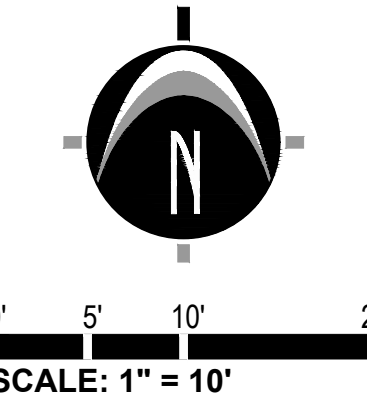


**Site Plan**  
**Received: 01/10/2024**  
**City of Kalamazoo**



**LOCATION MAP**  
 NOT TO SCALE



**LEGEND**

- △ Benchmark
- Catch Basin - Round
- Catch Basin - Square
- Cable Riser
- ⊗ Deciduous Tree
- EM Electric Meter
- GM Gas Meter
- ⊗ GV Gas Valve
- Guy Anchor
- Hydrant
- Iron - Found
- ☀ Light Pole
- ⊙ Manhole
- Post
- ⊗ Phone Riser
- ⊗ SBX Stop Box
- Sign
- Utility Pole
- OH Overhead Utility
- ▨ Asphalt
- ▨ Concrete
- ▨ Existing Building

**REMOVAL / DEMOLITION NOTES**

- 1 REMOVE EXISTING CONCRETE SIDEWALK
- 2 SAWCUT & REMOVE EXISTING CONCRETE CURB & GUTTER
- 3 SAWCUT & REMOVE EXISTING CONCRETE PAVEMENT
- 4 REMOVE EXISTING WOOD PATIO
- 5 SAWCUT & REMOVE ASPHALT PAVEMENT, CURB & GUTTER, BRICK & CONCRETE SIDEWALK
- 6 SAWCUT & REMOVE 12" STORM SEWER

**LEGEND**

- EXISTING GRADE CONTOUR
- ▨ EXISTING CURB & GUTTER REMOVAL
- ▨ EXISTING CONCRETE REMOVAL
- ▨ EXISTING WOOD PATIO REMOVAL

