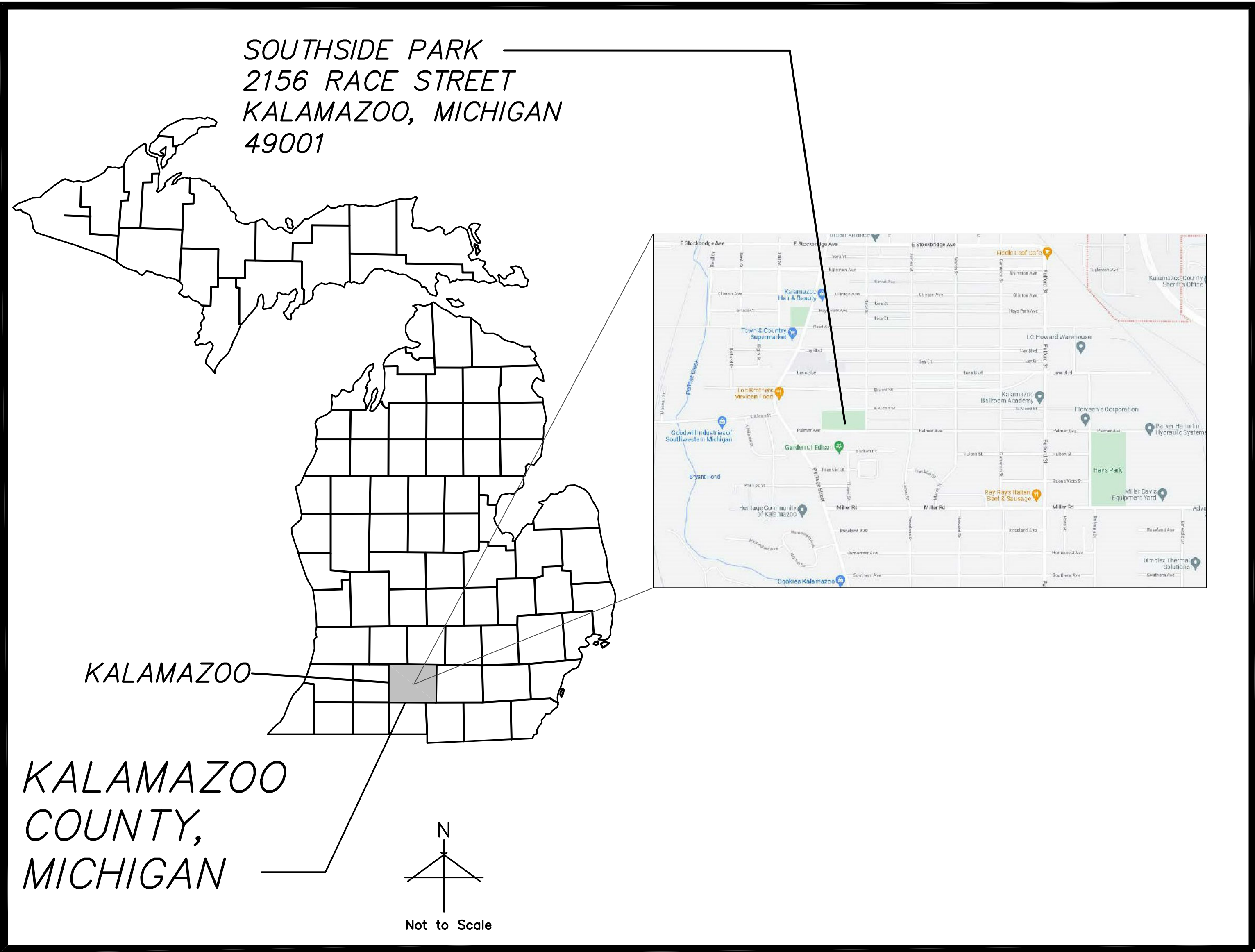


SOUTHSIDE PARK IMPROVEMENTS PROJECT

KALAMAZOO, MICHIGAN

LOCATION MAP



NOTES:

- Except where other wise indicated on the plans or in the proposal and supplemental specifications or special provisions contained herein, all materials and workmanship shall be in accordance with Michigan Department of Transportation Standard Specifications for Construction, 1996 Edition.
- Call Miss Dig, 1-800-482-7171 three working days, excluding Saturday, Sunday and holidays, before starting your project.

SHEET INDEX

No.

C0.0 Cover

C0.1 Existing Conditions Plan

C1.0 Overall Demolition Plan

C1.1 Tree Committee Tree Demolition Plan

C2.0 Overall Layout Plan

C3.0 Grading and SESC Plan

C4.0 Site Details

L1.0 Landscaping Plan

E1.0 Electrical Site Plan

SITE PLAN REVIEW NOTES

- Project Address: 2156 Race Street, Kalamazoo, Michigan 49001
- Property Identification Number: 06-26-150-001
- Owner: City of Kalamazoo Parks and Recreation Department, 241 West South Street, Kalamazoo, Michigan 49007
- Project Zoning: RS-5 - Residential Single Family
- The project site is located in the Edison Neighborhood and is not located in any historic district.
- Legal Description: SOUTHSIDE PLAYGROUND;

A PARCEL OF LAND LYING AND BEING IN THE NORTHWEST 1/4 OF SECTION 26 AND THE NORTHEAST 1/4 OF SECTION 27, TOWNSHIP 2 SOUTH, RANGE 11 WEST, CITY OF KALAMAZOO, KALAMAZOO COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE INTERSECTION OF THE WEST LINE OF RACE STREET WITH THE NORTH LINE OF PALMER AVENUE, AS EXTENDED WESTERLY FROM THE PLAT OF SOUTH PARK ADDITION TO THE CITY OF KALAMAZOO, MICHIGAN, AND RUNNING THENCE NORTH ALONG THE WEST LINE OF RACE STREET 265 FEET, MORE OR LESS, TO THE INTERSECTION OF THE SOUTHERLY LINE OF ALCOTT STREET, AS EXTENDED WESTERLY FROM THE PLAT OF SOUTH PARK ADDITION TO THE CITY OF KALAMAZOO, MICHIGAN, WITH THE WEST LINE OF RACE STREET; THENCE WESTERLY AND ALONG THE SOUTH LINE OF ALCOTT STREET, AS EXTENDED 630 FEET, MORE OR LESS; THENCE SOUTH PARALLEL WITH THE WEST LINE OF RACE STREET AND 630 FEET WEST THEREOF, A DISTANCE OF 331 FEET, MORE OR LESS, TO THE SOUTH LINE OF PALMER AVENUE, AS EXTENDED WEST FROM THE PLAT OF SOUTH PARK ADDITION; THENCE WEST ALONG THE SOUTH LINE OF SAID PALMER AVENUE, AS EXTENDED 20 FEET; THENCE SOUTH PARALLEL WITH THE WEST LINE OF RACE STREET 134.35 FEET, MORE OR LESS, TO THE NORTH LINE OF ROSE HILL PLAT; THENCE EAST ALONG SAID NORTH LINE OF ROSE HILL PLAT 650 FEET TO THE WEST LINE OF RACE STREET; THENCE NORTH ALONG THE WEST LINE OF RACE STREET 197.1 FEET, MORE OR LESS TO THE PLACE OF BEGINNING, SUBJECT TO SUCH EASEMENTS AND RIGHTS-OF-WAY AS MAY HAVE BEEN HERETOFORE RESERVED AND ESTABLISHED OVER SUCH PORTION OF THE PREMISES AS WOULD LIE IN THE BED OF PALMER STREET, AS EXTENDED, AND IN A STRIP 30 FEET IN WIDTH BETWEEN THE NORTH BOUNDARY LINE HEREINABOVE SET FORTH AND THE SOUTH LINE OF PALMER AVENUE, AS EXTENDED, 600 FEET WEST OF RACE STREET AND PARALLEL THERETO.

EXCEPTING THEREFROM:

THE WESTERLY 120 FEET MEASURED ALONG THE SOUTH LINE OF PALMER AVENUE OF A PARCEL OF LAND LYING IN THE NORTHWEST 1/4 OF SECTION 26 AND THE NORTHEAST 1/4 OF SECTION 27, TOWN 2 SOUTH, RANGE 11 WEST, PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A POINT IN THE WESTERLY EXTENSION OF THE SOUTH LINE OF PALMER AVENUE AS SHOWN ON THE PLAT OF SOUTH PARK ADDITION TO THE CITY OF KALAMAZOO 50 FEET WEST OF THE WEST LINE OF RACE STREET AS SHOWN ON SAID PLAT; RUNNING THENCE WESTERLY ALONG SAID EXTENSION LINE 600 FEET; THENCE SOUTH PARALLEL WITH THE WEST LINE OF RACE STREET 134.35 FEET TO THE NORTH LINE OF ROSE HILL PLAT; THENCE EAST ALONG THE NORTH LINE OF SAID PLAT AND EXTENSION EASTERLY THEREOF 600 FEET; THENCE NORTH PARALLEL WITH THE WEST LINE OF RACE STREET 131.35 FEET TO BEGINNING.

ALSO EXCEPTING:

PART OF THE NORTHWEST 1/4, SECTION 26, TOWN 2 SOUTH, RANGE 11 WEST, BEGINNING AT A POINT WESTERLY EXTENSION OF SOUTH LINE OF PALMER AVENUE 16 1/2 FEET WESTERLY OF THE INTERSECTION OF WEST LINE OF RACE STREET, AS PLACE OF BEGINNING; THENCE 33 1/2 FEET WESTERLY ALONG SOUTH LINE OF PALMER AVENUE; THENCE SOUTH 00 DEGREES 35 MINUTES WEST 131.48 FEET; THENCE NORTHEASTERLY TO THE PLACE OF BEGINNING.

ALSO EXCEPTING:

PART OF THE NORTHWEST 1/4, SECTION 26, TOWN 2 SOUTH, RANGE 11 WEST, BEGINNING AT A POINT ON THE WESTERLY EXTENSION OF THE SOUTH LINE OF PALMER AVENUE AT ITS INTERSECTION WITH THE WEST LINE OF RACE STREET; THENCE SOUTH ALONG SAID WEST LINE 131 FEET; THENCE WEST 50 FEET; THENCE NORTHEASTERLY TO A POINT ON SAID WESTERLY EXTENSION 16.5 FEET WEST OF THE PLACE OF BEGINNING; THENCE EAST 16.5 FEET TO THE PLACE OF BEGINNING

- Front Yard Setback: 25'-0"
- Rear Yard Setback: 25'-0"
- Side Yard Setback: 8'-0"
- Existing Parking Spaces: (2) parking spaces
- Parking Spaces Required: (0) parking spaces
- Parking Spaces Provided: (2) parking spaces
- Gross Overall Site Area: 111,687 sf (2.56 acres)
- Gross Area of Earth Change: 65,853 sf (1.51 acres)
- Gross Floor Area of Building: Existing: 635 sf, Proposed: 672 sf, Total: 1,307 sf, (0.03 acres)
- Gross Usable Floor Area by Type: 635 sf, Existing Open Air Pavilion, 672 sf, Proposed Utility
- Net Area of Open Space: Existing: 101,069 sf (2.32 acres), Proposed: 97,976 sf (2.25 acres)
- Area of Regulated Wetlands: 0 acres
- Net Area of Interior Parking Lot Landscaping: (0) sf
- Net Area of Proposed Off-Street Parking: 0 sf (0 acres)
- Impervious Area: Existing: 10,618 sf (0.24 acres), Proposed: 13,807 sf (0.31 acres)
- Number of Residential Units by Type: 0
- Number of Bike Racks Required and Provided: (1) bike space required per 5,000 sf of open/park space.
- 111,687 sf/5,000 sf = (22) bike spaces required. Zero (0) bike spaces are provided.
- This property is located within the 5 Year and 10 Year Time of Capture Zones.
- This property is identified as "Open Space/Parks" on the 2025 Future Land Use Plan

OWNER:
CITY OF KALAMAZOO
PARKS & RECREATION DEPARTMENT

241 WEST SOUTH STREET
KALAMAZOO, MICHIGAN 49007

LANDSCAPE ARCHITECT:
O'BOYLE COWELL BLALOCK
& ASSOCIATES, INC.

350 E MICHIGAN AVE, SUITE 415
KALAMAZOO, MI, 49007
269-381-3357 TELE
269-381-2944 FAX

ELECTRICAL ENGINEER:
GEOTECH, INC.

4900 CASCADE ROAD SE
GRAND RAIDS, MICHIGAN, 49546
(616)949-3340



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Issued For:	Date
PRE-SITE PLAN REVIEW	07-31-23
TREE COMMITTEE	08-25-23
SITE PLAN REVIEW	01-12-24

Project:

