS.  
NEEDED "CONSTRUCTION GRADE" OR BETTER.  
REQUIRED TO BE "TREATED" SHALL BE CONSTRUCTED TO BE PRESSURE  
EQUIVALENT



# DOOR and FRAME SCHEDULE.



1. PAIR 3'-0" x 7'-0" ALUMINUM DOOR & FRAME - KAWNEER OR EQUAL - SEE ELEV. FURNISH COMPLETE W/ ALL HARDWARE EXCEPT CYLINDER LOCK BY HDW. SUPPLIER. ANODIZE DARK BRONZE.

2. SAME AS ABOVE.

3. 3'-0" x 6'-8" OAK DOOR W/ OAK FRAME & TRIM PRE-HUNG

4. 5'-0" x 6'-8" LOUVERED BI-FOLD DOOR - OAK FRAME & TRIM/PRIVACY LOCKSET.

5. 3'-0" x 6'-8" OAK DOOR & FRAME/FRAME/PRIVACY LOCKSET.

6. 3'-0" x 6'-8" OAK DOOR & FRAME/FRAME/PRIVACY LOCKSET.

7. 3'-0" x 6'-8" HOLLOW METAL DOOR & FRAME/1 1/2" R. B.D. BUTTS/H.D. LOCKSET.

8. & 10. SAME AS N° 7 ABOVE. (NO GLASS)

9. PAIR 3'-0" x 6'-8" HOLLOW METAL DOORS & FRAME/LEAF/3 PAIR #4 P.B. BUTTS/H.D. LOCKSET.

11. 3'-0" x 6'-8" OAK DOOR W/ OAK FRAME & TRIM PRE-HUNG.

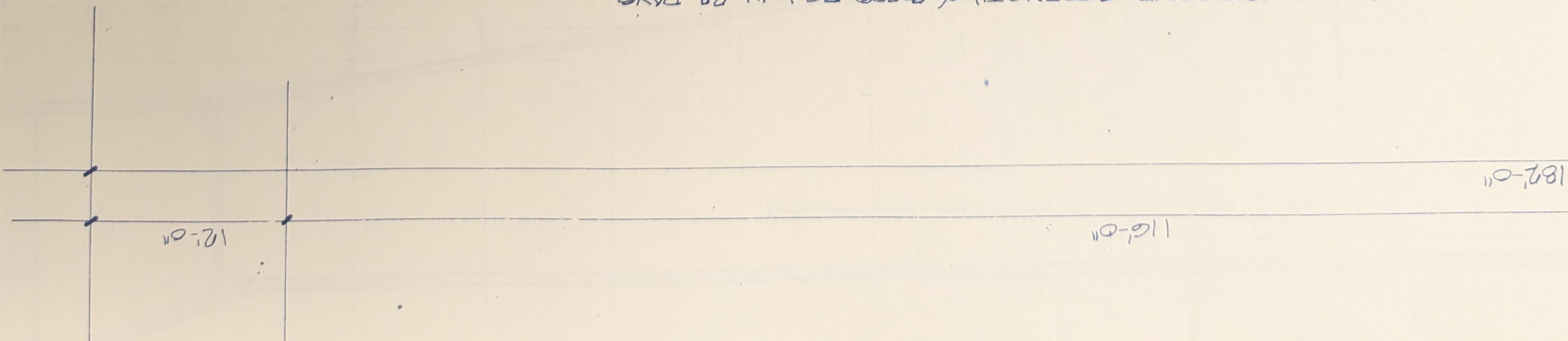
12 & 13. 3'-0" x 6'-8" BIRCH PRE-HUNG.

14. SAME AS N° 8

15. SAME AS N° 12

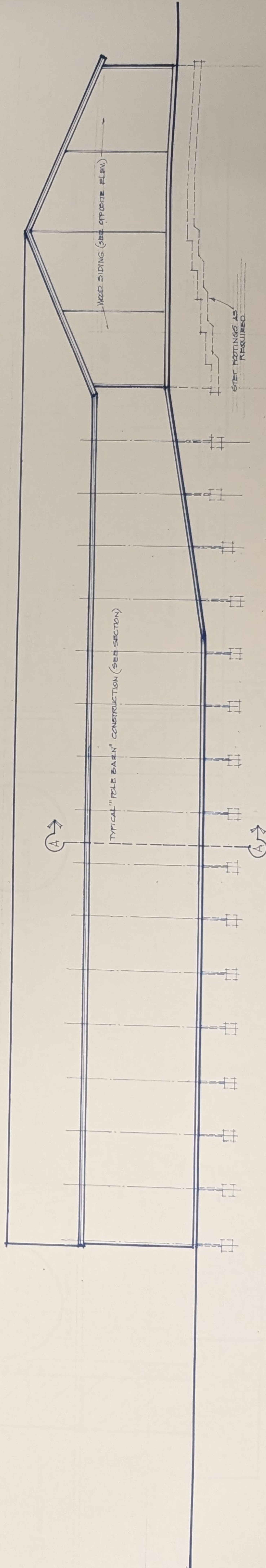
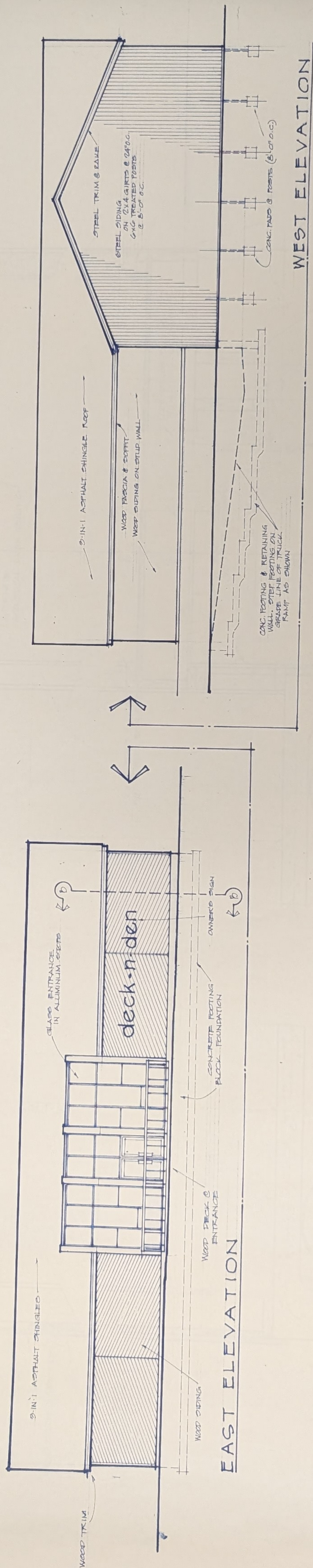
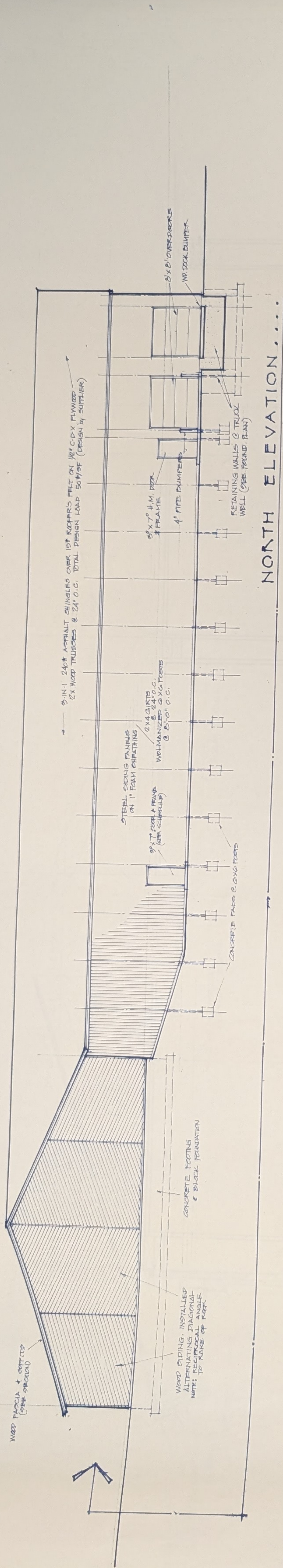
1. ALL
2. ALL
3. TRIM
4. ALL
5. TRIM
6. CONT
7. AND
8. ALL
9. EXT



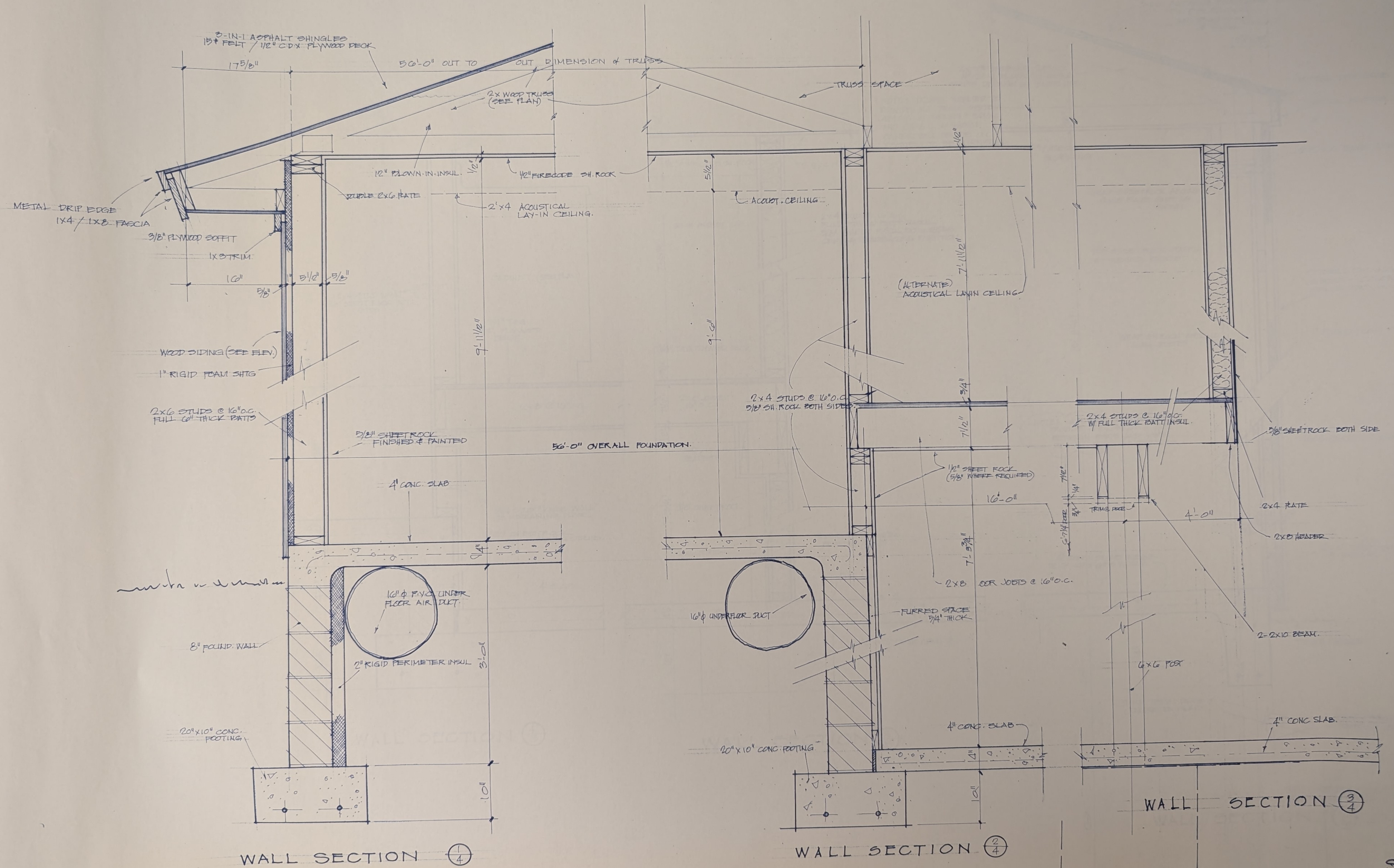


1. ALL CONCRETE TO HAVE COMPRESSIVE STRENGTH OF 3000 P.S.I. IN 28 DAYS.
2. ALL FRAMING LUMBER TO BE GRADE MARKED "CONSTRUCTION GRADE" OR BETTER.
3. "TREATED POSTS" & OTHER MEMBERS REQUIRED TO BE "TREATED" SHALL BE CONSTRUCTED TO BE PRESSURE TREATED WOLMANIZED OR APPROVED EQUAL.
4. ALL SOIL WITH-IN THE PERIMETER WALLS OF THE BUILDING SHALL BE PRE-TREATED WITH AN APPROVED TERMITE PROTECTION BEFORE POURING ANY CONCRETE SLABS.
5. CONTRACTOR SHALL INCLUDE AN ALLOWANCE OF \$1.25 PER SQ. FT. FOR FLOOR COVERING IN SALES AREA AND OFFICES.
6. ALL WORK MUST BE DONE IN STRICT ACCORDANCE W/ ALL APPLICABLE CODES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS AND INSPECTIONS REQUIRED.
7. ROOF TRUSSES SHALL BE DESIGNED BY THE TRUSS MFR./ SUPPLIER TO THE FOLLOWING LOADS.  
LIVE LOAD 40 P.S.F. // DEAD LOAD 10 P.S.F. // TOTAL LOAD 50 P.S.F.
8. ALL PAINTING & FINISHING TO BE THE RESPONSIBILITY OF THE OWNER. (INTERIOR)  
EXTERIOR WOOD SIDING & TRIM TO BE PRE-STAINED (COLOR TO BE SELECTED)
9. ALL CARPETING TO BE BY THE OWNER.

