

# ARCADIA CREEK FESTIVAL PLACE

## SITE PLAN REVIEW PACKAGE

**Site Plan Review**  
 Received: 6/10/2026  
 City of Kalamazoo  
 E.Szymanski



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**CITY OF KALAMAZOO**  
 241 W SOUTH STREET  
 KALAMAZOO, MI 49007

### CONSULTANTS

#### LANDSCAPE ARCHITECT / CIVIL ENGINEER

VIRIDIS DESIGN GROUP  
 1430 MONROE AVE, NW  
 SUITE 210  
 GRAND RAPIDS, MI 49505  
 (616) 438-9841

#### LANDSCAPE ARCHITECT

LBA LANDSCAPE ARCHITECTURE  
 95 SOUTH TENTH STREET  
 PITTSBURGH, PA 15203  
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#### STRUCTURAL ENGINEER

NEHIL-SIVAK STRUCTURAL ENGINEERS  
 414 S. BURDICK STREET, SUITE 300  
 KALAMAZOO, MI 49007  
 (269) 383-3111

#### ARCHITECT

ROSSETTI ARCHITECTS  
 160 W. FORT STREET,  
 DETROIT, MI 48226  
 (313) 463-5151

#### ELECTRICAL ENGINEER

BAZEN ELECTRIC  
 1695 SERVICE RD NE  
 GRAND RAPIDS, MI 49503  
 (616) 458-7210

### UTILITY CONTACTS

#### WATER/SEWER

CITY OF KALAMAZOO  
 241 W SOUTH STREET  
 KALAMAZOO, MI 49007  
 269-337-8000

#### CABLE

CONTACT NAME  
 STREET ADDRESS  
 CITY, STATE ZIP  
 PHONE NUMBER

#### GAS

CONSUMERS ENERGY  
 2500 E CORK STREET  
 KALAMAZOO, MI 49001  
 800-805-0490

#### POWER

CONSUMERS ENERGY  
 2500 E CORK STREET  
 KALAMAZOO, MI 49001  
 800-805-0490

#### COMMUNICATIONS

CONTACT NAME  
 STREET ADDRESS  
 CITY, STATE ZIP  
 PHONE NUMBER

#### STORM WATER

CITY OF KALAMAZOO  
 241 W SOUTH STREET  
 KALAMAZOO, MI 49007  
 269-337-8000

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#### SITE SURVEY

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These sheets included for site plan review.

#### STRUCTURAL

S001	GENERAL NOTES
S300	STRUCTURAL DETAILS
S301	STRUCTURAL DETAILS
S302	STRUCTURAL DETAILS

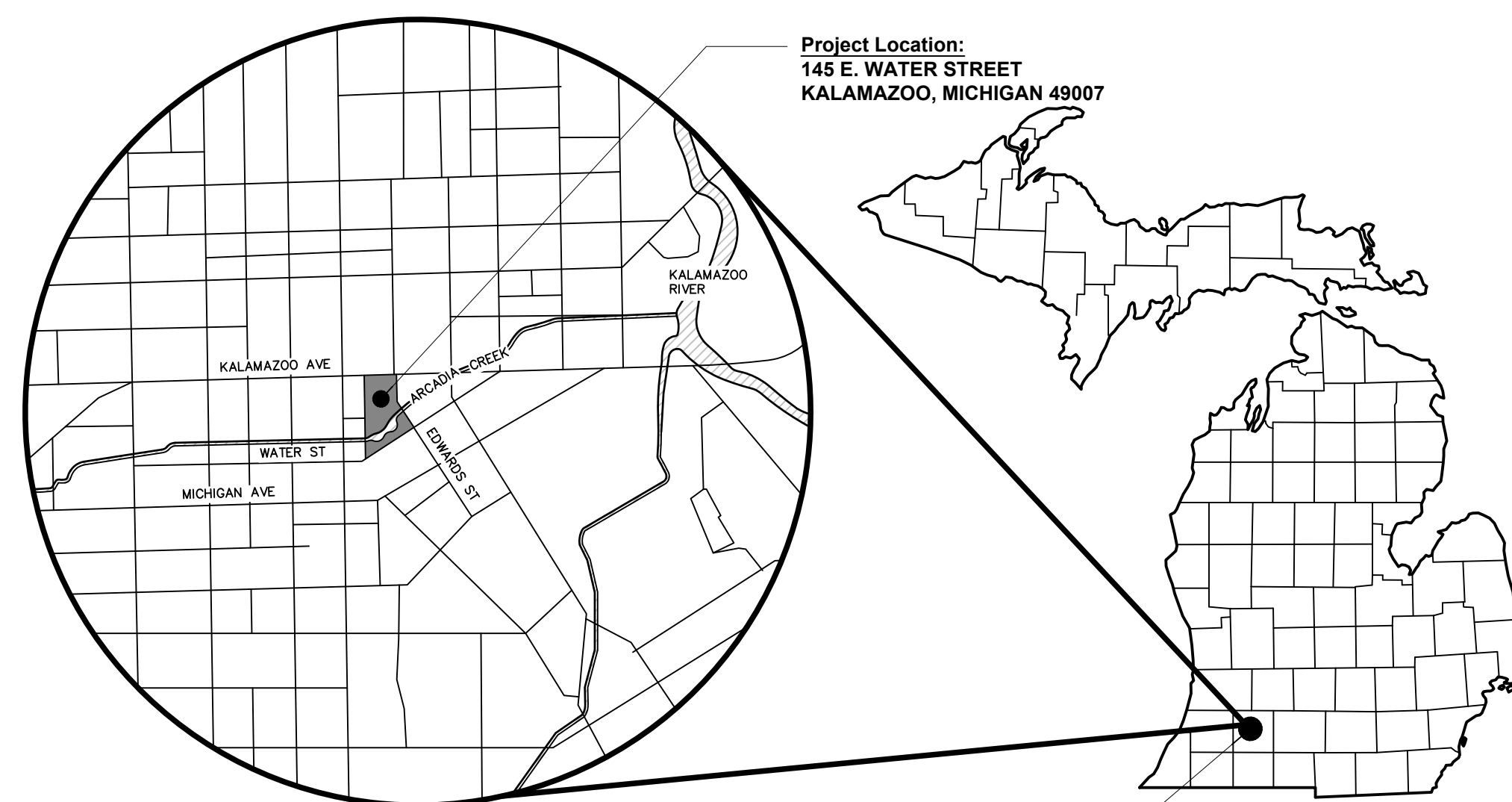
Photometric plan included for site plan review in addition to these sheets.

#### ELECTRICAL

E1.0	SITE LIGHTING PLAN
E2.0	SITE POWER PLAN
E3.0	SITE ELECTRICAL DEMO
E4.0	ONE-LINE DIAGRAMS

#### Additional Documents for Site Plan Review:

Schematic Plans, Elevations, Sections of the Main Pavilion, as provided by Rossetti Architects.



Project Location:  
 145 E. WATER STREET  
 KALAMAZOO, MICHIGAN 49007



LOCATION MAP

Owner  
 CITY OF KALAMAZOO

Project No. 2516

**ARCADIA CREEK FESTIVAL PLACE**  
 100% DESIGN DEVELOPMENT

145 E. WATER STREET  
 KALAMAZOO, MICHIGAN 49007

Issued For	Date
100% DESIGN DEVELOPMENT	04.20.2026
SITE PLAN REVIEW	06.08.2026

Sheet Name  
 COVER

Sheet No.  
**C000**

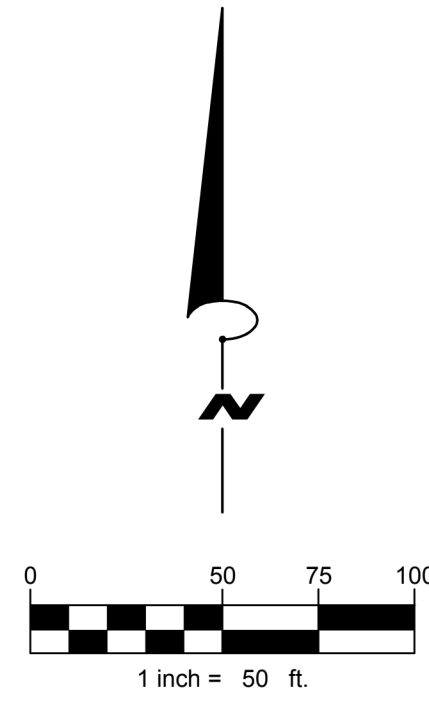
Sheet No.

NOT FOR CONSTRUCTION

# BOUNDARY AND TOPOGRAPHIC SURVEY

## IN THE SOUTHWEST QUARTER OF SECTION 15, TOWNSHIP 2 SOUTH, RANGE 11 WEST, CITY OF KALAMAZOO, KALAMAZOO COUNTY, MICHIGAN

D-3 ZONING DISTRICT, CIVIC LOT TYPE



PARCEL NUMBER 06-15-342-004

**DESCRIPTION AS SURVEY:**

A PARCEL OF LAND IN THE SOUTHWEST QUARTER OF SECTION 15, TOWNSHIP 02 SOUTH, RANGE 11 WEST, CITY OF KALAMAZOO, STATE OF MICHIGAN, BEING DESCRIBED AS:

COMMENCING AT THE INTERSECTION OF THE NORTH RIGHT-OF-WAY LINE OF EAST WATER STREET AND THE EAST RIGHT-OF-WAY LINE OF NORTH KALAMAZOO MALL (FORMERLY NORTH BURDICK STREET), SAID POINT BEING A FOUND CHISELED X IN CONCRETE; THENCE NORTH 89° 28' 52" EAST ON THE NORTH RIGHT OF WAY LINE OF EAST WATER STREET 113.17 FEET TO THE POINT OF BEGINNING OF THE LAND HEREIN DESCRIBED; THENCE NORTH 00° 30' 55" WEST 7.87 FEET (RECORDED AS 7.5 FEET) TO A SET MAG NAIL; THENCE NORTH 89° 34' 20" EAST 13.31 FEET TO A SET HALF INCH REBAR STAMPED 65181 AND THE NORTHERLY RIGHT OF WAY LINE OF EAST WATER STREET; THENCE NORTH 58° 58' 06" EAST ON THE NORTHERLY RIGHT OF WAY LINE OF EAST WATER STREET 8.43 FEET TO A SET MAG NAIL; THENCE NORTH 00° 24' 01" WEST 108.90 FEET TO A SET MAG NAIL AND THE NORTH LINE EXTENDED OF THE ARCADIA CONDOMINIUM AS RECORDED IN THE KALAMAZOO COUNTY RECORDS (DOCUMENT NUMBER 2002 - 056166); THENCE SOUTH 89° 28' 41" WEST ON SAID NORTH LINE 32.00 FEET; THENCE NORTH 00° 24' 21" WEST 40.75 FEET TO THE SOUTH LINE OF THE NORTH KALAMAZOO MALL CONDO AS RECORDED IN THE KALAMAZOO COUNTY RECORDS (DOCUMENT NUMBER 2006 - 007783); THENCE NORTH 89° 04' 12" EAST ON SAID SOUTH LINE EXTENDED 32.16 FEET TO A SET MAG NAIL; THENCE NORTH 00° 45' 07" WEST 109.86 FEET TO A SET MAG NAIL; THENCE SOUTH 89° 45' 31" WEST 31.21 FEET TO A SET MAG NAIL; THENCE NORTH 00° 24' 04" WEST 167.15 FEET TO A SET MAG NAIL; THENCE NORTH 89° 30' 34" EAST 31.28 FEET TO A FOUND MAG NAIL; THENCE NORTH 00° 21' 42" WEST 177.20 FEET TO A SET MAG NAIL AND THE SOUTH RIGHT OF WAY LINE OF KALAMAZOO AVENUE; THENCE NORTH 89° 19' 08" EAST ON THE SOUTH RIGHT OF WAY LINE OF KALAMAZOO AVENUE 283.14 FEET TO THE WEST RIGHT OF WAY LINE OF NORTH EDWARDS STREET; THENCE SOUTH 00° 41' 04" EAST ON SAID WEST RIGHT OF WAY LINE 174.92 FEET TO A SET HALF INCH REBAR STAMPED 65181; THENCE SOUTH 30° 42' 24" EAST ON THE WEST RIGHT OF WAY LINE OF NORTH EDWARDS STREET 235.85 FEET TO THE NORTHERLY RIGHT OF WAY LINE OF EAST WATER STREET; THENCE SOUTH 58° 58' 06" WEST ON THE NORTHERLY RIGHT OF WAY LINE OF EAST WATER STREET 466.62 FEET TO THE POINT OF BEGINNING.

EXCEPTING THEREFROM A FUTURE DEVELOPMENT AREA AS SHOWN ON SHEET 2 OF THE EXHIBIT B TO MASTER DEED OF 230 NORTH KALAMAZOO MALL CONDOMINIUM AS RECORDED IN THE KALAMAZOO COUNTY RECORDS (DOCUMENT NUMBER 2006 - 007783)

ALSO EXCEPTING THEREFROM A PARCEL OF LAND DESCRIBED IN DOCUMENT NUMBER 2019 - 006406 OF THE KALAMAZOO COUNTY RECORDS, SAID PARCEL OF LAND HAVING A PARCEL ID OF 06-15-347-303.

**SURVEY NOTES:**

1. THIS SURVEY REPRESENTS MY OPINION AS TO THE BOUNDARY OF THE ARCADIA CREEK FESTIVAL SITE BASED ON THE BEST AVAILABLE EVIDENCE AT THE TIME OF SURVEY.
2. DUE TO THE LACK OF FOUND PROPERTY CORNERS SURROUNDING THE SITE, THE DETERMINATION OF THE BOUNDARY LINES WAS BASED LARGELY ON THE LOCATION OF CURRENT BUILDINGS, CURB LINES, SIDEWALKS, AND OTHER PHYSICAL FEATURES, INCLUDING THE BOUNDARY LINES AS DEPICTED ON THE ARCADIA CONDOMINIUMS DRAWING (DOCUMENT NUMBER 2002 - 056166) AND THE NORTH KALAMAZOO MALL CONDO (DOCUMENT NUMBER 2006 - 007783).
3. THE SIZES OF THE ORIGINAL LOT NUMBERS OF THE PLAT OF THE TOWN OF KALAMAZOO ARE UNKNOWN AND COULD NOT BE ACCURATELY DETERMINED. THE DEPICTION OF SUCH LOTS ON THE FACE OF THIS SURVEY ARE MEANT TO BE AN APPROXIMATE REPRESENTATION AND A VISUAL AID.
4. DUE TO THE UNCERTAINTY IN THE LOCATION AND SIZE OF THE ORIGINAL LOTS OF THE PLAT OF THE TOWN OF KALAMAZOO, THE LEGAL DESCRIPTION OF THE RECORD COULD NOT BE ACCURATELY SURVEYED WITHOUT SEVERAL POTENTIAL AMBIGUITIES. AS A RESULT, I DETERMINED THAT AN 'AS SURVEYED' DESCRIPTION WAS NECESSARY TO PROPERLY COMMUNICATE MY OPINION AS TO THE BOUNDARY LINE LOCATION AND TO ENSURE SUCCESSFUL RETRACEMENT SURVEYS IN THE FUTURE.

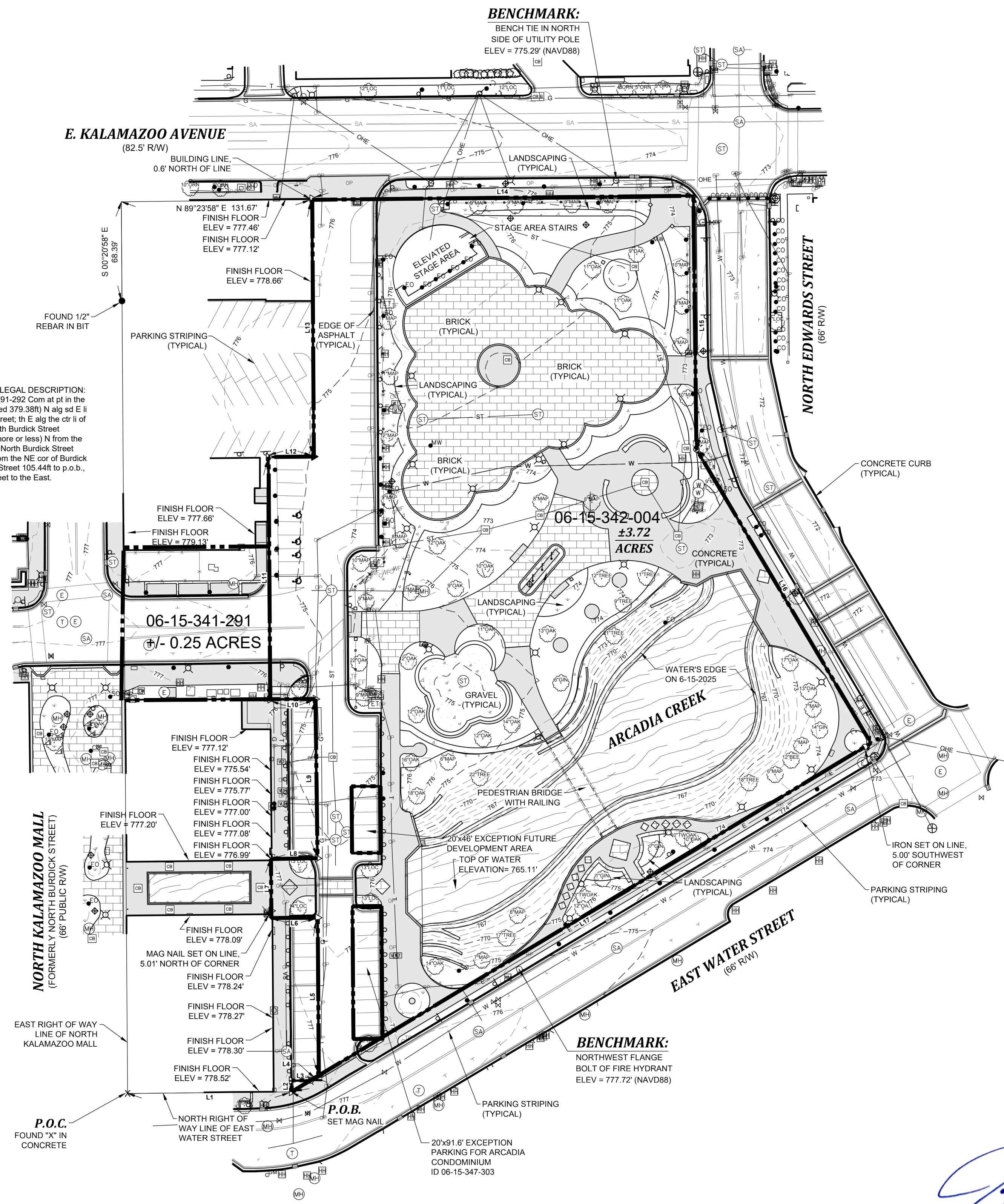
**NOTE:**

THE UNDERGROUND UTILITIES SHOWN, HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES ARE IN THE EXACT LOCATION INDICATED. ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE, THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