Southside Park - New Playground Improvements

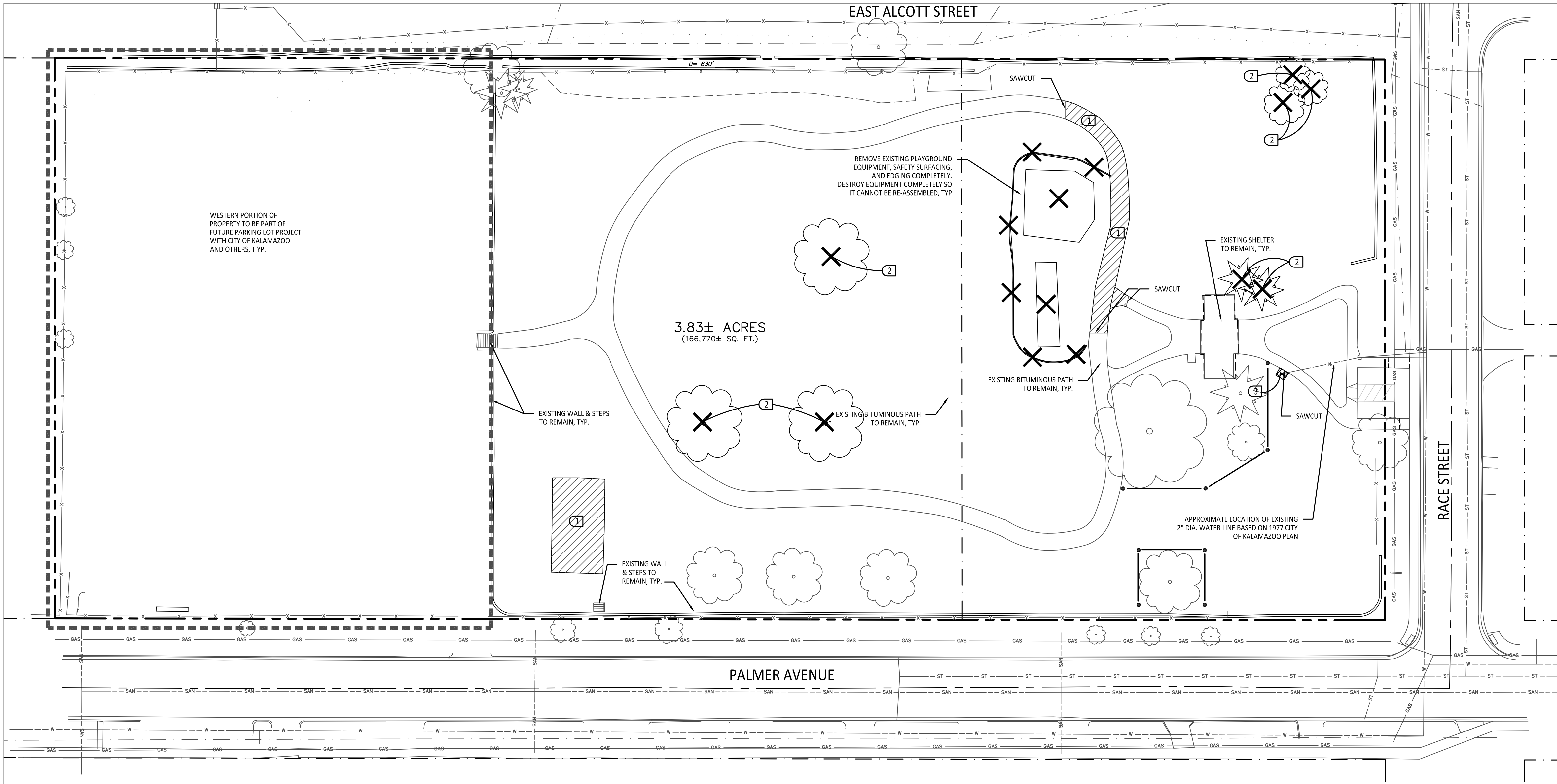
Kalamazoo, Michigan

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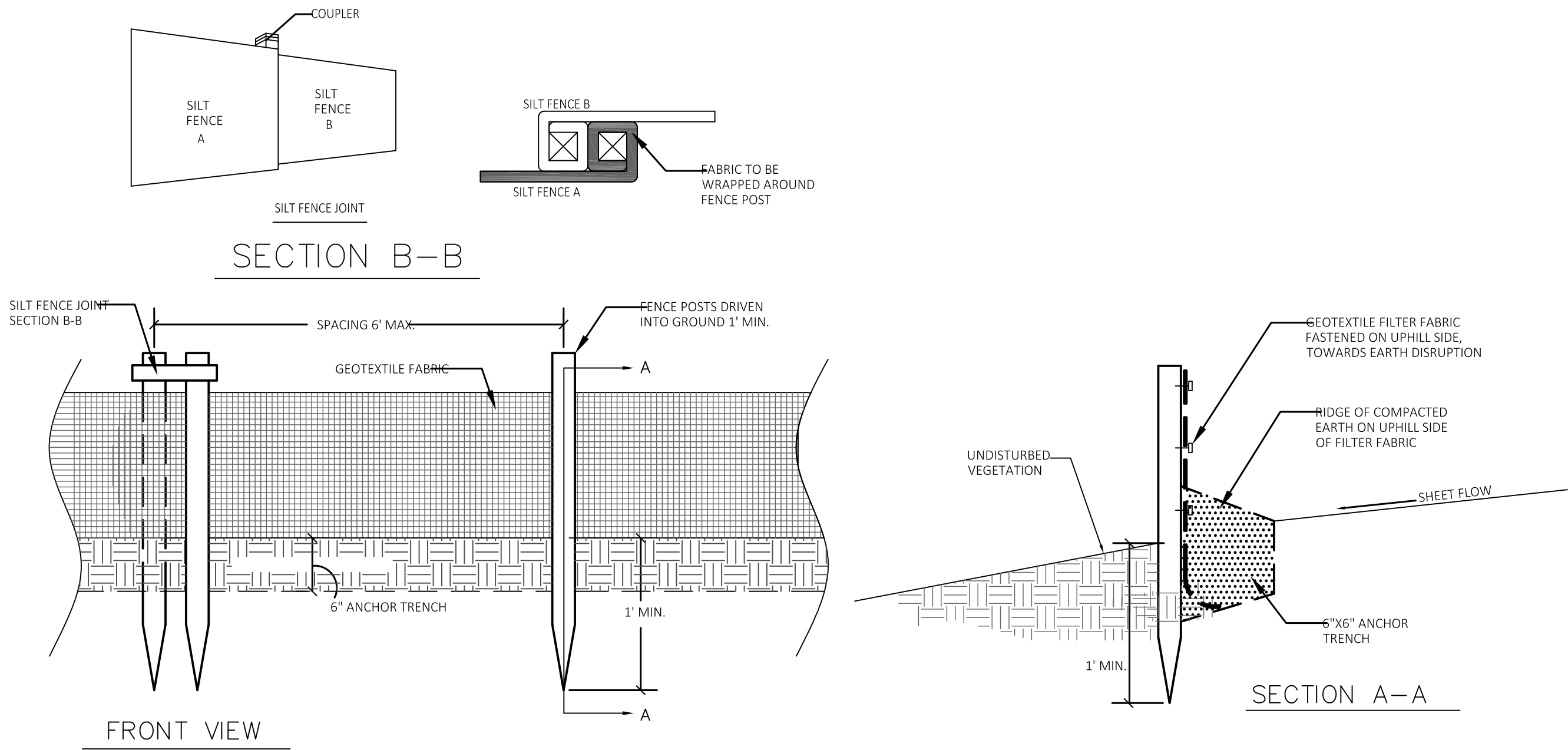
Cover Sheet

Job No. Sheet No.

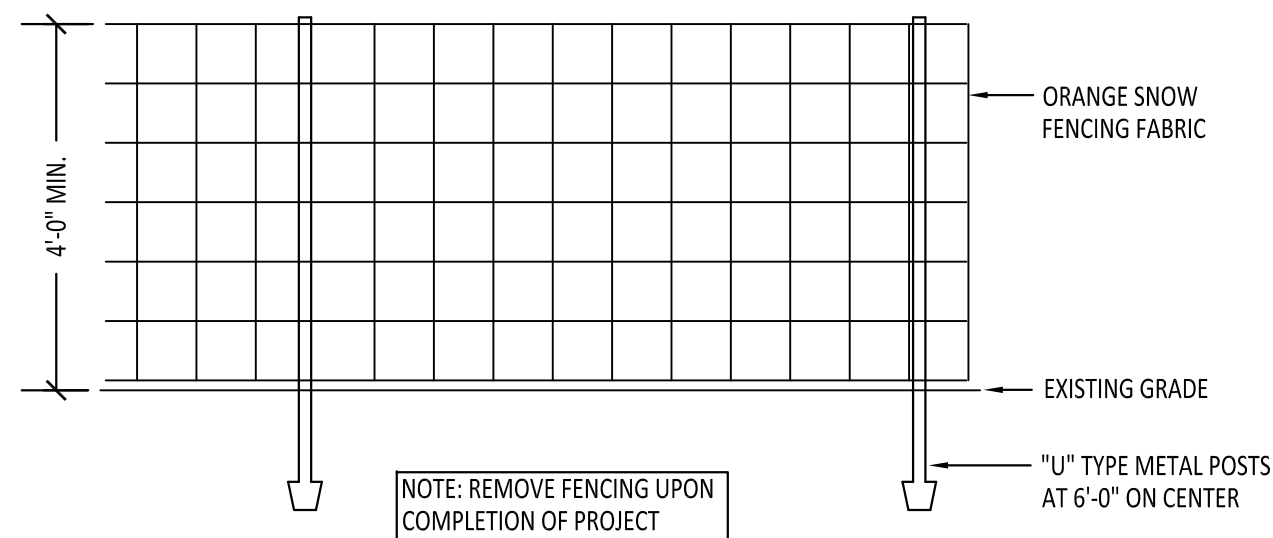
052303 C0.0



1 Overall Demolition Plan
Scale: 1"=30'-0"



2 Silt Fence Detail
Not To Scale



3 Tree Protection Fencing Detail
Not To Scale

DEMOLITION NOTES:

1. SURVEY OF EXISTING CONDITIONS PROVIDED BY DRIESENGA & ASSOCIATES, INC., 552 SOUTH 8TH STREET, KALAMAZOO, MICHIGAN, 49009, (269)544-1455.
2. VERIFY LOCATIONS OF ALL BELOW GRADE UTILITIES PRIOR TO BEGINNING WORK. 72 HOURS BEFORE YOU DIG CALL "MISS DIG" AT 1-800-482-7171.
3. PROTECT ALL TREES & EXISTING FEATURES TO REMAIN AS SPECIFIED.
4. REFER TO LAYOUT PLAN FOR LIMITS OF WORK.
5. DISCREPANCIES BETWEEN SITE AND PLANS SHOULD BE REPORTED TO THE PROJECT MANAGER IMMEDIATELY.
6. ALL AREAS OF TREE CLEARING SHALL BE STAKED FOR ARCHITECT'S APPROVAL PRIOR TO CLEARING.
7. ALL TOPSOIL AND EXCESS FILL MATERIAL SHALL BE STOCKPILED ON SITE SEPARATELY FOR LATER RE-USE. LOCATE STOCKPILES IN AREAS AS DIRECTED BY CONSTRUCTION MANAGER AND PROTECT FROM EFFECTS OF EROSION.

DEMOLITION LEGEND:

- SAWCUT AND REMOVE BITUMINOUS PAVEMENT AND BASE
- SAW CUT REMOVE CONCRETE PAVEMENT AND SUBBASE
- REMOVE TREE
- REMOVE MISCELLANEOUS FEATURE AS NOTED
- TEMPORARY TREE PROTECTION FENCE, DETAIL 3/C1.0
- LIMIT OF WORK
- BOUNDARY OF FUTURE WORK

SITE DEMOLITION KEY

- 1 REMOVE EXISTING BITUMINOUS PAVING INCLUDING BASE.
- 2 REMOVE EXISTING TREE INCLUDING ALL ROOT SYSTEMS.
- 3 REMOVE EXISTING DRINKING FOUNTAIN
- 4 SAWCUT AND REMOVE EXISTING CONCRETE PAVING, INCLUDING SUB-BASE.

TREE DEMOLITION PLAN WAS APPROVED BY
CITY OF KALAMAZOO TREE COMMITTEE
ON SEPTEMBER 5, 2023.

TREE PROTECTION NOTES:

- PROVIDE AND MAINTAIN TEMPORARY TREE PROTECTION FENCING IN ALL LOCATIONS MARKED TO ANY WORK ON SITE (INCLUDING TOPSOIL STRIPPING OPERATIONS). REFER TO THE FOLLOWING NOTES AND THE SPECIFICATIONS FOR TREE PROTECTION REQUIREMENTS.
1. NO CONSTRUCTION OPERATIONS, EQUIPMENT, MATERIALS OR TOPSOIL SHALL BE ALLOWED WITHIN THE TREE PROTECTION AREAS.
 2. EXISTING GROUND COVER AND TOPSOIL SHALL NOT BE REMOVED FROM TREE PROTECTION AREAS DURING EARTHWORK PHASE.
 3. VEHICULAR TRAFFIC, PARKING, EQUIPMENT OR MATERIAL STORAGE MAY NOT OCCUR WITHIN THE TREE PROTECTION AREAS AT ANY TIME.
 4. NO EXCAVATION SHALL BE MADE WITHIN THE TREE PROTECTION AREAS EXCEPT AS NOTED OTHERWISE.

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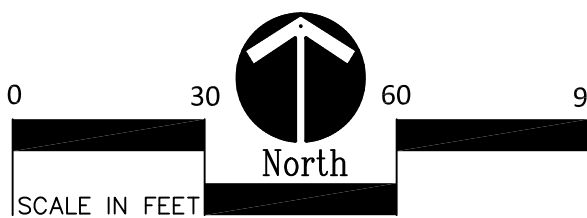
Project:

Southside Park - New Playground Improvements

Kalamazoo, Michigan

Sheet Title

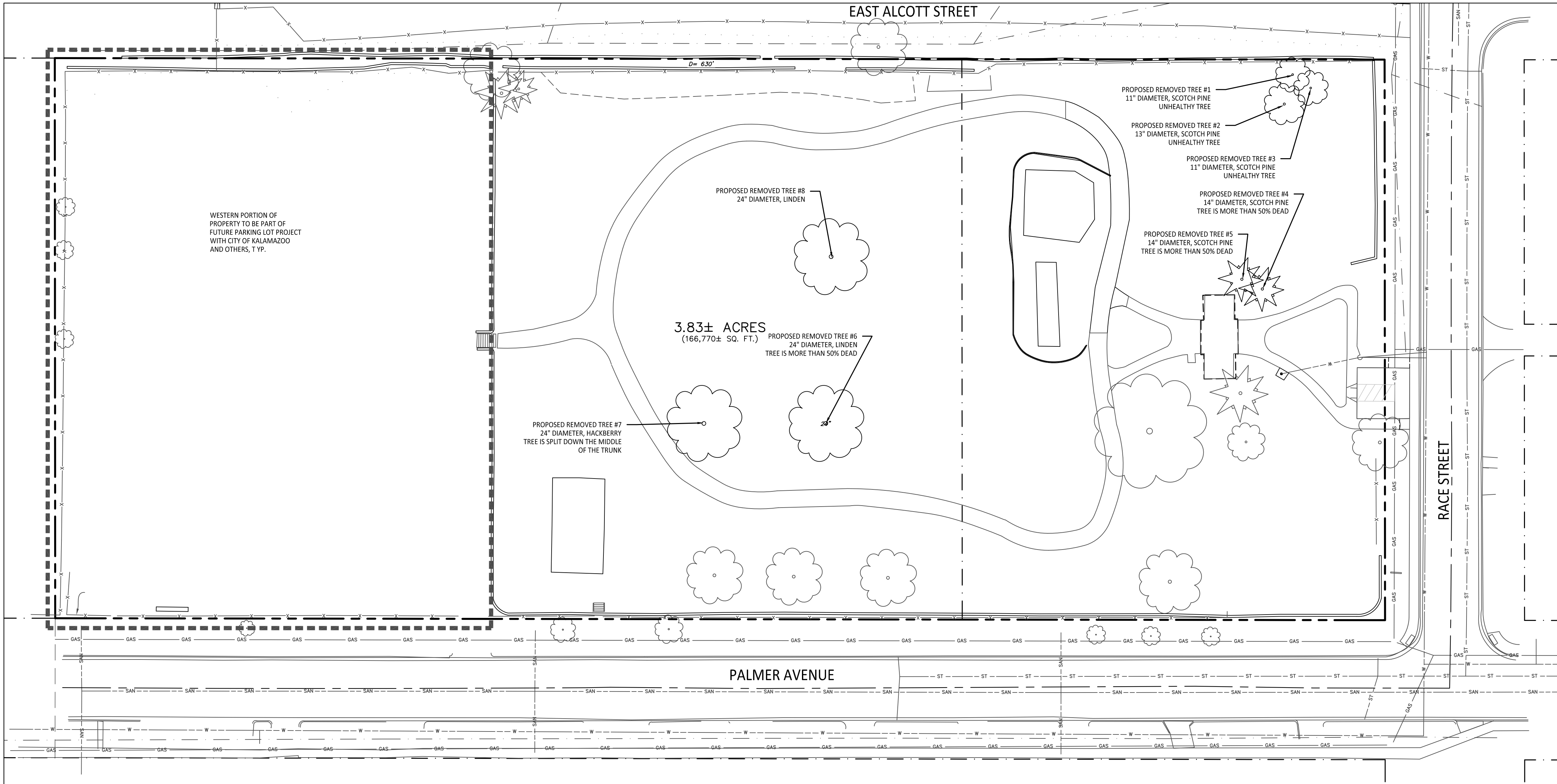
Overall Demolition Plan



Job No. Sheet No.