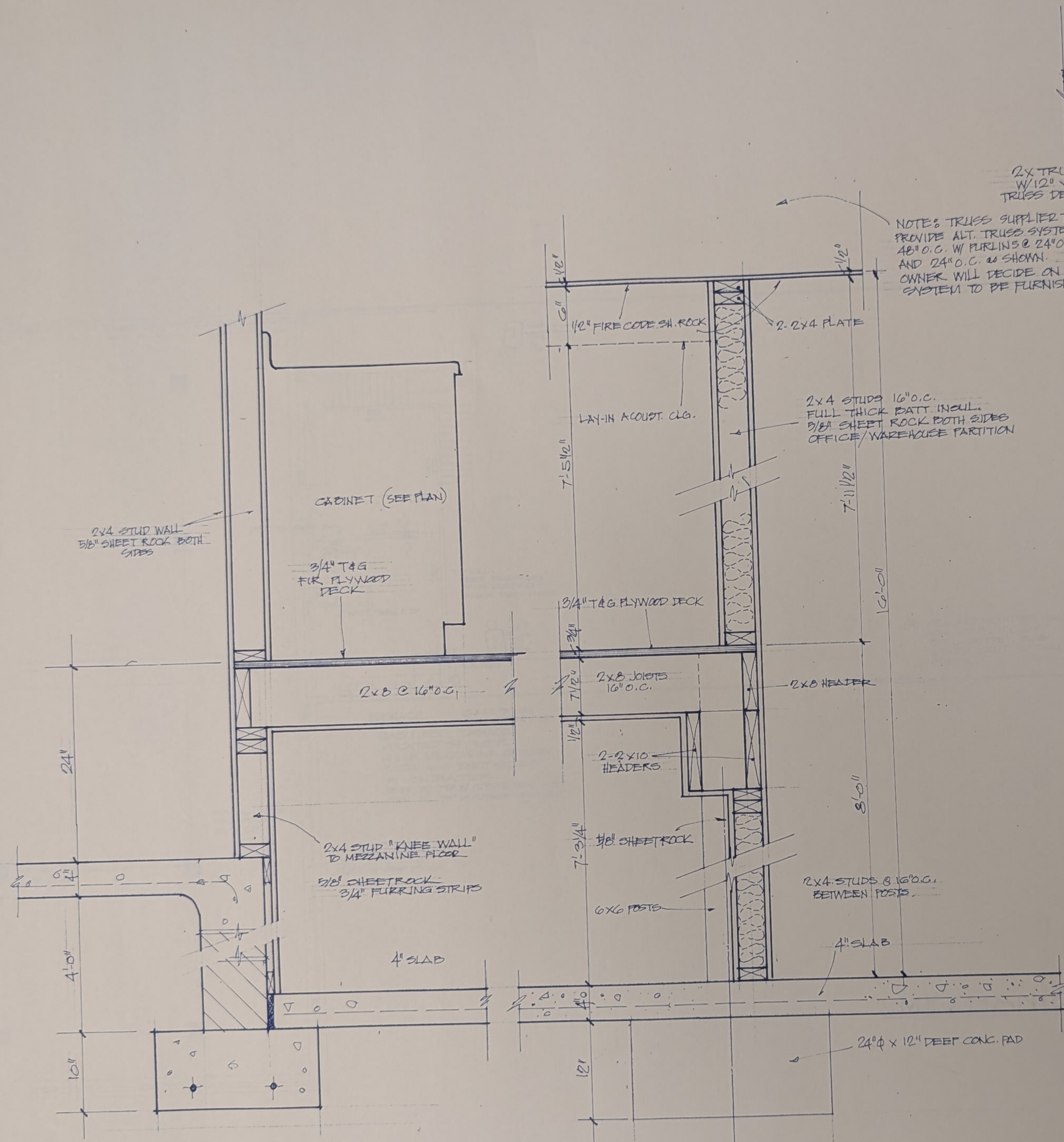






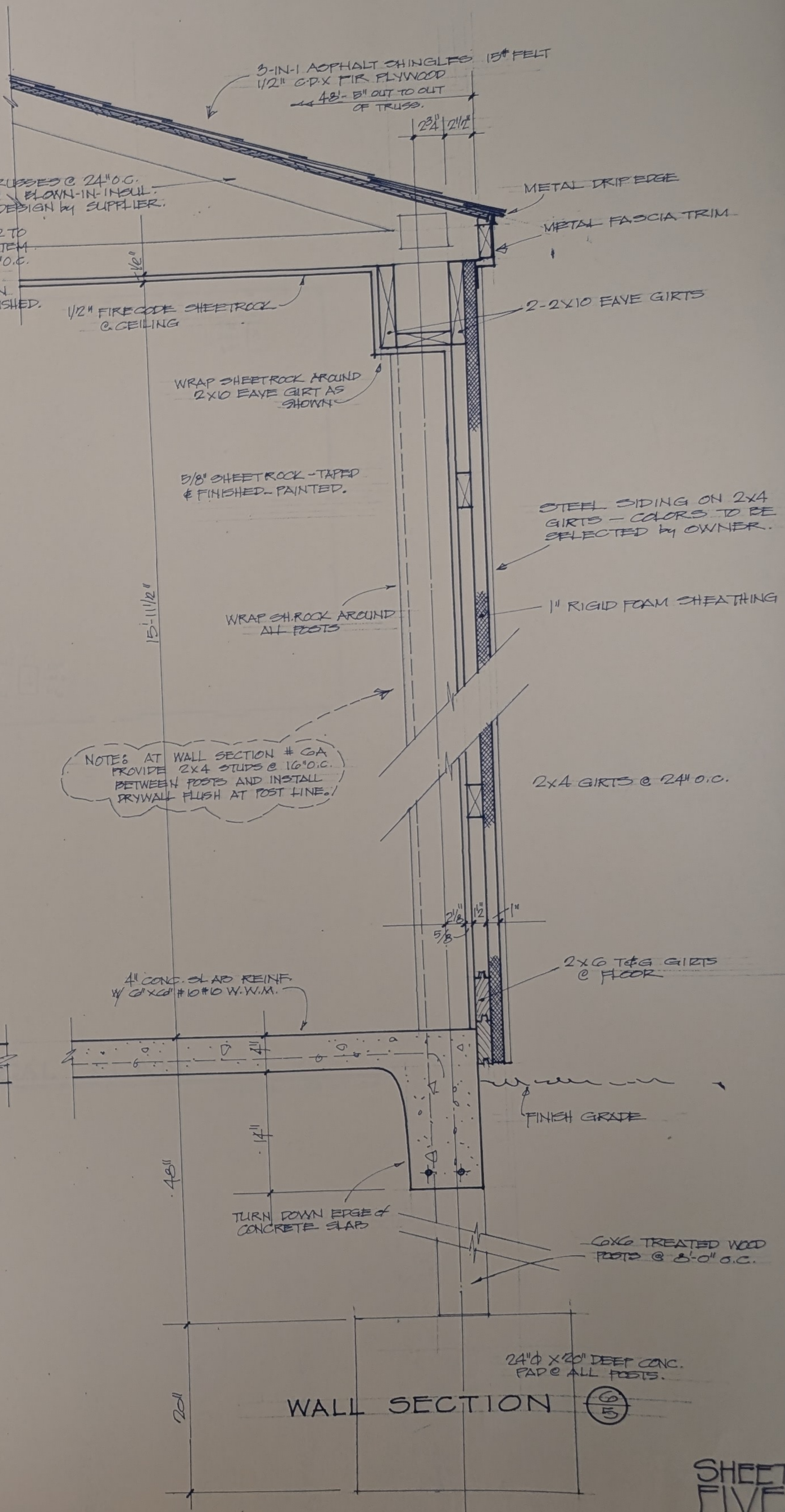






WALL SECTION 4/5

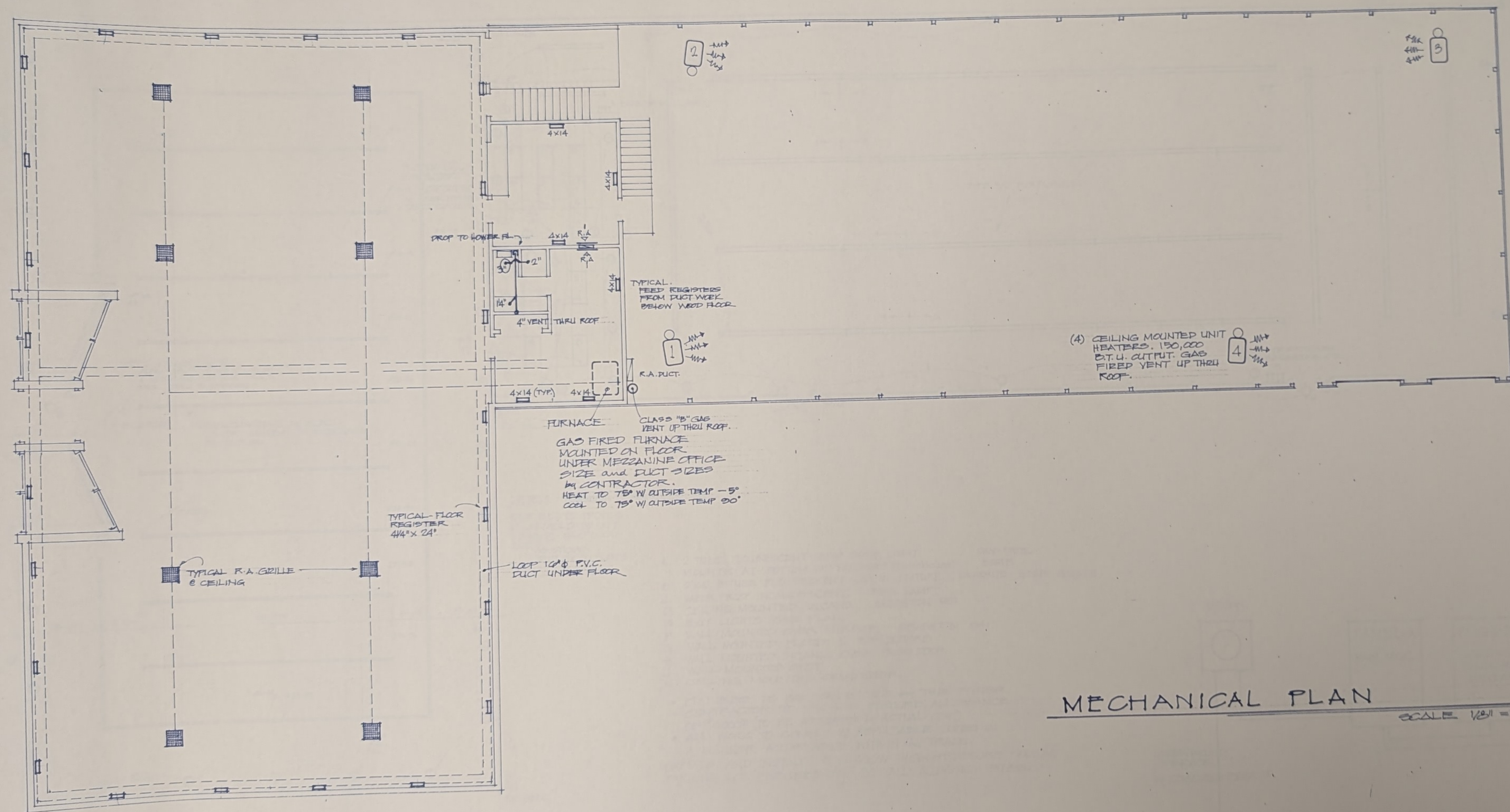
NOTE: TRUSS SUPPLIER TO PROVIDE ALT. TRUSS SYSTEM 48" O.C. W/ PURLINS @ 24" O.C. AND 24" O.C. AS SHOWN. OWNER WILL DECIDE ON SYSTEM TO BE FURNISHED.