**LEGEND**

- = SET 1/2" REBAR W/ CAP ID #65181
- = FOUND IRON AS NOTED
- ▶ = FOUND MAG NAIL
- ▷ = SET MAG NAIL
- ⌘ = UTILITY POLE
- ⌘ = LIGHT POLE
- ⌘ = GUY WIRE
- ⊞ = ELECTRIC METER
- ⊞ = ELECTRIC TRANSFORMER
- ⊞ = ELECTRIC MANHOLE
- ⊞ = ELECTRIC OUTLET
- ⌘ = YARD LIGHT
- ⌘ = ELECTRIC MARKER FLAG
- ⌘ = RED PAINT
- ⊞ = STEEL SIGNAL POLE
- ⊞ = WOOD SIGNAL POLE
- ⊞ = HAND HOLE
- ⊞ = TELEPHONE PEDESTAL
- ⊞ = TELEPHONE MANHOLE
- ⊞ = COMMUNICATION VAULT
- ⊞ = FIBER OPTIC POST
- ⊞ = TELE MARKER FLAG
- ⊞ = ORANGE PAINT
- ⊞ = GAS METER
- ⊞ = WATER METER
- ⊞ = WATER VALVE
- ⊞ = FIRE HYDRANT
- ⊞ = WATER SHUTOFF
- ⊞ = MONITORING WELL
- ⊞ = WATER SPIGOT
- ⊞ = SPRINKLER CONTROL BOX
- ⊞ = WATER LINE FLAG
- ⊞ = BLUE PAINT
- ⊞ = STORM MANHOLE
- ⊞ = CURB INLET
- ⊞ = CATCH BASIN
- ⊞ = SANITARY MANHOLE
- ⊞ = CLEANOUT
- ⊞ = GREEN PAINT
- ⊞ = MANHOLE
- ⊞ = SIGN
- ⊞ = FLAGPOLE
- = POST
- = DECIDUOUS TREE
- BEE = BEECH
- GIN = GINKGO
- MAP = MAPLE
- OAK = OAK
- ORN = ORNAMENTAL TREE
- TREE = UNIDENTIFIED TREE
- TWOAK = TWIN OAK
- P.O.B. = POINT OF BEGINNING
- NAVD88 = NORTH AMERICAN VERTICAL DATUM OF 1988
- OHE — = OVERHEAD UTILITY LINES
- E — = APPROXIMATE BURIED ELECTRIC LOCATION
- SA — = APPROXIMATE SANITARY SEWER LOCATION
- ST — = APPROXIMATE STORM SEWER LOCATION
- W — = APPROXIMATE WATER LOCATION
- G — = APPROXIMATE BURIED GAS LOCATION
- T — = APPROXIMATE BURIED COMMUNICATION LOCATION

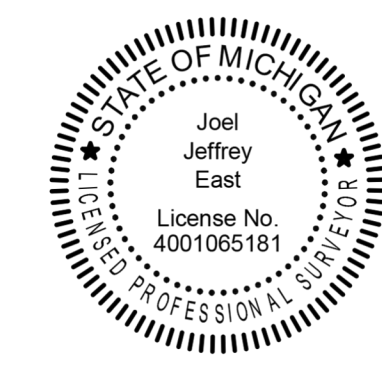
LINE NO.	BEARING	LENGTH
L1	N89°28'52"E	113.17'
L2	N00°30'55"W	7.87'
L3	N89°34'20"E	13.31'
L4	N58°58'06"E	6.43'
L5	N00°24'01"W	108.90'
L6	S89°28'41"W	32.00'
L7	N00°24'21"W	40.75'
L8	N89°04'12"E	32.16'
L9	N00°45'07"W	109.86'
L10	S89°45'31"W	31.21'
L11	N00°24'04"W	167.15'
L12	N89°30'34"E	31.28'
L13	N00°21'42"W	177.20'
L14	N89°19'08"E	283.14'
L15	S00°41'04"E	174.92'
L16	S30°42'24"E	235.85'
L17	S58°58'06"W	466.62'



PARCEL NUMBER 06-15-341-291

PROPERTY LINE EXTRAPOLATED FROM LEGAL DESCRIPTION: 688 ORIGINAL PLAT PART OF LOTS 290-291-292 Com at pt in the E 1/2 of North Burdick Street 375.16ft (measured 379.38ft) N alg sd E 1/2 from the NE cor of Burdick Street & Water Street; th E alg the ctr ll of a brick wall 100.5ft; th S parallel with the North Burdick Street 105.44ft to a pt 269.1ft (measured 273.94ft more or less) N from the N 1/2 of Water Street; th W to a pt in the E 1/2 of North Burdick Street 269.72ft (measured 273.94ft) N alg sd E 1/2 from the NE cor of Burdick Street & Water Street; th N alg the E 1/2 of sd Street 105.44ft to p.o.b., exc that part in the extension of Eleanor Street to the East.

*Joel Jeffrey*  
JOEL J. EAST PS - 4001065181  
jeast@gowightman.com



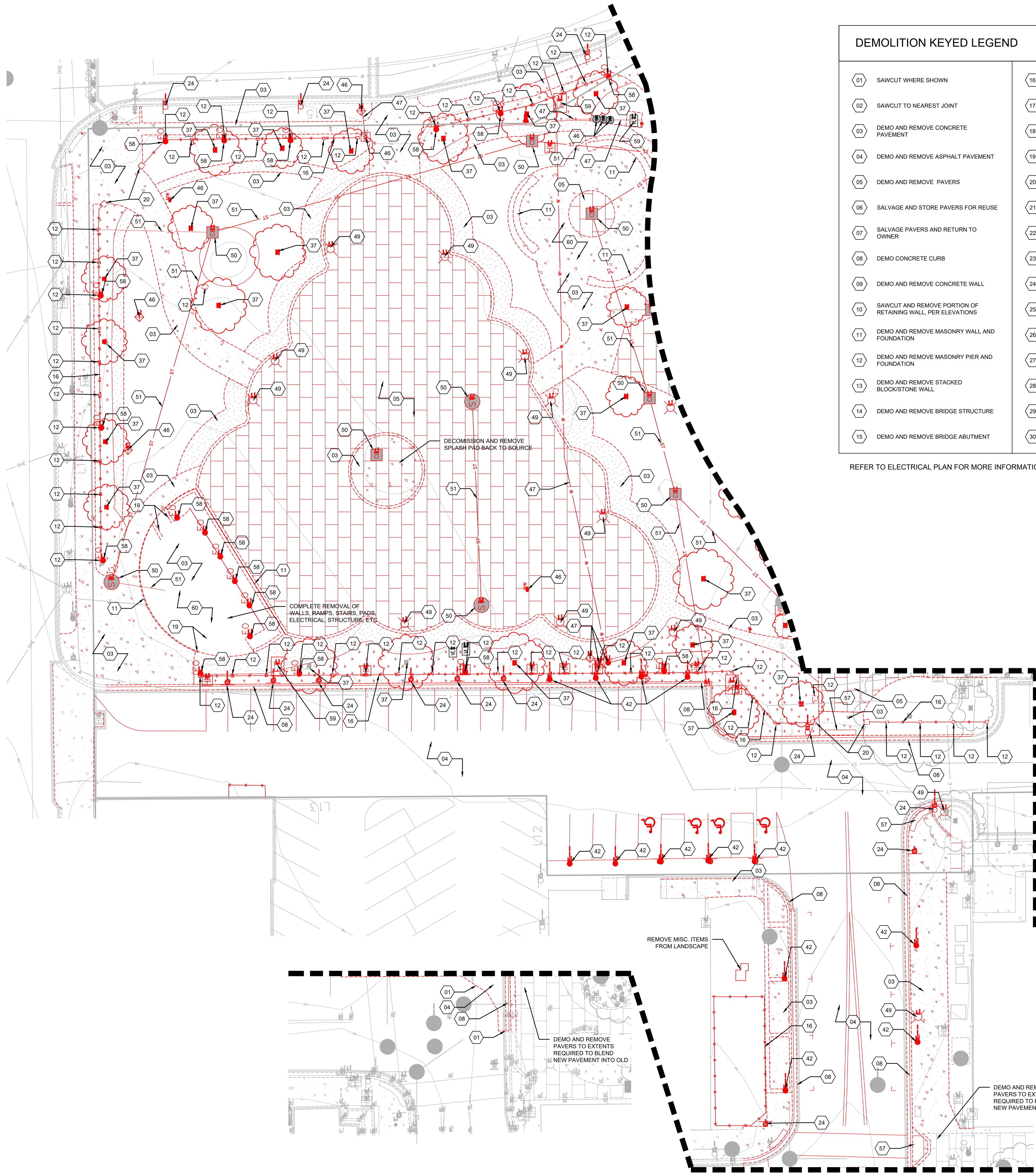
06/30/2025  
DATE

R1 - 7/1/2025 - KAT  
ADDITIONAL UTILITY INFORMATION

**REVISIONS**

DATE: JUNE 25, 2025  
SCALE: 1" = 50'  
DRAWN BY: ACE/KAT  
CHECKED BY: TJB

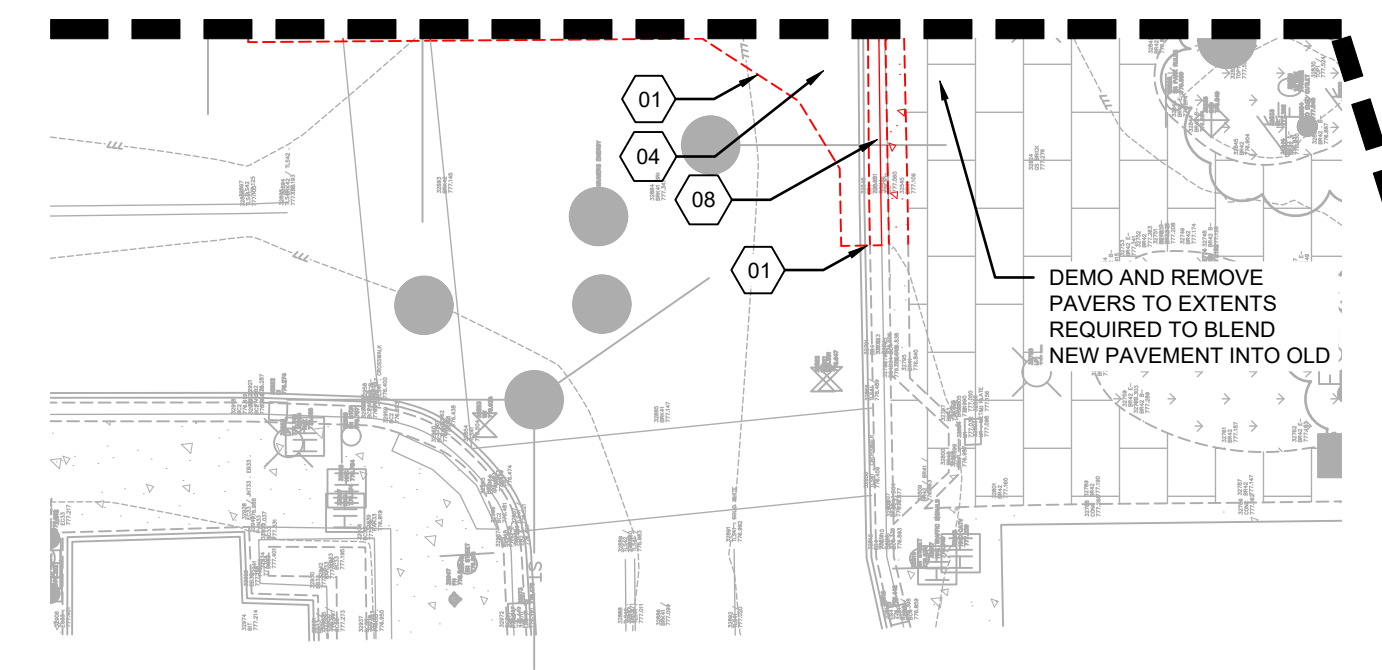
BOUNDARY AND TOPOGRAPHIC SURVEY



**DEMOLITION KEYED LEGEND**

01 SAWCUT WHERE SHOWN	16 DEMO AND REMOVE FENCE	31 DEMO AND REMOVE BENCH	46 REMOVE WATER METER/VALVE/HYDRANT.
02 SAWCUT TO NEAREST JOINT	17 DEMO AND REMOVE 24" TALL POST AND CHAIN BARRIER	32 SALVAGE AND RETURN FLAG TO OWNER	47 DEMO AND REMOVE WATER PIPE BACK TO SOURCE. STUB AND CAP.
03 DEMO AND REMOVE CONCRETE PAVEMENT	18 DEMO AND REMOVE GUARDRAIL	33 SALVAGE AND RETURN FLAG POLE TO OWNER	48 SALVAGE AND RETURN LIGHT POLE TO OWNER*
04 DEMO AND REMOVE ASPHALT PAVEMENT	19 DEMO AND REMOVE HANDRAIL	34 DEMO AND REMOVE FLAG POLE	49 DEMO AND REMOVE LIGHT POLE
05 DEMO AND REMOVE PAVERS	20 DEMO AND REMOVE MASONRY GATEWAY WITH METAL HEADER	35 SALVAGE AND RETURN MONUMENT/PLAQUE TO OWNER	50 DEMO AND REMOVE STORM STRUCTURE
06 SALVAGE AND STORE PAVERS FOR REUSE	21 PROTECT SIGN IN PLACE	36 SALVAGE AND RETURN SCULPTURE TO OWNER	51 DEMO AND REMOVE STORM PIPE
07 SALVAGE PAVERS AND RETURN TO OWNER	22 SALVAGE AND RETURN SIGN TO OWNER	37 REMOVE TREE	52 CUT AND CAP STORM PIPE
08 DEMO CONCRETE CURB	23 SALVAGE AND STORE SIGN FOR REUSE	38 TRANSPLANT TREE	53 DEMO AND REMOVE SANITARY STRUCTURE
09 DEMO AND REMOVE CONCRETE WALL	24 DEMO AND REMOVE SIGN	39 REMOVE VEGETATION	54 DEMO AND REMOVE SANITARY LINE
10 SAWCUT AND REMOVE PORTION OF RETAINING WALL, PER ELEVATIONS	25 DEMO AND REMOVE DRINKING FOUNTAIN, STUB AND CAP WATER LINE 5' BELOW GRADE.	40 SALVAGE VEGETATION AND RETURN TO OWNER	55 CUT AND CAP SANITARY LINE
11 DEMO AND REMOVE MASONRY WALL AND FOUNDATION	26 SALVAGE AND RETURN TRASH CAN TO OWNER	41 SALVAGE AND STORE VEGETATION FOR REUSE	56 DEMO AND REMOVE IRRIGATION LINE/EQUIPMENT
12 DEMO AND REMOVE MASONRY PIER AND FOUNDATION	27 DEMO AND REMOVE TRASH CAN	42 SALVAGE AND RETURN PARKING METER TO OWNER	57 DEMO AND REMOVE TACTILE WARNING PLATE
13 DEMO AND REMOVE STACKED BLOCK/STONE WALL	28 SALVAGE AND RETURN BIKE RACK TO OWNER	43 DEMO AND REMOVE PARKING METER	58 DEMO AND REMOVE ELECTRICAL OUTLET
14 DEMO AND REMOVE BRIDGE STRUCTURE	29 DEMO AND REMOVE BIKE RACK	44 PROTECT PARKING METER IN PLACE	59 DEMO AND REMOVE ELECTRICAL EQUIPMENT, HANDHOLE, ETC.
15 DEMO AND REMOVE BRIDGE ABUTMENT	30 SALVAGE AND RETURN BENCH TO OWNER	45 PROTECT WATER METER/VALVE/HYDRANT AND PROVIDE EMERGENCY ACCESS DURING CONSTRUCTION	60 DEMO AND REMOVE STRUCTURE

REFER TO ELECTRICAL PLAN FOR MORE INFORMATION AND ADDITIONAL REMOVALS



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Owner  
**CITY OF KALAMAZOO**

Project No. 2516  
**ARCADIA CREEK FESTIVAL PLACE**  
100% DESIGN DEVELOPMENT

145 E. WATER STREET  
KALAMAZOO, MICHIGAN 49007

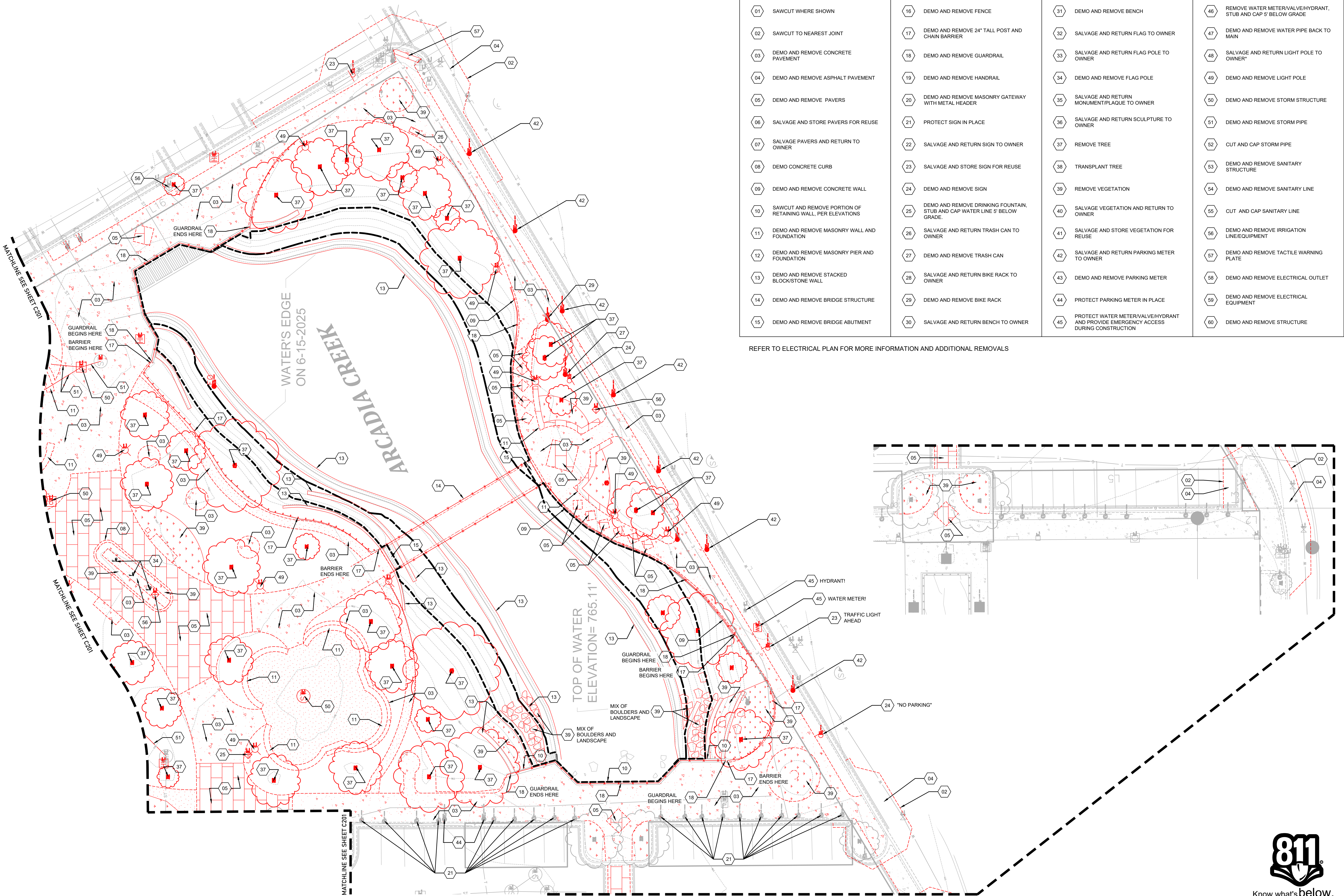
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SITE PLAN REVIEW 06.08.2026