052303

C1.0



DEMOLITION NOTES:

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- 2. VERIFY LOCATIONS OF ALL BELOW GRADE UTILITIES PRIOR TO BEGINNING WORK. 72 HOURS BEFORE YOU DIG CALL "MISS DIG" AT 1-800-482-7171.
- 3. PROTECT ALL TREES & EXISTING FEATURES TO REMAIN AS SPECIFIED.
- 4. REFER TO LAYOUT PLAN FOR LIMITS OF WORK.
- 5. DISCREPANCIES BETWEEN SITE AND PLANS SHOULD BE REPORTED TO THE PROJECT MANAGER IMMEDIATELY.
- 6. ALL AREAS OF TREE CLEARING SHALL BE STAKED FOR ARCHITECT'S APPROVAL PRIOR TO CLEARING.
- 7. ALL TOPSOIL AND EXCESS FILL MATERIAL SHALL BE STOCKPILED ON SITE SEPARATELY FOR LATER RE-USE. LOCATE STOCKPILES IN AREAS AS DIRECTED BY CONSTRUCTION MANAGER AND PROTECT FROM EFFECTS OF EROSION.

TREE DEMOLITION PLAN WAS APPROVED
BY CITY OF KALAMAZOO TREE
COMMITTEE ON SEPTEMBER 5, 2023.

PROTECTED TREES TABLE:

TREE NUMBER	SPECIES NAME	DBH SIZE	CONDITION
TREE #6	TILIA AMERICANA	24"	> THAN 50% DEAD
TREE #7	CELTIS OCCIDENTALIS	24"	TRUNK HAS LARGE SPLIT
TREE #8	TILIA AMERICANA	24"	GOOD



350 East Michigan Avenue Suite #415
Kalamazoo Michigan 49007
Phone (269) 381-3357
Fax (269) 381-2944

Landscape Architecture
Urban Planning
Parks & Recreation
Campus & Institutional Planning
Camp Planning & Design

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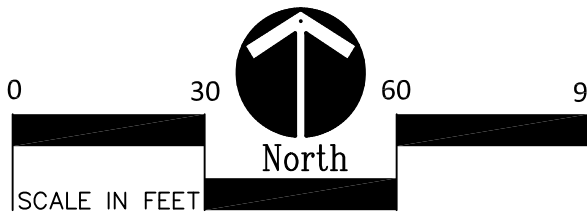
Project:

Southside Park -
New Playground
Improvements

Kalamazoo, Michigan

Sheet Title

Tree Committee
Demolition Plan



Job No. Sheet No.

052303 C1.1

1 Tree Committee Demolition Plan

Scale: 1"=30'-0"



Trees #1, #2, and #3



Trees #4 and #5



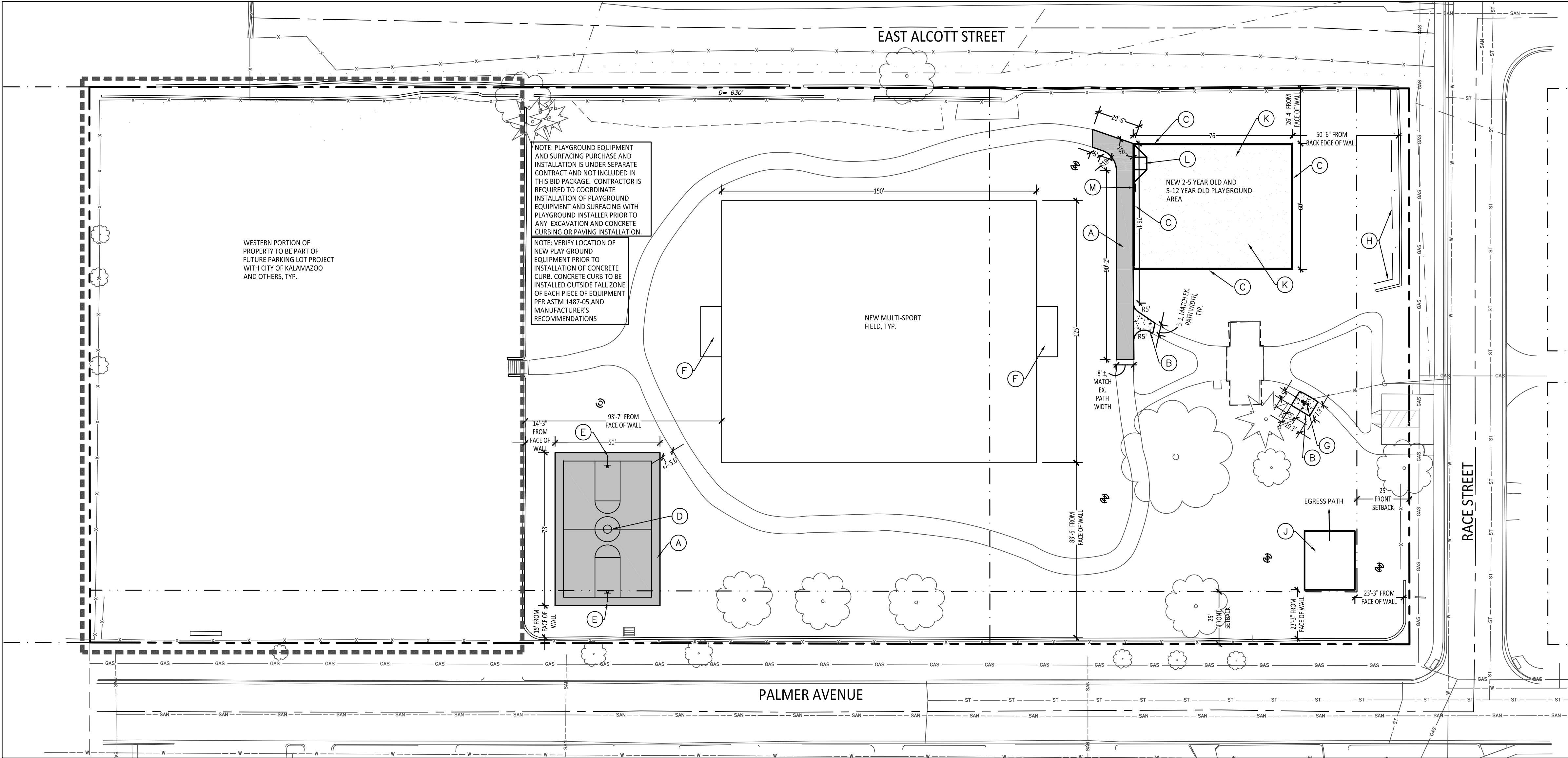
Tree #6



Tree #7



Tree #8



1 Overall Layout Plan
Scale: 1"=30'-0"

- LAYOUT NOTES:**
1. SURVEY OF EXISTING CONDITIONS PROVIDED BY DRIESEN & ASSOCIATES, INC., 552 SOUTH 8TH STREET, KALAMAZOO, MICHIGAN 49009, (269)544-1455.
 2. PAVEMENT DIMENSIONS AND RADI ARE TO EDGE OF PAVEMENT OR BACK OF CURB.
 3. DISCREPANCIES BETWEEN SITE AND PLANS SHOULD BE REPORTED TO THE PROJECT MANAGER IMMEDIATELY.
 4. VERIFY LOCATIONS OF ALL BELOW GRADE UTILITIES PRIOR TO BEGINNING WORK. 72 HOURS BEFORE YOU DIG CALL "MISS DIG" AT 1-800-482-7171.
 5. PROVIDE BARRIER FREE PARKING SIGNS FOR ALL BARRIER FREE PARKING SPACES. ALL SIGNS TO COMPLY WITH THE MDT MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
 6. SITE LAYOUT POINTS SHOULD BE ESTABLISHED AND PROTECTED FOR FUTURE SITE WORK.

- BARRIER-FREE NOTES**
- BARRIER-FREE PARKING AND ACCESSIBLE ROUTE(S) MUST COMPLY WITH THE AMERICANS WITH DISABILITIES ACT AND MICHIGAN BARRIER-FREE CODE REQUIREMENTS, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
- 1:50 (2%) MAXIMUM CROSS-SLOPE ON ACCESSIBLE ROUTE.
 - NO CHANGES IN LEVEL GREATER THAN 1/2" ALONG ACCESSIBLE ROUTE.
 - 1:20 (5%) MAXIMUM LONGITUDINAL SLOPE ON ACCESSIBLE ROUTE (EXCEPT WHERE RAMP ARE PROVIDED).
 - 1:50 (2%) MAXIMUM SLOPE (IN ANY DIRECTION) IN B.F. PARKING AND ACCESS AISLES.

OCBA
LANDSCAPE ARCHITECTS

350 East Michigan Avenue Suite #415
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Campus & Institutional Planning
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PROPOSED FEATURES LEGEND:

SYMBOL	DESCRIPTION	
	BITUMINOUS PAVING - PLAY	
	CONCRETE PAVING	
	RESILIENT SAFETY SURFACING	
	LIMIT OF WORK	
	FUTURE WORK	
KEY	DESCRIPTION	DETAIL
A	BITUMINOUS PAVING - PLAY	1 / C4.0
B	CONCRETE PAVING	2 / C4.0
C	STRAIGHT CONCRETE EDGE RESTRAINT	3 / C4.0
D	BASKETBALL COURT LAYOUT PAINT GRAPHICS	9 & 10 / C4.0
E	BASKETBALL POST FOOTING	7 / C4.0
F	PORTABLE SOCCER GOAL	SEE SPECS.
G	DRINKING FOUNTAIN	5 / C4.0
H	WOOD SPLIT RAIL FENCING	8 / C4.0
J	24' x 28' PRE-FABRICATED STORAGE STRUCTURE	SEE SPECS.
K	RESILIENT SAFETY SURFACING	BY OTHERS
L	PLAY ACCESS RAMP	4 / C4.0
M	COMMUNICATION BOARD	6 / C4.0

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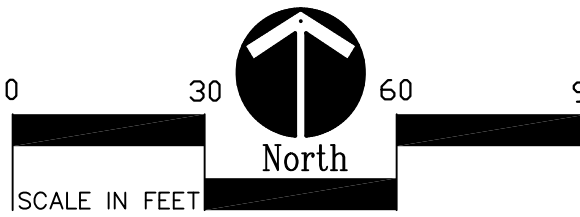
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Project:

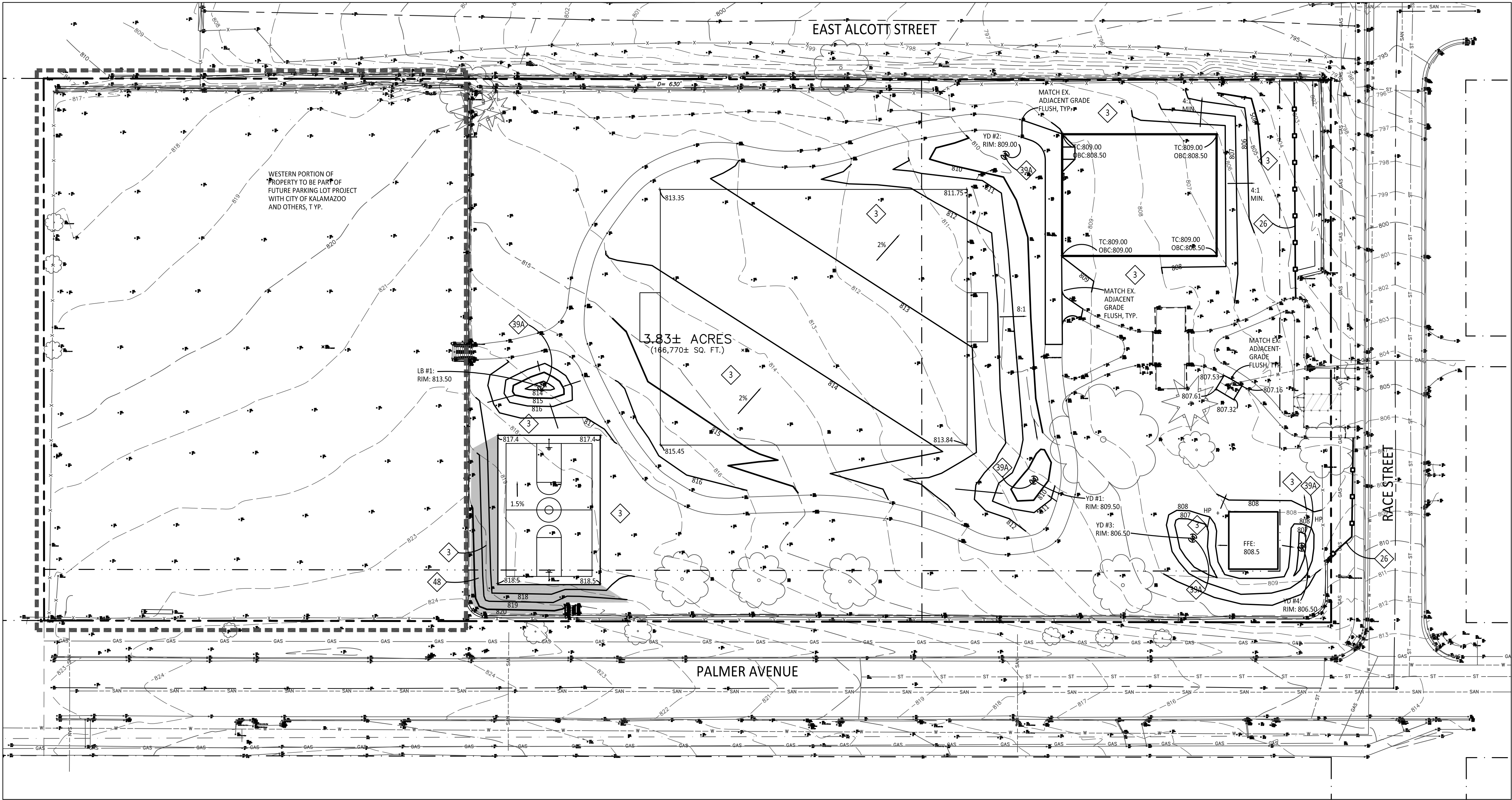
**Southside Park -
New Playground
Improvements**