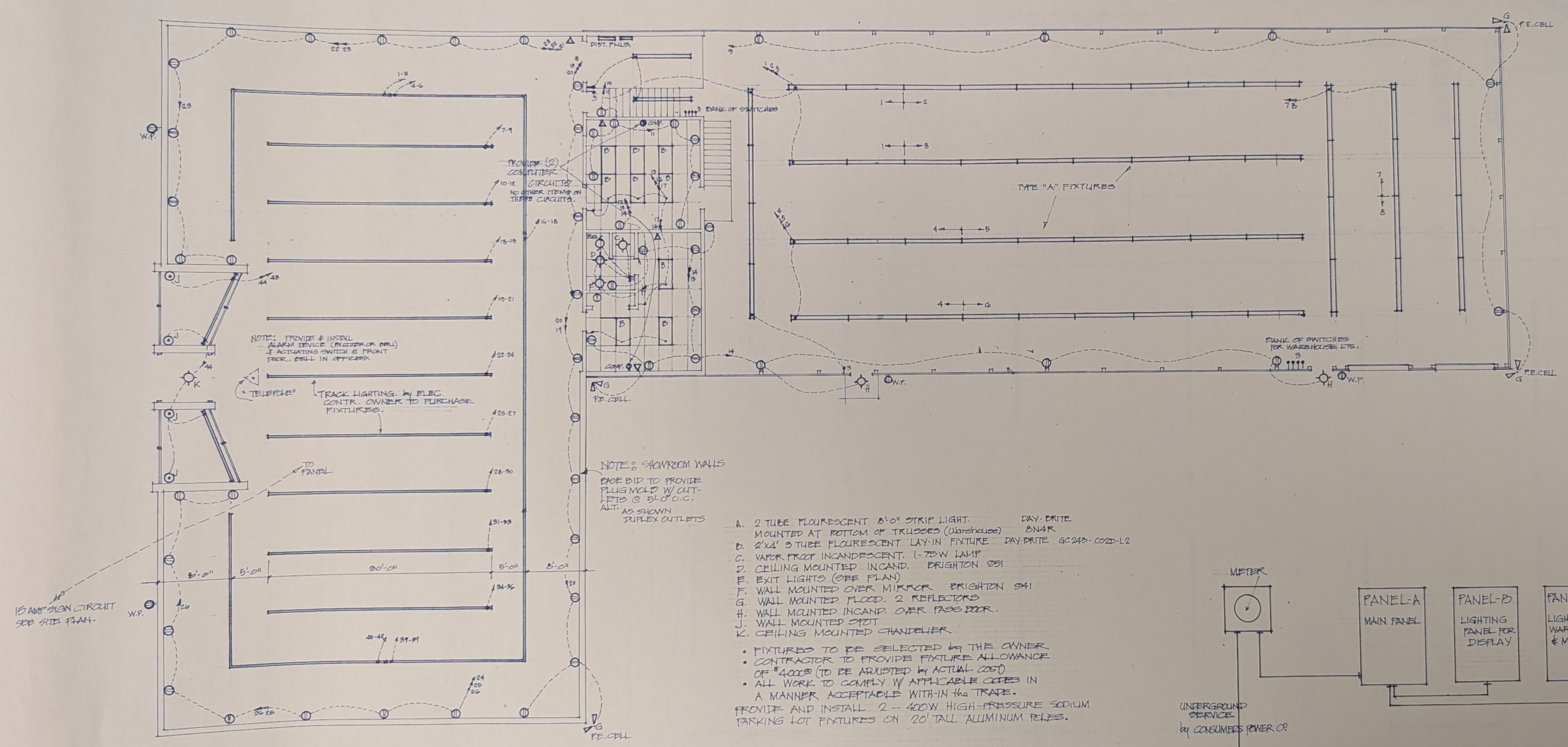
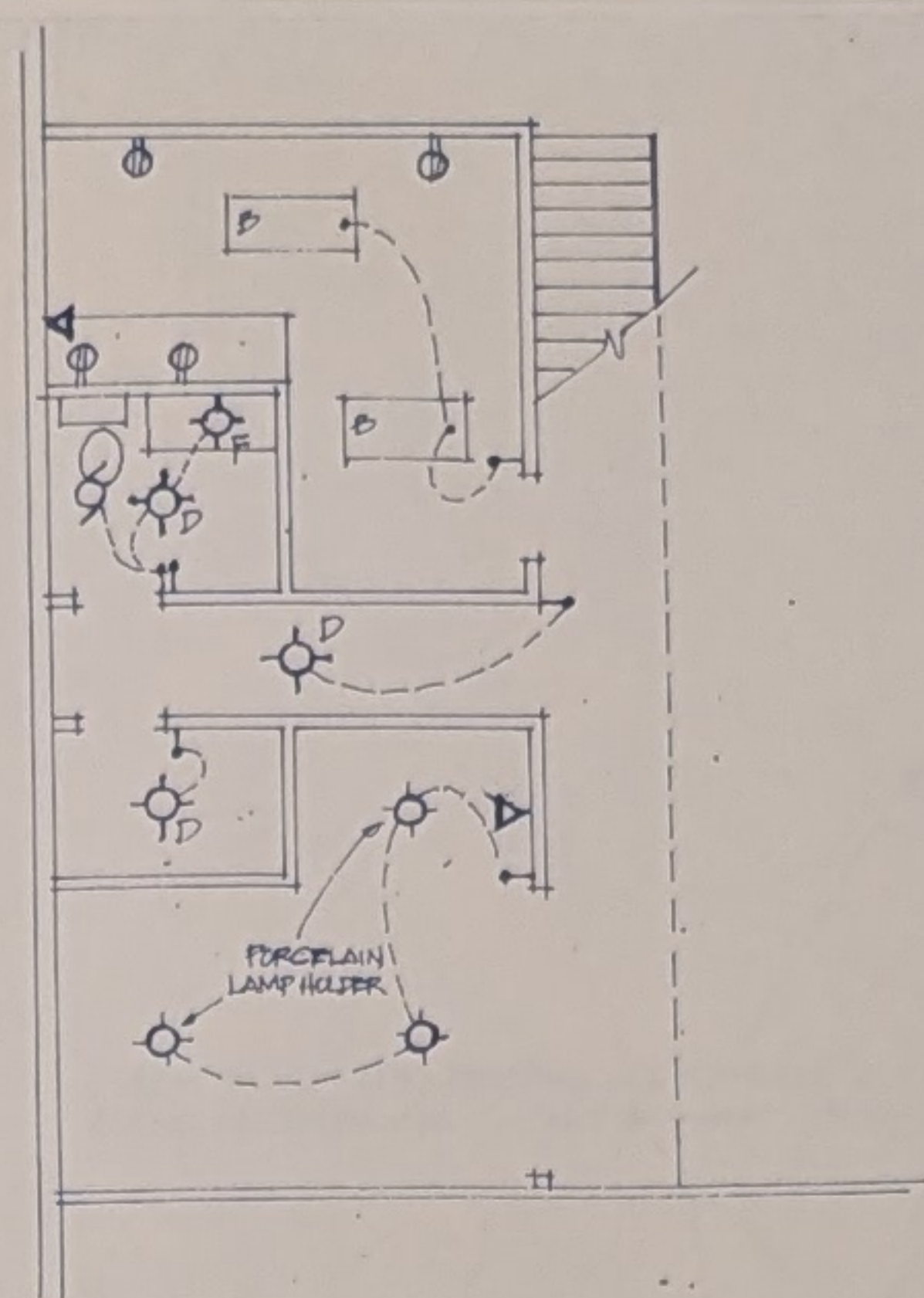
WALL SECTION 5/5