Sheet Name  
**NORTH DEMOLITION PLAN**

Sheet No.  
**C101**

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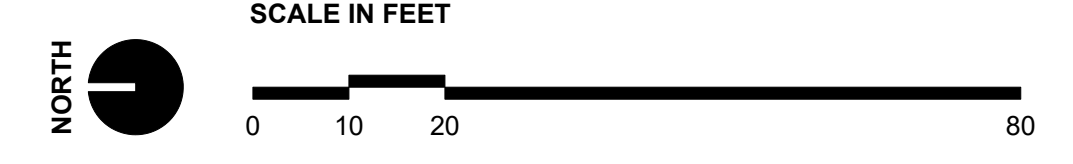
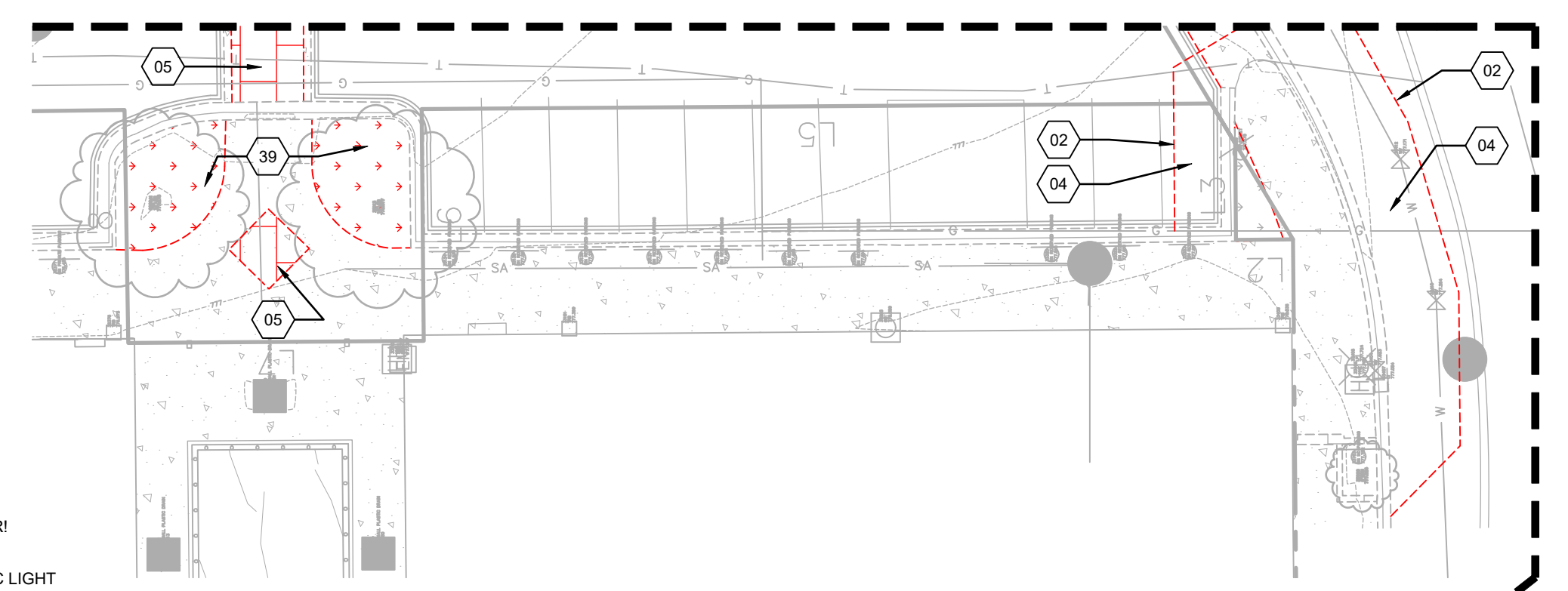
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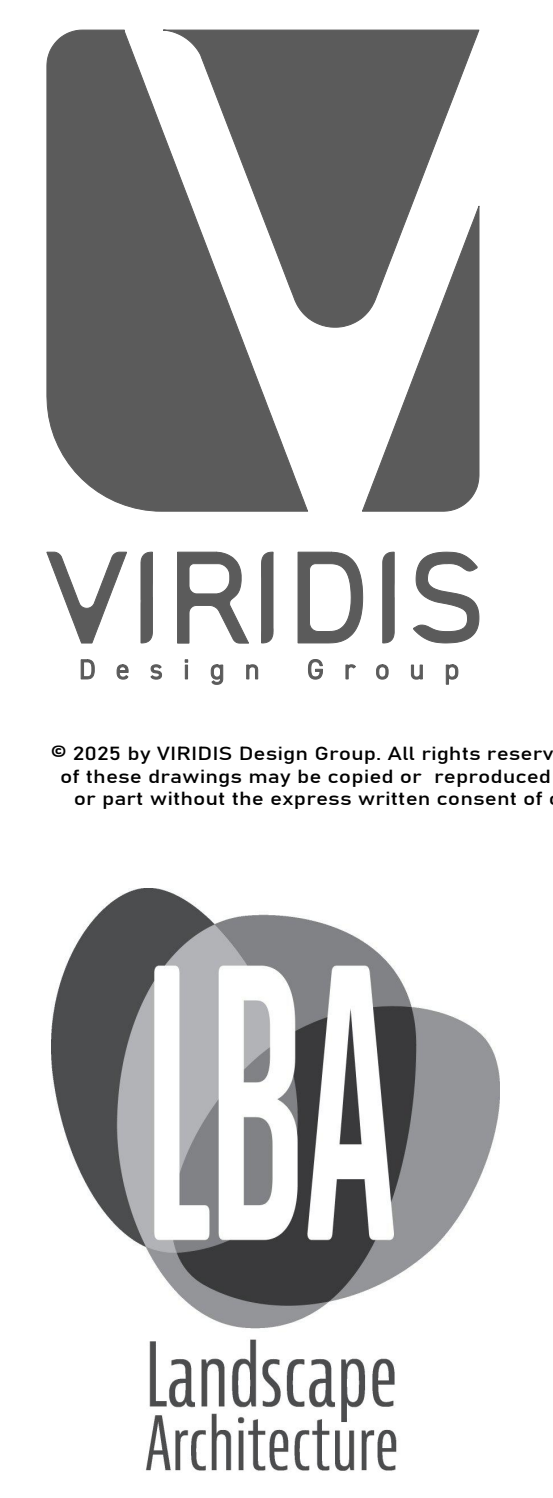
### DEMOLITION KEYED LEGEND

<ul style="list-style-type: none"> <li>01 SAWCUT WHERE SHOWN</li> <li>02 SAWCUT TO NEAREST JOINT</li> <li>03 DEMO AND REMOVE CONCRETE PAVEMENT</li> <li>04 DEMO AND REMOVE ASPHALT PAVEMENT</li> <li>05 DEMO AND REMOVE PAVERS</li> <li>06 SALVAGE AND STORE PAVERS FOR REUSE</li> <li>07 SALVAGE PAVERS AND RETURN TO OWNER</li> <li>08 DEMO CONCRETE CURB</li> <li>09 DEMO AND REMOVE CONCRETE WALL</li> <li>10 SAWCUT AND REMOVE PORTION OF RETAINING WALL, PER ELEVATIONS</li> <li>11 DEMO AND REMOVE MASONRY WALL AND FOUNDATION</li> <li>12 DEMO AND REMOVE MASONRY PIER AND FOUNDATION</li> <li>13 DEMO AND REMOVE STACKED BLOCK/STONE WALL</li> <li>14 DEMO AND REMOVE BRIDGE STRUCTURE</li> <li>15 DEMO AND REMOVE BRIDGE ABUTMENT</li> </ul>	<ul style="list-style-type: none"> <li>16 DEMO AND REMOVE FENCE</li> <li>17 DEMO AND REMOVE 24" TALL POST AND CHAIN BARRIER</li> <li>18 DEMO AND REMOVE GUARDRAIL</li> <li>19 DEMO AND REMOVE HANDRAIL</li> <li>20 DEMO AND REMOVE MASONRY GATEWAY WITH METAL HEADER</li> <li>21 PROTECT SIGN IN PLACE</li> <li>22 SALVAGE AND RETURN SIGN TO OWNER</li> <li>23 SALVAGE AND STORE SIGN FOR REUSE</li> <li>24 DEMO AND REMOVE SIGN</li> <li>25 DEMO AND REMOVE DRINKING FOUNTAIN, STUB AND CAP WATER LINE 5' BELOW GRADE.</li> <li>26 SALVAGE AND RETURN TRASH CAN TO OWNER</li> <li>27 DEMO AND REMOVE TRASH CAN</li> <li>28 SALVAGE AND RETURN BIKE RACK TO OWNER</li> <li>29 DEMO AND REMOVE BIKE RACK</li> <li>30 SALVAGE AND RETURN BENCH TO OWNER</li> </ul>	<ul style="list-style-type: none"> <li>31 DEMO AND REMOVE BENCH</li> <li>32 SALVAGE AND RETURN FLAG TO OWNER</li> <li>33 SALVAGE AND RETURN FLAG POLE TO OWNER</li> <li>34 DEMO AND REMOVE FLAG POLE</li> <li>35 SALVAGE AND RETURN MONUMENT/PLAQUE TO OWNER</li> <li>36 SALVAGE AND RETURN SCULPTURE TO OWNER</li> <li>37 REMOVE TREE</li> <li>38 TRANSPLANT TREE</li> <li>39 REMOVE VEGETATION</li> <li>40 SALVAGE VEGETATION AND RETURN TO OWNER</li> <li>41 SALVAGE AND STORE VEGETATION FOR REUSE</li> <li>42 SALVAGE AND RETURN PARKING METER TO OWNER</li> <li>43 DEMO AND REMOVE PARKING METER</li> <li>44 PROTECT PARKING METER IN PLACE</li> <li>45 PROTECT WATER METER/VALVE/HYDRANT AND PROVIDE EMERGENCY ACCESS DURING CONSTRUCTION</li> </ul>	<ul style="list-style-type: none"> <li>46 REMOVE WATER METER/VALVE/HYDRANT, STUB AND CAP 5' BELOW GRADE</li> <li>47 DEMO AND REMOVE WATER PIPE BACK TO MAIN</li> <li>48 SALVAGE AND RETURN LIGHT POLE TO OWNER*</li> <li>49 DEMO AND REMOVE LIGHT POLE</li> <li>50 DEMO AND REMOVE STORM STRUCTURE</li> <li>51 DEMO AND REMOVE STORM PIPE</li> <li>52 CUT AND CAP STORM PIPE</li> <li>53 DEMO AND REMOVE SANITARY STRUCTURE</li> <li>54 DEMO AND REMOVE SANITARY LINE</li> <li>55 CUT AND CAP SANITARY LINE</li> <li>56 DEMO AND REMOVE IRRIGATION LINE/EQUIPMENT</li> <li>57 DEMO AND REMOVE TACTILE WARNING PLATE</li> <li>58 DEMO AND REMOVE ELECTRICAL OUTLET</li> <li>59 DEMO AND REMOVE ELECTRICAL EQUIPMENT</li> <li>60 DEMO AND REMOVE STRUCTURE</li> </ul>
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REFER TO ELECTRICAL PLAN FOR MORE INFORMATION AND ADDITIONAL REMOVALS



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Owner  
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**ARCADIA CREEK FESTIVAL PLACE**  
100% DESIGN DEVELOPMENT

145 E. WATER STREET  
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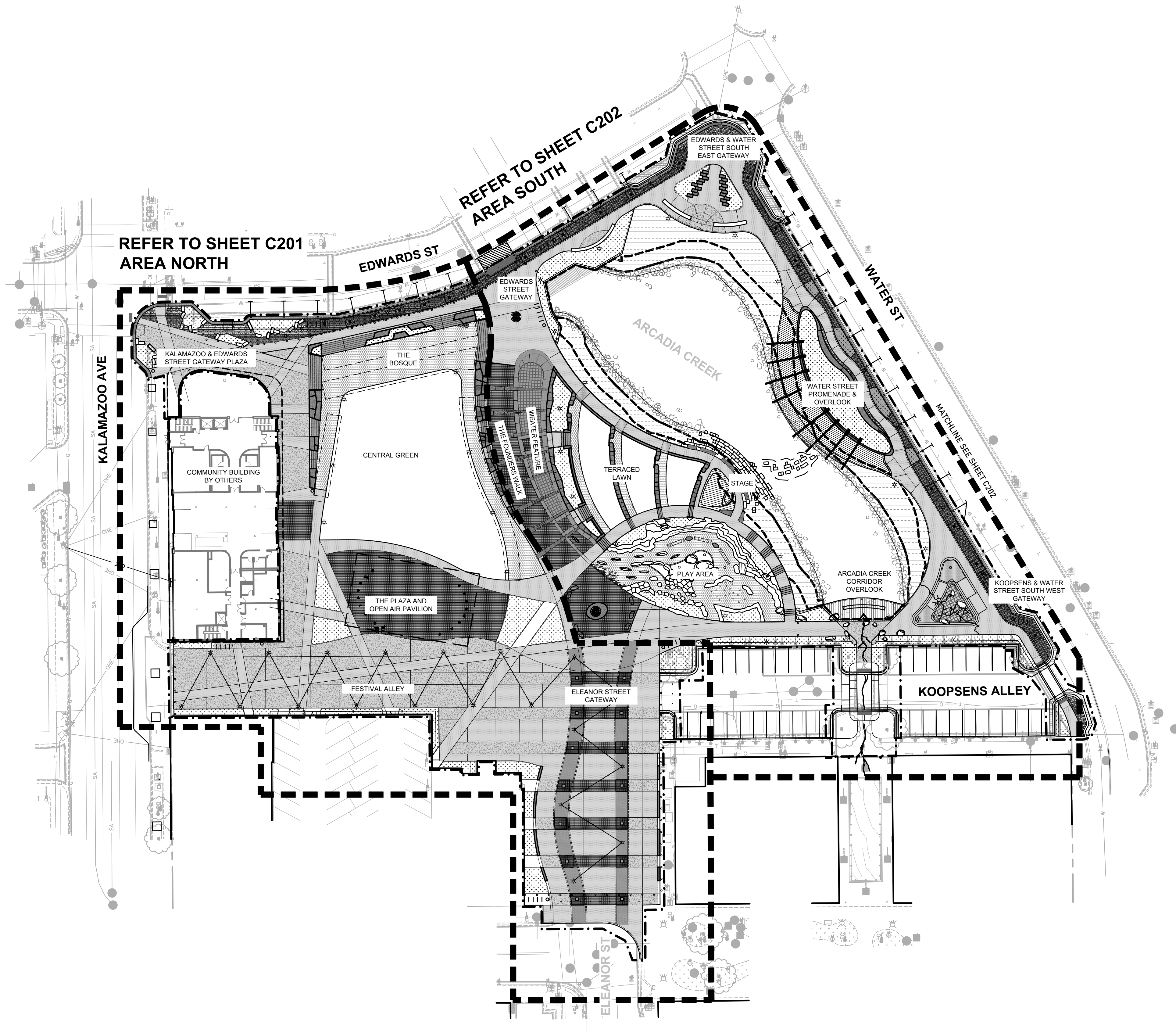
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Sheet Name  
**SOUTH DEMOLITION PLAN**

Sheet No.  
**C102**



NOT FOR CONSTRUCTION



**GENERAL NOTES:**

1. ALL WORK SHALL COMPLY WITH APPLICABLE REQUIREMENTS OF LOCAL, STATE, AND FEDERAL LAWS, CODES, ORDINANCES AND REGULATIONS.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS FOR WORK PRIOR TO THE START OF CONSTRUCTION. THESE MAY INCLUDE BUILDING PERMITS, CONSTRUCTION RIGHT OF WAY PERMITS, UTILITY CONNECTIONS OR ABANDONMENT PERMITS, ETC.
3. PROTECT THE SITE AND ITS FEATURES, ADJACENT PROPERTIES, AND ALL UTILITIES, KNOWN OR OTHERWISE, FROM DAMAGE OR DISRUPTION OF SERVICE OR ACCESS. DAMAGE TO EXISTING STRUCTURES, SITE FEATURES, OR UTILITIES (ETC.) SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE, AND SHALL NOT BE ACCEPTED WITHOUT THE OWNER'S APPROVAL OF SATISFACTORY REPAIRS.
4. ALL UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CALL "MISS DIG" AND VERIFY ALL UNDERGROUND UTILITIES BEFORE EXCAVATION AT THE SITE. USE PRIVATE UTILITY LOCATOR SERVICE FOR ANY UTILITIES MISS DIG WILL NOT TRACE.
5. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHOULD BE REPORTED TO THE ARCHITECT IMMEDIATELY FOR RESOLUTION.
6. ALL TREES TO REMAIN SHALL BE CAREFULLY PROTECTED. REFER TO SPECIFICATION 311000 FOR ADDITIONAL TREE PROTECTION REQUIREMENTS.
7. CONTRACTORS TO REVIEW ALL SHEETS FOR RELATED INFORMATION.