Kalamazoo, Michigan
Sheet Title

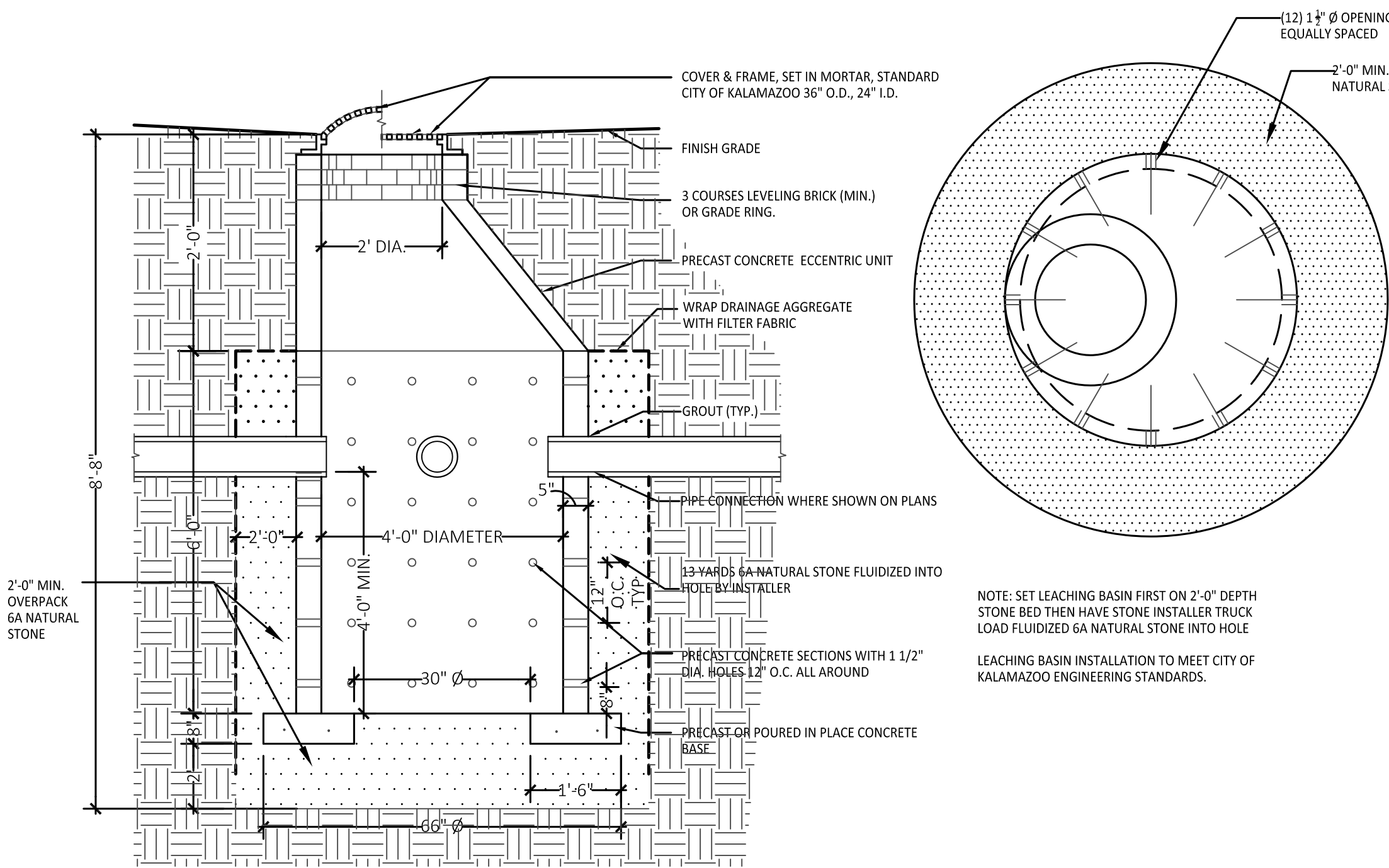
**Overall
Layout Plan**



Job No. Sheet No.



1 Overall Grading + SESC Plan
Scale: 1"=30'-0"



2 48" Dia. Precast Concrete Leaching Basin Detail

STORM STRUCTURE SCHEDULE :

STORM STRUCTURE SYSTEM STRUCTURE SUMMARY						
PROPOSED STRUCTURE #	DIAMETER	RIM TYPE	RIM ELEVATION AT FLOW LINE	INVERT ELEVATION	INVERT DIRECTION	COMMENTS
LB #1	4'	LAW 600B-0	813.50			
YD #1	2'	LAW 600B-0	809.50			
YD #2	2'	LAW 600B-0	809.50			
YD #3	2'	LAW 600B-0	806.50			
YD #4	2'	LAW 600B-0	806.50			

NOTE: SQUARE CURB STRUCTURES NORTHING AND EASTING ARE AT MID STRUCTURE AT BACK OF CURB.
NOTE: STORM WATER TREATMENT BASINS SHALL BE "STORMCCEPTER" (BY CSR AMERICA) OR EQUIVALENT.
STORM WATER TREATMENT BASINS SHALL BE INSPECTED AND MAINTAINED AS REQUIRED.

EROSION CONTROL TIMELINE

ITEM	DESCRIPTION	APPROXIMATE TIME FRAME	NOTES:
1.	INSTALL SILT FENCING / PERIMETER EROSION CONTROL STRIP & STOCKPILE TOPSOIL	SPRING '24	1. CONTRACTOR SHALL MONITOR AND MAINTAIN ALL EROSION CONTROL DEVICES THROUGHOUT THE CONSTRUCTION PERIOD.
2.	INSTALL STORM SEWER STRUCTURES AND PIPING	SPRING '24	
3.	INSTALL INLET SEDIMENT FILTERS AT CATCH BASINS	SPRING '24	2. ADDITIONAL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED AS REQUIRED TO MINIMIZE SILT LEAVING THE CONSTRUCTION SITE.
4.	INSTALL PAVEMENT SUB-BASE	SPRING '24	
5.	INSTALL TEMPORARY STABILIZATION SEEDING	SUMMER '24	
6.	INSTALL LEVELING COURSE OF PAVING	SUMMER '24	
7.	INSTALL WEARING COURSE OF PAVING	SUMMER '24	
8.	FINISH GRADE AND SEED / STABILIZE ALL AREAS	FALL '24	

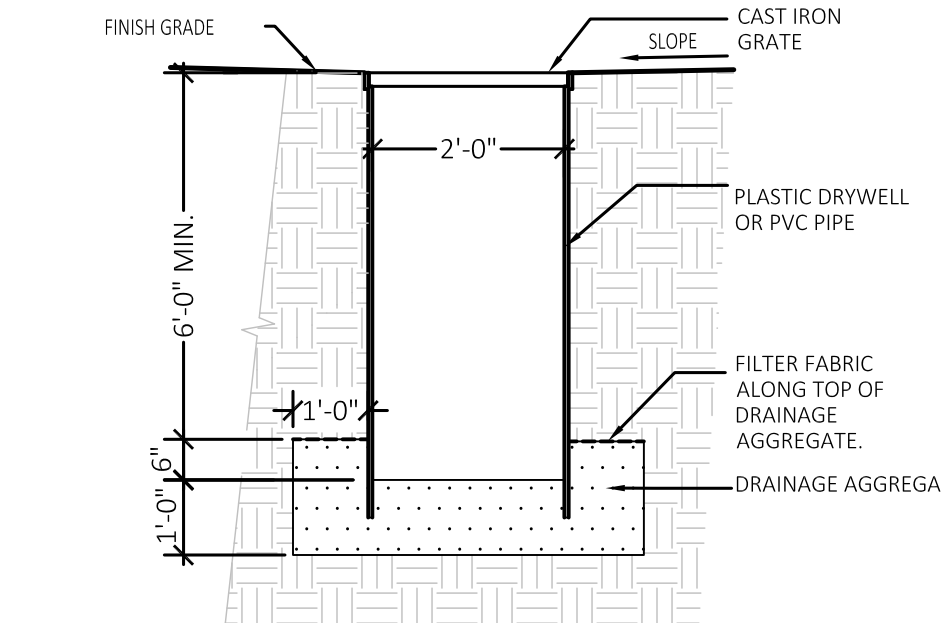
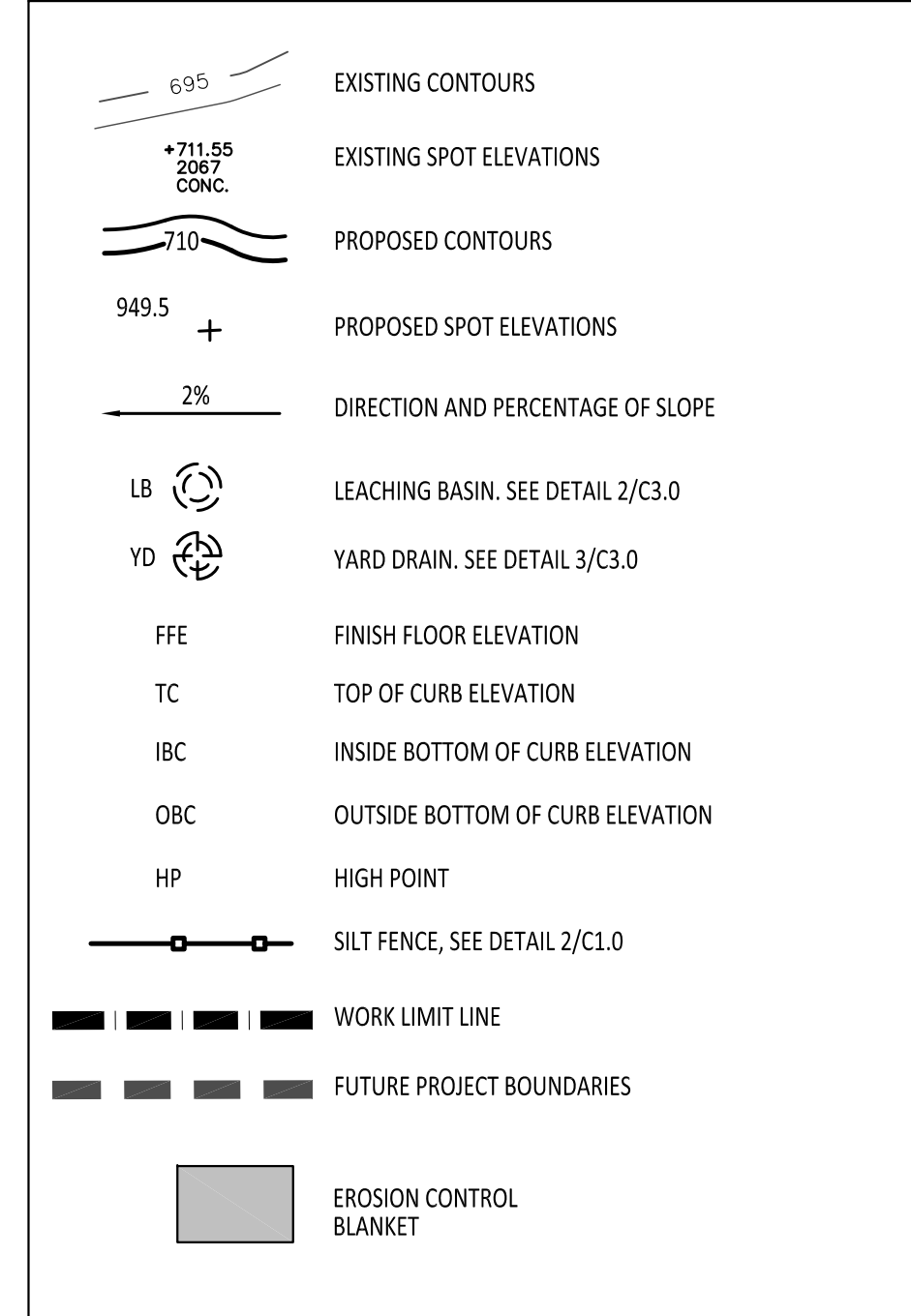
EROSION CONTROL REQUIREMENTS:

ALL CONSTRUCTION SHALL COMPLY WITH THE SOIL EROSION AND SEDIMENTATION CONTROL ACT (P.A. 347 OF 1972, AS AMENDED) AS ADMINISTERED BY CITY OF KALAMAZOO AND KALAMAZOO COUNTY. THE FOLLOWING EROSION CONTROL DEVICES ARE REFERENCED IN THE STANDARD EROSION CONTROL HANDBOOK PUBLISHED BY THE MICHIGAN DEPARTMENT OF TRANSPORTATION. (MDOT DRAWING R-96-C, 8-9-2001)					
ALL TEMPORARY EROSION CONTROL DEVICES SHALL BE REMOVED AT THE END OF CONSTRUCTION. TEMPORARY EROSION CONTROL DEVICES SHOULD BE IN PLACE PRIOR TO EXCAVATION, TO THE EXTENT POSSIBLE.					
KEY	DESCRIPTION	TEMPORARY / PERMANENT	KEY	DESCRIPTION	TEMPORARY / PERMANENT
3	PERMANENT/TEMPORARY SEEDING	P	39A	INLET PROTECTION FABRIC DROP	T
26	GEOTEXTILE SILT FENCE	T	48	MULCH BLANKETS	P

GRADING NOTES:

1. SURVEY OF EXISTING CONDITIONS PROVIDED BY DRIESENGA & ASSOCIATES, INC., 552 SOUTH 8TH STREET, KALAMAZOO, MICHIGAN 49009, (269)544-1455.
2. VERIFY LOCATIONS OF ALL BELOW GRADE UTILITIES PRIOR TO BEGINNING WORK. 72 HOURS BEFORE YOU DIG CALL "MISS DIG" AT 1-800-482-7171.
3. ALL NEW PAVEMENTS AND TURF AREAS ARE INTENDED TO DRAIN FREELY WITH NO PONDING. IF THIS CANNOT BE ACHIEVED USING THE PROPOSED GRADES, NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY FOR RESOLUTION.
4. ALL NEW PAVEMENT ELEVATIONS AT EXTERIOR DOORS SHALL MATCH EXISTING FINISH FLOOR ELEVATIONS, TYPICAL.
5. FINISH GRADE SLOPE AT ALL BARRIER FREE PARKING SPACES AND ACCESS AISLES SHALL NOT EXCEED 2% IN ALL DIRECTIONS, TYPICAL.
6. ADJUST TOP OF EXISTING MANHOLES, CATCH BASINS, VAULT COVERS, ETC. TO NEW FINISH GRADE AS REQUIRED.
7. SEE SITE MECHANICAL AND SITE ELECTRICAL PLANS FOR ALL ADDITIONAL SITE UTILITY DEMOLITION AND CONSTRUCTION.

PROPOSED FEATURES LEGEND:



3 24" Plastic Yard Drain
Not to Scale

IMPORTANT NOTE

GENERAL EARTHWORK NOTE:

THE CONTRACTOR SHALL BALANCE CUT AND FILL VOLUMES ON SITE. IF THE CONTRACTOR DETERMINES THAT CUT AND FILL VOLUMES DO NOT BALANCE USING THE GRADES SHOWN ON THIS PLAN, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER AND LANDSCAPE ARCHITECT OF THE EXTENT OF THE IMBALANCE. IF NECESSARY, THE LANDSCAPE ARCHITECT WILL RAISE / LOWER THE DESIGN GRADES OR REVISE PORTIONS OF THE GRADING TO ACHIEVE AN EARTHWORK BALANCE AT NO ADDITIONAL COST TO THE OWNER.

IMPORTANT NOTE

IT IS THE CONTRACTOR'S RESPONSIBILITY TO BALANCE THE CUT AND FILL VOLUMES ON SITE. NO CONTRACT COST ADJUSTMENTS WILL BE CONSIDERED FOR WORK REQUIRED TO BALANCE EARTHWORK QUANTITIES. UNSUITABLE SOILS ENCOUNTERED BELOW PLAN SUBGRADE ELEVATIONS WILL BE PAID FOR ACCORDING TO THE CONTRACT PROVISIONS FOR CHANGES IN THE WORK.