**REMOVAL / DEMOLITION NOTES**

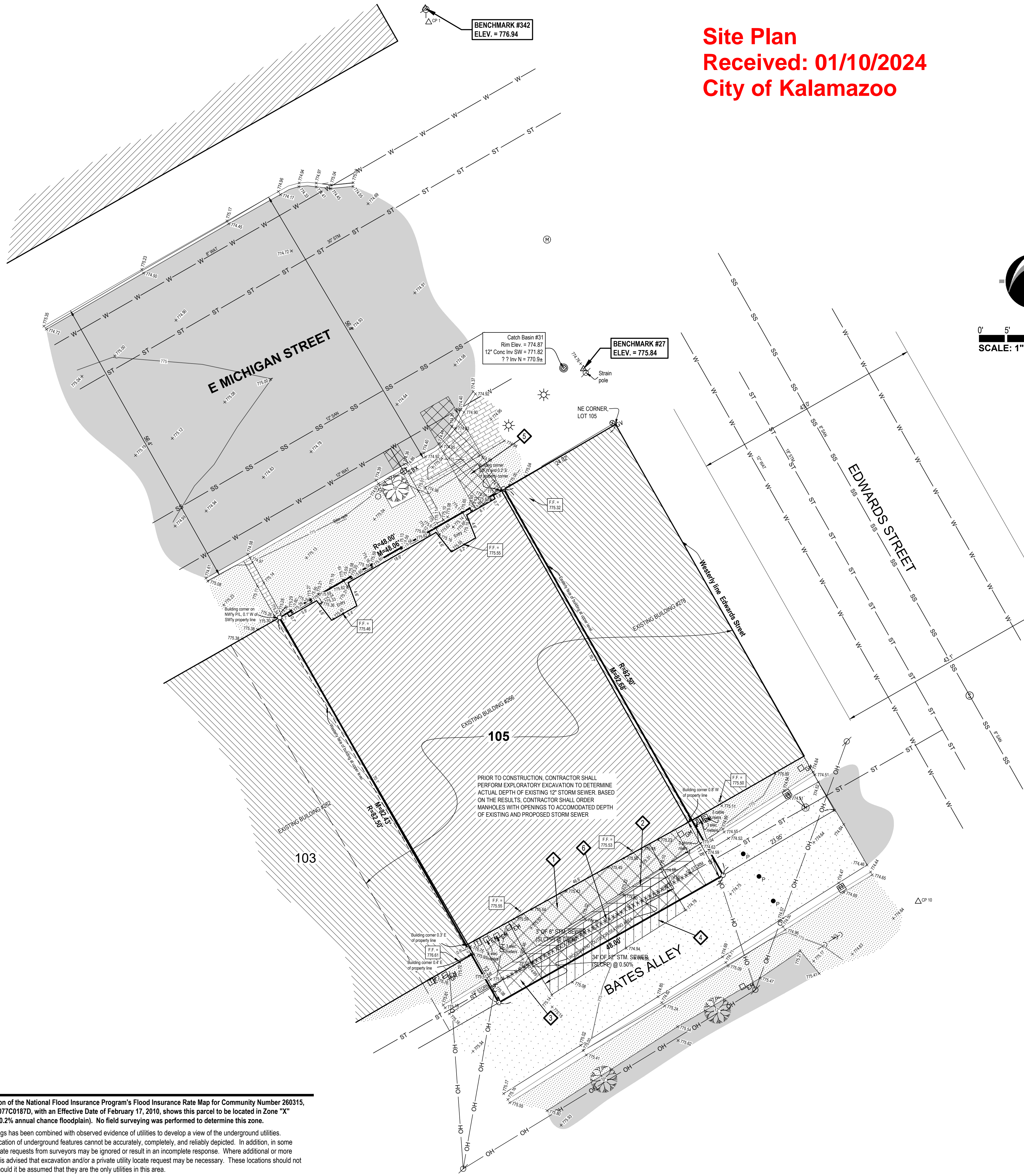
- 1) THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES AT LEAST THREE WEEKS PRIOR TO THE BEGINNING OF CONSTRUCTION OPERATIONS. THERE ARE EXISTING UNDERGROUND UTILITIES WHICH CROSS THE PROPOSED WORK AREAS. ALTHOUGH THEIR EXACT LOCATION CANNOT BE DETERMINED, IT IS KNOWN THESE UTILITIES ARE LOCATED WHERE DIGGING IS REQUIRED. THE CONTRACTOR SHALL CONDUCT THE REQUIRED EXCAVATION IN THESE AREAS WITH EXTREME CAUTION.
- 2) ALL EXISTING UTILITY INFORMATION SHOWN IS TAKEN FROM EXISTING RECORDS, AND FIELD VERIFIED WHERE ACCESSIBLE ONLY. INFORMATION OBTAINED FROM EXISTING RECORDS MAY NOT BE COMPLETE OR ACCURATE. THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. THE CONTRACTOR SHALL FIELD VERIFY FOR ACCURACY, LOCATION AND CONDITION.
- 3) BEFORE ANY WORK IS STARTED ON THE PROJECT AND AGAIN BEFORE FINAL ACCEPTANCE BY THE CITY AND BY THE OWNER, REPRESENTATIVES OF THE CITY, THE OWNER AND THE CONTRACTOR SHALL MAKE AN INSPECTION OF THE EXISTING SEWERS WITHIN THE WORK LIMITS WHICH ARE TO REMAIN IN SERVICE AND WHICH MAY BE AFFECTED BY THE WORK. THE CONDITION OF THE EXISTING UTILITIES AND THEIR APPURTENANCES SHALL BE DETERMINED FROM FIELD OBSERVATIONS AND EXISTING VIDEO TAPES. RECORDS OF THE INSPECTIONS SHALL BE KEPT IN WRITING BY THE CONTRACTOR.
- 4) THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION WORK.
- 5) ALL EXISTING UTILITIES, SEWERS AND WATER LINES ARE TO REMAIN UNDISTURBED UNLESS OTHERWISE NOTED ON THE PLANS. THE CONTRACTOR SHALL CONTACT AND COORDINATE WITH ALL APPLICABLE UTILITY COMPANIES, MUNICIPALITIES AND AGENCIES BEFORE COMMENCING ANY WORK.
- 6) THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES REGARDING REMOVAL OF EXISTING POLES, OVERHEAD WIRES, UNDERGROUND UTILITIES, GUY WIRES, GAS LINES, ETC. ALL ADJUSTMENT OR RECONSTRUCTION WORK, EXCEPT FOR THOSE STRUCTURES OTHERWISE NOTED ON THE PLANS, SHALL BE PERFORMED BY THE CONTRACTOR. EXISTING APPURTENANCES SUCH AS UTILITY POLES AND VALVES BOX SHALL NOT BE DISTURBED BY THE CONTRACTOR DURING CONSTRUCTION.
- 7) THE CONTRACTOR SHALL MAINTAIN EXISTING UTILITY SERVICE TO ALL ADJOINING PROPERTIES.
- 8) ALL DEBRIS SHALL BE REMOVED FROM THE SITE, AND NO STOCKPILING ON SITE SHALL BE ALLOWED UNLESS APPROVED BY THE OWNER OR THEIR REPRESENTATIVES.
- 9) THE CONTRACTOR SHALL LIMIT SAWCUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE REQUIRED OR AS SHOWN. ALL PAVEMENTS TO BE REMOVED SHALL BE SAWCUT AND REMOVED TO FULL DEPTH AT ALL PAVEMENT LIMITS OR EXISTING JOINTS. IF ANY DAMAGE IS INCURRED TO ANY OF THE SURROUNDING PAVEMENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR AT NO ADDITIONAL COST TO ANYONE ELSE, INCLUDING THE CITY OR OWNER.
- 10) ASPHALT AREAS SHOWN TO BE SAWCUT AND REMOVED FULL DEPTH ARE ACTUAL FACE OF PROPOSED CURBS. IT WILL BE NECESSARY TO MAKE OFF-SET SAWCUTS TO PROVIDE CLEARANCE FOR PROPOSED CURBS. THE CONTRACTOR SHALL DETERMINE THE AMOUNT OF OFF-SET NECESSARY TO CONSTRUCT THE PROPOSED CURBS. ADDITIONAL CUTS MAY BE DESIRED TO FACILITATE THE REMOVAL OF THE EXISTING PAVEMENT, BUT THERE WILL BE NO EXTRA PAYMENT FOR ADDITIONAL CUTS. PAVEMENT SHALL BE REMOVED WITHOUT DAMAGING OR UNDERMINING THE REMAINING PAVEMENT. IF ADJACENT PAVEMENT IS DAMAGED, THE CONTRACTOR SHALL MAKE ADDITIONAL FULL DEPTH SAWCUTS AND REMOVE THE DAMAGE AREAS AS NECESSARY.
- 11) ALL PAVEMENT REMOVAL AREAS SHALL BE FULL PAVEMENT CROSS-SECTION REMOVAL DOWN TO NATIVE SOIL LAYER IN ACCORDANCE WITH THE GEOTECHNICAL REPORT DATED MONTH/DAY/YEAR.