WALL SECTION 6/5

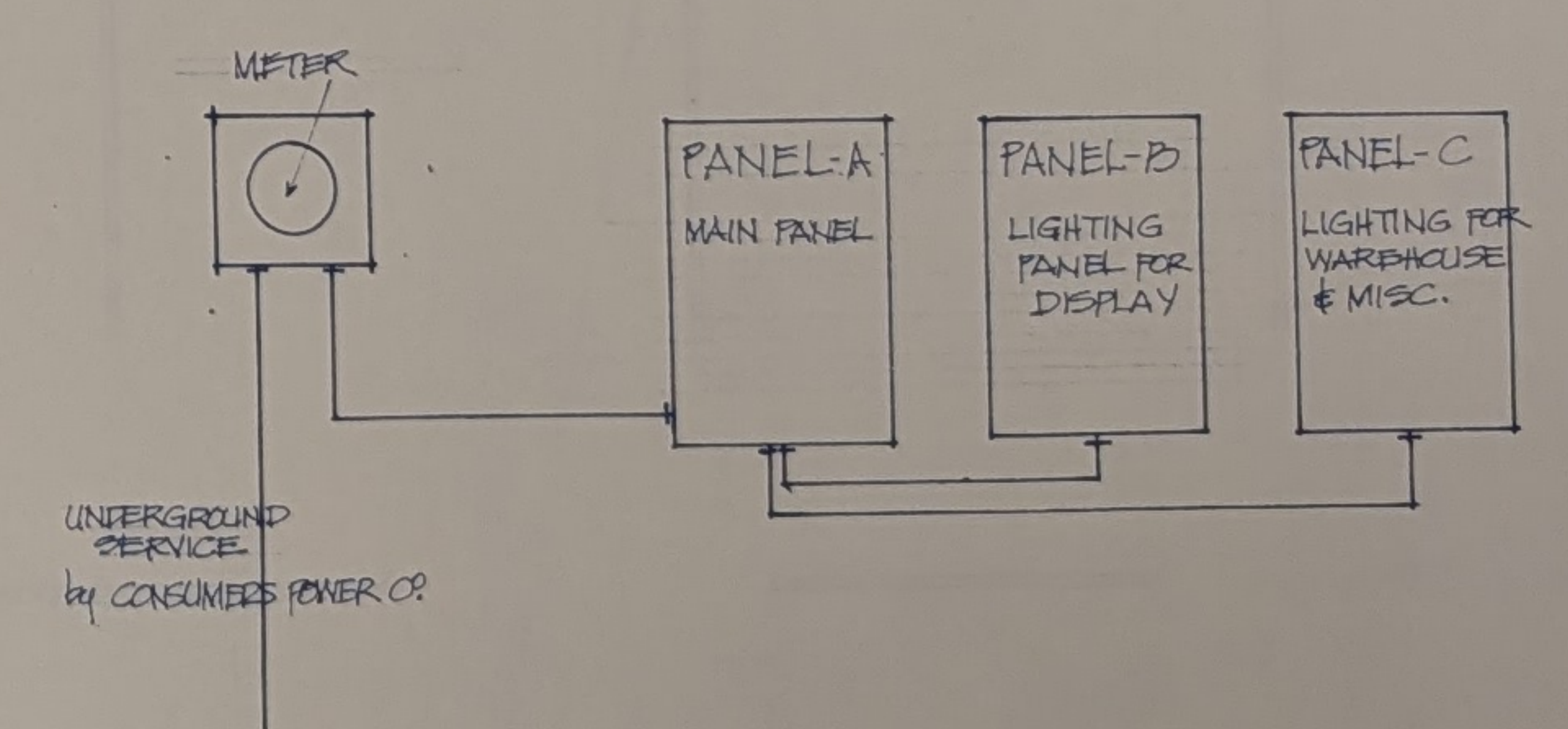








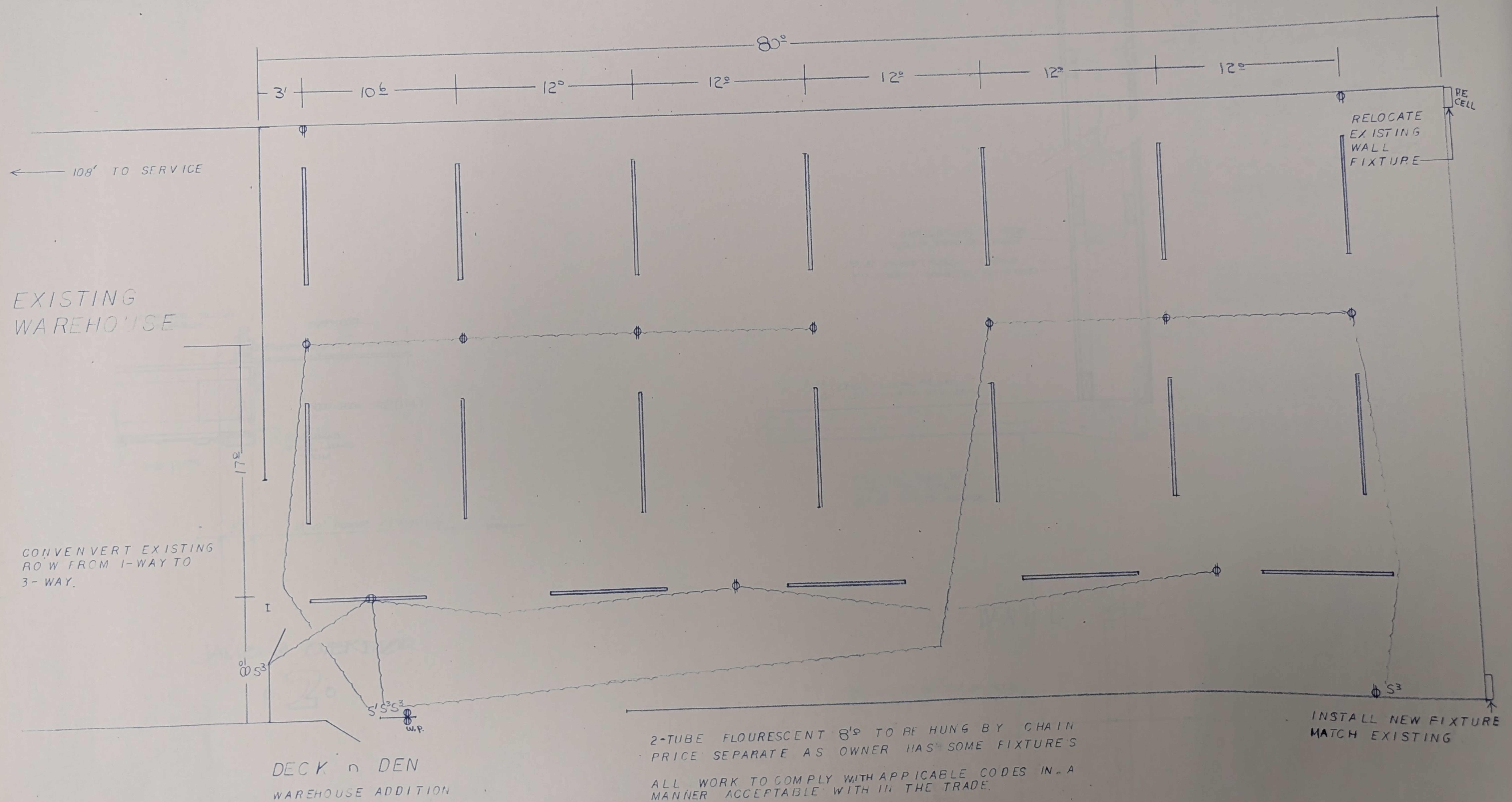
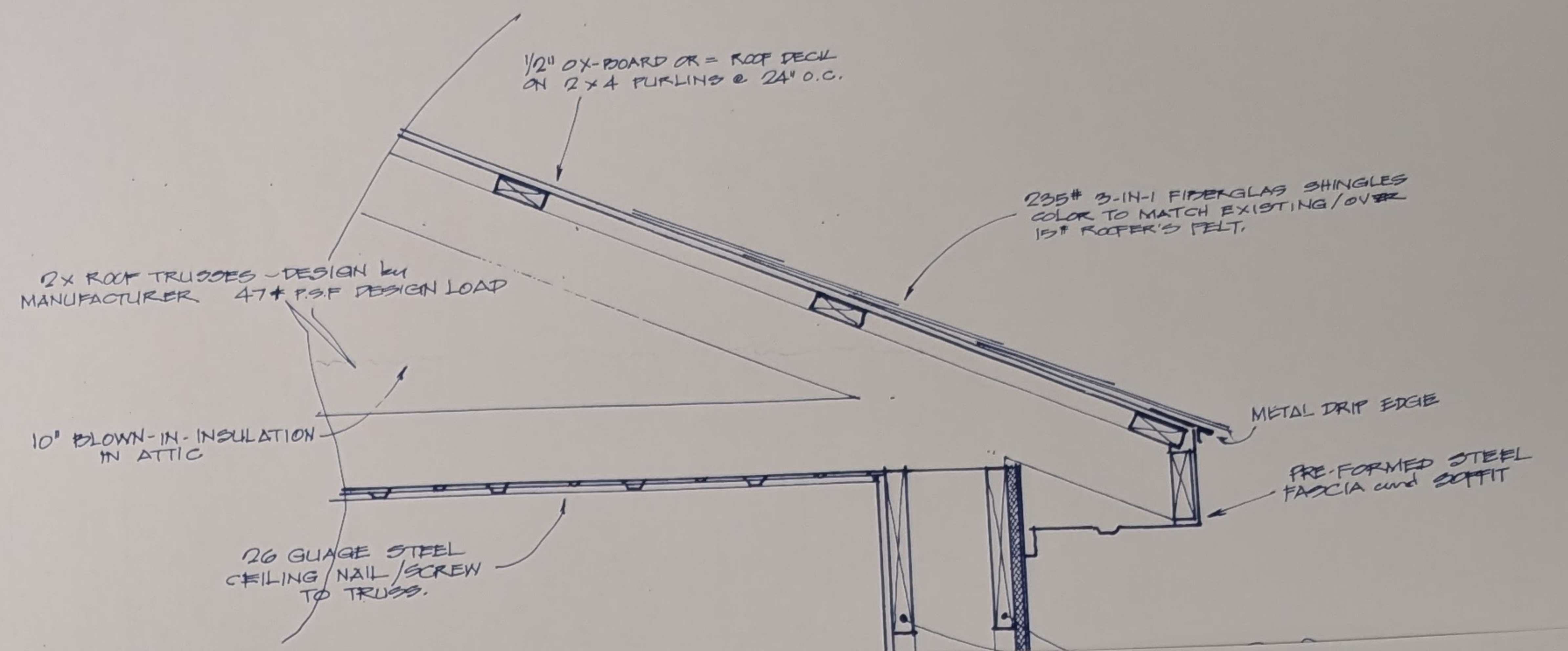
- A. 2 TUBE FLOURESCENT 8'-0" STRIP LIGHT. DAY-BRITE
  - B. 2'x4' 3 TUBE FLOURESCENT LAY-IN FIXTURE DAY-BRITE GC24B-CO2D-L2
  - C. VAPOR PROOF INCANDESCENT 1-75W LAMP
  - D. CEILING MOUNTED INCAND. BRIGHTON 251
  - E. EXIT LIGHTS (SEE PLAN)
  - F. WALL MOUNTED OVER MIRROR BRIGHTON 241
  - G. WALL MOUNTED FLOOD 2 REFLECTORS
  - H. WALL MOUNTED INCAND. OVER PASS DOOR
  - J. WALL MOUNTED SPOT
  - K. CEILING MOUNTED CHANDELIER
- FIXTURES TO BE SELECTED BY THE OWNER  
 • CONTRACTOR TO PROVIDE FIXTURE ALLOWANCE OF \$4000 (TO BE ADJUSTED BY ACTUAL COST)  
 • ALL WORK TO COMPLY W/ APPLICABLE CODES IN A MANNER ACCEPTABLE WITHIN THE TRADE.
- PROVIDE AND INSTALL 2- 400W HIGH-PRESSURE SODIUM PARKING LOT FIXTURES ON 20' TALL ALUMINUM POLES.



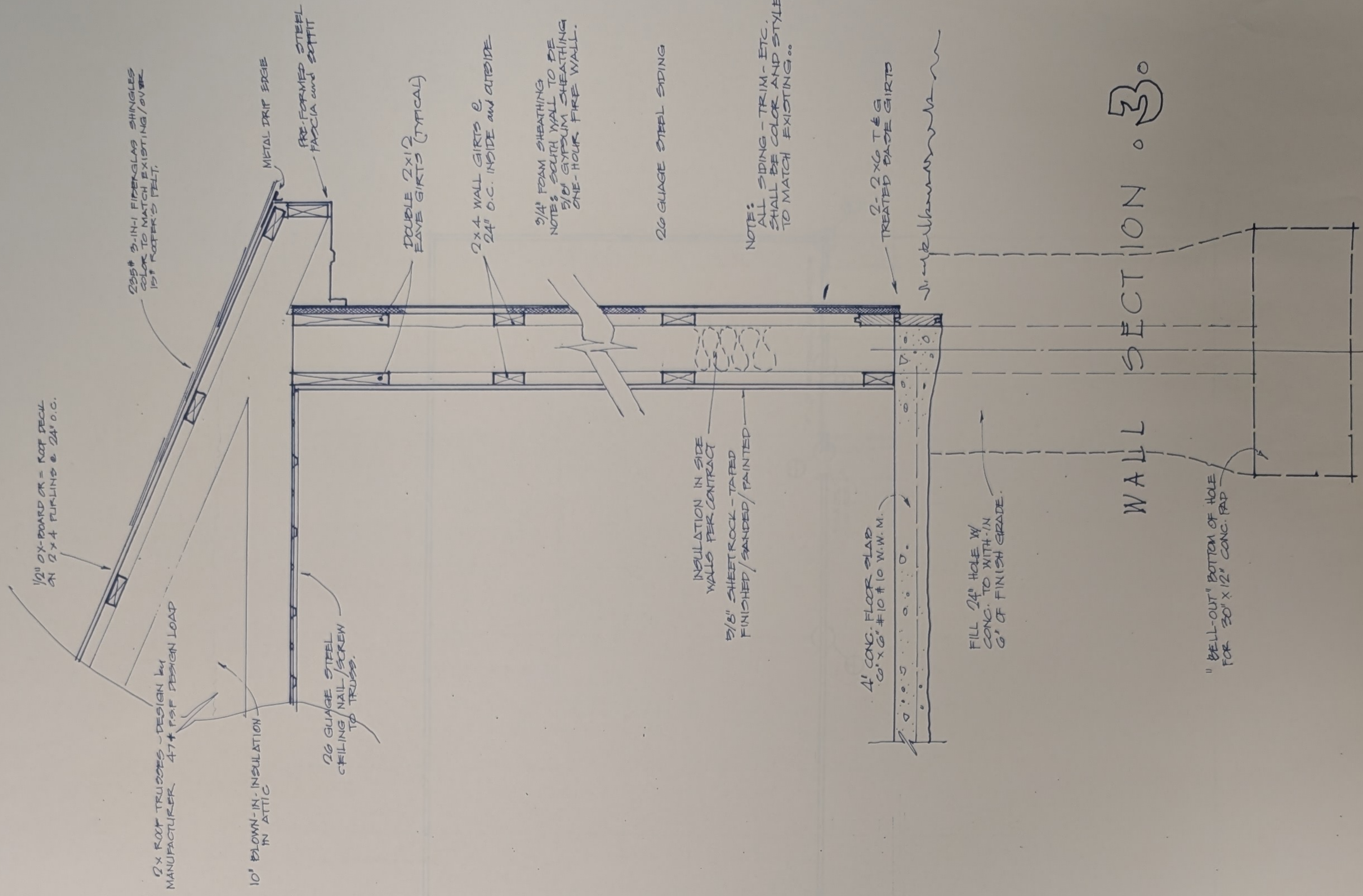
# ELECTRICAL PLAN

SCALE 1/8" = 1'-0"