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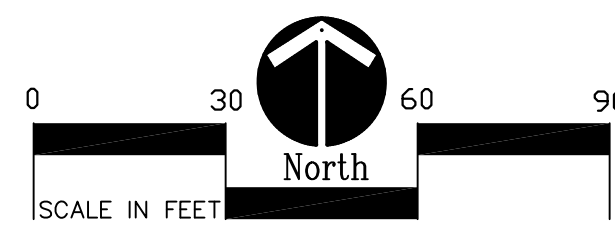
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Overall Grading + SESC Plan



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Project:

Southside Park - New Playground Improvements

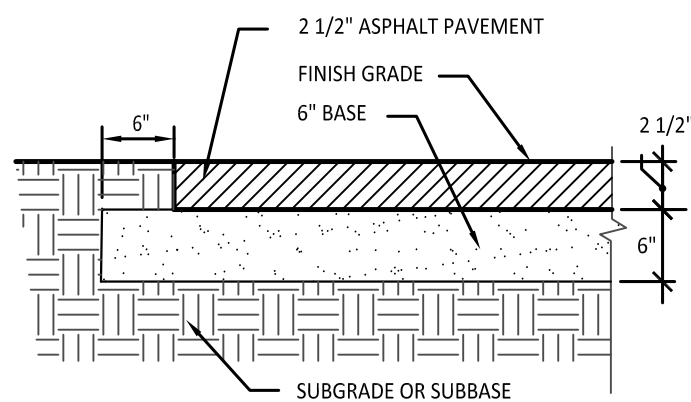
Kalamazoo, Michigan

Sheet Title

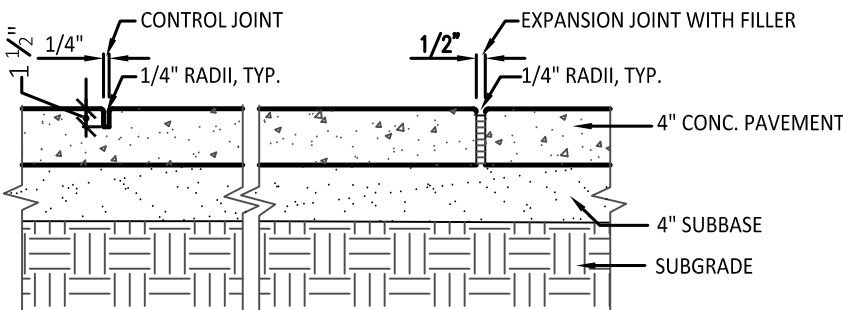
Details

Job No. Sheet No.

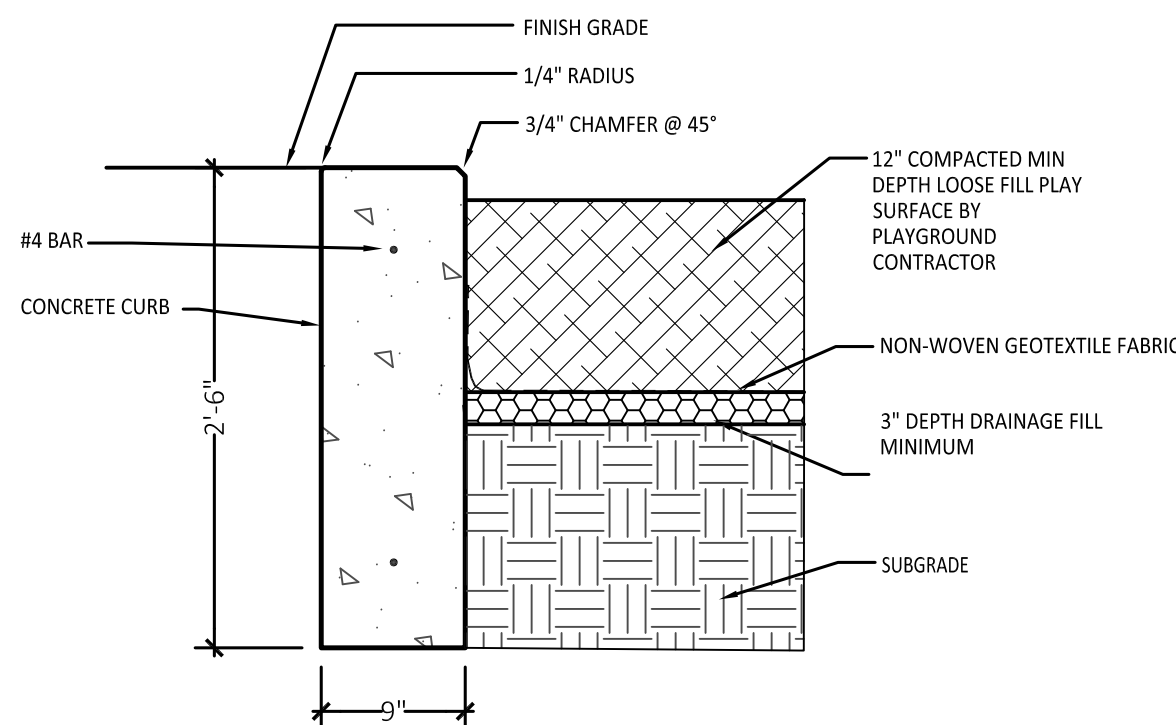
052303 C4.0



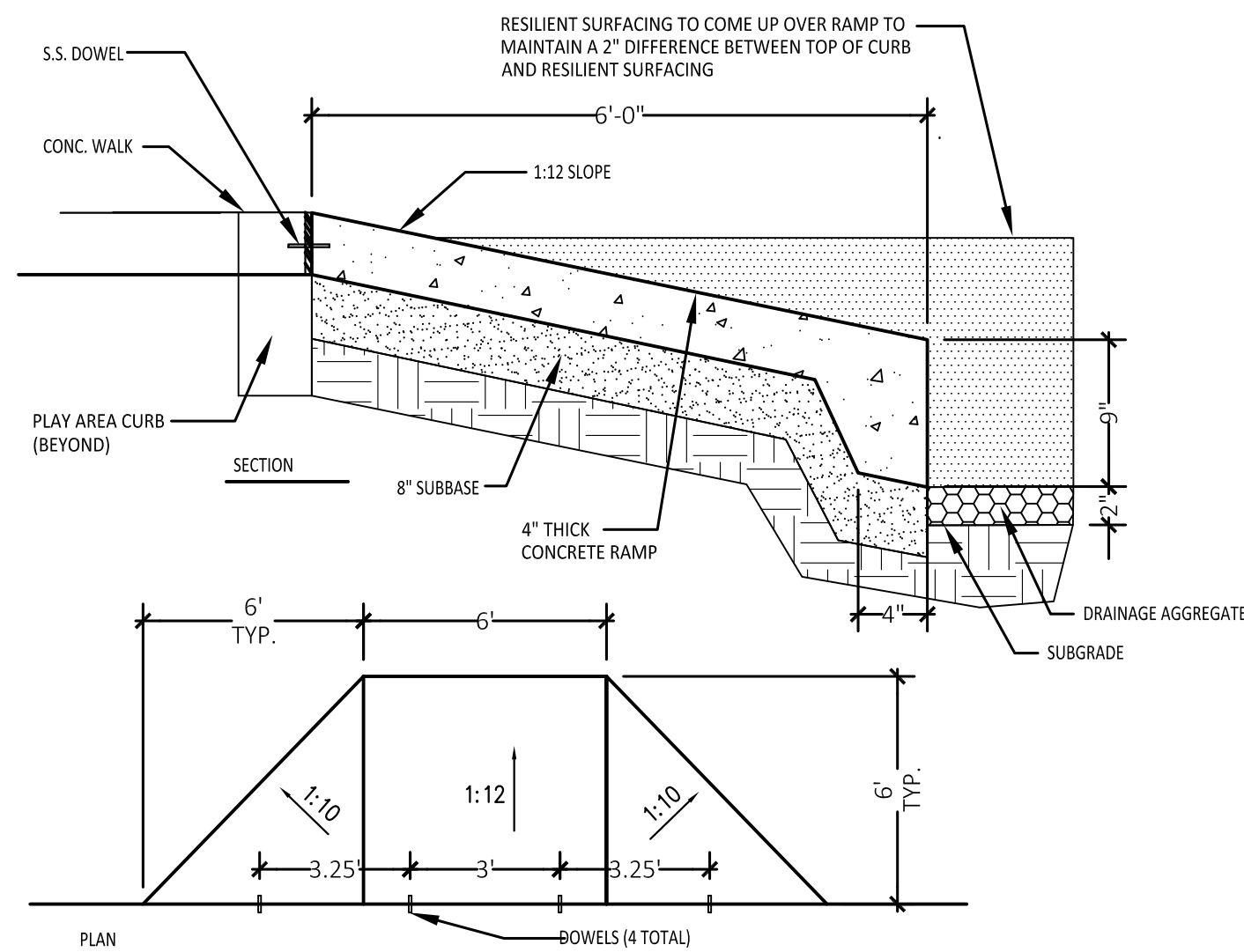
1 Section-Bituminous Paving - Play
Not To Scale



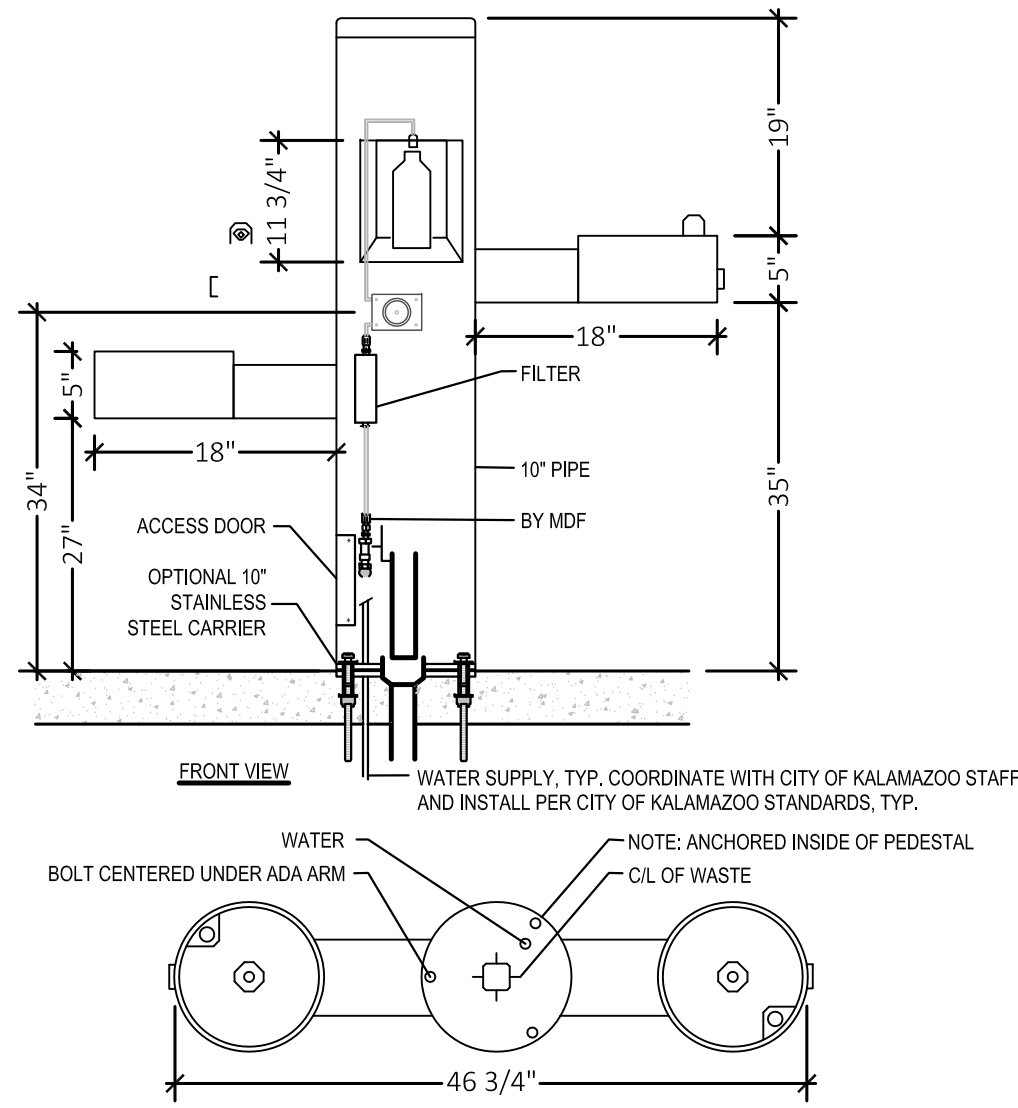
2 Section-Conc. Paving & Jointing
Not To Scale