**LAYOUT NOTES:**

1. CONSTRUCTION STAKING SHALL BE ACCORDING TO THE DIGITAL CAD FILE MADE AVAILABLE UPON REQUEST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PLAN THEIR CONSTRUCTION STAKING ACCORDINGLY AND REVIEW ANY DISCREPANCIES WITH THE ARCHITECT.
2. FORMED RADII MUST BE SMOOTH, REGULAR, AND CONTINUOUS. SEGMENTED RADII WILL NOT BE ACCEPTED.
3. SCORING PATTERN TO FOLLOW INTENT SHOWN ON PLAN. SUBMIT SCORING PLANS TO ARCHITECT FOR REVIEW PRIOR TO COMMENCEMENT OF WORK.
4. PLAN CONSTRUCTION/EXPANSION JOINTS TO AVOID THIN SLIVERS OF CONCRETE BETWEEN ADJACENT POURS, ESPECIALLY AT RADII. REVIEW PLANNED CONSTRUCTION/EXPANSION JOINT LOCATIONS WITH ARCHITECT PRIOR TO POURING.
5. FINAL LOCATION AND ORIENTATION OF PLACED OBJECTS, SUCH AS BOULDERS, FURNITURE, AND ARTWORK, MUST BE REVIEWED IN THE FIELD WITH ARCHITECT AND POSITIONED PER THE ARCHITECT'S DIRECTION.

**IMPERVIOUS CALCULATIONS:**

**EXISTING CONDITIONS:**

	Area (SF)	Buildable Area	Total Area
Total Lot Area	171,416		100.0%
Open Water	17,841		10.4%
Total Buildable	153,575		89.6%
Impervious	95,566	62.2%	55.8%
Semi-Pervious	8,299	5.4%	4.8%
Pervious	49,710	32.4%	29.0%

**PROPOSED CONDITIONS:**

	Area (SF)	Buildable Area	Total Area
Total Lot Area	171,416		100.0%
Open Water	17,841		10.4%
Total Buildable	153,575		89.6%
Impervious	100,206	65.2%	58.5%
Semi-Pervious	11,112	7.2%	6.5%
Pervious	42,257	27.5%	24.7%



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Owner

CITY OF KALAMAZOO

Project No. 2516

**ARCADIA CREEK FESTIVAL PLACE**

100% DESIGN DEVELOPMENT

145 E. WATER STREET  
KALAMAZOO, MICHIGAN 49007

Issued For	Date
100% DESIGN DEVELOPMENT	04.20.2026
SITE PLAN REVIEW	06.08.2026

NOT FOR CONSTRUCTION

Sheet Name

**OVERALL SITE PLAN**

Sheet No.

**STREET DESIGN ELEMENTS**

Street	Street Type	Vehicular Parking		Bike Parking		Drop-Off Zone		Bus Stop	
		Req.	Provided	Req.	Provided	Req.	Provided	Req.	Provided
Edwards	MS	Optional	13 (2 ADA*)	Yes	12	Recommend	1	Recommend	0
		Req.	Provided	Req.	Provided	Req.	Provided	Req.	Provided
Water	MS	Optional	10 (1 ADA)	Yes	12	Recommend	0	Recommend	1
		Req.	Provided	Req.	Provided	Req.	Provided	Req.	Provided
Total			23		24		1		1

\*One ADA parking spot (on the North end) is constructed as part of the Kalamazoo Avenue Streetscape Project

**PARK DESIGN ELEMENTS**

Arcadia Creek Festival	Bike Parking	
	Req.	Provided
	34	34



Know what's below.  
Call before you dig.

**C200**

**SITE PLAN MATERIALS PALETTE**

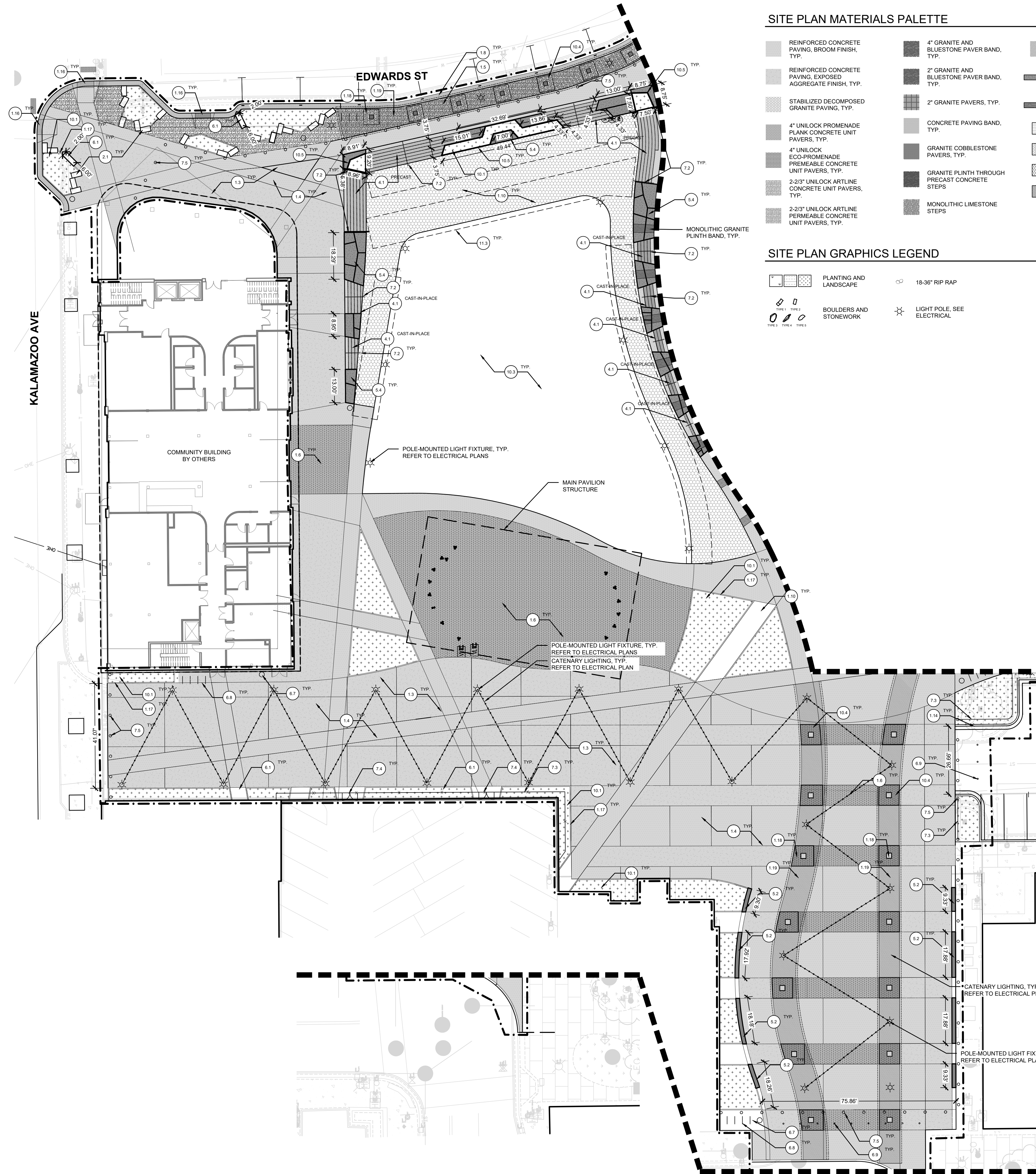
	REINFORCED CONCRETE PAVING, BROOM FINISH, TYP.		4" GRANITE AND BLUESTONE PAVER BAND, TYP.		PRECAST CONCRETE STEPS
	REINFORCED CONCRETE PAVING, EXPOSED AGGREGATE FINISH, TYP.		2" GRANITE AND BLUESTONE PAVER BAND, TYP.		PRECAST CONCRETE PLINTH / SEAT WALL
	STABILIZED DECOMPOSED GRANITE PAVING, TYP.		2" GRANITE PAVERS, TYP.		LIMESTONE PLINTH / SEAT WALL
	4" UNILOCK PROMENADE PLANK CONCRETE UNIT PAVERS, TYP.		CONCRETE PAVING BAND, TYP.		ASPHALT
	4" UNILOCK ECO-PROMENADE PERMEABLE CONCRETE UNIT PAVERS, TYP.		GRANITE COBBLESTONE PAVERS, TYP.		STABILIZED AGGREGATE SURFACING
	2-2/3" UNILOCK ARTLINE CONCRETE UNIT PAVERS, TYP.		GRANITE PLINTH THROUGH PRECAST CONCRETE STEPS		WOOD DECKING
	2-2/3" UNILOCK ARTLINE PERMEABLE CONCRETE UNIT PAVERS, TYP.		MONOLITHIC LIMESTONE STEPS		SOIL TRENCH

**SITE PLAN GRAPHICS LEGEND**

	PLANTING AND LANDSCAPE		18-36" RIP RAP
	BOULDERS AND STONWORK		LIGHT POLE, SEE ELECTRICAL

**SITE DETAIL KEYNOTES**

KEYNOTE	DESCRIPTION	DETAIL/SHEET	RELATED DETAILS	NOTES	
1	PAVEMENTS, RAMPS, CURBS				
	1.1	CONCRETE TYPE 1	X/SHEET NUM	X/SHEET NUM	4" CONCRETE PAVING, EXPOSED AGGREGATE FINISH
	1.2	CONCRETE TYPE 2	X/SHEET NUM	X/SHEET NUM	4" CONCRETE PAVING, BROOM FINISH
	1.3	CONCRETE TYPE 3	X/SHEET NUM	X/SHEET NUM	REINFORCED CONCRETE PAVING, EXPOSED AGGREGATE FINISH
	1.4	CONCRETE TYPE 4	X/SHEET NUM	X/SHEET NUM	REINFORCED CONCRETE PAVING, BROOM FINISH
	1.5	PAVING TYPE 1	X/SHEET NUM	X/SHEET NUM	2-3/8" CONCRETE UNIT PAVERS
	1.6	PAVING TYPE 2	X/SHEET NUM	X/SHEET NUM	4" PLANK CONCRETE UNIT PAVERS
	1.7	PAVING TYPE 3	X/SHEET NUM	X/SHEET NUM	4" PERMEABLE CONCRETE UNIT PAVERS
	1.8	PAVING TYPE 4	X/SHEET NUM	X/SHEET NUM	GRANITE COBBLESTONE PAVERS
	1.9	ASPHALT	X/SHEET NUM	X/SHEET NUM	
	1.10	STABILIZED DECOMPOSED GRANITE PAVING	X/SHEET NUM	X/SHEET NUM	
	1.11	FLUSH IPE DECK	X/SHEET NUM	X/SHEET NUM	
	1.12	HEADER CURB	X/SHEET NUM	X/SHEET NUM	
	1.13	TURNED DOWN FOOTING	X/SHEET NUM	X/SHEET NUM	
	1.14	CURB AND GUTTER	X/SHEET NUM	X/SHEET NUM	
	1.15	MOUNTABLE CURB	X/SHEET NUM	X/SHEET NUM	
	1.16	CURB RAMP	X/SHEET NUM	X/SHEET NUM	
	1.17	CONCRETE PLANTER CURB	X/SHEET NUM	X/SHEET NUM	FLUSH OR RAISED
	1.18	PAVER TRAY OVER SOIL TRENCH	X/SHEET NUM	X/SHEET NUM	
1.19	PAVER ON STRUCTURAL SLAB OVER SOIL TRENCH	X/SHEET NUM	X/SHEET NUM		
2	STONEMWORK				
	2.1	CUT LIMESTONE	X/SHEET NUM	X/SHEET NUM	
2.2	PLACED FIELDSTONE BOULDERS	X/SHEET NUM	X/SHEET NUM	TYPES 1-4	
3	JOINTING				
	3.1	EXPANSION JOINT	X/SHEET NUM	X/SHEET NUM	
3.2	CONTROL JOINT	X/SHEET NUM	X/SHEET NUM		
4	STEPS				
	4.1	CONCRETE STEPS	X/SHEET NUM	X/SHEET NUM	
4.2	MONOLITHIC LIMESTONE STEPS	X/SHEET NUM	X/SHEET NUM		
5	SITE WALLS/EMBANKMENTS				
	5.1	CONCRETE RETAINING WALL	X/SHEET NUM	X/SHEET NUM	
	5.2	PRECAST CONCRETE SEATING PLINTH TYPE 1	X/SHEET NUM	X/SHEET NUM	WOOD-SLOTTED
	5.3	PRECAST CONCRETE SEATING PLINTH TYPE 2	X/SHEET NUM	X/SHEET NUM	WOOD-SLOTTED, BACKED
	5.4	PRECAST CONCRETE SEATING PLINTH TYPE 3	X/SHEET NUM	X/SHEET NUM	
	5.5	MONOLITHIC LIMESTONE SEAT WALL	X/SHEET NUM	X/SHEET NUM	RETAINING
	5.6	NATURAL STONE ROCKERY	X/SHEET NUM	X/SHEET NUM	
	5.7	TERRACED CUT LIMESTONE BLOCKS	X/SHEET NUM	X/SHEET NUM	
5.8	BOULDER RIP-RAP	X/SHEET NUM	X/SHEET NUM	18" TO 36", STRATEGICALLY PLACED	
6	SITE FURNISHINGS				
	6.1	BENCH TYPE 1	X/SHEET NUM	X/SHEET NUM	LFI LINK - SURFACE MOUNTED
	6.2	BENCH TYPE 2	X/SHEET NUM	X/SHEET NUM	
	6.3	BENCH TYPE 3	X/SHEET NUM	X/SHEET NUM	
	6.4	BISTRO TABLES	X/SHEET NUM	X/SHEET NUM	
	6.5	BISTRO CHAIRS	X/SHEET NUM	X/SHEET NUM	
	6.6	LITTER RECEPTACLE TYPE 1	X/SHEET NUM	X/SHEET NUM	BIGBELLY
	6.7	LITTER RECEPTACLE TYPE 2	X/SHEET NUM	X/SHEET NUM	LANDSCAPE FORMS
	6.8	BIKE LOOP	X/SHEET NUM	X/SHEET NUM	
6.9	COLLAPSIBLE BOLLARD	X/SHEET NUM	X/SHEET NUM		
7	RAILINGS, BARRIERS, FENCING				
	7.1	GUARDRAIL	X/SHEET NUM	X/SHEET NUM	
	7.2	HANDRAIL	X/SHEET NUM	X/SHEET NUM	
	7.3	ORNAMENTAL FENCE	X/SHEET NUM	X/SHEET NUM	
	7.4	ORNAMENTAL FENCE GATE	X/SHEET NUM	X/SHEET NUM	
	7.5	CASINGS FOR TEMPORARY FENCE	X/SHEET NUM	X/SHEET NUM	
7.6	BARRIER RAIL	X/SHEET NUM	X/SHEET NUM		
8	SITE LIGHTING				
	8.1	PEDESTRIAN LIGHTING TYPE 1	X/SHEET NUM	X/SHEET NUM	
	8.1	PEDESTRIAN LIGHTING TYPE 2	X/SHEET NUM	X/SHEET NUM	
	8.3	CATENARY LIGHTING POLE	X/SHEET NUM	X/SHEET NUM	
	8.4	THEATRICAL LIGHTING	X/SHEET NUM	X/SHEET NUM	
8.5	XXX	X/SHEET NUM	X/SHEET NUM		
9	UTILITIES				
	9.1	CATCH BASIN	X/SHEET NUM	X/SHEET NUM	
	9.2	DRAIN	X/SHEET NUM	X/SHEET NUM	
9.3	ELECTRIC CABINET	X/SHEET NUM	X/SHEET NUM		
10	PLANTING AND LANDSCAPE				
	10.1	NATIVE PLANTING	X/SHEET NUM	X/SHEET NUM	
	10.2	RIPARIAN PLANTING	X/SHEET NUM	X/SHEET NUM	
	10.3	EVENT LAWN	X/SHEET NUM	X/SHEET NUM	
	10.4	TREE GRATE	X/SHEET NUM	X/SHEET NUM	
10.5	METAL PLANTER	X/SHEET NUM	X/SHEET NUM		
11	MISCELLANEOUS SITE FEATURES				
	11.1	FIRE FEATURE ART INSTALLATION	X/SHEET NUM	X/SHEET NUM	TYPE 1 & 2
	11.2	IPE DECK	X/SHEET NUM	X/SHEET NUM	
	11.3	SOIL CELL SYSTEM	X/SHEET NUM	X/SHEET NUM	36" DEPTH
11.4	GATEWAY STRUCTURES	X/SHEET NUM	X/SHEET NUM		



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Owner  
**CITY OF KALAMAZOO**

Project No. 2516  
**ARCADIA CREEK FESTIVAL PLACE**  
100% DESIGN DEVELOPMENT

145 E. WATER STREET  
KALAMAZOO, MICHIGAN 49007

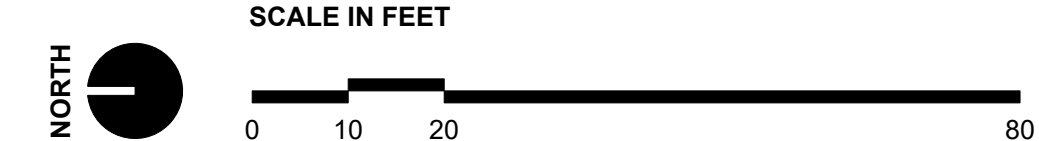
Issued For	Date
100% DESIGN DEVELOPMENT	04.20.2026
SITE PLAN REVIEW	06.08.2026