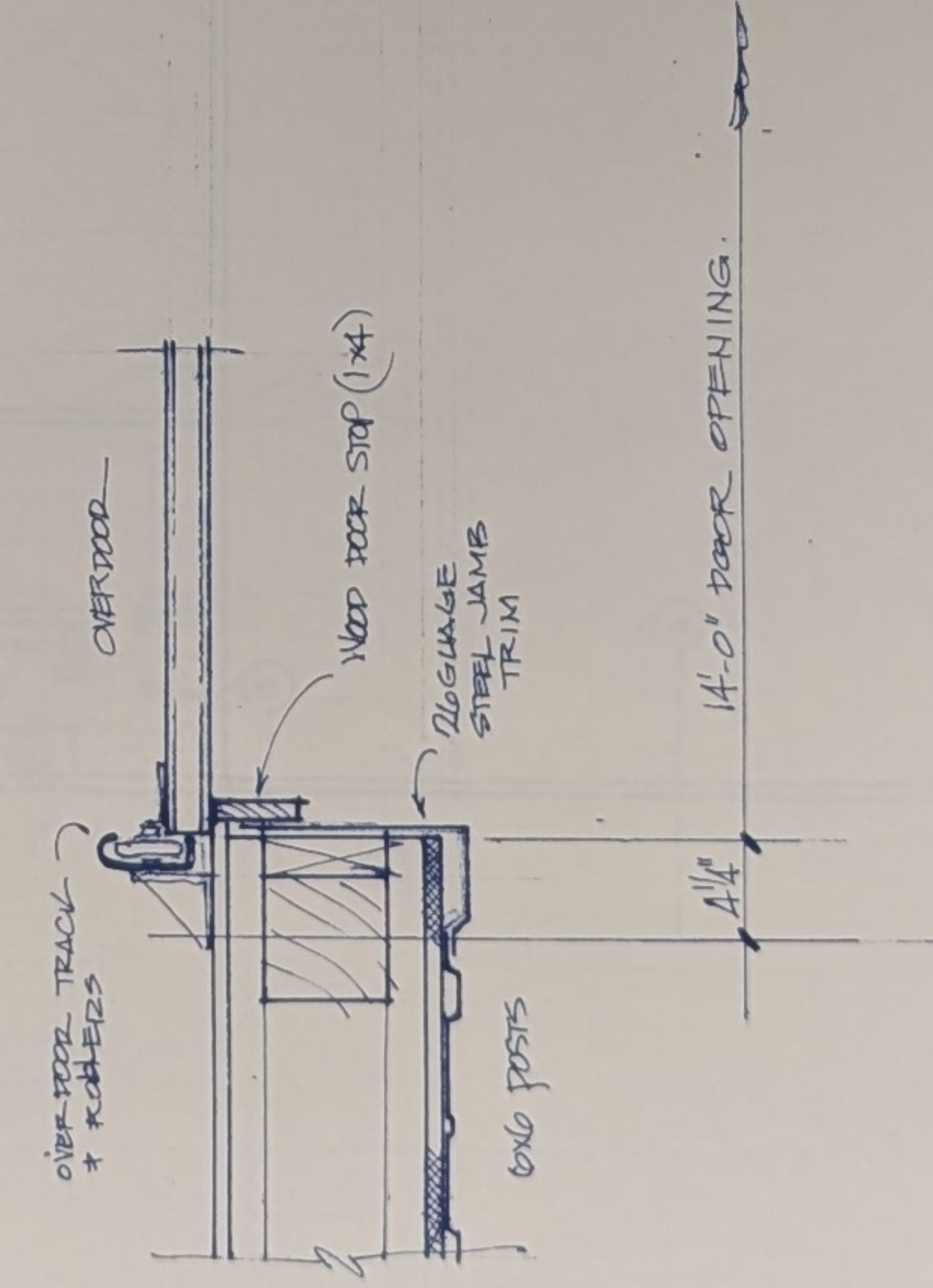




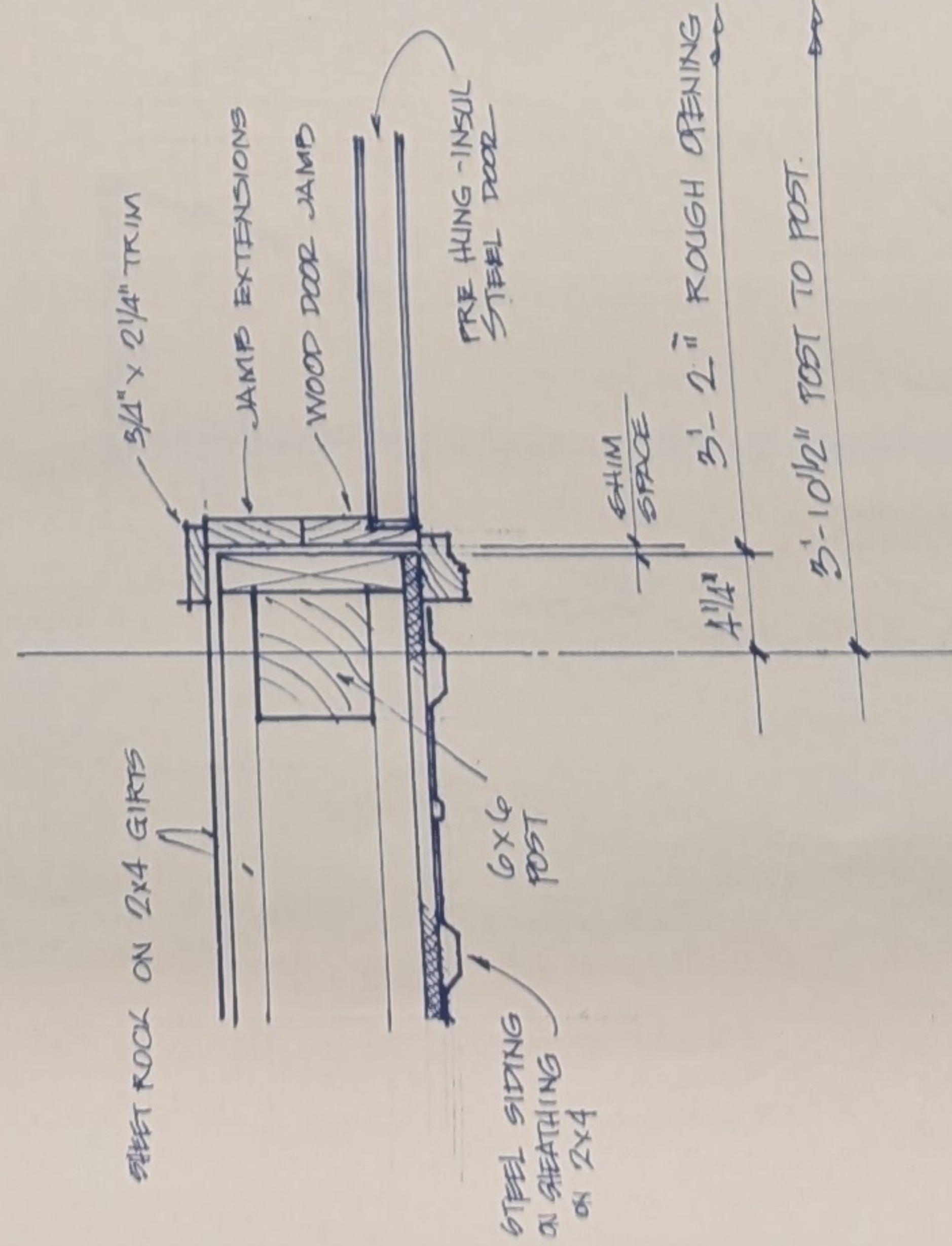




WALL SECTION 030

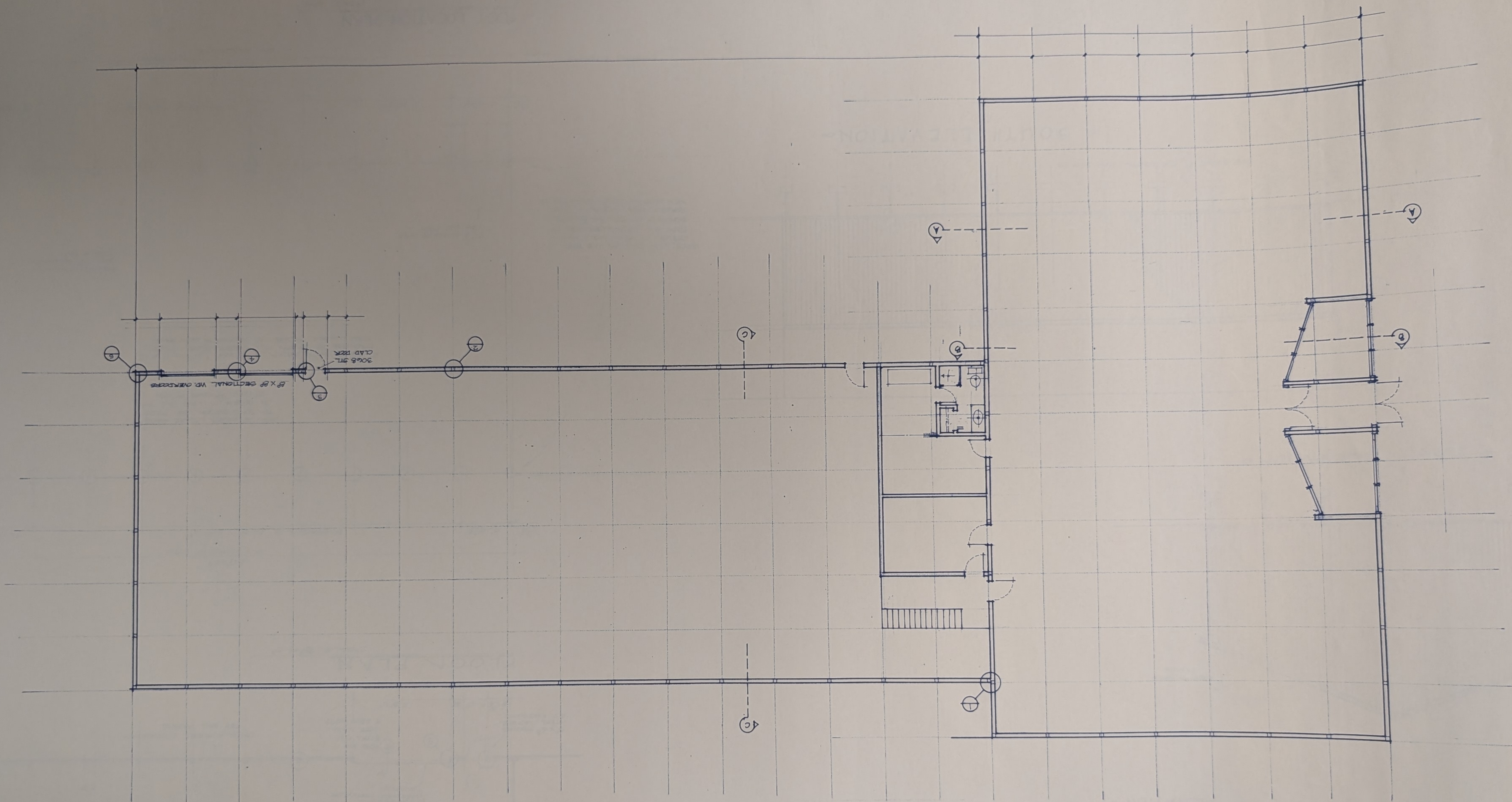


JAMB @ OVERHEAD 020

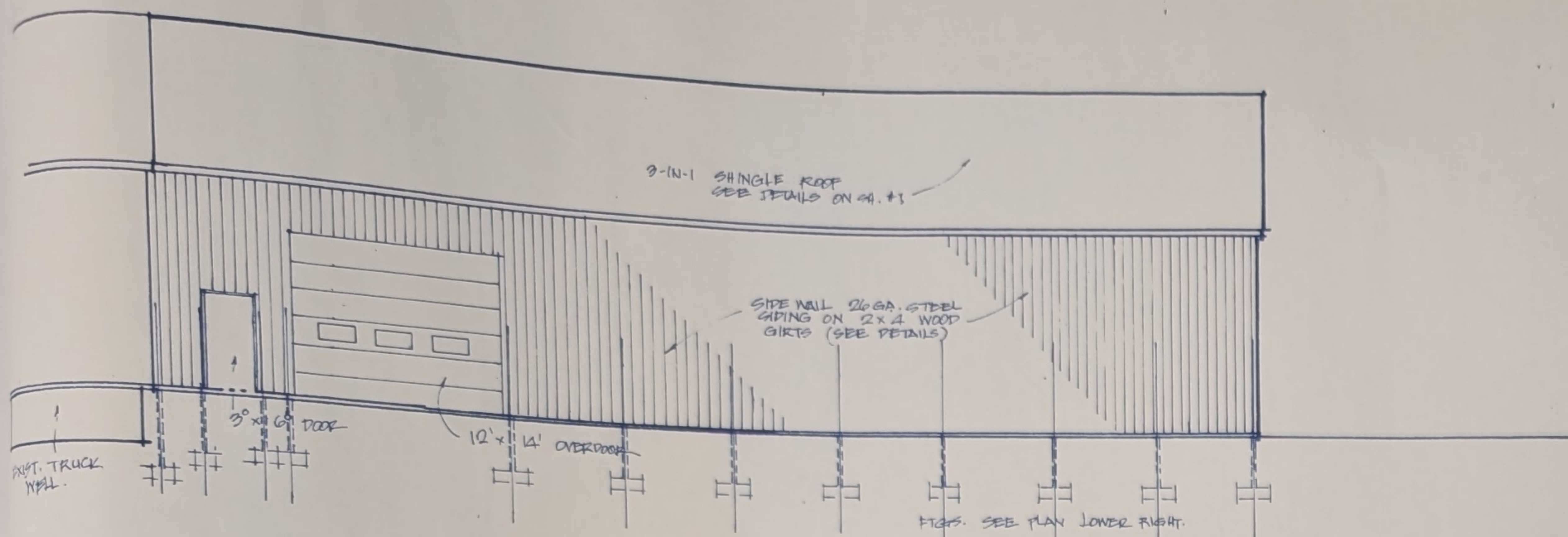


JAMB @ PASS DOOR 010