3 Straight Concrete Edge Restraint Curb Detail
Not To Scale

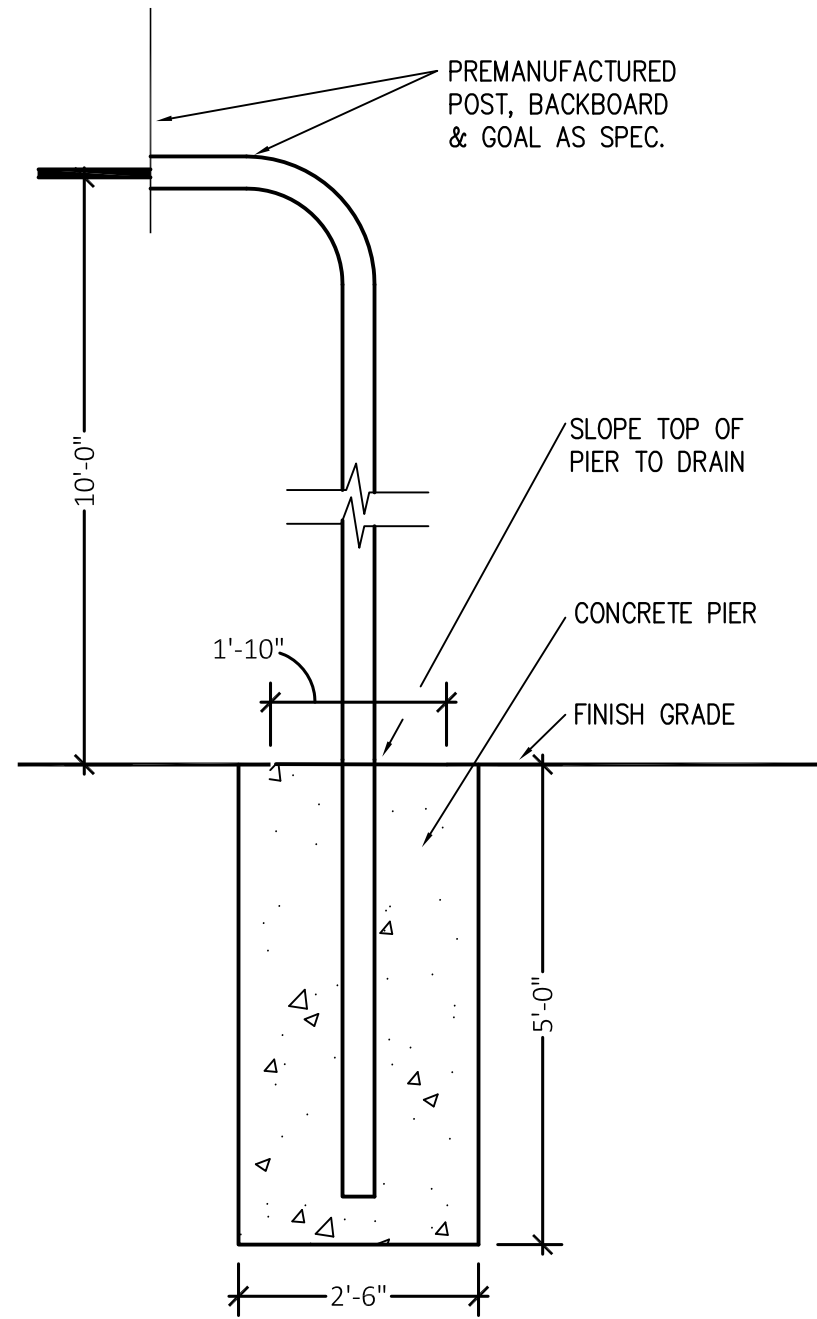


4 Access Ramp to Play Areas Detail
Not To Scale

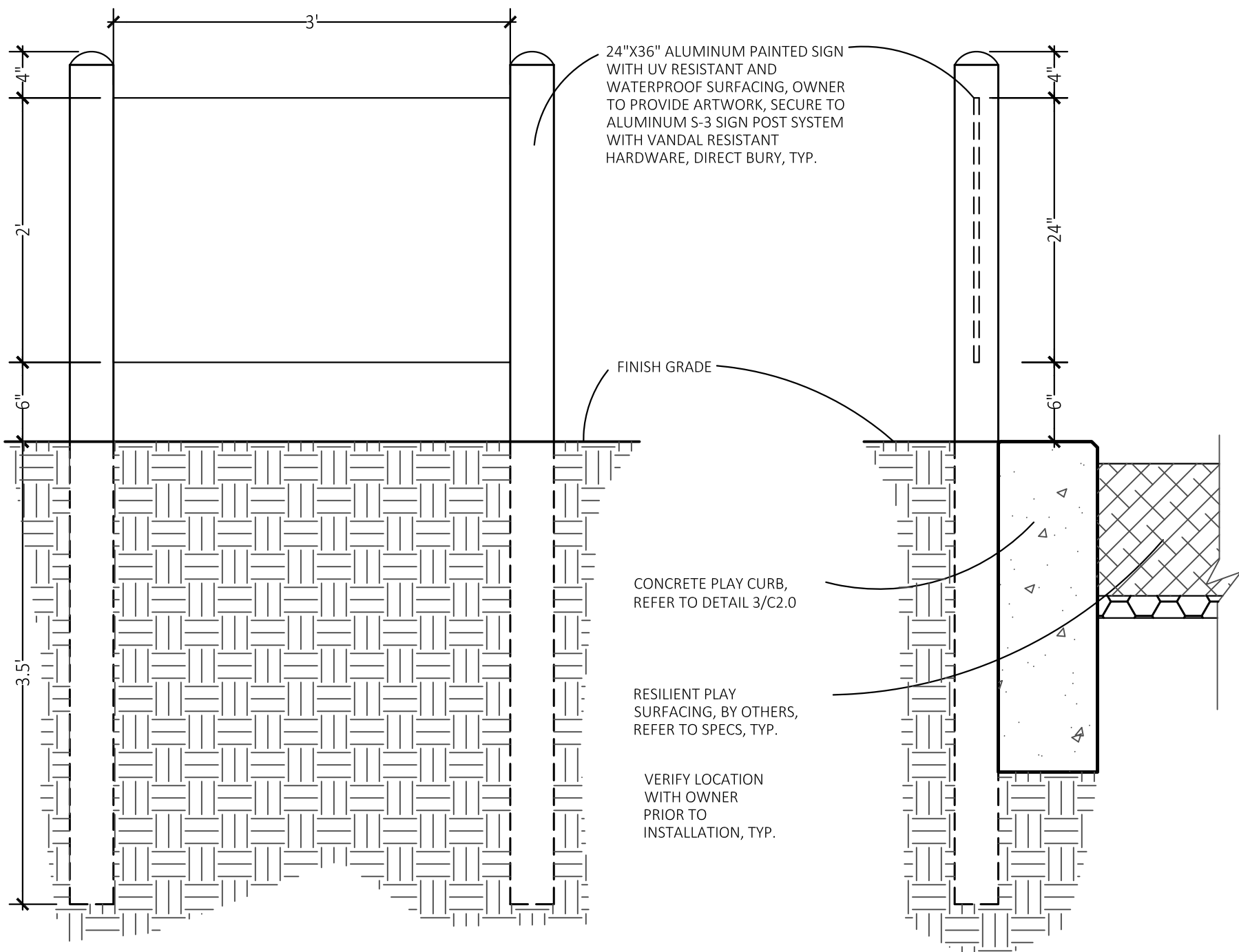


- NOTES:
1. OPTIONAL STAINLESS STEEL SURFACE CARRIER RECOMMENDED.
 2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 3. DO NOT SCALE DRAWING.
 4. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
 5. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
 6. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetails.com/info AND ENTER REFERENCE NUMBER 3354-17.8.

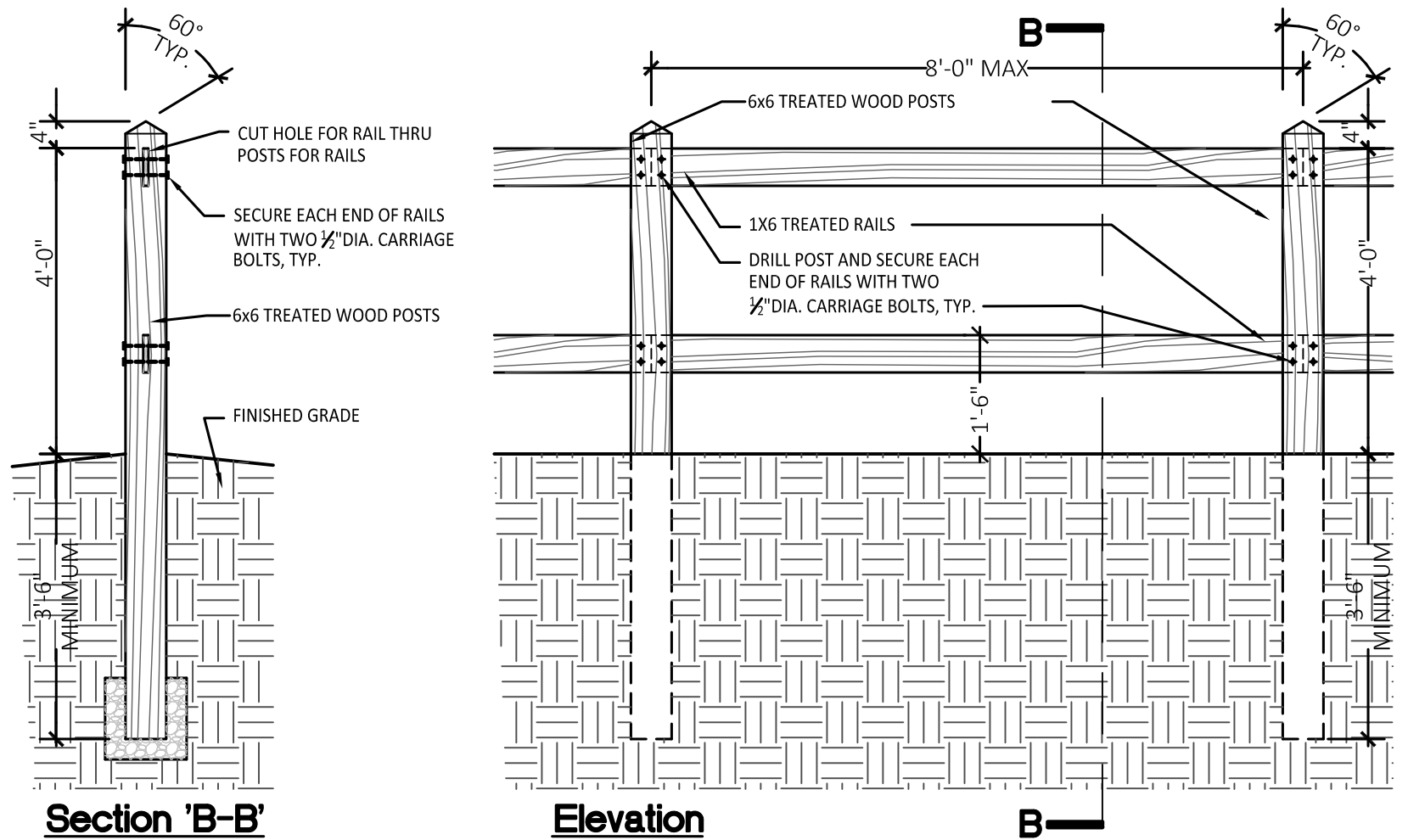
5 Drinking Fountain Detail
Not To Scale



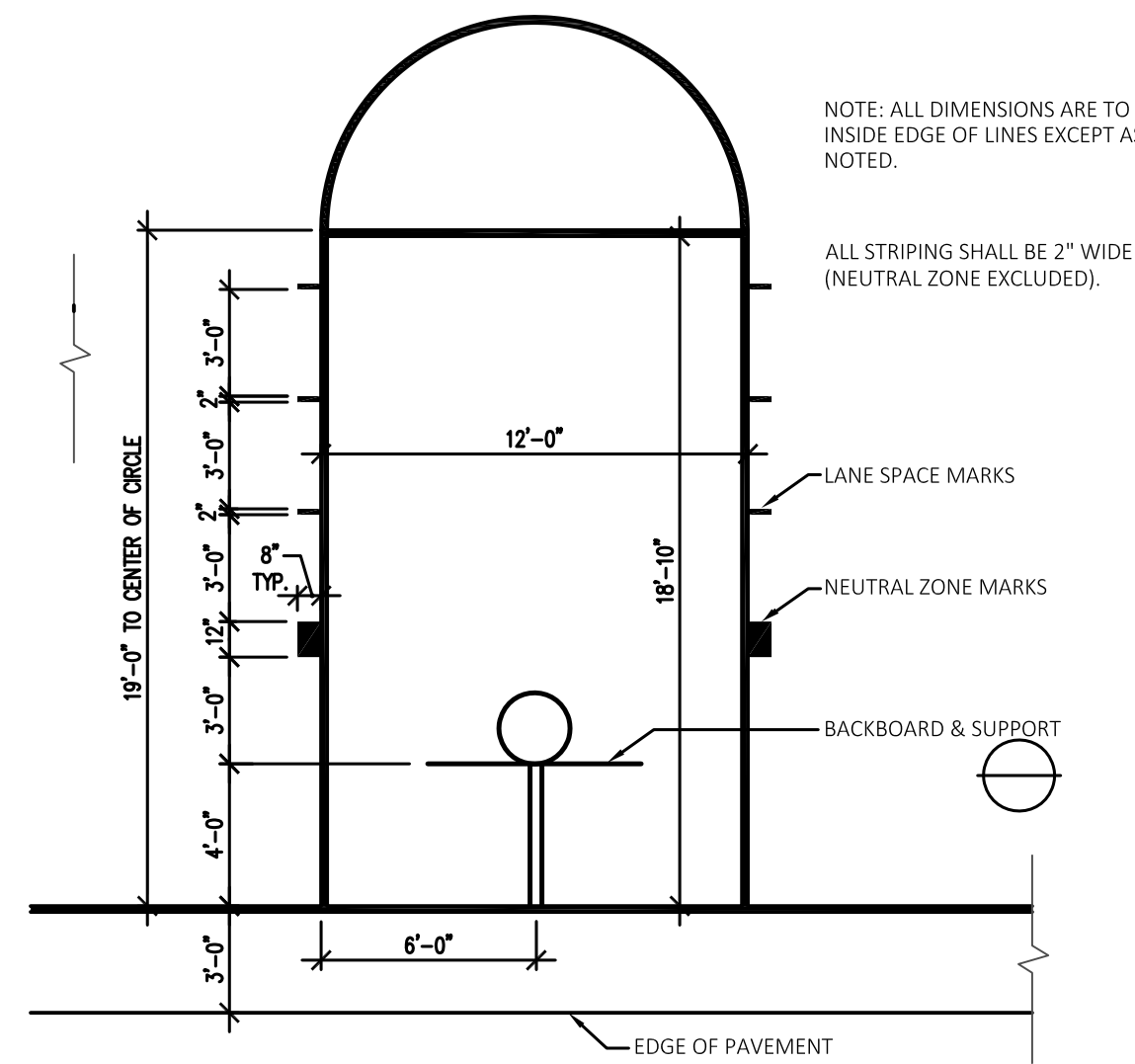
7 Basketball Post Footing Detail
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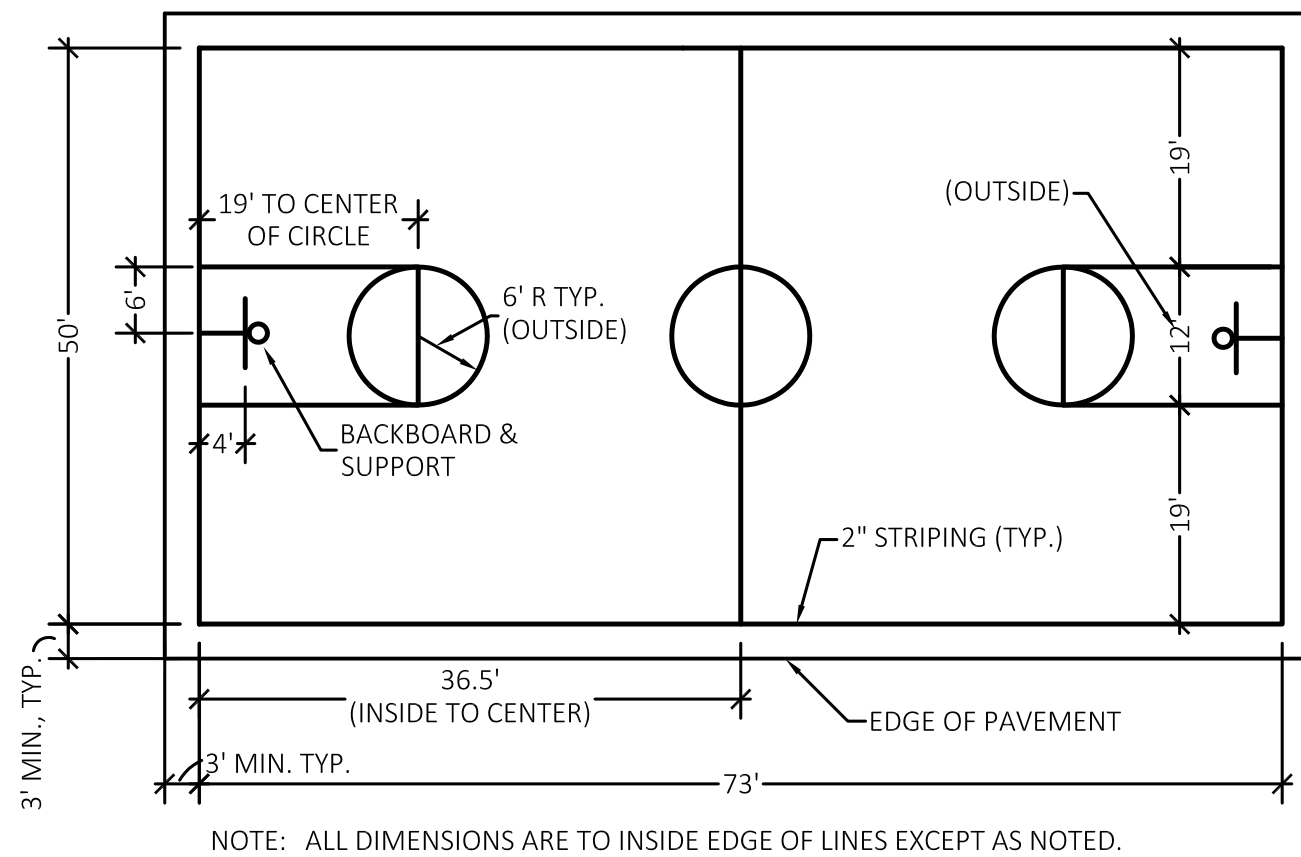
6 Detail - Communication Board
Not To Scale