Sheet Name  
**NORTH SITE PLAN**

Sheet No.  
**C201**

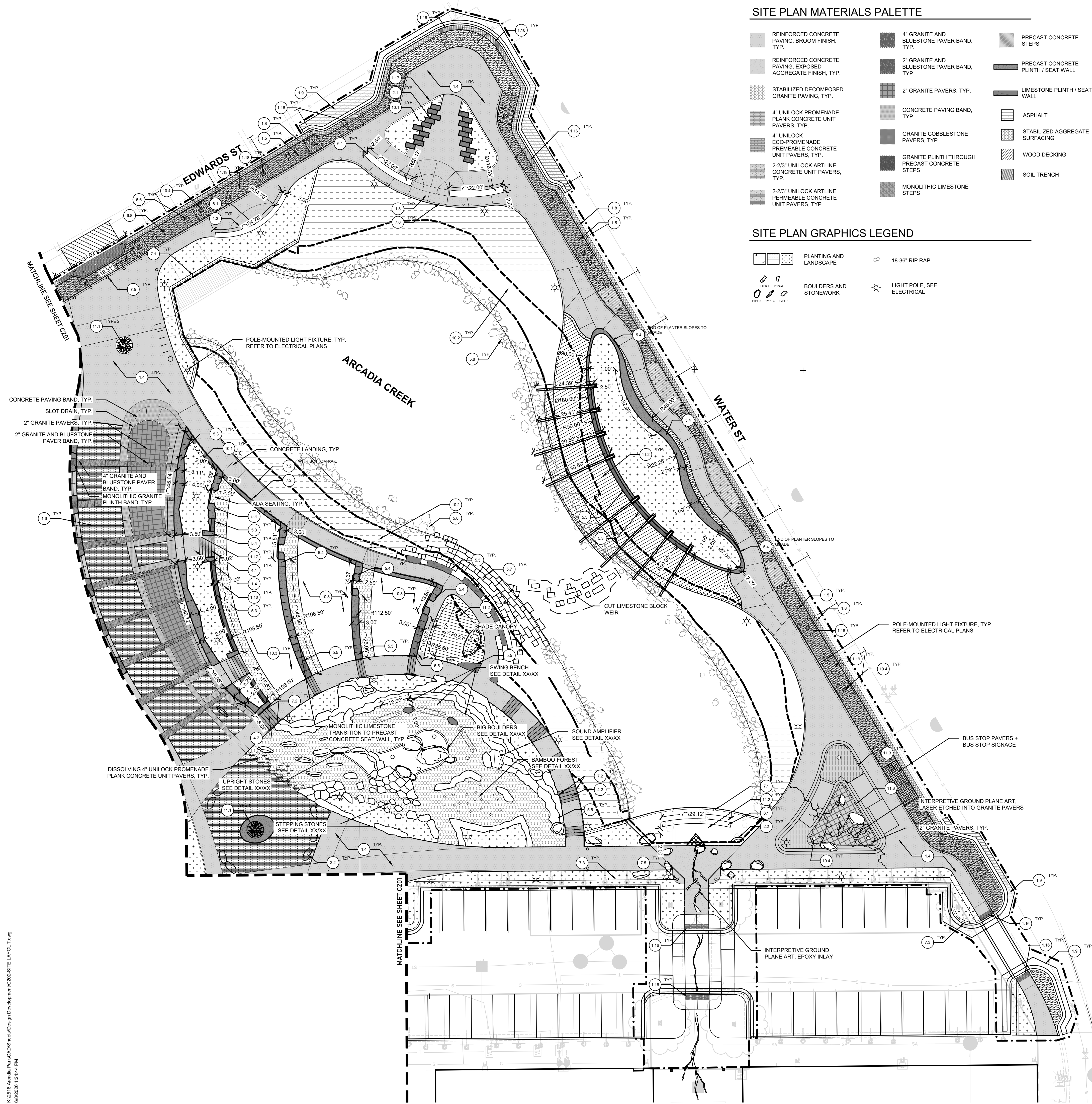


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**SITE PLAN MATERIALS PALETTE**

- REINFORCED CONCRETE PAVING, BROOM FINISH, TYP.
- REINFORCED CONCRETE PAVING, EXPOSED AGGREGATE FINISH, TYP.
- STABILIZED DECOMPOSED GRANITE PAVING, TYP.
- 4" UNILOCK PROMENADE PLANK CONCRETE UNIT PAVERS, TYP.
- 4" UNILOCK ECO-PROMENADE PERMEABLE CONCRETE UNIT PAVERS, TYP.
- 2-2/3" UNILOCK ARTLINE CONCRETE UNIT PAVERS, TYP.
- 2-2/3" UNILOCK ARTLINE PERMEABLE CONCRETE UNIT PAVERS, TYP.
- 4" GRANITE AND BLUESTONE PAVER BAND, TYP.
- 2" GRANITE AND BLUESTONE PAVER BAND, TYP.
- 2" GRANITE PAVERS, TYP.
- CONCRETE PAVING BAND, TYP.
- GRANITE COBBLESTONE PAVERS, TYP.
- GRANITE PLINTH THROUGH PRECAST CONCRETE STEPS
- MONOLITHIC LIMESTONE STEPS
- PRECAST CONCRETE STEPS
- PRECAST CONCRETE PLINTH / SEAT WALL
- LIMESTONE PLINTH / SEAT WALL
- ASPHALT
- STABILIZED AGGREGATE SURFACING
- WOOD DECKING
- SOIL TRENCH

**SITE PLAN GRAPHICS LEGEND**

- PLANTING AND LANDSCAPE
- BOULDERS AND STONework
- 18-36" RIP RAP
- LIGHT POLE, SEE ELECTRICAL

**SITE DETAIL KEYNOTES**

KEYNOTE	DETAIL/SHEET	RELATED DETAILS	NOTES
<b>1 PAVEMENTS, RAMPS, CURBS</b>			
1.1	CONCRETE TYPE 1	X/SHEET NUM	X/SHEET NUM
1.2	CONCRETE TYPE 2	X/SHEET NUM	X/SHEET NUM
1.3	CONCRETE TYPE 3	X/SHEET NUM	X/SHEET NUM
1.4	CONCRETE TYPE 4	X/SHEET NUM	X/SHEET NUM
1.5	PAVING TYPE 1	X/SHEET NUM	X/SHEET NUM
1.6	PAVING TYPE 2	X/SHEET NUM	X/SHEET NUM
1.7	PAVING TYPE 3	X/SHEET NUM	X/SHEET NUM
1.8	PAVING TYPE 4	X/SHEET NUM	X/SHEET NUM
1.9	ASPHALT	X/SHEET NUM	X/SHEET NUM
1.10	STABILIZED DECOMPOSED GRANITE PAVING	X/SHEET NUM	X/SHEET NUM
1.11	FLUSH IPE DECK	X/SHEET NUM	X/SHEET NUM
1.12	HEADER CURB	X/SHEET NUM	X/SHEET NUM
1.13	TURNED DOWN FOOTING	X/SHEET NUM	X/SHEET NUM
1.14	CURB AND GUTTER	X/SHEET NUM	X/SHEET NUM
1.15	MOUNTABLE CURB	X/SHEET NUM	X/SHEET NUM
1.16	CURB RAMP	X/SHEET NUM	X/SHEET NUM
1.17	CONCRETE PLANTER CURB	X/SHEET NUM	X/SHEET NUM
1.18	PAVER TRAY OVER SOIL TRENCH	X/SHEET NUM	X/SHEET NUM
1.19	PAVER ON STRUCTURAL SLAB OVER SOIL TRENCH	X/SHEET NUM	X/SHEET NUM
<b>2 STONework</b>			
2.1	CUT LIMESTONE	X/SHEET NUM	X/SHEET NUM
2.2	PLACED FIELDSTONE BOULDERS	X/SHEET NUM	X/SHEET NUM
<b>3 JOINTING</b>			
3.1	EXPANSION JOINT	X/SHEET NUM	X/SHEET NUM
3.2	CONTROL JOINT	X/SHEET NUM	X/SHEET NUM
<b>4 STEPS</b>			
4.1	CONCRETE STEPS	X/SHEET NUM	X/SHEET NUM
4.2	MONOLITHIC LIMESTONE STEPS	X/SHEET NUM	X/SHEET NUM
<b>5 SITE WALLS/EMBANKMENTS</b>			
5.1	CONCRETE RETAINING WALL	X/SHEET NUM	X/SHEET NUM
5.2	PRECAST CONCRETE SEATING PLINTH TYPE 1	X/SHEET NUM	X/SHEET NUM
5.3	PRECAST CONCRETE SEATING PLINTH TYPE 2	X/SHEET NUM	X/SHEET NUM
5.4	PRECAST CONCRETE SEATING PLINTH TYPE 3	X/SHEET NUM	X/SHEET NUM
5.5	MONOLITHIC LIMESTONE SEATING WALL	X/SHEET NUM	X/SHEET NUM
5.6	NATURAL STONE ROCKERY	X/SHEET NUM	X/SHEET NUM
5.7	TERRACED CUT LIMESTONE BLOCKS	X/SHEET NUM	X/SHEET NUM
5.8	BOULDER RIP-RAP	X/SHEET NUM	X/SHEET NUM
<b>6 SITE FURNISHINGS</b>			
6.1	BENCH TYPE 1	X/SHEET NUM	X/SHEET NUM
6.2	BENCH TYPE 2	X/SHEET NUM	X/SHEET NUM
6.3	BENCH TYPE 3	X/SHEET NUM	X/SHEET NUM
6.4	BISTRO TABLES	X/SHEET NUM	X/SHEET NUM
6.5	BISTRO CHAIRS	X/SHEET NUM	X/SHEET NUM
6.6	LITTER RECEPTACLE TYPE 1	X/SHEET NUM	X/SHEET NUM
6.7	LITTER RECEPTACLE TYPE 2	X/SHEET NUM	X/SHEET NUM
6.8	BIKE LOOP	X/SHEET NUM	X/SHEET NUM
6.9	COLLAPSIBLE BOLLARD	X/SHEET NUM	X/SHEET NUM
<b>7 RAILINGS, BARRIERS, FENCING</b>			
7.1	GUARDRAIL	X/SHEET NUM	X/SHEET NUM
7.2	HANDRAIL	X/SHEET NUM	X/SHEET NUM
7.3	ORNAMENTAL FENCE	X/SHEET NUM	X/SHEET NUM
7.4	ORNAMENTAL FENCE GATE	X/SHEET NUM	X/SHEET NUM
7.5	CASINGS FOR TEMPORARY FENCE	X/SHEET NUM	X/SHEET NUM
7.6	BARRIER RAIL	X/SHEET NUM	X/SHEET NUM
<b>8 SITE LIGHTING</b>			
8.1	PEDESTRIAN LIGHTING TYPE 1	X/SHEET NUM	X/SHEET NUM
8.1	PEDESTRIAN LIGHTING TYPE 2	X/SHEET NUM	X/SHEET NUM
8.3	CATENARY LIGHTING POLE	X/SHEET NUM	X/SHEET NUM
8.4	THEATRICAL LIGHTING	X/SHEET NUM	X/SHEET NUM
8.5	XXX	X/SHEET NUM	X/SHEET NUM
<b>9 UTILITIES</b>			
9.1	CATCH BASIN	X/SHEET NUM	X/SHEET NUM
9.2	DRAIN	X/SHEET NUM	X/SHEET NUM
9.3	ELECTRIC CABINET	X/SHEET NUM	X/SHEET NUM
<b>10 PLANTING AND LANDSCAPE</b>			
10.1	NATIVE PLANTING	X/SHEET NUM	X/SHEET NUM
10.2	RIPARIAN PLANTING	X/SHEET NUM	X/SHEET NUM
10.3	EVENT LAWN	X/SHEET NUM	X/SHEET NUM
10.4	TREE GRATE	X/SHEET NUM	X/SHEET NUM
10.5	METAL PLANTER	X/SHEET NUM	X/SHEET NUM
<b>11 MISCELLANEOUS SITE FEATURES</b>			
11.1	FIRE FEATURE ART INSTALLATION	X/SHEET NUM	X/SHEET NUM
11.2	IPE DECK	X/SHEET NUM	X/SHEET NUM
11.3	SOIL CELL SYSTEM	X/SHEET NUM	X/SHEET NUM
11.4	GATEWAY STRUCTURES	X/SHEET NUM	X/SHEET NUM



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Landscapes Architecture

Owner  
**CITY OF KALAMAZOO**

Project No. 2516

**ARCADIA CREEK FESTIVAL PLACE**

100% DESIGN DEVELOPMENT

145 E. WATER STREET  
KALAMAZOO, MICHIGAN 49007

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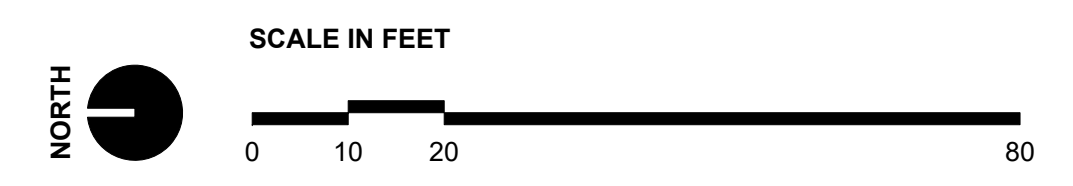
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Sheet Name  
**SOUTH SITE PLAN**

Sheet No.  
**C202**



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Owner

CITY OF KALAMAZOO

Project No. 2516

ARCADIA CREEK FESTIVAL PLACE

100% DESIGN DEVELOPMENT

145 E. WATER STREET  
KALAMAZOO, MICHIGAN 49007

Issued For	Date
100% DESIGN DEVELOPMENT	04.20.2026
SITE PLAN REVIEW	06.08.2026

NOT FOR CONSTRUCTION

Sheet Name

OVERALL GRADING AND SESC

Sheet No.

C300

**GRADING LEGEND**

TC	= TOP OF CURB
TW	= TOP OF WALL
EX	= EXISTING SPOT ELEV. (APPROX.)
RM	= RIM ELEVATION
TS	= TOP OF STEP
BS	= BOTTOM OF STEP
HP	= HIGH POINT
LP	= LOW POINT
TR	= TOP OF RAMP
BR	= BOTTOM OF RAMP
MX	= MATCH EXISTING
---	= LIMITS OF EARTH CHANGE
---	= EXISTING MAJOR
---	= EXISTING MINOR
---	= PROPOSED MAJOR
---	= PROPOSED MINOR
---	= SILT FENCE
---	= TURBIDITY CURTAIN
---	= TEMP DEWATERING
---	= EX. 100 YR FLOODPLAIN
---	= PROP. 100 YR FLOODPLAIN
---	= EX. OHWM
---	= PROP. OHWM

**AREA 1 SESC SCHEDULE & SEQUENCE**

	OCTOBER '26	NOVEMBER	DECEMBER	JANUARY '27	FEBRUARY	MARCH	APRIL	MAY	JUNE	JULY	AUGUST	SEPTEMBER	OCTOBER	NOVEMBER	DECEMBER	JANUARY '28	FEBRUARY	MARCH	APRIL	MAY	
INSTALL AND MAINTAIN TEMPORARY EROSION CONTROLS	█	█	█	█	█	█	█	█	█	█	█	█	█	█	█	█	█	█	█	█	█
TOPSOIL STRIPPING & STOCKPILING																					
SITE DEMOLITION & EARTHWORK																					
SITE UTILITIES																					
CONCRETE PAVING																					
TOPSOIL SPREADING																					
PERMANENT SEEDING																					
REMOVE TEMPORARY EROSION CONTROLS																					

**USGS SOIL DATA**

ALL SOILS ON SITE ARE CLASSIFIED AS: "U8" URBAN LAND.

**STANDARD DETAILS**

ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL FOLLOW THE DTMB SOIL EROSION AND SEDIMENTATION CONTROL GUIDEBOOK STANDARD DETAILS.

**CONSTRUCTION PHASING**

PHASE 1 IS ANTICIPATED TO BEGIN OCTOBER '26 AND BE SUBSTANTIALLY COMPLETED APRIL '28.

FUTURE PHASES OF WORK ARE NOT YET SCHEDULED.

**GRADING GENERAL NOTES**

1. PLACE EROSION CONTROL BLANKET ON ALL DISTURBED SLOPES.
2. SIDEWALK CROSS SLOPES TO BE 2% MAX. LONGITUDINAL SLOPES TO BE 5% MAX. UNLESS OTHERWISE NOTED.
3. FOR WORK AT OR ABOVE SUBGRADE ELEVATION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE REQUIRED EARTHWORK VOLUMES BASED ON THE GRADING PLAN. IF FILL IS REQUIRED, THE CONTRACTOR SHALL INCLUDE THE REQUIRED VOLUME OF IMPORTED CLASS II FILL. IF EXCESS SOILS NEED TO BE SPOILED, THE CONTRACTOR SHALL INCLUDE HAULING AND SPOILING SOILS OFF-SITE IN THE BID. NO CONTRACT COST ADJUSTMENTS WILL BE CONSIDERED FOR EARTHWORK REQUIRED TO ACHIEVE THE FINISH GRADES SHOWN.
4. CONTRACTOR SHALL FOLLOW ALL REQUIREMENTS AS DESCRIBED IN EGLE/USACE PERMIT #INSERTNUMBER



**MICHIGAN DEPARTMENT OF MANAGEMENT AND BUDGET S-E-S-C KEYING SYSTEM**

KEY	BEST MANAGEMENT PRACTICES	SYMBOL	WHERE USED
<b>EROSION CONTROLS</b>			
(E8)	PERMANENT SEEDING		Stabilization method utilized on sites where earth change has been completed (final grading attained).
(E9)	MULCH BLANKETS		On exposed slopes, newly seeded areas, new ditch bottoms, or areas subject to erosion.
(E12)	RIPRAP		Use along shorelines, waterways, or where concentrated flows occur. Slows velocity, reduces sediment load, and reduces erosion.
(S51)	SILT FENCE		Use adjacent to critical areas, to prevent sediment laden sheet flow from entering these areas.
(S53)	STABILIZED CONSTRUCTION ACCESS		Used at every point where construction traffic enters or leaves a construction site.
(S58)	INLET PROTECTION FABRIC DROP		Use at stormwater inlets, especially at construction sites.
(ES35)	DEWATERING		Use where construction activities are limited by the presence of water and dry work is required.
(S61)	TURBIDITY CURTAIN		Use during construction adjacent to a water resource, to contain sediment within the work area when other BMP's cannot be used.



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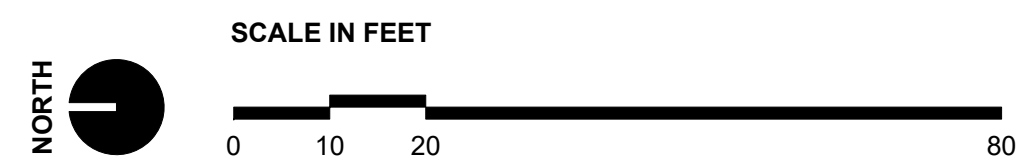
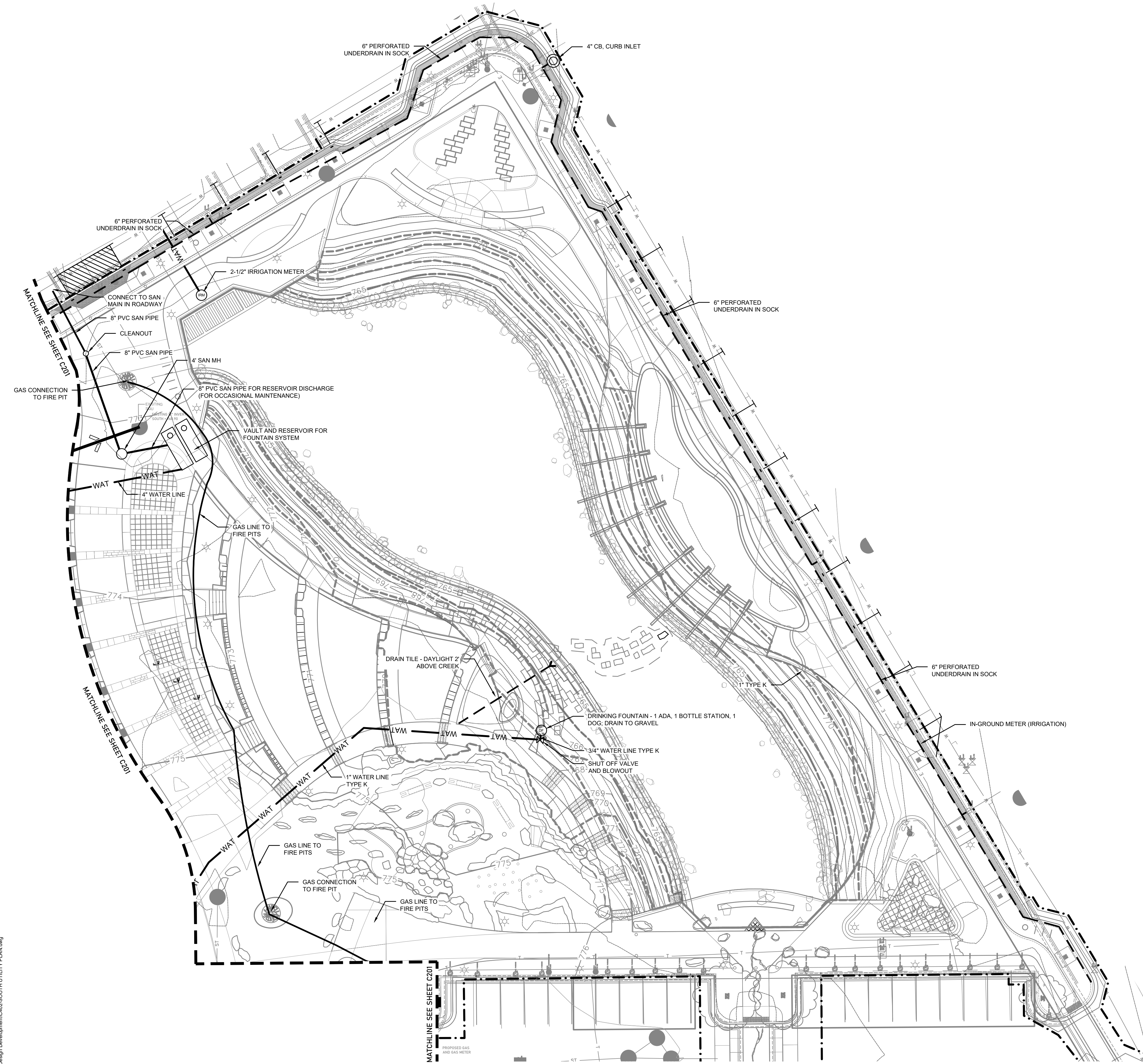
Know what's below. Call before you dig.