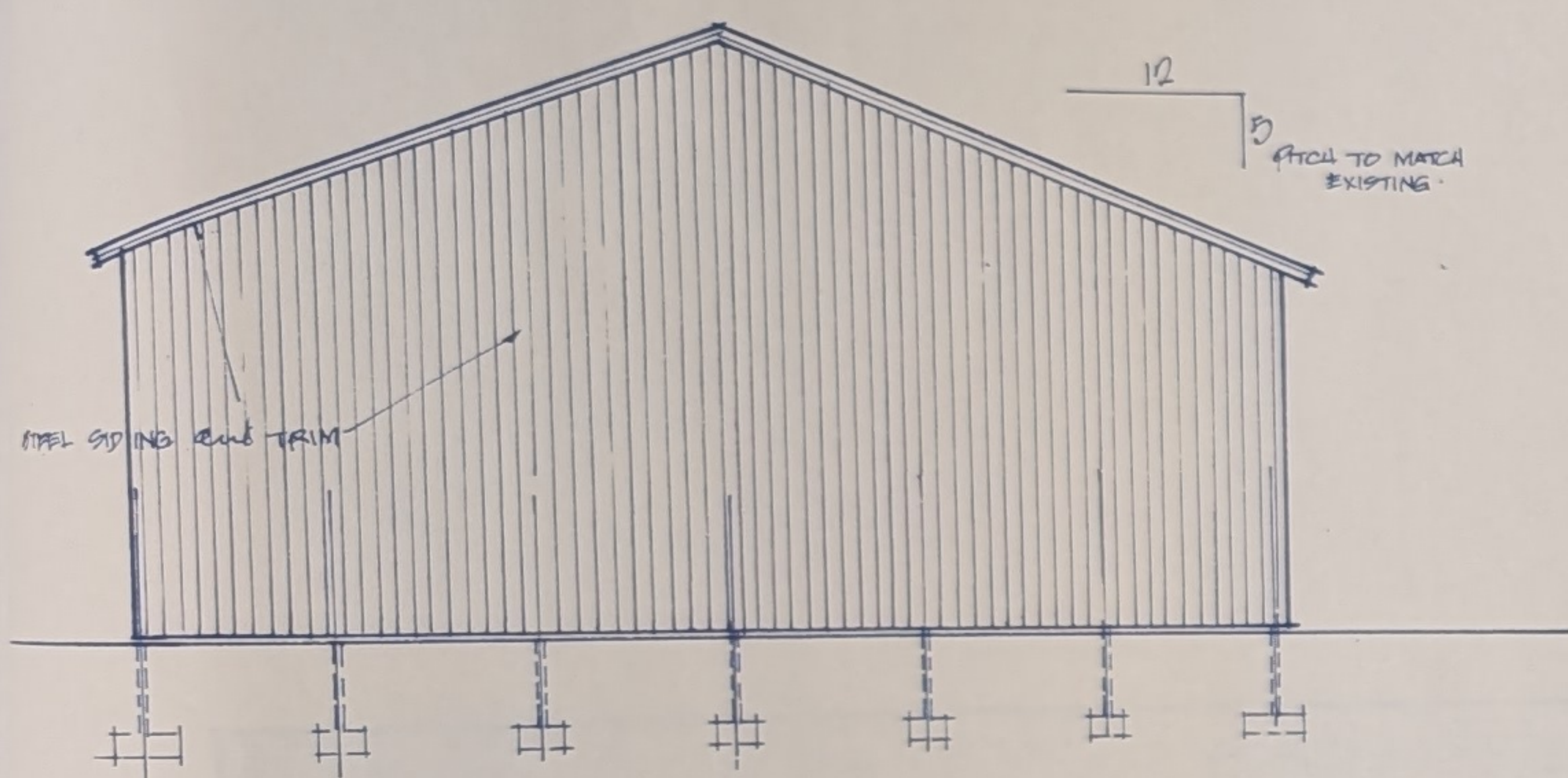




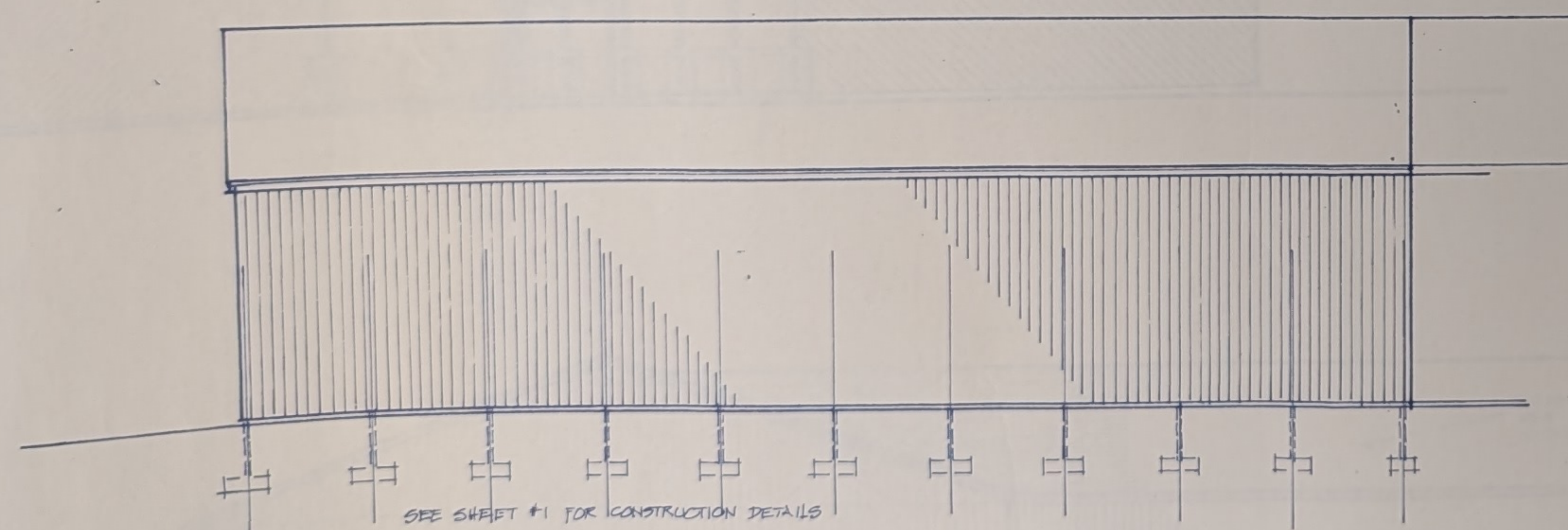




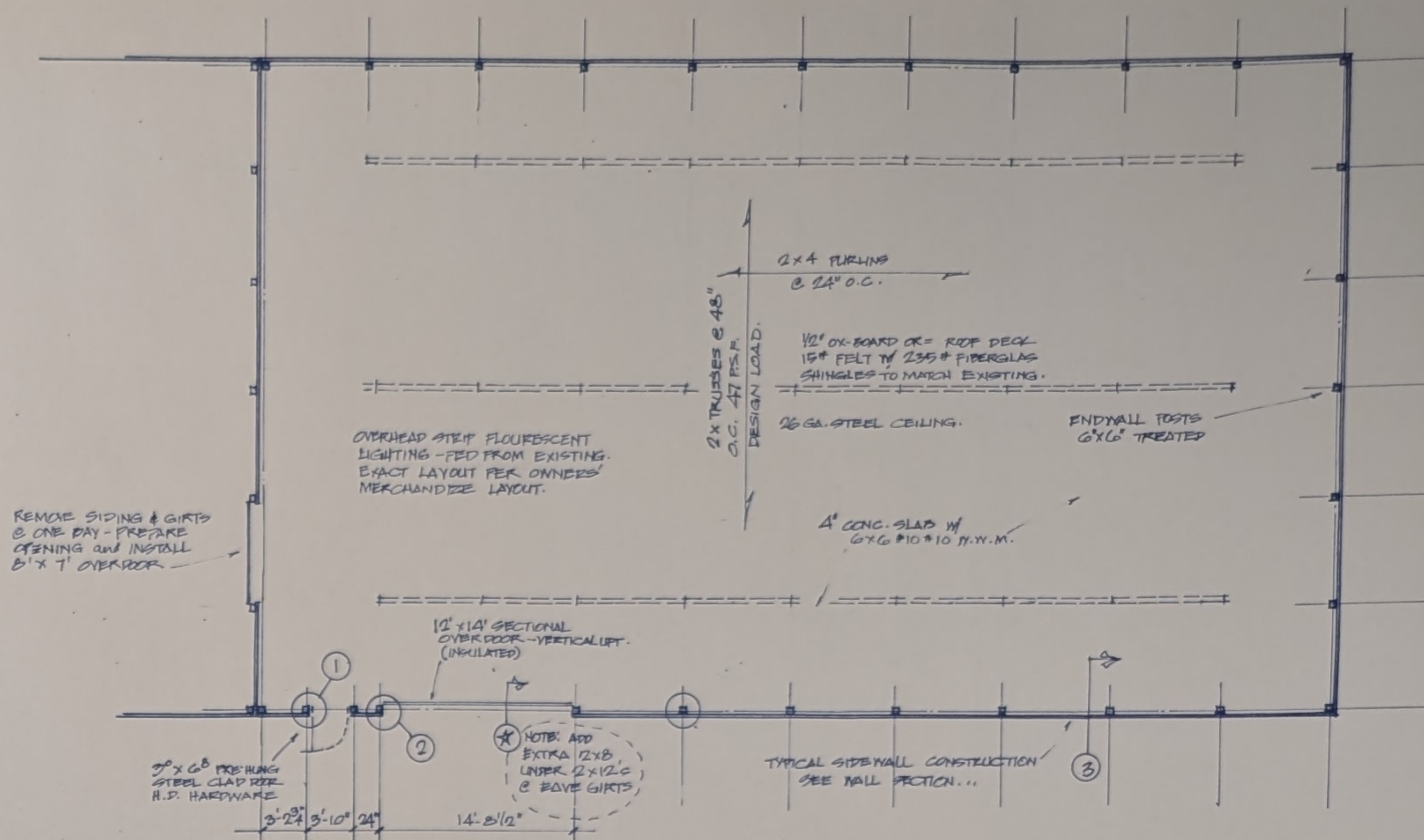
• NORTH ELEVATION •



• WEST ELEVATION •

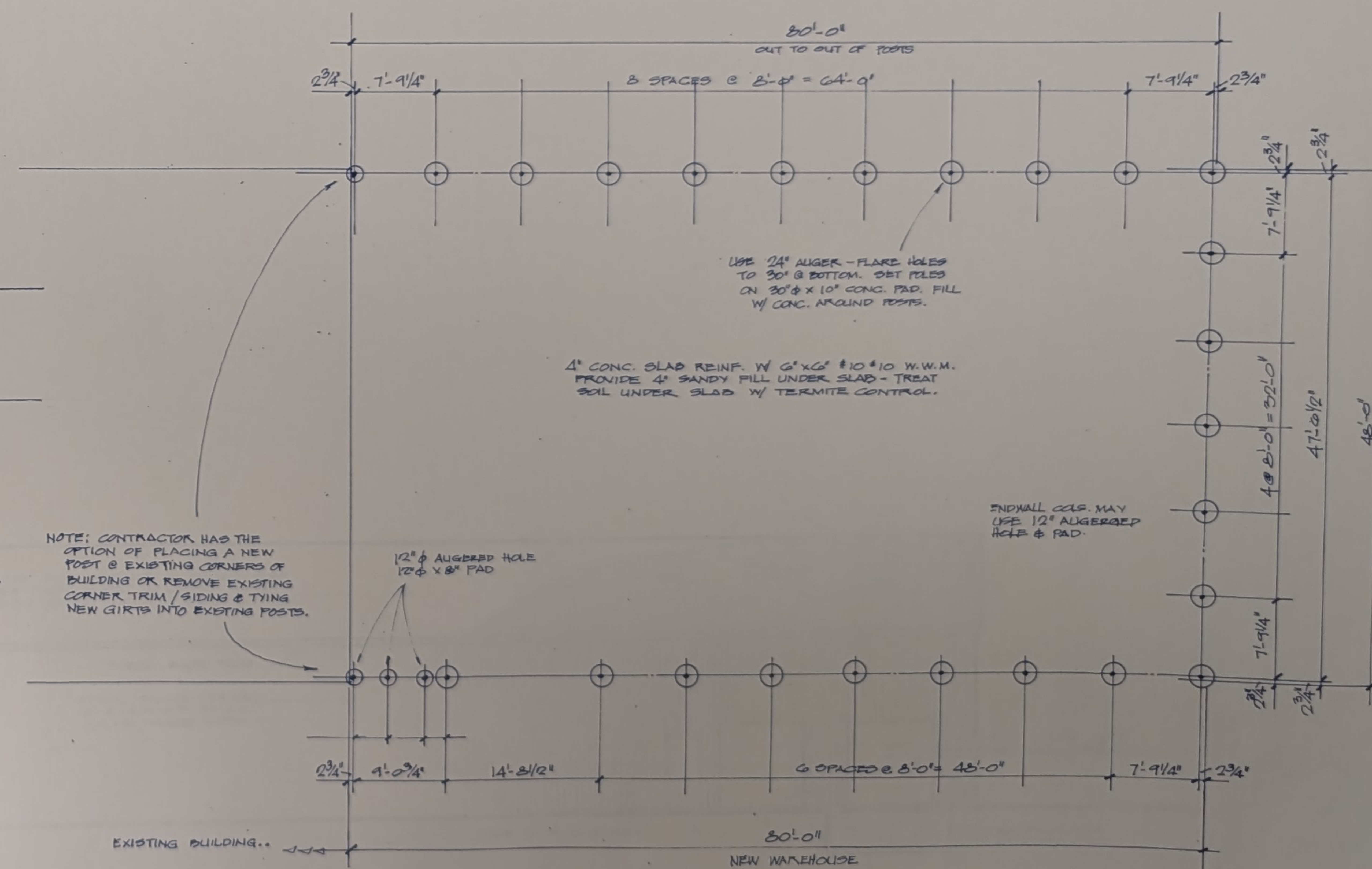


• SOUTH ELEVATION •



FLOOR PLAN