**SURVEYOR'S NOTES**

- 1) Flood Zone Classification: An examination of the National Flood Insurance Program's Flood Insurance Rate Map for Community Number 260315, Panel Number 0187 D, Map Number 26077C0187D, with an Effective Date of February 17, 2010, shows this parcel to be located in Zone "X" (areas determined to be outside of the 0.2% annual chance floodplain). No field surveying was performed to determine this zone.
- 2) Source information from plans and markings has been combined with observed evidence of utilities to develop a view of the underground utilities. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, in some jurisdictions, 811 or other similar utility locate requests from surveyors may be ignored or result in an incomplete response. Where additional or more detailed information is required, the client is advised that excavation and/or a private utility locate request may be necessary. These locations should not be interpreted to be exact locations nor should it be assumed that they are the only utilities in this area.
- 3) This topographic survey was performed during a period of snow and ice covering. While every effort was made to locate all features, snow and/or ice may have prevented all features from being visible.
- 4) NOTE TO CONTRACTORS: 3 (THREE) WORKING DAYS BEFORE YOU DIG, CALL MISS DIG AT TOLL FREE 1-800-482-7171 FOR UTILITY LOCATIONS ON THE GROUND.



UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.  
 NOTE: EXISTING UTILITIES AND SERVICE LINES IDENTIFIED AS "PLANNY" WERE OBTAINED FROM AVAILABLE AS-BUILT RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL UTILITIES AND SERVICE LINES PRIOR TO NEW CONNECTIONS.