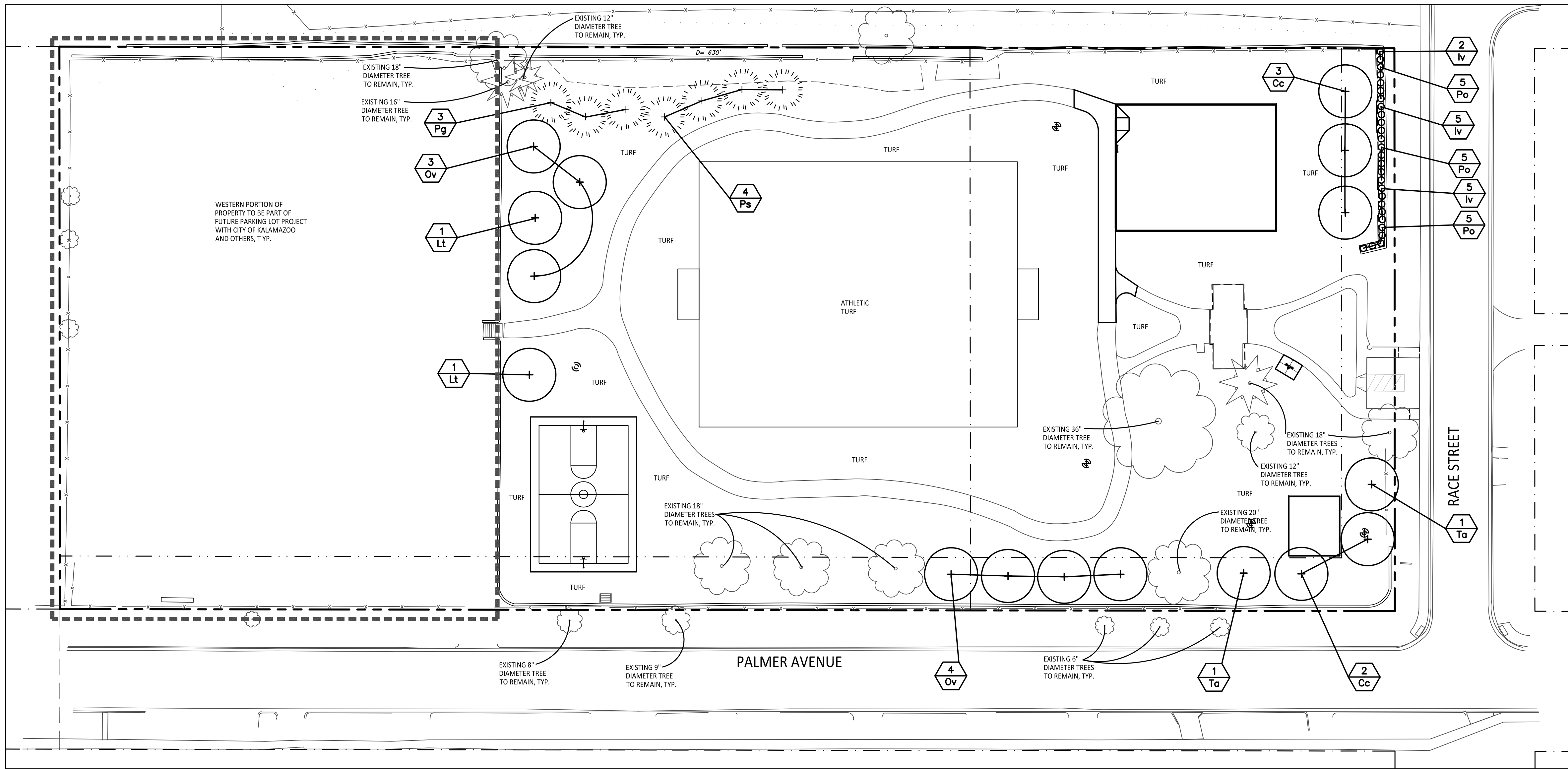
8 Detail - Split Rail Fence
Not To Scale



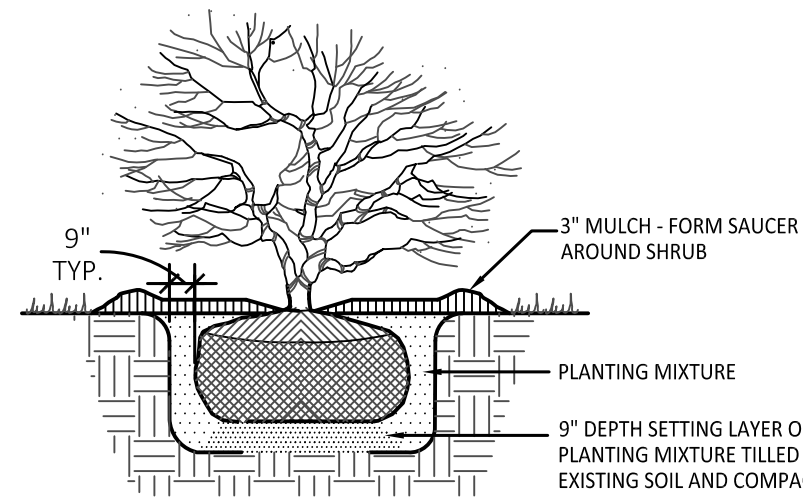
9 Basketball Lane Layout
Not To Scale



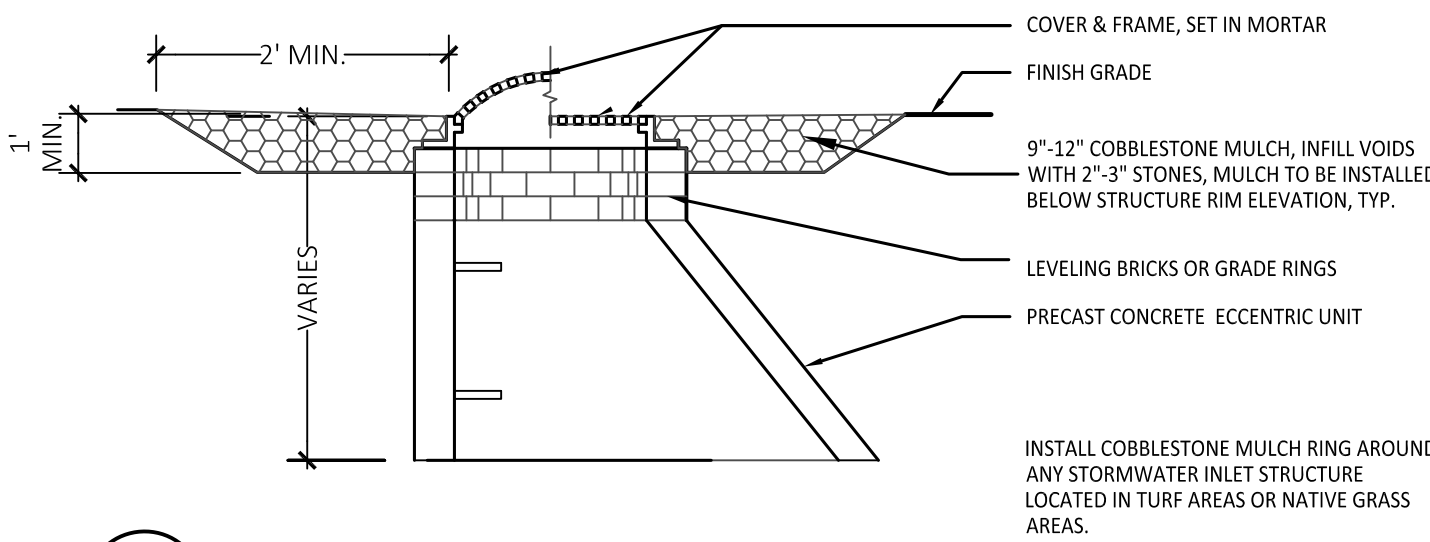
10 Basketball Court Layout
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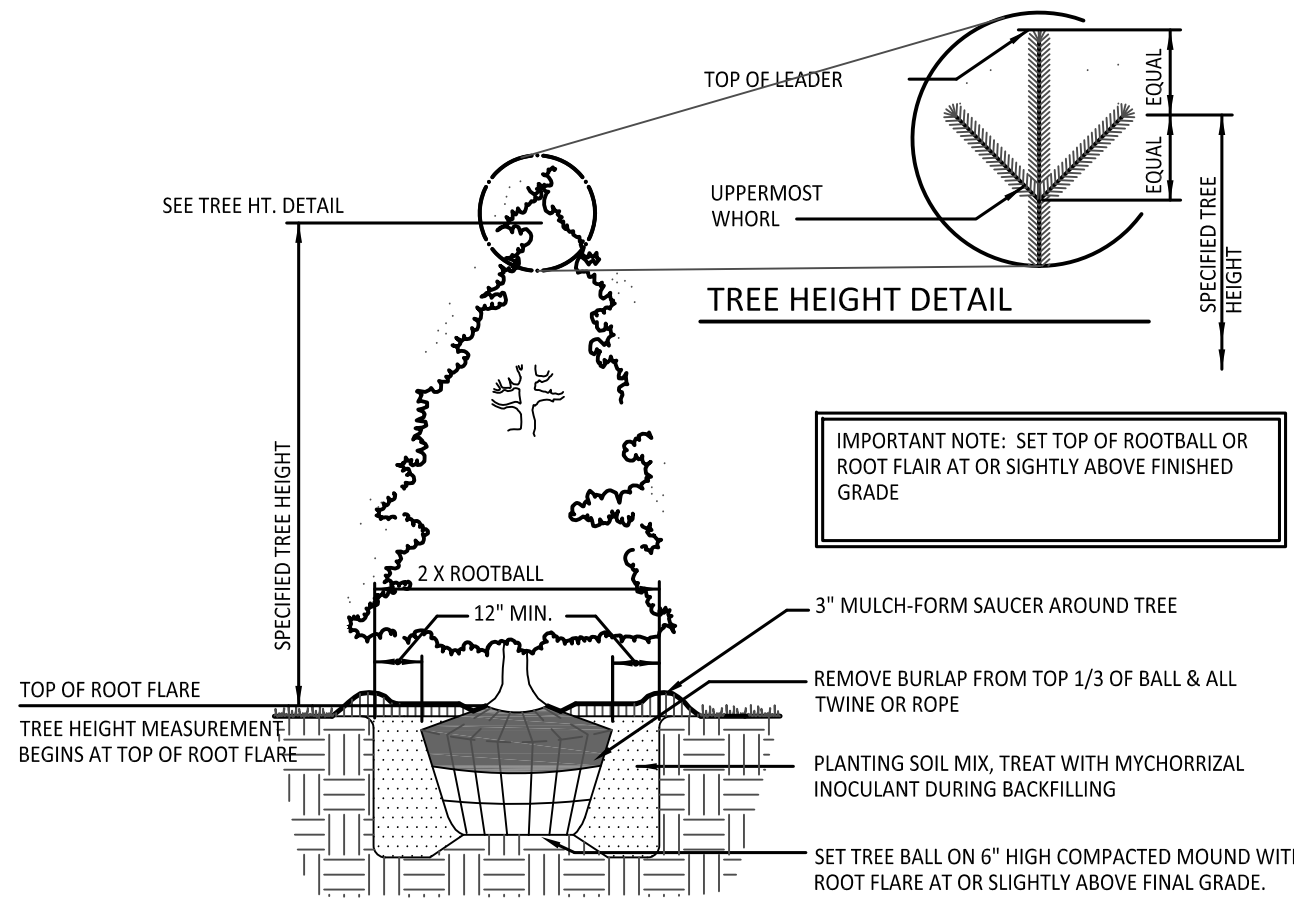
1 Overall Landscape Plan
Scale: 1"=30'-0"



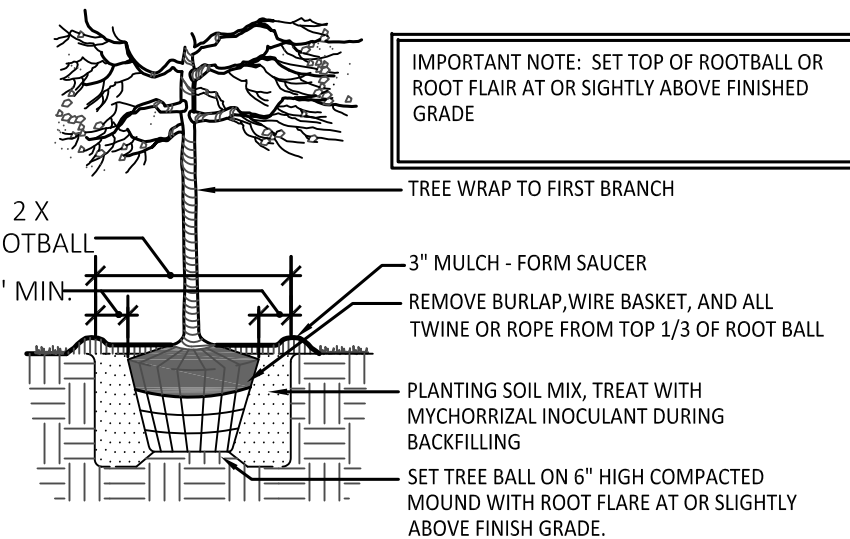
2 Shrub Planting Detail
Not To Scale



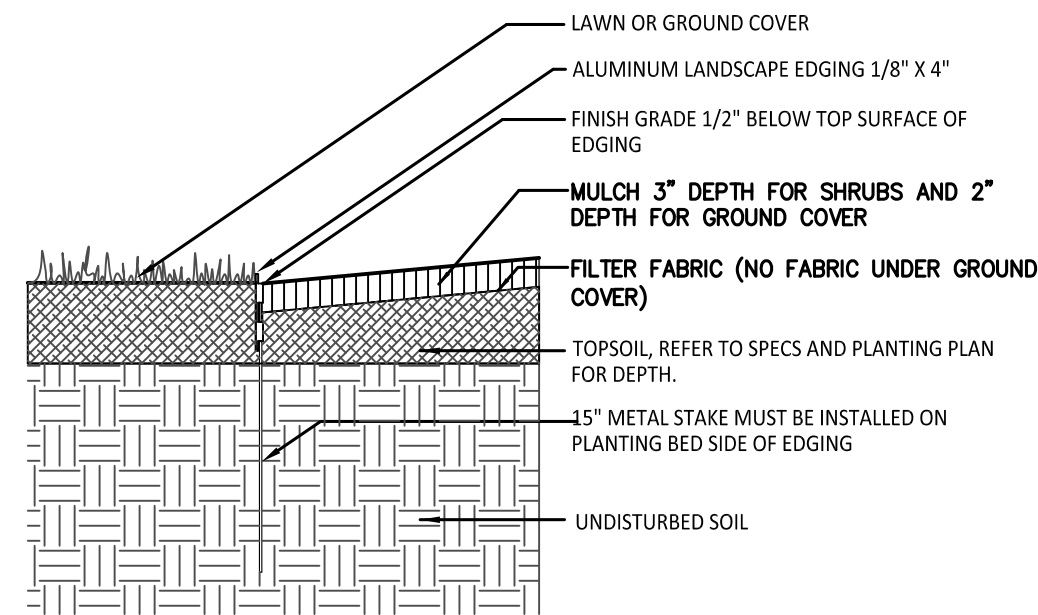
4 Cobblestone Mulch Ring Detail
Not To Scale



3 Conifer Planting Detail
Not To Scale



5 Tree Planting Detail
Not To Scale



6 Metal Edging Detail
Not To Scale

NFP REVIEW JUSTIFICATION NOTE:

TREES SHOWN TO BE REMOVED TO ACCOMMODATE NEW PLAYGROUND AREA AND MULTI-SPORT FIELD. THE PARKS AND RECREATION DEPARTMENT USES THIS PARK FOR THEIR AFTERSCHOOL AND SUMMERTIME CAMP PROGRAM AND NEEDS THE SPACE FOR THESE SERVICES.