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Owner  
CITY OF KALAMAZOO

Project No. 2516  
**ARCADIA CREEK FESTIVAL PLACE**  
100% DESIGN DEVELOPMENT

145 E. WATER STREET  
KALAMAZOO, MICHIGAN 49007

Issued For	Date
100% DESIGN DEVELOPMENT	04.20.2026
SITE PLAN REVIEW	06.08.2026

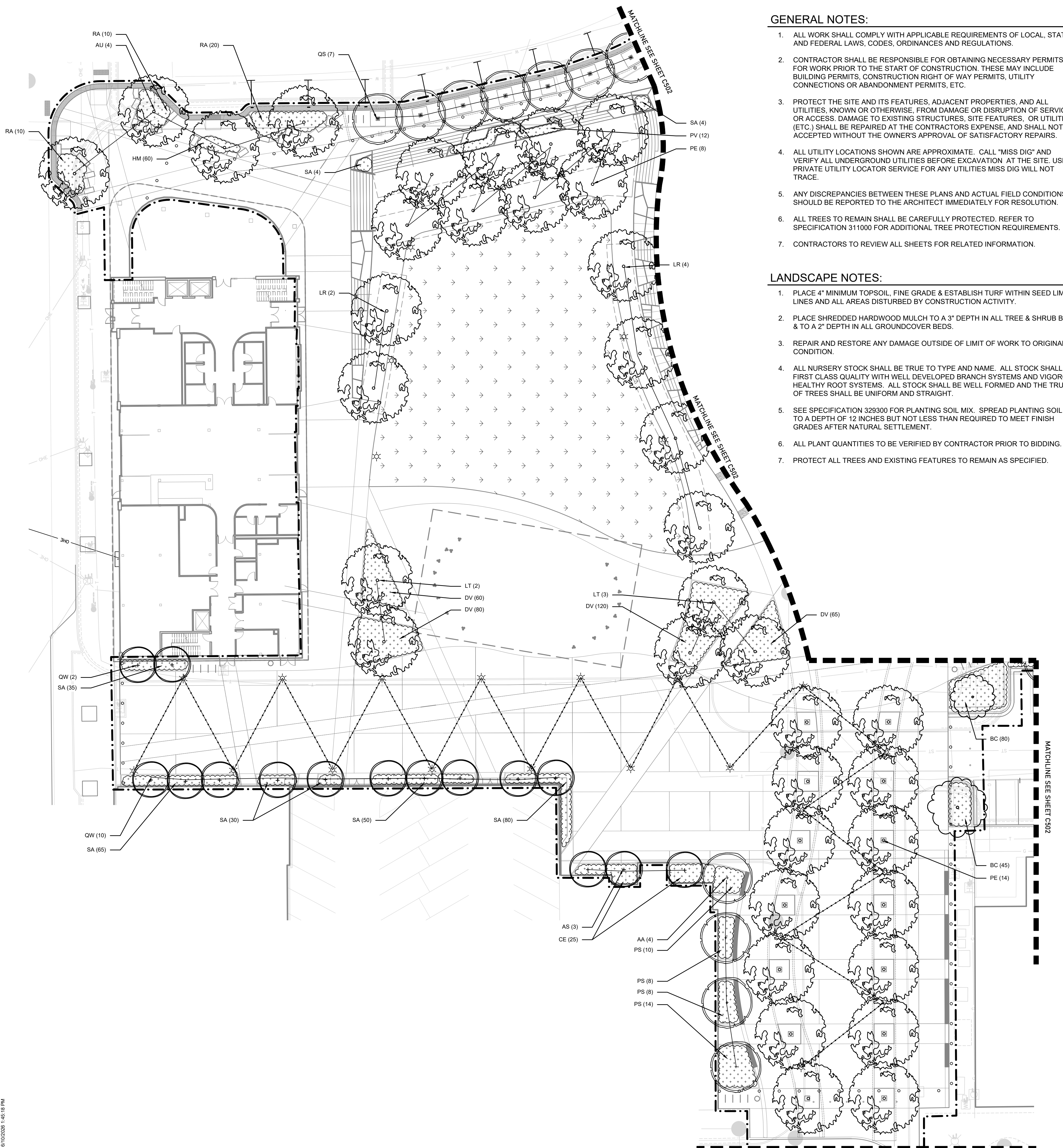
NOT FOR CONSTRUCTION

Sheet Name  
**SOUTH UTILITY PLAN**

Sheet No.  
**C402**



Know what's below.  
Call before you dig.



**GENERAL NOTES:**

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3. PROTECT THE SITE AND ITS FEATURES, ADJACENT PROPERTIES, AND ALL UTILITIES, KNOWN OR OTHERWISE, FROM DAMAGE OR DISRUPTION OF SERVICE OR ACCESS. DAMAGE TO EXISTING STRUCTURES, SITE FEATURES, OR UTILITIES (ETC.) SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE, AND SHALL NOT BE ACCEPTED WITHOUT THE OWNER'S APPROVAL OF SATISFACTORY REPAIRS.
4. ALL UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CALL "MISS DIG" AND VERIFY ALL UNDERGROUND UTILITIES BEFORE EXCAVATION AT THE SITE. USE PRIVATE UTILITY LOCATOR SERVICE FOR ANY UTILITIES MISS DIG WILL NOT TRACE.
5. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHOULD BE REPORTED TO THE ARCHITECT IMMEDIATELY FOR RESOLUTION.
6. ALL TREES TO REMAIN SHALL BE CAREFULLY PROTECTED. REFER TO SPECIFICATION 311000 FOR ADDITIONAL TREE PROTECTION REQUIREMENTS.
7. CONTRACTORS TO REVIEW ALL SHEETS FOR RELATED INFORMATION.

**LANDSCAPE NOTES:**

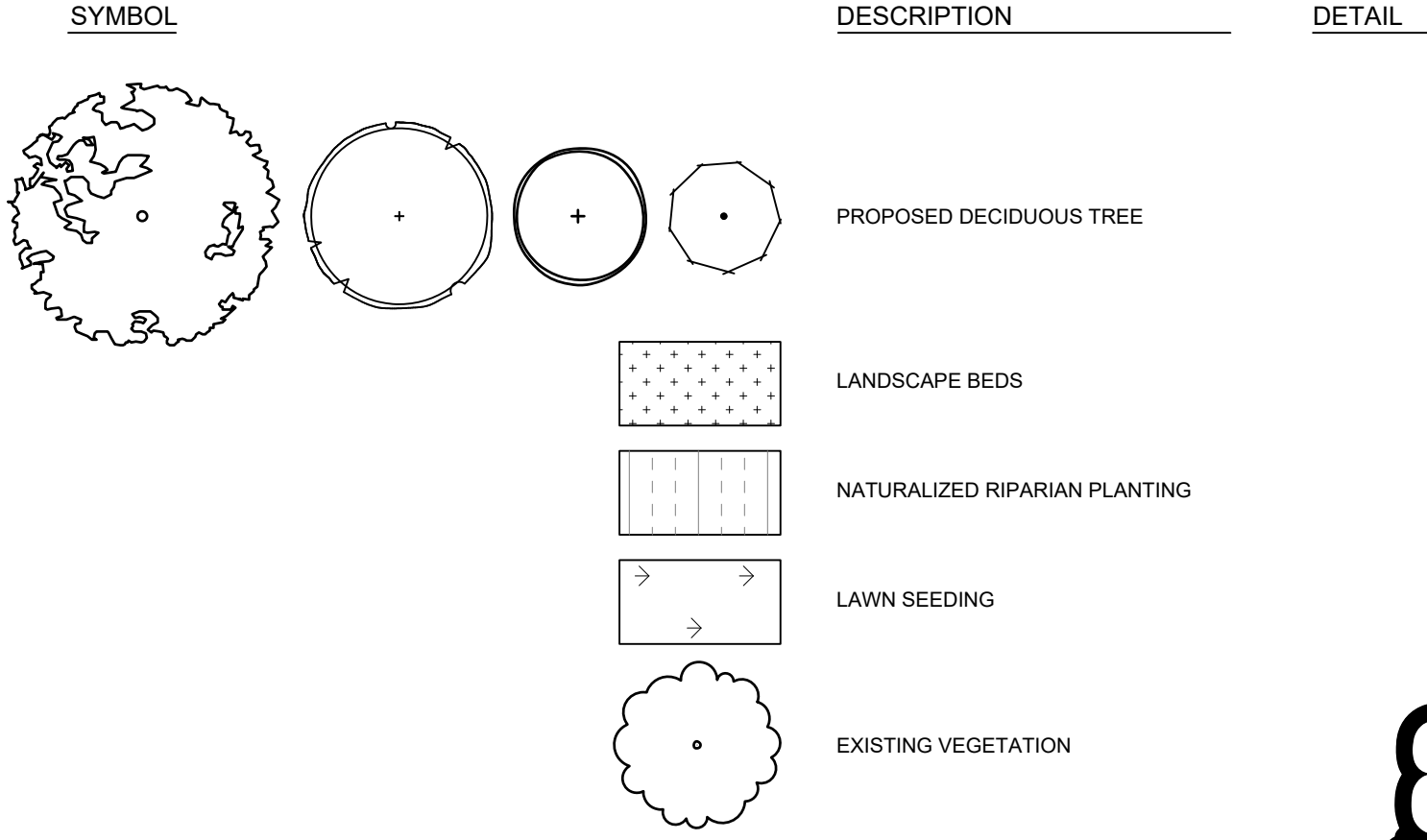
1. PLACE 4" MINIMUM TOPSOIL, FINE GRADE & ESTABLISH TURF WITHIN SEED LIMIT LINES AND ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITY.
2. PLACE SHREDDED HARDWOOD MULCH TO A 3" DEPTH IN ALL TREE & SHRUB BEDS & TO A 2" DEPTH IN ALL GROUNDCOVER BEDS.
3. REPAIR AND RESTORE ANY DAMAGE OUTSIDE OF LIMIT OF WORK TO ORIGINAL CONDITION.
4. ALL NURSERY STOCK SHALL BE TRUE TO TYPE AND NAME. ALL STOCK SHALL BE FIRST CLASS QUALITY WITH WELL DEVELOPED BRANCH SYSTEMS AND VIGOROUS HEALTHY ROOT SYSTEMS. ALL STOCK SHALL BE WELL FORMED AND THE TRUNKS OF TREES SHALL BE UNIFORM AND STRAIGHT.
5. SEE SPECIFICATION 329300 FOR PLANTING SOIL MIX. SPREAD PLANTING SOIL MIX TO A DEPTH OF 12 INCHES BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT.
6. ALL PLANT QUANTITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO BIDDING.
7. PROTECT ALL TREES AND EXISTING FEATURES TO REMAIN AS SPECIFIED.

**PLANT LIST:**

SYM.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	COMMENTS	NATIVE
<b>TREES</b>						
AU	ACER X FREEMANI	AUTUMN BLAZE MAPLE	3" CAL.	B&B		N
AR	ACER RUBRUM 'ARMSTRONG'	ARMSTRONG MAPLE	3" CAL.	B&B		Y
AO	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY MAPLE	3" CAL.	B&B		Y
AS	ACER SACCHARINUM 'APOLLO'	APOLLO SUGAR MAPLE	3" CAL.	B&B		Y
AA	AMELANCHIER 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICE BERRY	6'-7' HT.	B&B		Y
CP	CARPINUS C. 'PALISADE'	PALISADE AMERICAN HORNBEAM	3" CAL.	B&B		Y
CC	CERCIS CANADENSIS	REDBUD	6'-7'	B&B	LOW BRANCHED	Y
GB	GINGKO B. 'PRINCETON SENTRY'	PRINCETON SENTRY GINGKO	3" CAL.	B&B		N
LR	LIQUIDAMBAR S. 'ROTUNDOLOBA'	ROTUNDOLOBA SWEETGUM	3" CAL.	B&B		N
LT	LIRIODENDRON TULIPIFERA	TULIP TREE	3" CAL.	B&B		Y
MG	METASEQUOIA GLYPTOSTROBILIDES	DAWN REDWOOD	7'-8' HT.	B&B		Y
NS	NYSSA SYLVATICA	BLACK GUM	3" CAL.	B&B		Y
PA	PARROTIA P. 'JL COLUMNAR'	COLUMNAR PARROTIA	3" CAL.	B&B		N
PE	PLATANUS X ACERIFOLIA 'MORTON CIRCLE'	EXCLAMATION LONDON PLANE TREE	3" CAL.	B&B		N
QC	QUERCUS X BIMUNDORUM 'CRIMSCHMIDT'	CRIMSON SPIRE OAK	3" CAL.	B&B		N
QS	QUERCUS ROBUR X ALBA 'JFS-KW10X'	STREETSPIRE OAK	3" CAL.	B&B		Y
QW	QUERCUS X WAREI 'LONG'	REGAL PRINCE OAK	3" CAL.	B&B		N
<b>SHRUBS</b>						
CM	CORNUS MAS	CORNELIAN CHERRY	#8	CONT.	12' O.C.	N
CE	CEANOTHUS AMERICANUS	NEW JERSEY TEA	#5	CONT.	3' O.C.	Y
DV	DIERVILLA L. 'MICHIGAN SUNSET'	MICHIGAN SUNSET HONEYSUCKLE	#5	CONT.	2' O.C.	Y
HD	HAMAMELIS X INTERMEDIA 'DIANE'	DIANE WITCH HAZEL	#8	CONT.	10' O.C.	Y
RA	RHUS AROMATICA 'GRO-LOW'	GOR-LOW SUMAC	#5	CONT.	3' O.C.	Y
<b>PERENNIALS</b>						
AB	AMSONIA 'BLUE ICE'	DWARF BLUE STAR	#1	CONT.	24" O.C.	Y
AV	AMSONIA 'VERDANT VENTURE'	VERDANT VENTURE BLUE STAR	#5	CONT.	24" O.C.	Y
BC	BOUTELOUA CURTIPENDULA	SIDE-OATS GRAMA	#1	CONT.	18" O.C.	Y
CO	CALAMAGROSTIS X ACUTIFLORA 'OVERDAM'	OVERDAM FEATHER REED GRASS	#1	CONT.	24" O.C.	N
EP	ECHINACEA P. 'MAGNUS'	PURPLE CONEFLOWER	#1	CONT.	18" O.C.	Y
HM	HEMEROCALLIS 'LITTLE GRAPETTE'	LITTLE GRAPETTE DAYLILY	#1	CONT.	12" O.C.	N
LS	LIATRIS SPICATA	DENSE BLAZING STAR	#1	CONT.	18" O.C.	Y
PS	PANICUM VIRGATUM 'NONESORY'	DREAM CATCHER SMOKEY ROSE SWITCH GRASS	#1	CONT.	30" O.C.	Y
PV	PANICUM VIRGATUM 'SHENANDOAH'	RED SWITCH GRASS	#1	CONT.	30" O.C.	Y
PO	PENNISETUM ORIENTALE 'KARLEY ROSE'	KARLEY ROSE FOUNTAIN GRASS	#1	CONT.	30" O.C.	N
SA	SESLERIA AUTUMNALIS	AUTUMN MOOR GRASS	#1	CONT.	24" O.C.	N

BOTANICAL NAME	COMMON NAME	SIZE
<b>NATIVE EMERGENT WETLAND PLANT MIX</b>		
CAREX HYSTERICINA	PORCUPINE SEDGE	PLUG
CAREX STIPATA	AWL-FRUITED SEDGE	PLUG
GLYCERIA GRANDIS	REED MANNA GRASS	PLUG
JUNCUS EFFUSUS	SOFT RUSH	PLUG
SCIRPUS ACUTUS	HARD-STEM BULRUSH	PLUG
ASCLEPIAS INCARNATA	SWAMP MILKWEED	PLUG
IRIS VIRGINICA	BLUE SWEET FLAG IRIS	PLUG
LOBELIA CARDINALIS	CARDINAL FLOWER	PLUG
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AGASTACHE SCROPHULARIEFOLIA	PURPLE GIANT HYSSOP	PLUG
ECHINACEA PURPUREA	CONEFLOWER	PLUG
LIATRIS SPICATA	BLAZING STAR	PLUG
MONARDA FISTULOSA	WILD BERGAMOT	PLUG

**SITE PLAN LEGEND**



Owner  
**CITY OF KALAMAZOO**

Project No. 2516  
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100% DESIGN DEVELOPMENT

145 E. WATER STREET  
KALAMAZOO, MICHIGAN 49007

Issued For Date  
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SITE PLAN REVIEW 06.08.2026