**BENCHMARKS**

- BENCHMARK #27 ELEV. = 775.84 (NAVD 88)**  
 Set benchmark at top NW bolt out of 4 bolts of strain pole (0.8'± above ground level), located at SW quad of E Michigan Avenue and S Edwards Street.
- BENCHMARK #342 ELEV. = 776.95 (NAVD 88)**  
 Set benchmark at top arrow on hydrant (2.3'± above ground level), located at NW quad of E Michigan Avenue and S Edwards Street.

**TITLE INFORMATION**

The Title Description and Schedule B Items hereon are from Sun Title Agency of Michigan, LLC, Commitment No.: 202296, Commitment date: January 22, 2021.

**TITLE DESCRIPTION**

The Land is described as follows:  
 Land situated in the City of Kalamazoo, Kalamazoo County, Michigan:  
 Commencing at the Southerly line of Main Street at a point 24 feet Southwesterly from the Northeast corner of Lot 105, Plat of the Town (now City) of Kalamazoo, according to the recorded Plat thereof, as recorded in Liber 6 of Plats, Page 8; thence Southeasterly parallel with the Westerly line of Edwards Street 82-1/2 feet; thence Southwesterly parallel with the Southerly line of Main Street 48 feet; thence Northwesterly parallel with the first course 82-1/2 feet to the Southerly line of Main Street; thence Northwesterly along the Southerly line of Main Street 48 feet to the Place of Beginning.

**NEDERVELD**  
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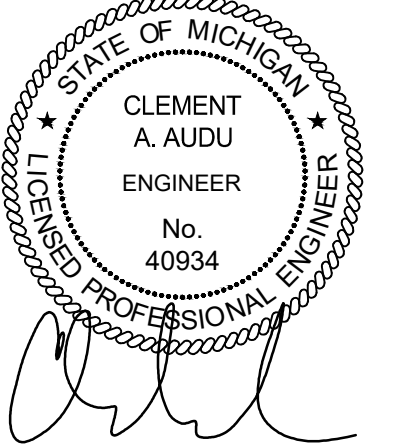
**PREPARED FOR:**  
 O'Connor Development, LLC  
 Matt O'Connor

1430 Robinson Road SE, Suite 200  
 Grand Rapids, MI 49506

**REVISIONS:**  
 Title: Owner Review  
 Drawn: CAA Checked: CAA Date: 03/26/21  
 Title: City Site Plan Review  
 Drawn: CAA Checked: CAA Date: 04/09/21  
 Title: Revisions Per Site Plan Review Comments  
 Drawn: CAA Checked: CAA Date: 05/21/21

**O'Connor**  
**266 East Michigan Avenue**  
**Existing Conditions and Demolition Plan**  
 266 East Michigan Avenue, Kalamazoo, MI 49007  
 PART OF THE SOUTH 1/2 OF SECTION 15, T2S, R11W,  
 CITY OF KALAMAZOO, KALAMAZOO COUNTY, MICHIGAN

**STAMP:**



**PROJECT NO:**  
 20400162

**SHEET NO:**  
**C-201**

**PREPARED FOR:**  
 O'Connor Development, LLC  
 Matt O'Connor

1430 Robinson Road SE, Suite 200  
 Grand Rapids, MI 49506

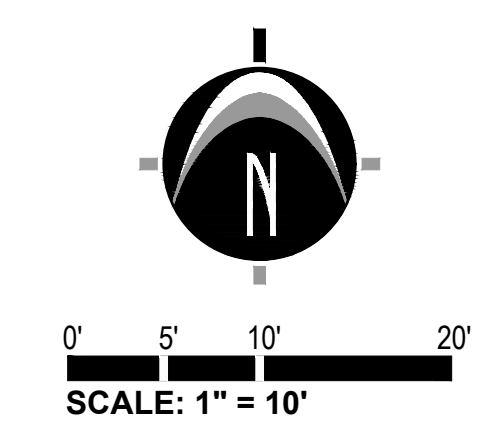
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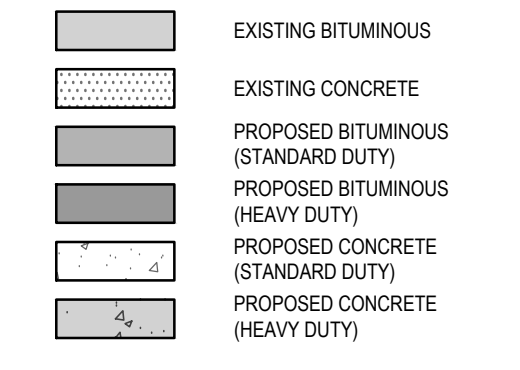
**O'Connor**  
**266 East Michigan Avenue**  
**Site Layout Plan**  
 266 East Michigan Avenue, Kalamazoo, MI 49007  
 PART OF THE SOUTH 1/2 OF SECTION 15, T2S, R11W,  
 CITY OF KALAMAZOO, KALAMAZOO COUNTY, MICHIGAN