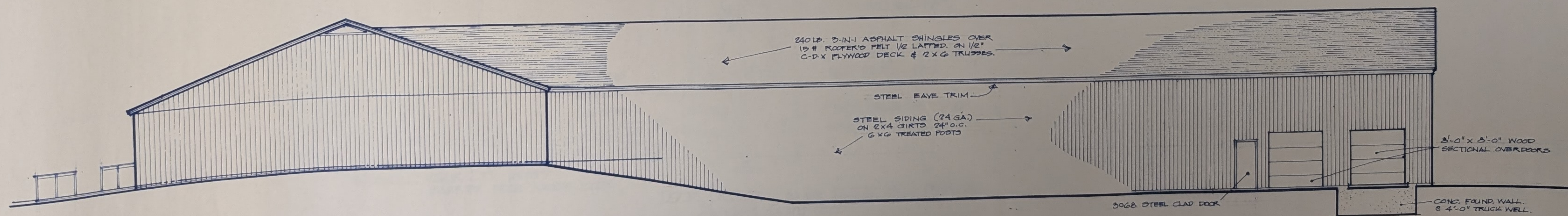
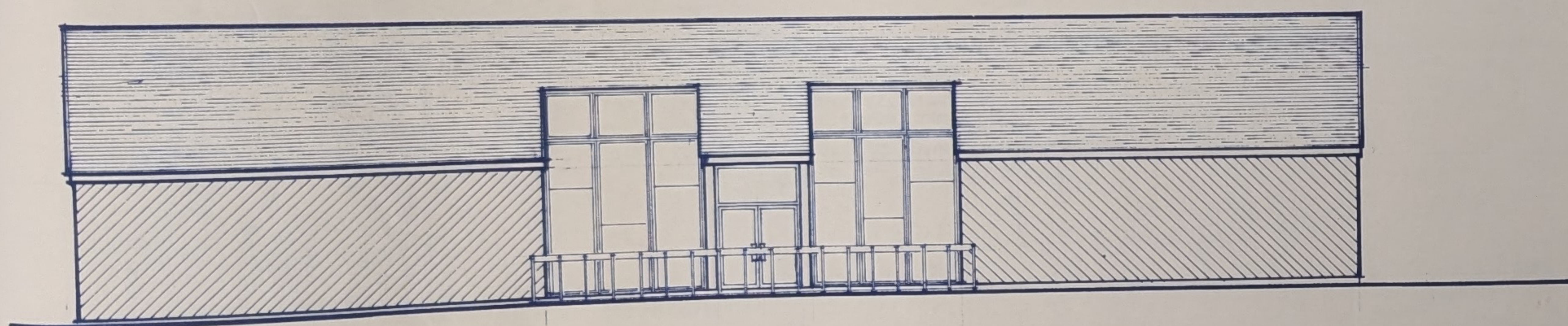
SCALE 1/8" = 1'-0"



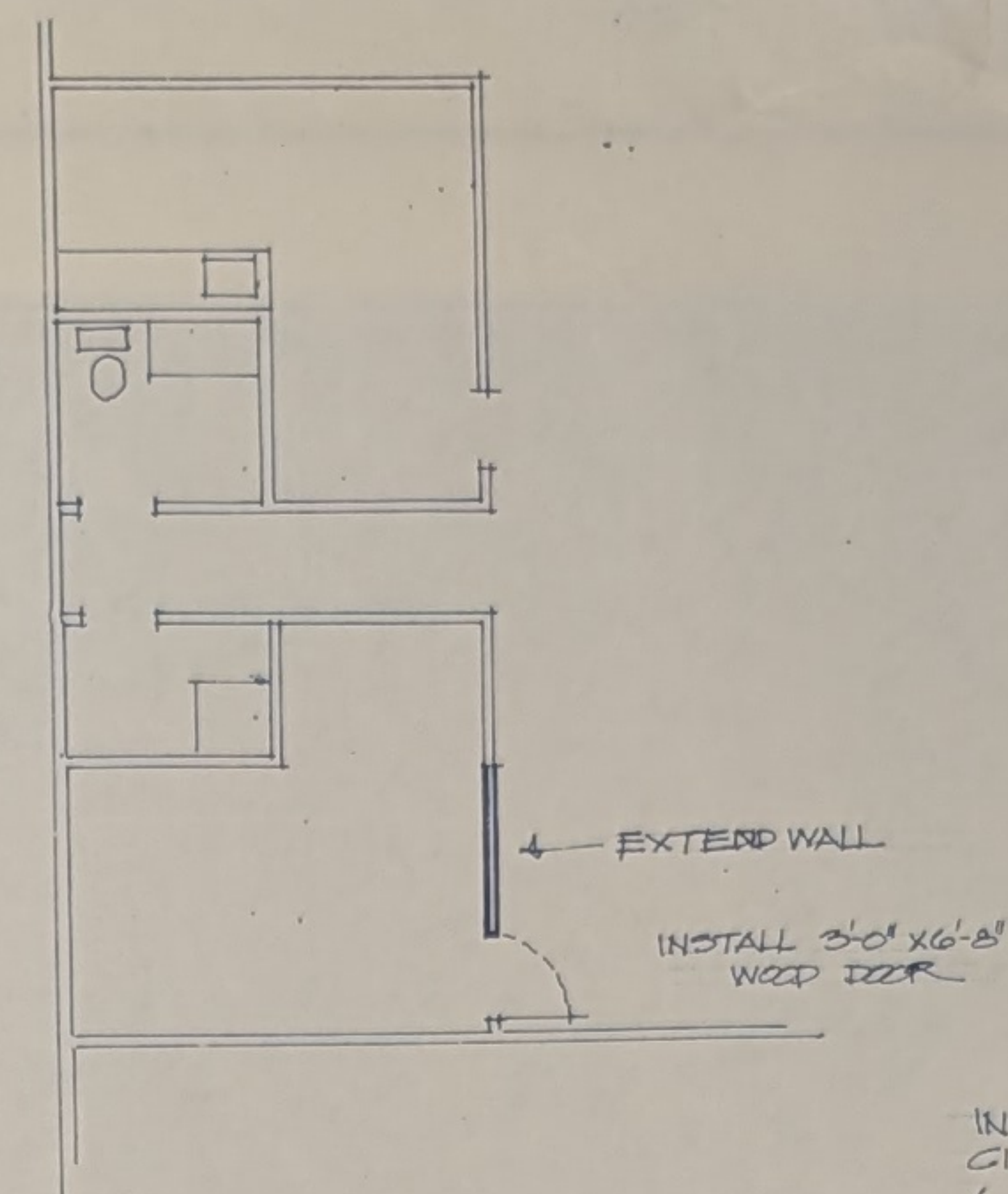
POST LOCATION PLAN

SCALE 1/8" = 1'-0"

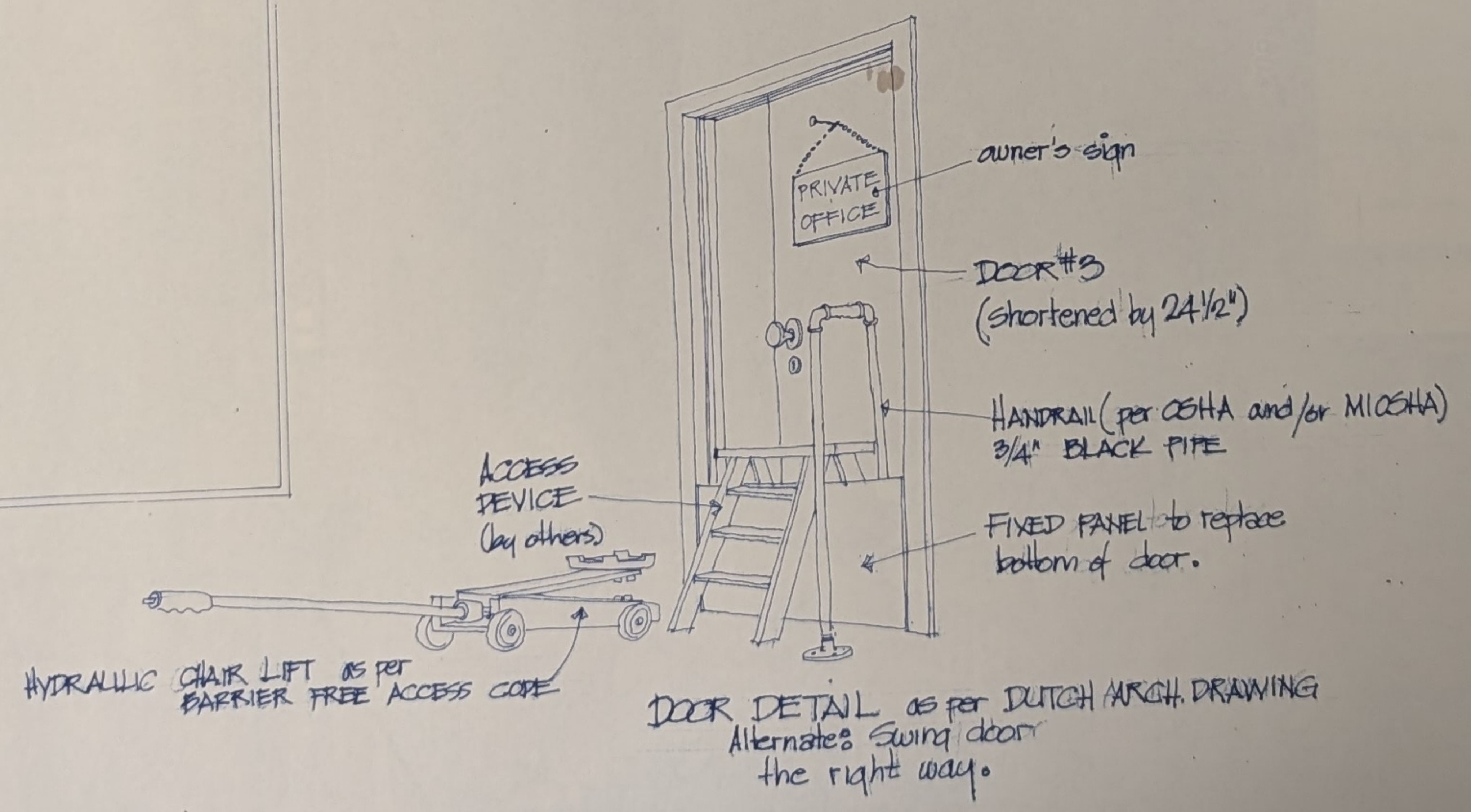
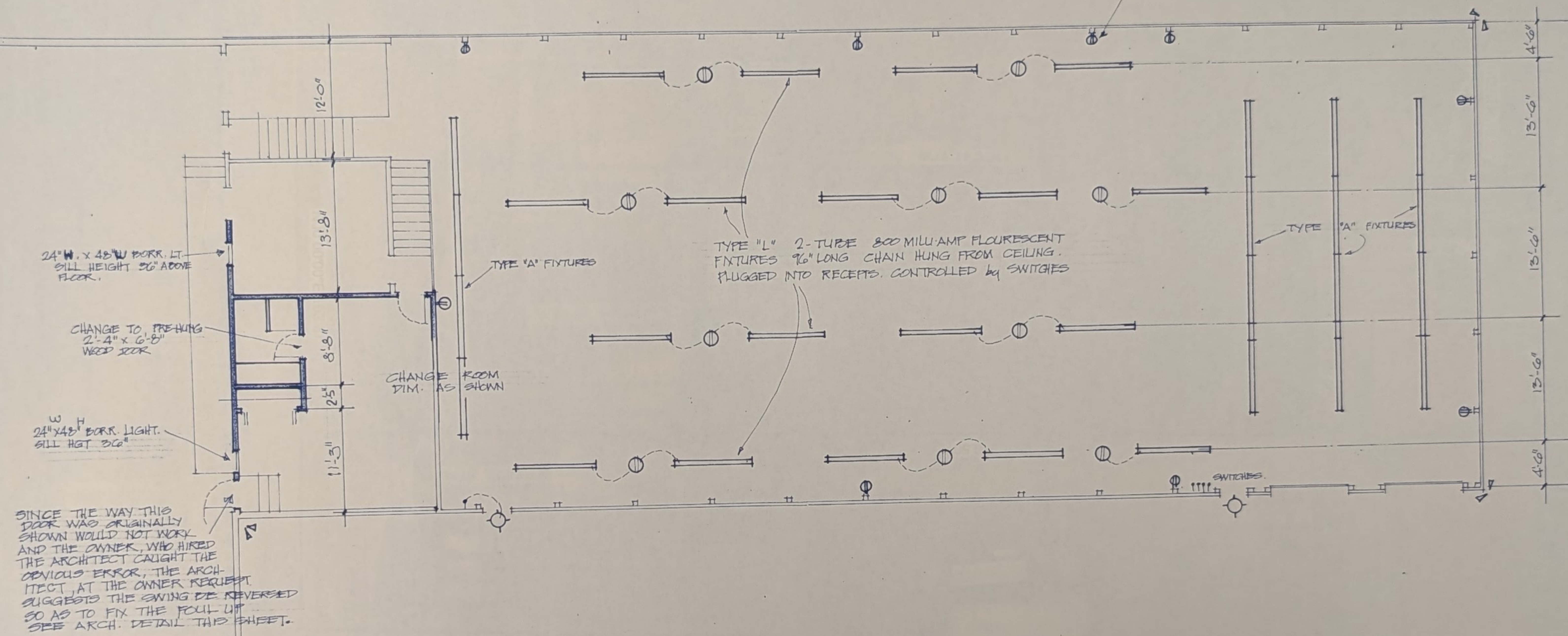