Sheet Name  
**NORTH LANDSCAPE PLAN**

Sheet No.  
**C501**

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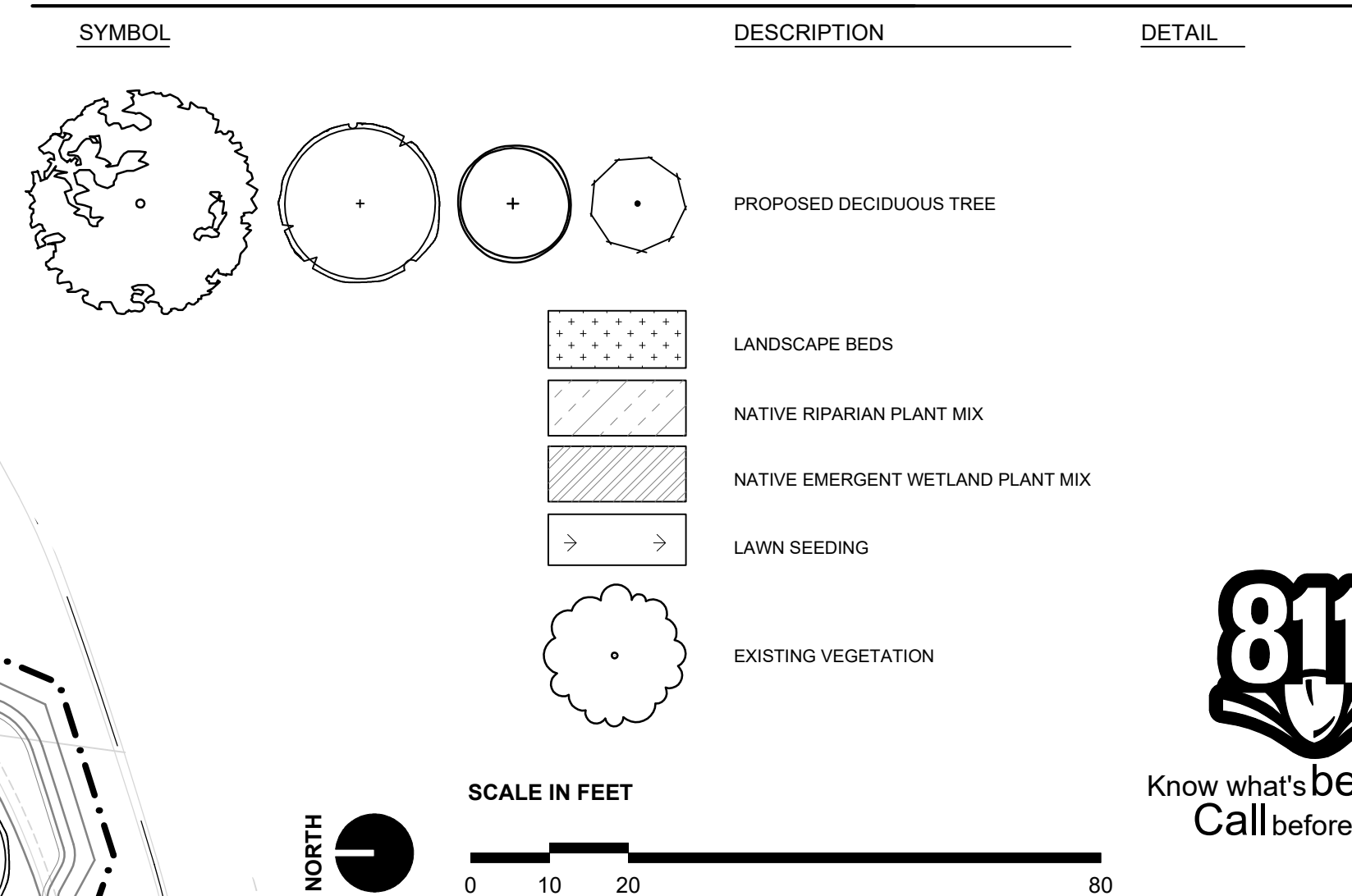
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**SITE PLAN LEGEND**



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City of Kalamazoo

Project No. 2516

ARCADIA CREEK FESTIVAL PLACE  
100% DESIGN DEVELOPMENT

145 E. WATER STREET  
KALAMAZOO, MICHIGAN 49007

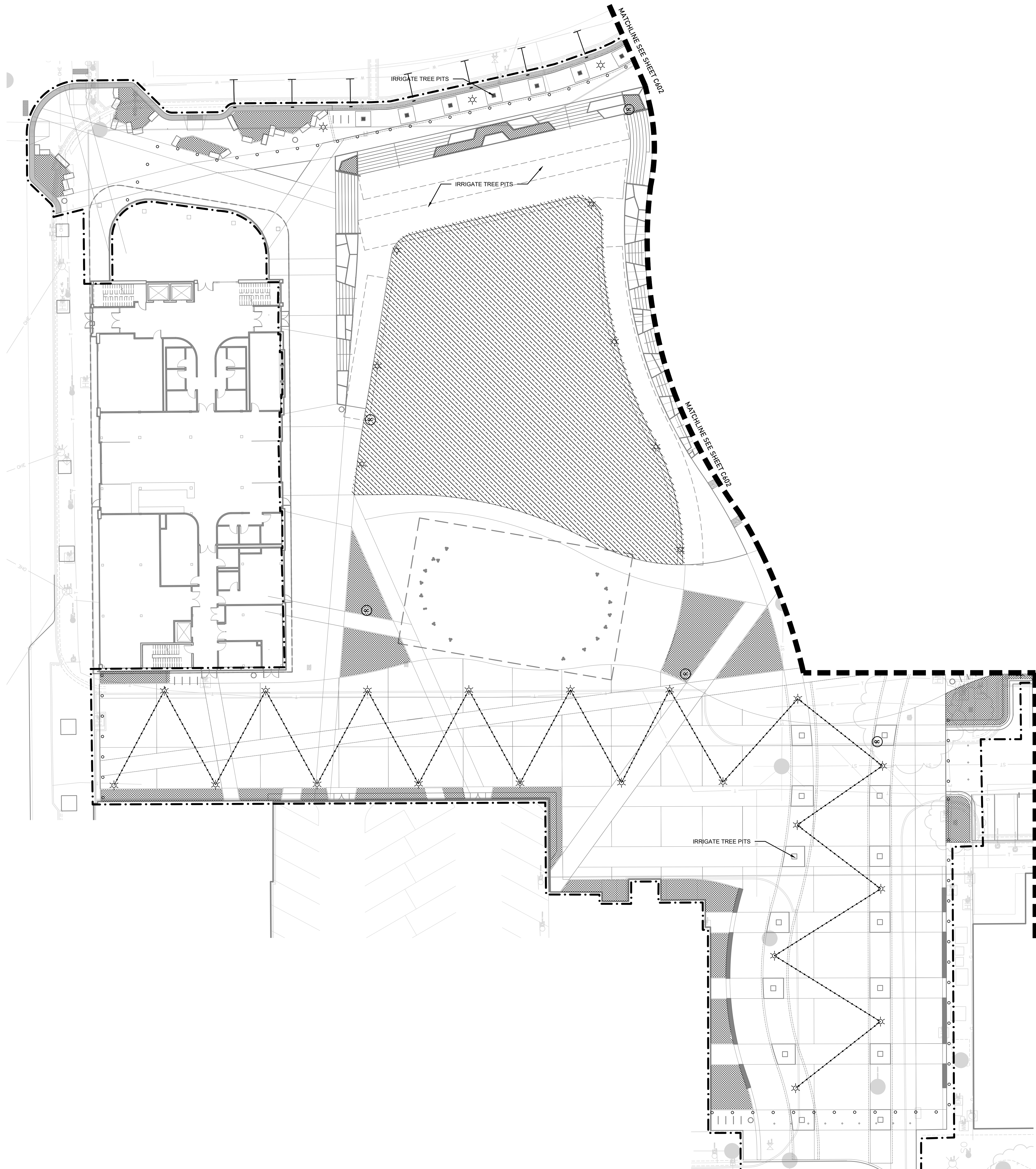
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100% DESIGN DEVELOPMENT 04.20.2026  
SITE PLAN REVIEW 06.08.2026

Sheet Name  
SOUTH LANDSCAPE PLAN





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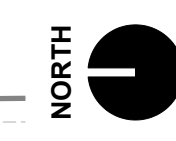
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**SITE PLAN LEGEND**

-  LAWN IRRIGATION
-  PERENNIAL BED IRRIGATION

MATCHLINE SEE SHEET C602



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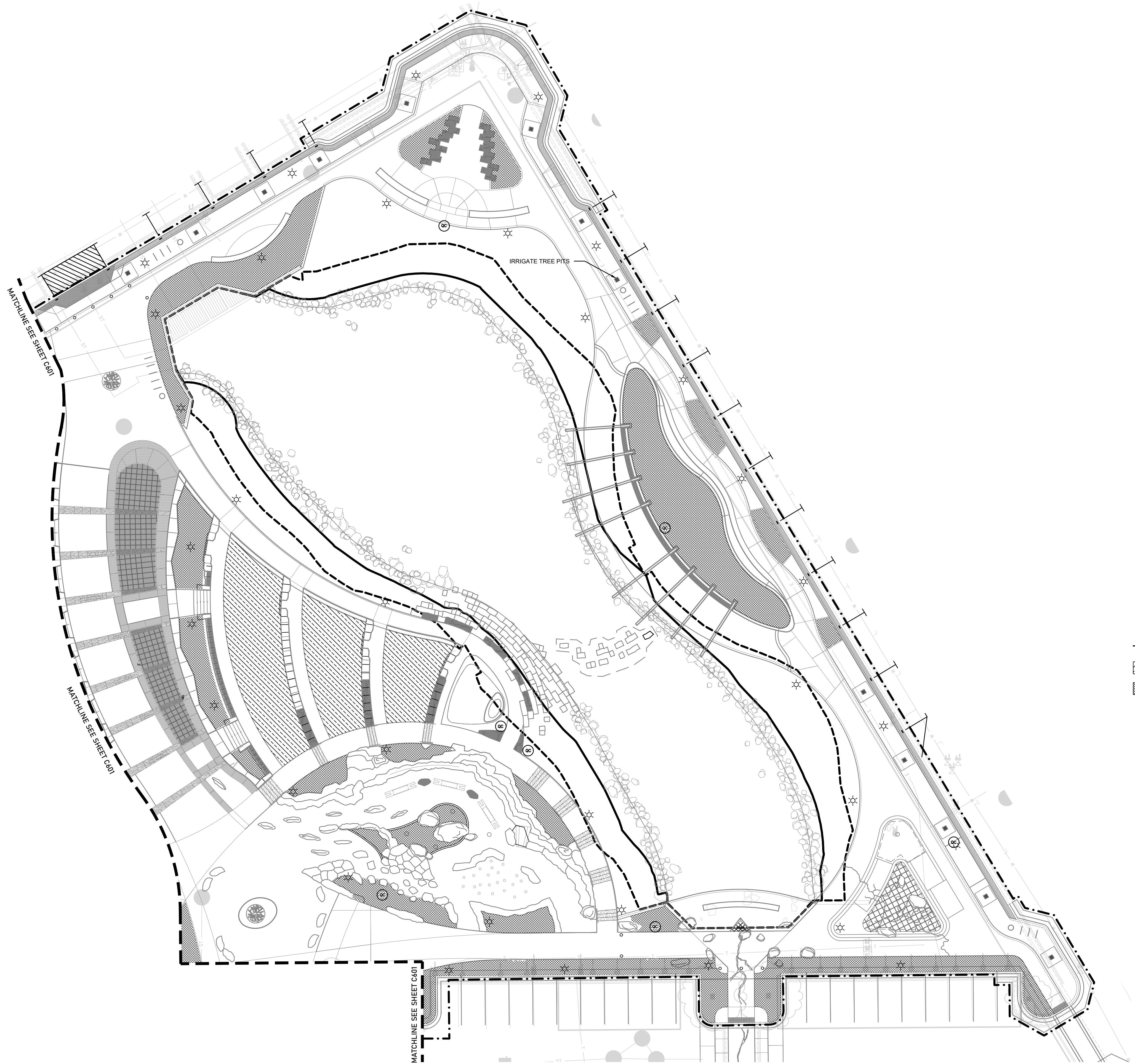
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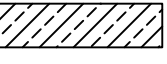

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**C601**

Sheet No.



**SITE PLAN LEGEND**

-  LAWN IRRIGATION
-  PERENNIAL BED IRRIGATION



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**SOUTH IRRIGATION PLAN**

**C602**

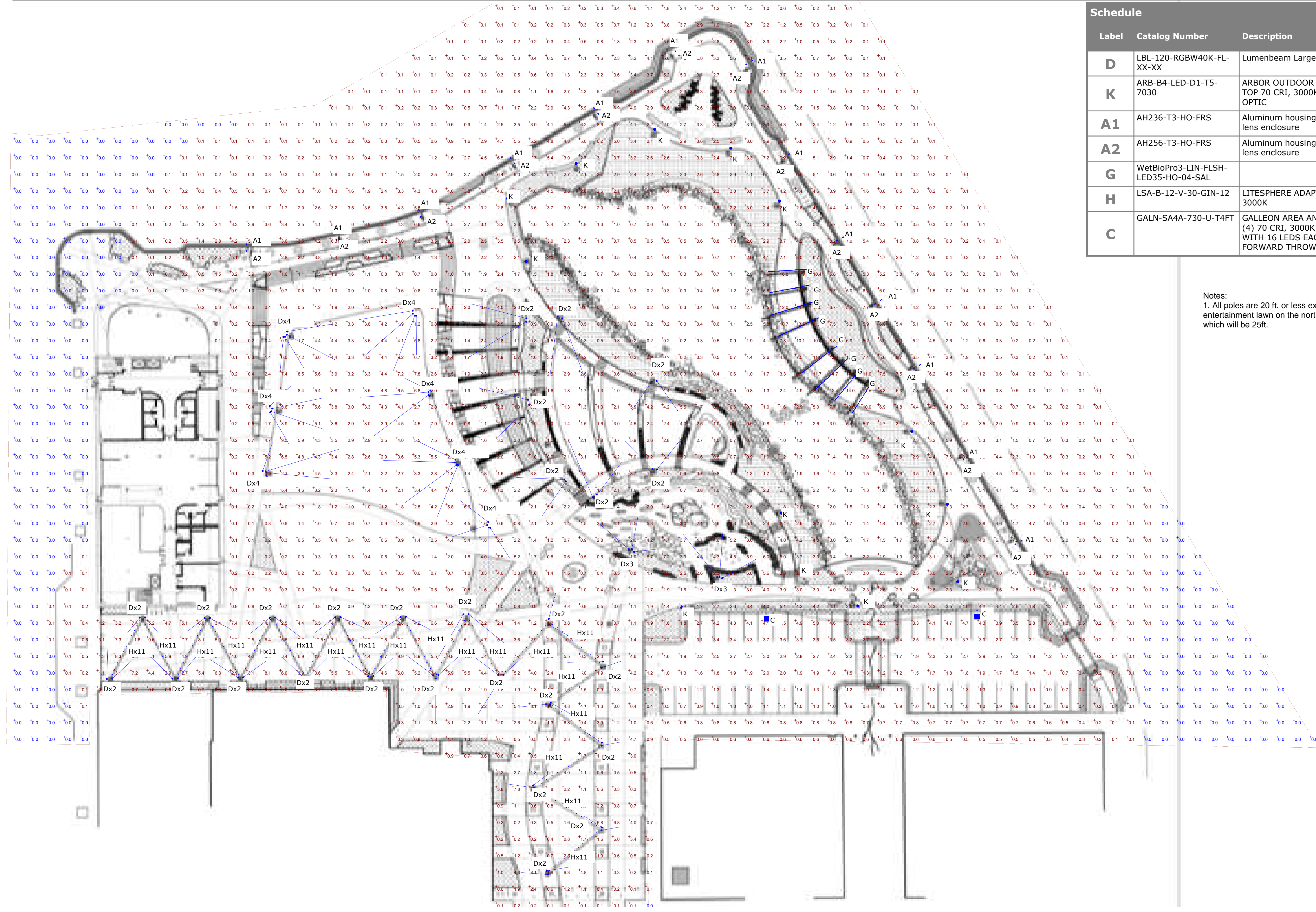
Sheet No.





Statistics			
Description	Symbol	Avg	Max
Calc Zone #1	+	2.0 fc	17.9 fc

Schedule			
Label	Catalog Number	Description	Wattage
D	LBL-120-RGBW40K-FL-XX-XX	Lumenbeam Large	50
K	ARB-B4-LED-D1-T5-7030	ARBOR OUTDOOR ARCHITECTURAL POST TOP 70 CRI, 3000K LEDS AND TYPE V OPTIC	96
A1	AH236-T3-HO-FRS	Aluminum housing, clear optics, frosted lens enclosure	38
A2	AH256-T3-HO-FRS	Aluminum housing, clear optics, frosted lens enclosure	73
G	WetBioPro3-LIN-FLSH-LED35-HO-04-SAL		42
H	LSA-B-12-V-30-GIN-12	LITESPHERE ADAPT GINA 120C VHO 3000K	1.07
C	GALN-SA4A-730-U-T4FT	GALLEON AREA AND ROADWAY LUMINAIRE (4) 70 CRI, 3000K, 615mA LIGHTSQUARES WITH 16 LEDS EACH AND TYPE IV FORWARD THROW OPTICS	121



Notes:  
 1. All poles are 20 ft. or less except the entertainment lawn on the north side of the park which will be 25ft.

ARCADIA CREEK FESTIVAL PLACE  
 145 E. WATERS STREET, KALAMAZOO, MI 49007

Designer  
 Date 06.04.2026  
 Scale Not to Scale  
 Drawing No.  
 Summary

# TORRES

Specification Sheet | AH200

Type A1,A2

landscapeforms



Torres is a beautiful complement to urban landscapes and architecture. Through its understated design and 'gull wing' shape, Torres brings an intentionality to the space without overpowering the composition. Light engine options scale from 2,500lm to 7,500lm, with a selection of distribution types. Single or multiple luminaires can be mounted at different heights and orientations on a single pole, addressing needs of the environment whether pedestrian, vehicular or both.

Torres is proudly made in Kalamazoo, Michigan, is Buy America Compliant and International Dark-Sky Approved.

## Housing & Materials

Cast Aluminum construction. Factory sealed and replaceable light engine cartridge with UV stable, impact modified clear or diffused acrylic lens. With a 'fastener free' look, all hardware is magni-coated for optimum corrosion and 'anti-seize' protection. Assembly is IP66 rated.

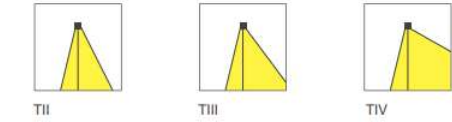
## Electrical

Surge protected 120V - 277V 50/60Hz electronic driver located internal to luminaire arm, 0-10V dimmable. Optional pole mounted ANSI C136.41 twist lock receptacle and GFCI outlet (with 'in-use' cover) are available.