REFER TO THE SHEET C1.0 - DEMOLITION PLAN FOR ADDITIONAL TREE REMOVAL INFORMATION.

PLANT LIST:

	SYM.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT
DECIDUOUS TREES	Cc	Carpinus caroliniana	American Hornbeam	2" Cal.	B&B
	Lt	Liriodendron tulipifera	Tulip Tree	2" Cal.	B&B
	Ov	Ostrya virginiana	American Hophornbeam	2" Cal.	B&B
	Ta	Tilia americana 'Redmond'	Redmond Linden	2" Cal.	B&B
EVERGREEN TREES	Pg	Picea glauca	White Spruce	8' Ht.	B&B
	Ps	Pinus strobus	Eastern White Pine	8' Ht.	B&B
SHRUBS	Iv	Itea virginica 'Little Henry'	Little Henry Sweetspire	24" Ht.	Cont.
	Po	Physocarpus opulifolius 'Little Devil'	Little Devil Ninebark	24" Ht.	Cont.

LANDSCAPE NOTES:

- SURVEY OF EXISTING CONDITIONS PROVIDED BY DRIESSEN & ASSOCIATES, INC., 552 SOUTH 8TH STREET, KALAMAZOO, MICHIGAN 49009, (269) 544-1455.
- CALL "MISS DIG" AND VERIFY ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING WORK. 72 HOURS BEFORE YOU DIG CALL "MISS DIG" AT 1-800-482-7171. ANY UTILITIES DISTURBED BY CONSTRUCTION SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE.
- ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHOULD BE REPORTED TO THE CONSTRUCTION MANAGER IMMEDIATELY FOR RESOLUTION.
- IN AREAS OF NEW TURF PLACE 4" MINIMUM TOPSOIL, FINE GRADE & ESTABLISH TURF WITHIN SEED LIMIT LINES.
- PLACE SHREDDED HARDWOOD MULCH TO A 3" DEPTH IN ALL TREE & SHRUB BEDS & TO A 2" DEPTH IN ALL GROUND COVER BEDS.
- UNLESS OTHERWISE NOTED, TOPSOIL, FINE GRADE AND SEED ALL DISTURBED AREAS WITHIN THE SEEDING LIMIT SHOWN AND AREAS DISTURBED BY CONSTRUCTION.
- REPAIR AND RESTORE ANY DAMAGE OUTSIDE OF LIMIT OF WORK LINE TO ORIGINAL CONDITION.
- PROTECT ALL TREES AND EXISTING FEATURES TO REMAIN AS SPECIFIED.
- ALL TOPSOIL AND EXCESS FILL MATERIAL SHALL BE STOCKPILED ON SITE SEPARATELY FOR LATER RE-USE. LOCATE STOCKPILES IN AREAS AS DIRECTED BY CONSTRUCTION MANAGER AND PROTECT FROM EFFECTS OF EROSION.
- ALL NURSERY STOCK SHALL BE TRUE TO TYPE AND NAME. ALL STOCK SHALL BE FIRST CLASS QUALITY WITH WELL DEVELOPED BRANCH SYSTEMS AND VIGOROUS HEALTHY ROOT SYSTEMS. ALL STOCK SHALL BE WELL FORMED AND THE TRUNKS OF TREES SHALL BE UNIFORM AND STRAIGHT.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR IRRIGATION SCHEDULING FOR THE ENTIRE MAINTENANCE PERIOD UNLESS OTHERWISE NOTED.
- CONTRACTOR RESPONSIBLE TO LOCATE SITE LIGHTING SERVICES. CONTRACTOR RESPONSIBLE TO NOTIFY CONSTRUCTION MANAGER IF DAMAGE TO LIGHTING ELECTRICAL DISTRIBUTION OCCURS.
- ALL AREAS OF TREE CLEARING SHALL BE STAKED FOR ARCHITECTS APPROVAL PRIOR TO CLEARING.
- UNLESS OTHERWISE SPECIFIED, ALL PERENNIALS, GRASSES AND GROUNDCOVERS SHALL BE GROWN IN THEIR CONTAINER FOR ONE YEAR PRIOR TO INSTALLATION.

PROPOSED FEATURES LEGEND:

SYMBOL	DESCRIPTION	DETAIL
	DECIDUOUS TREE	5 / L1.0
	EVERGREEN TREE	3 / L1.0
	SHRUB	2 / L1.0
	COBBLESTONE MULCH RING	4 / L1.0
	METAL EDGING	6 / L1.0
	LIMIT OF WORK	
	PROPERTY LINE	
	PLANT TAG - REFERS TO TYPE AND NUMBER OF PLANTINGS TO BE PROVIDED AND MAINTAINED BY CONTRACTOR.	

ZONING ORDINANCE LANDSCAPE NOTES:

REQUIRED LANDSCAPING FOR FRONT YARD SETBACKS:

- * ONE (1) TREE FOR EVERY THIRTY-FIVE (35) FEET OF LINEAR STREET FRONTAGE
- * ONE (1) SHRUB FOR EVERY TWENTY-FIVE (25) FEET OF LINEAR STREET FRONTAGE

INCENTIVES TO PRESERVE EXISTING TREES:

- ONE (1) PRESERVED TREE FROM 2.5 INCHES TO 7.9 INCHES EQUALS ONE (1) TREE CREDITED
- ONE (1) PRESERVED TREE FROM 8 INCHES TO 11.9 INCHES EQUALS TWO (2) TREES CREDITED
- ONE (1) PRESERVED TREE OVER 12" EQUALS THREE (3) TREES CREDITED

EASTERN PROPERTY LINE: RACE STREET

- (265) LINEAR FEET STREET FRONTAGE / (35) FEET = (8) TREES
- (1) EXISTING TREE TO REMAIN = (3) TREES CREDITED
- (5) NEW TREES PROPOSED + (3) TREES CREDITED = (8) TREES

(265) LINEAR FEET STREET FRONTAGE / (25) FEET = (11) SHRUBS

SOUTHERN PROPERTY LINE: PALMER STREET

- (423) LINEAR FEET STREET FRONTAGE / (35) FEET = (12) TREES
- (4) EXISTING TREES TO REMAIN = (12) TREES CREDITED
- (0) NEW TREES PROPOSED + (12) TREES CREDITED = (12) TREES

(423) LINEAR FEET STREET FRONTAGE / (25) FEET = (17) SHRUBS

TREE COMMITTEE LANDSCAPE NOTES:

REQUIRED LANDSCAPING FOR TREE REMOVALS:

- * TWO (2) TREES FOR EVERY ONE (1) TREE REMOVED UNDER 24" DBH
- * FOUR (4) TREES FOR EVERY ONE (1) TREE REMOVED OVER 24" DBH

TREE REMOVAL SUMMARY:

- * TREE #1, 11" DBH = TWO (2) NEW TREES
- * TREE #2, 13" DBH = TWO (2) NEW TREES
- * TREE #3, 11" DBH = TWO (2) NEW TREES
- * TREE #4, 14" DBH = TWO (2) NEW TREES
- * TREE #5, 14" DBH = TWO (2) NEW TREES
- * TREE #6, 24" DBH = TWO (2) NEW TREES
- * TREE #7, 24" DBH = TWO (2) NEW TREES
- * TREE #8, 24" DBH = TWO (2) NEW TREES

TOTAL NEW TREES REQUIRED: SIXTEEN (16) NEW TREES

LANDSCAPE PLAN WAS APPROVED BY
CITY OF KALAMAZOO TREE COMMITTEE
ON SEPTEMBER 5, 2023.

For Review Only -
Not For Construction

HARD COPY IS INTENDED TO
BE 24"x36" WHEN PLOTTED.
SCALE(S) INDICATED AND
GRAPHIC QUALITY MAY NOT
BE ACCURATE FOR ANY
OTHER SIZES.

Issued For:	Date
PRE-SITE PLAN REVIEW	07-31-23
TREE COMMITTEE	08-25-23
SITE PLAN REVIEW	01-12-24

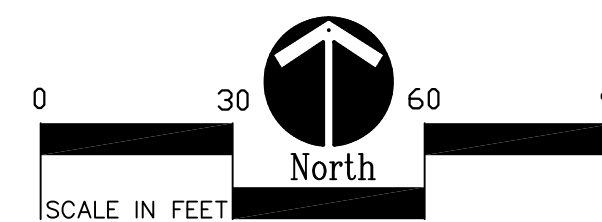
Project:

Southside Park - New Playground Improvements

Kalamazoo, Michigan

Sheet Title

Overall Landscape Plan



Job No. Sheet No.

052303

L1.0

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Issued For:	Date
PRE-SITE PLAN REVIEW	07-31-23
TREE COMMITTEE	08-25-23

Project:

Southside Park -
New Playground
Improvements

Kalamazoo, Michigan

Sheet Title

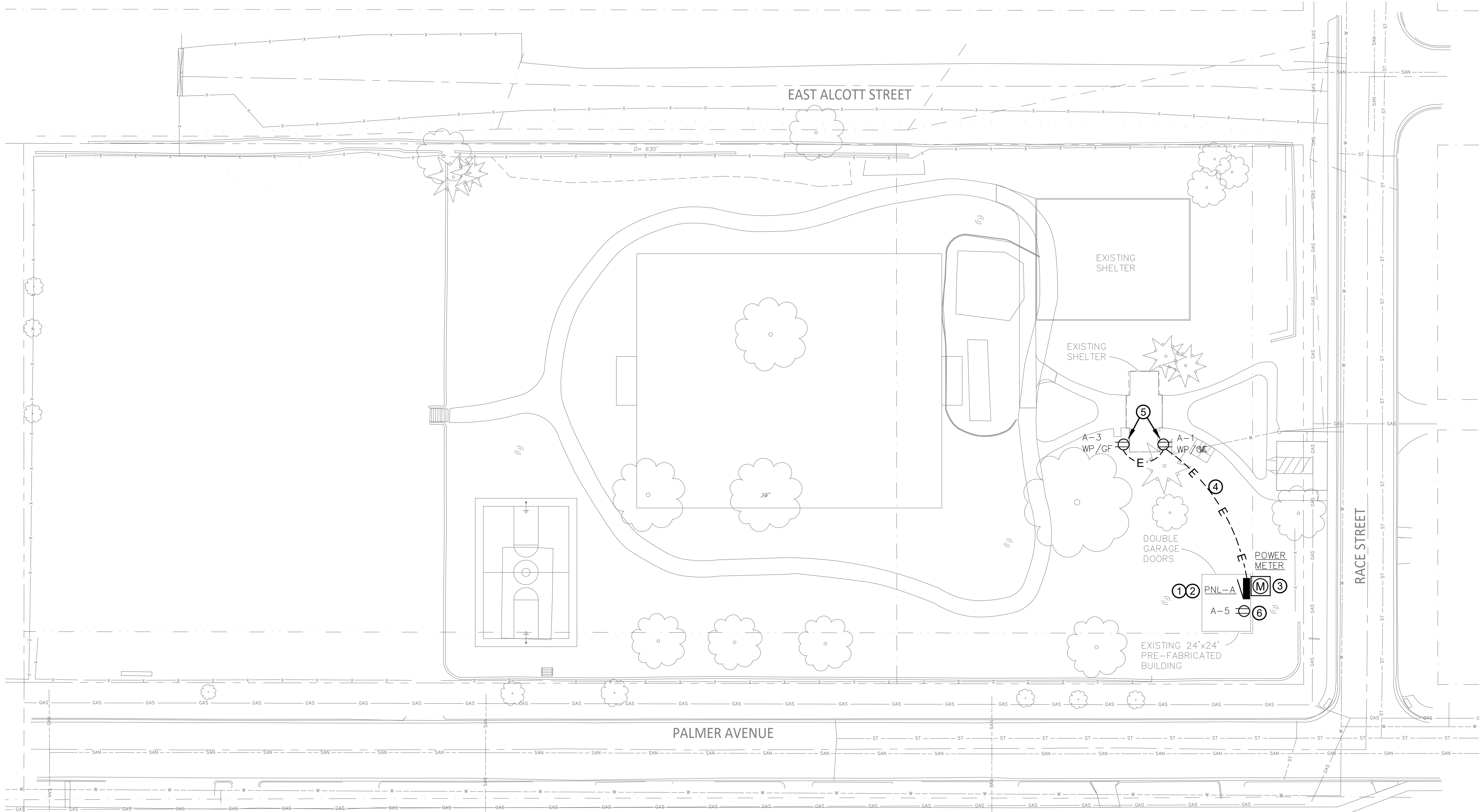
Electrical Plan

Job No.

052303

Sheet No.

E1.0



GENERAL NOTES:

1. LOCATE EXISTING UNDERGROUND UTILITIES BEFORE DIGGING.

KEYED NOTES:

1. SQUARE-D, QO LOAD CENTER WITH 2P100A MAIN CIRCUIT BREAKER, 24-CIRCUIT CAPACITY, AND POPULATED WITH (10) 1P20A CIRCUIT BREAKERS.
2. PROVIDE THE ELECTRICAL SERVICE ENTRANCE WITH (2) 10-FOOT GROUND RODS, SPACE MINIMUM OF 10 FEET APART, AND BOND TO THE PANEL WITH #6 GROUND CONDUCTOR.
3. COORDINATE THE ELECTRICAL SERVICE WITH CONSUMERS ENERGY. PROVIDE WITH 1 1/2" GALVANIZED CONDUIT WITH WEATHERHEAD OR UNDERGROUND CONDUIT AS REQUIRED.
4. 1" SCHEDULE 40 PVC CONDUIT. BURY AT 24" BELOW FINISHED GRADE.
5. PROVIDE GFCI, 20A RATED DUPLEX RECEPTACLE IN A CAST IRON BOX WITH A WEATHERPROOF, WHILE-IN-USE METALLIC COVER. INSTALL ON COLUMN AT 24" ABOVE FINISHED GRADE AND CONNECT TO INDICATED CIRCUIT WITH #12 THWN CONDUCTORS.
6. PROVIDE DUPLEX RECEPTACLE INSIDE THE BUILDING. COORDINATE LOCATION WITH OWNER.