INSTALL RECEPT. ON SEPARATE CIRCUIT FOR BATTERY CHARGER.



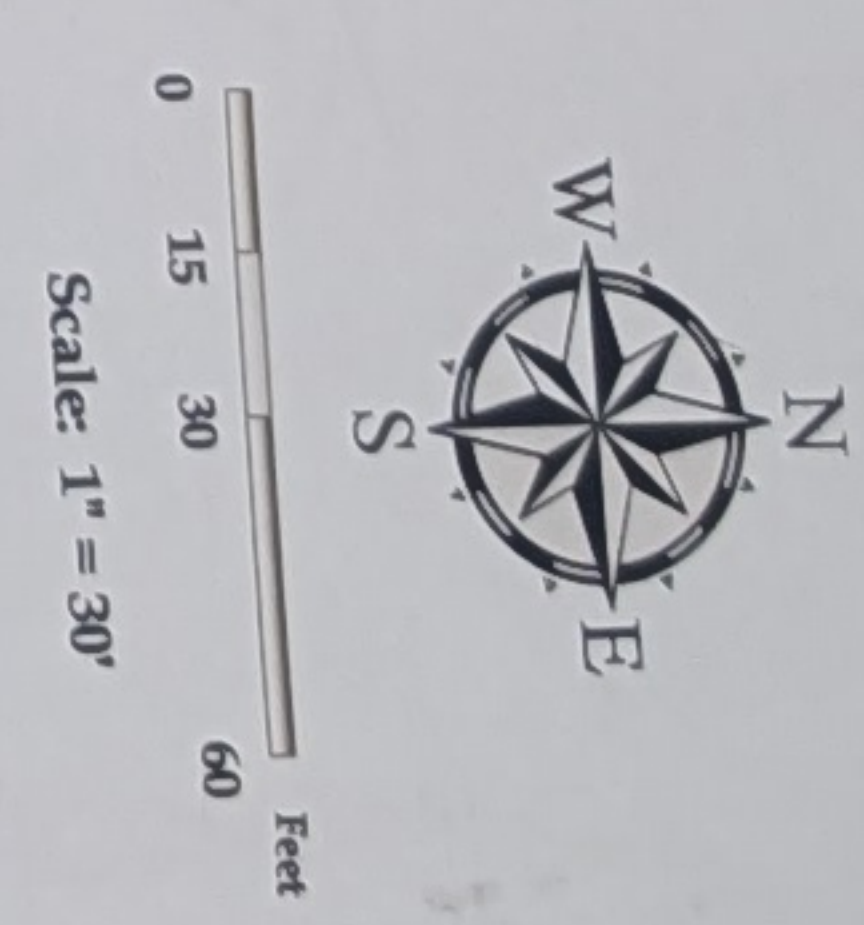


# Ed's Car Rental

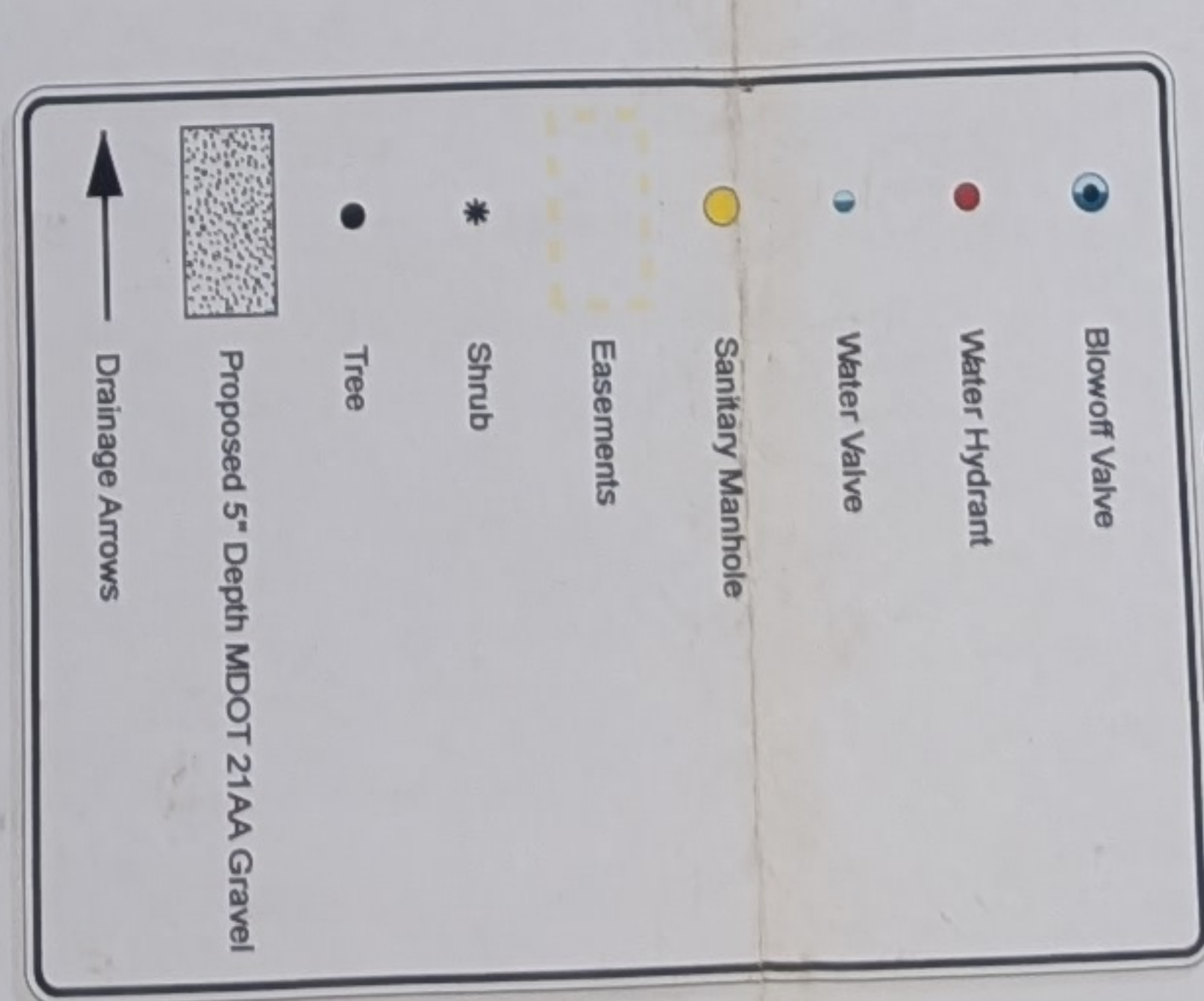
## Comstock Township, Kalamazoo County, Michigan

### Sketch Site Plan

October 13, 2008  
2080691K



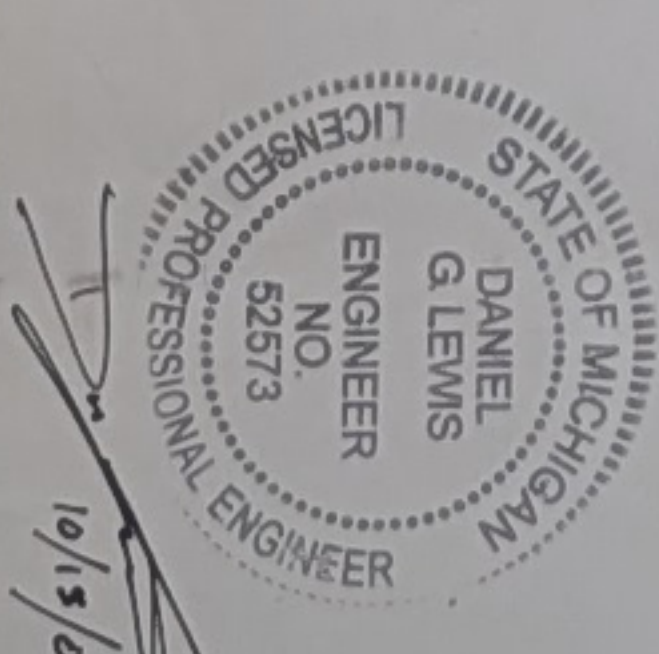
#### Legend



- NOTES:
- 1) AERIAL AND CONTOURS PURCHASED FROM CITY OF KALAMAZOO GIS
  - 2) NO BOUNDARY SURVEY HAS BEEN PERFORMED FOR 2460 SPRINKLE ROAD
  - 3) AREA 2500+2460 = 1.33 ACRES  
OPEN SPACE = 0.42 ACRES  
WETLANDS = 0 ACRES
  - 4) ALL TOPSOIL SHALL BE REMOVED IN GRAVEL AREAS
  - 5) 180' TOTAL FRONTAGE = 5 TREES (1 EVERY 35' FRONTAGE),  
27 SHRUBS (3 EVERY 20' OF FRONTAGE)

PROPERTY OWNER  
ED'S CAR RENTAL  
2460 SPRINKLE ROAD  
KALAMAZOO, MI 49001  
(269) 382-3400

ENGINEER  
DANIEL LEWIS  
PREIN&NEWHOE  
7123 STADIUM DRIVE  
KALAMAZOO, MI 49009  
(269) 372-1158



30 (447.5) 58.  
30 30  
147.3175  
12.3175  
Prein&NewHoe  
Phone: 269-372-1158







2" X 8" WOOD FRAMING  
@ 16" O.C.

[illegible]

**11919**