## Light Engine

Torres features a replaceable LED cartridge with die-cast aluminum heat sink, high power LEDs on a RoHS compliant circuit board with secondary optics in Roadway distribution types. All configurations are available in 3000K, 3500K, and 4000K, >80CRI across all available color temperatures. Luminaires meet or exceed TM21 L70: >60,000 hrs

## Distributions



## Warranty

Luminaires are warranted for six years.

## Certification

UL Listed for Wet Location, CE, International Dark Sky Approved, RoHS Compliant



Designed by Rodrigo Torres  
Click here for patent information related to this product.

Project	Catalog #	Type	Type C
Prepared by	Notes	Date	



## McGraw-Edison GALN Galleon II

Area / Site Luminaire

### Product Features



### Product Certifications



### Interactive Menu

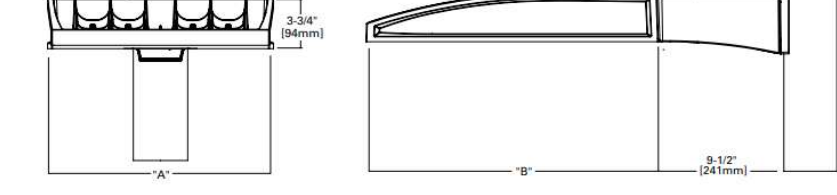
- Ordering Information page 2
- Mounting Details page 3
- Optical Distributions page 5
- Product Specifications page 5
- Energy and Performance Data page 6
- Control Options page 17

### Quick Facts

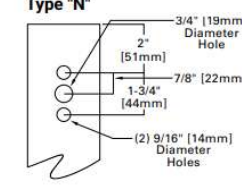
- Lumen packages range from 3,300 - 102,700 (33W - 655W)
- 22 optical distributions
- Efficacy up to 178 LPW

### Dimensional Details

#### Standard Pole Mount Arm



#### Pole Drilling Pattern



Number of Light Sources	Width "A"	Housing Length "B"	Weight with Standard or OEM Arm	EPA with Standard or OEM Arm
1-4	16"	22"	29 lb.	0.95
5-6	22"	22"	39 lb.	0.95
7-9	22"	28-1/8"	48 lb.	1.1

NOTE: For arm selection requirements and additional line art, see Mounting Details section.



PSS1683724 page 1  
March 25, 2025 4:18 PM

Project	Catalog #	Type	Type K
Prepared by	Notes	Date	



## Invue

### ARB Arbor Post Top

Decorative Luminaire

### Product Features



### Product Certifications



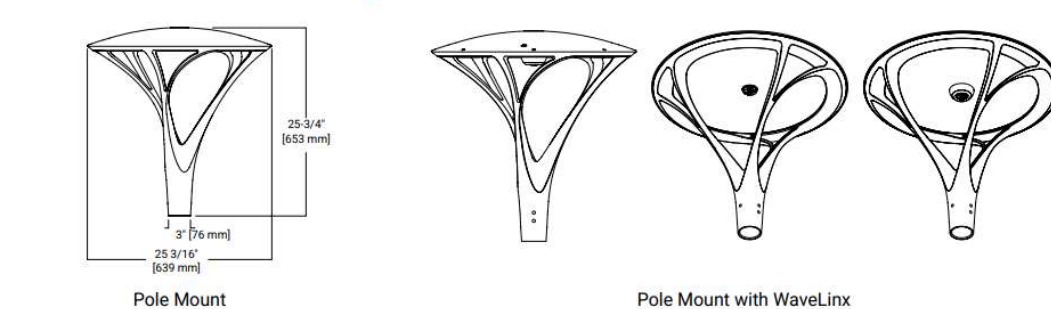
### Interactive Menu

- Ordering Information page 2
- Product Specifications page 3
- Optical Distributions page 5
- Control Options page 7

### Quick Facts

- Low copper content two piece aluminum housing
- Type II, III and IV asymmetric and type V symmetric NEMA distributions
- Up to 110 LPW
- 4000K @ 70 CRI standard, other options are available
- 3G vibration rated (post top) and 1.5G (single/twin pole accessories)
- Wall mount accessories available

### Dimensional and Mounting Details



Weight: 37 lbs. [16.8 kgs.]  
EPA: 0.9 Sq. Ft.

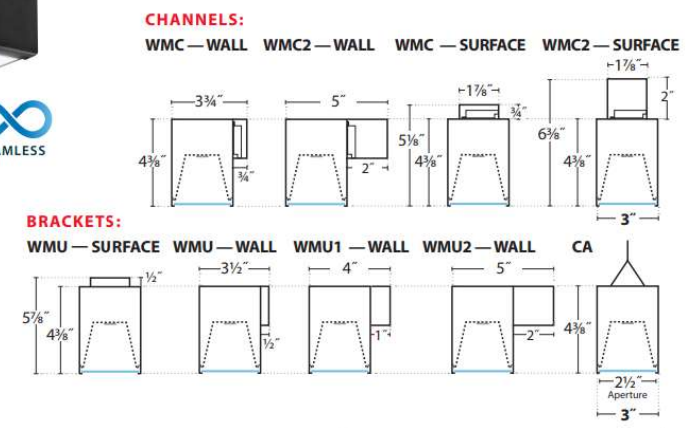


PSS1683724 page 1  
January 02, 2025 10:19 AM

## Wet BionicPro3 | Linear



### Type G



### BionicPro delivers again. You're welcome!

Continuous lines of clean, seamless light with an IP65 & 66 wet listed rating. No door frames or breakers lines of light. Gasketed lens for fully protected fixture (not just LED array). Indoor aesthetics taken outdoors for a consistent look. Batwing, Wall Wash, Grace, Room Fill Distributions with just a lens change. Wash walkways with light from the perimeter, wash or graze a building facade, with seamless lines of light.

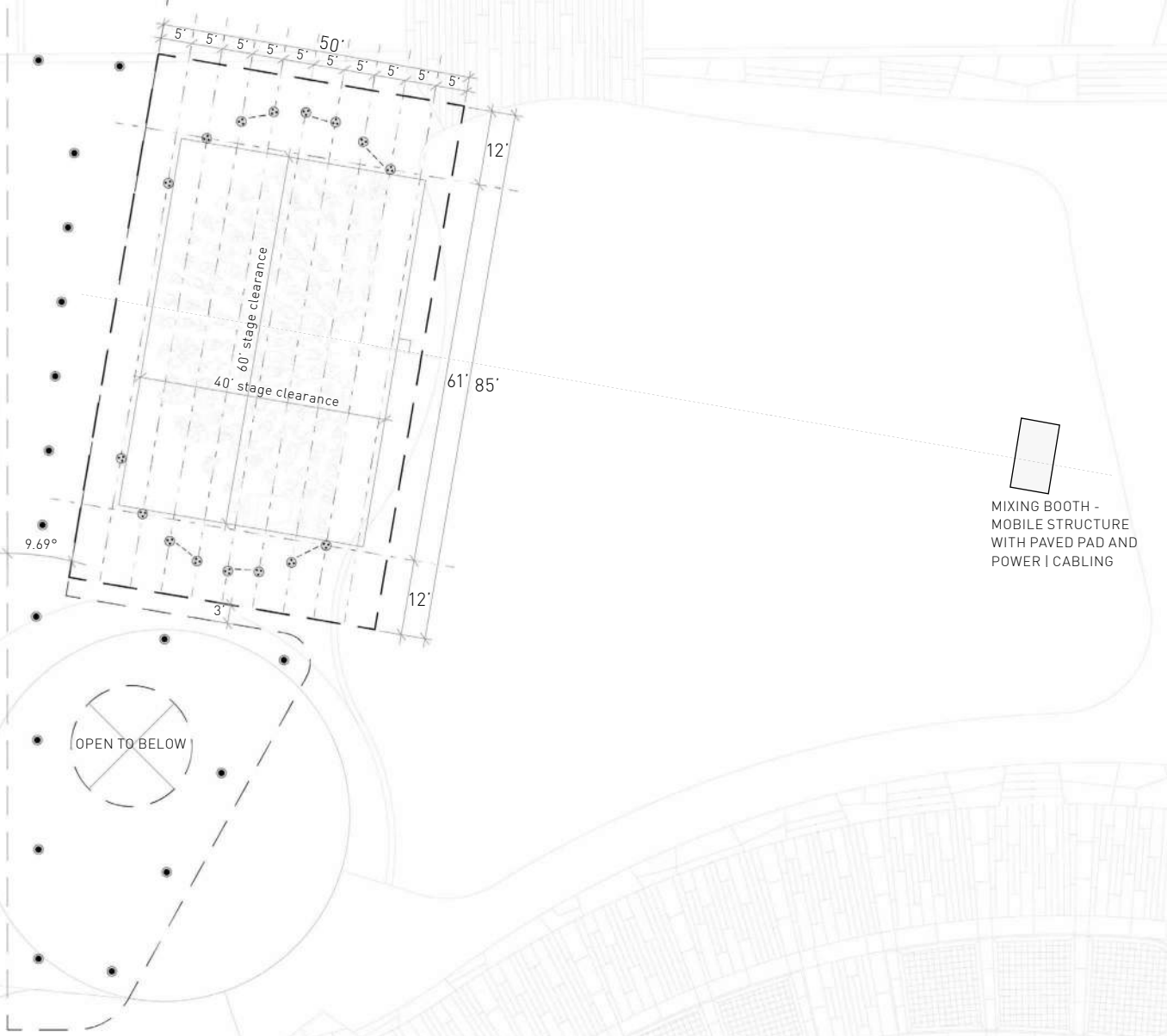
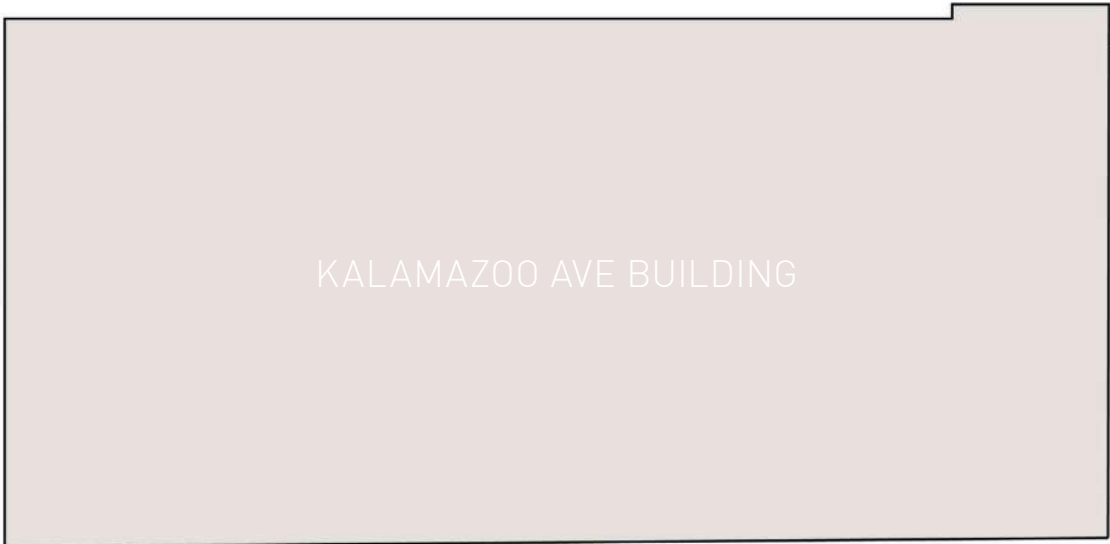


SERIES	LENS	LED COLOR	DUTY	LENGTH	FINISH	DISTR.	CIRCUIT	VOLT.	INSTALLING	CEILING	DRIVERS & CONTROLS	OPTIONS	
WETPRO3-LIN	FLSH	LED27 2700K/4000K LED35 3500K LED4 4000K LED9-90 3000K LED9-90 3500K LED9-90 4000K LED9-90 5000K LED9-90 5500K LED9-90 6000K LED9-90 6500K LED9-90 7000K LED9-90 7500K LED9-90 8000K LED9-90 8500K LED9-90 9000K LED9-90 9500K LED9-90 10000K LED9-90 10500K LED9-90 11000K LED9-90 11500K LED9-90 12000K LED9-90 12500K LED9-90 13000K LED9-90 13500K LED9-90 14000K LED9-90 14500K LED9-90 15000K LED9-90 15500K LED9-90 16000K LED9-90 16500K LED9-90 17000K LED9-90 17500K LED9-90 18000K LED9-90 18500K LED9-90 19000K LED9-90 19500K LED9-90 20000K LED9-90 20500K LED9-90 21000K LED9-90 21500K LED9-90 22000K LED9-90 22500K LED9-90 23000K LED9-90 23500K LED9-90 24000K LED9-90 24500K LED9-90 25000K LED9-90 25500K LED9-90 26000K LED9-90 26500K LED9-90 27000K LED9-90 27500K LED9-90 28000K LED9-90 28500K LED9-90 29000K LED9-90 29500K LED9-90 30000K LED9-90 30500K LED9-90 31000K LED9-90 31500K LED9-90 32000K LED9-90 32500K LED9-90 33000K LED9-90 33500K LED9-90 34000K LED9-90 34500K LED9-90 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120/277V	347	Wet Location	3' - 10'	ND Non-Dimming DM1 0-10V DM2 0-10V DM3 0-10V DM4 0-10V DM5 0-10V DM6 0-10V DM7 0-10V DM8 0-10V DM9 0-10V DM10 0-10V DM11 0-10V DM12 0-10V DM13 0-10V DM14 0-10V DM15 0-10V DM16 0-10V DM17 0-10V DM18 0-10V DM19 0-10V DM20 0-10V DM21 0-10V DM22 0-10V DM23 0-10V DM24 0-10V DM25 0-10V DM26 0-10V DM27 0-10V DM28 0-10V DM29 0-10V DM30 0-10V DM31 0-10V DM32 0-10V DM33 0-10V DM34 0-10V DM35 0-10V DM36 0-10V DM37 0-10V DM38 0-10V DM39 0-10V DM40 0-10V DM41 0-10V DM42 0-10V DM43 0-10V DM44 0-10V DM45 0-10V DM46 0-10V DM47 0-10V DM48 0-10V DM49 0-10V DM50 0-10V DM51 0-10V DM52 0-10V DM53 0-10V DM54 0-10V DM55 0-10V DM56 0-10V DM57 0-10V DM58 0-10V DM59 0-10V DM60 0-10V DM61 0-10V DM62 0-10V DM63 0-10V DM64 0-10V DM65 0-10V DM66 0-10V DM67 0-10V DM68 0-10V DM69 0-10V DM70 0-10V DM71 0-10V DM72 0-10V DM73 0-10V DM74 0-10V DM75 0-10V DM76 0-10V DM77 0-10V DM78 0-10V DM79 0-10V DM80 0-10V DM81 0-10V DM82 0-10V DM83 0-10V DM84 0-10V DM85 0-10V DM86 0-10V DM87 0-10V DM88 0-10V DM89 0-10V DM90 0-10V DM91 0-10V DM92 0-10V DM93 0-10V DM94 0-10V DM95 0-10V DM96 0-10V DM97 0-10V DM98 0-10V DM99 0-10V DM100 0-10V DM101 0-10V DM102 0-10V DM103 0-10V DM104 0-10V DM105 0-10V DM106 0-10V DM107 0-10V DM108 0-10V DM109 0-10V DM110 0-10V DM111 0-10V DM112 0-10V DM113 0-10V DM114 0-10V DM115 0-10V DM116 0-10V DM117 0-10V DM118 0-10V DM119 0-10V DM120 0-10V DM121 0-10V DM122 0-10V DM123 0-10V DM124 0-10V DM125 0-10V DM126 0-10V DM127 0-10V DM128 0-10V DM129 0-10V DM130 0-10V DM131 0-10V DM132 0-10V DM133 0-10V DM134 0-10V DM135 0-10V DM136 0-10V DM137 0-10V DM138 0-10V DM139 0-10V DM140 0-10V DM141 0-10V DM142 0-10V DM143 0-10V DM144 0-10V DM145 0-10V DM146 0-10V DM147 0-10V DM148 0-10V DM149 0-10V DM150 0-10V DM151 0-10V DM152 0-10V DM153 0-10V DM154 0-10V DM155 0-10V DM156 0-10V DM157 0-10V DM158 0-10V DM159 0-10V DM160 0-10V DM161 0-10V DM162 0-10V DM163 0-10V DM164 0-10V DM165 0-10V DM166 0-10V DM167 0-10V DM168 0-10V DM169 0-10V DM170 0-10V DM171 0-10V DM172 0-10V DM173 0-10V DM174 0-10V DM175 0-10V DM176 0-10V DM177 0-10V DM178 0-10V DM179 0-10V DM180 0-10V DM181 0-10V DM182 0-10V DM183 0-10V DM184 0-10V DM185 0-10V DM186 0-10V DM187 0-10V DM188 0-10V DM189 0-10V DM190 0-10V DM191 0-10V DM192 0-10V DM193 0-10V DM194 0-10V DM195 0-10V DM196 0-10V DM197 0-10V DM198 0-10V DM199 0-10V DM200 0-10V DM201 0-10V DM202 0-10V DM203 0-10V DM204 0-10V DM205 0-10V DM206 0-10V DM207 0-10V DM208 0-10V DM209 0-10V DM210 0-10V DM211 0-10V DM212 0-10V DM213 0-10V DM214 0-10V DM215 0-10V DM216 0-10V DM217 0-10V DM218 0-10V DM219 0-10V DM220 0-10V DM221 0-10V DM222 0-10V DM223 0-10V DM224 0-10V DM225 0-10V DM226 0-10V DM227 0-10V DM228 0-10V DM229 0-10V DM230 0-10V DM231 0-10V DM232 0-10V DM233 0-10V DM234 0-10V DM235 0-10V DM236 0-10V DM237 0-10V DM238 0-10V DM239 0-10V DM240 0-10V DM241 0-10V DM242 0-10V DM243 0-10V DM244 0-10V DM245 0-10V DM246 0-10V DM247 0-10V DM248 0-10V DM249 0-10V DM250 0-10V DM251 0-10V DM252 0-10V DM253 0-10V DM254 0-10V 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DM421 0-10V DM422 0-10V DM423 0-10V DM424 0-10V DM425 0-10V DM426 0-10V DM427 0-10V DM428 0-10V DM429 0-10V DM430 0-10V DM431 0-10V DM432 0-10V DM433 0-10V DM434 0-10V DM435 0-10V DM436 0-10V DM437 0-10V DM438 0-10V DM439 0-10V DM440 0-10V DM441 0-1









- OPTION 02**
- OPTION 01**
- CULTIVATED SHELTER 4,250 SF
- CREEK LENS 7,230 SF
- SEMI-INTENSIVE GREEN ROOF 4,630 SF
- TERRACE 2,600 SF



**FLOOR PLAN** GRAPHIC SCALE