**STAMP:**

**PROJECT NO:**  
 20400162  
**SHEET NO:**  
**C-205**



**LEGEND**



**GENERAL NOTES**

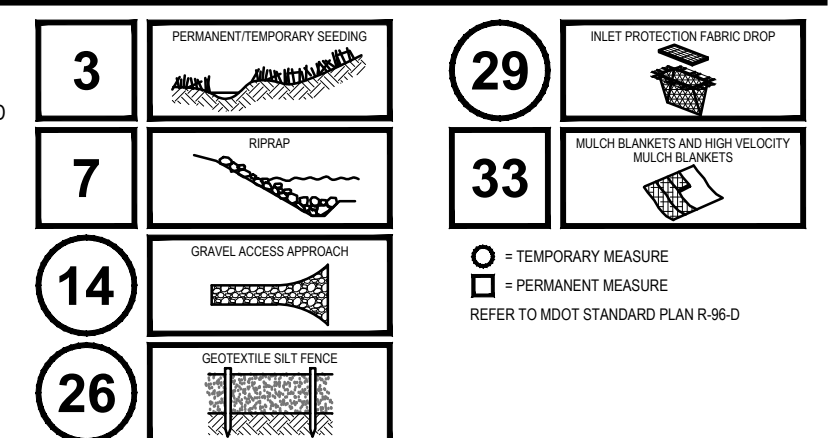
- ZONING OF PROPERTY: CCBD CENTRAL BUSINESS DISTRICT  
 CCBD ZONING REQUIREMENTS  
 A) MINIMUM LOT AREA = NA SQ. FT.  
 B) MINIMUM LOT WIDTH = NA FT.  
 C) MAXIMUM BUILDING HEIGHT = NO LIMIT  
 D) MAXIMUM LOT COVERAGE = 100%  
 SETBACKS  
 A) FRONT YARD = NA FT.  
 B) SIDE YARD = NA FT.  
 C) REAR YARD = NA FT.
- SUMMARY OF LAND USE:  
 A) TOTAL ACREAGE = 0.091 ACRES (3,965 SQ. FT.) (EXCLUDING R.O.W.)  
 B) AREA OF EXISTING BUILDING = 3,245 SQ. FT.  
 C) BUILDING HEIGHT = APPROX. XX FT.  
 D) LOT COVERAGE = 81.8%
- ZONING OF PARCELS TO SOUTH AND WEST = CCBD  
 ZONING OF PARCELS TO NORTH AND EAST = CCBD
- PARKING REQUIREMENTS: EXEMPT.
- THIS PROJECT IS NOT LOCATED IN THE 100 YEAR FLOOD PLAIN, BASED ON THE NATIONAL FLOOD INSURANCE PROGRAM RATE MAPS
- BEST MANAGEMENT PRACTICES WILL BE UTILIZED DURING AND AFTER CONSTRUCTION OF THE PROJECT. MEASURES WILL INCLUDE THE USE OF SEEDING AND MULCHING, SEDIMENT INLET FILTERS, COMPACTION AND PAVING. THE OWNER OF THE SUBJECT PARCEL SHALL HAVE THE RESPONSIBILITY TO MAINTAIN THE PERMANENT SOIL EROSION PROTECTION MEASURES.
- UTILITIES SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.
- CONTRACTOR TO FIELD VERIFY ALL INVERTS.
- THE PERMANENT PARCEL NUMBER FOR THE SITE IS 06-15-379-006.  
 THE ADDRESS OF THE PROPERTY IS 266 E MICHIGAN STREET.
- REFUSE FOR THE RESIDENTIAL UNITS WILL BE COLLECTED INTERNALLY. REFUSE FOR THE RESTAURANTS IS COLLECTED IN A DUMPSTER TO THE SOUTH OF THE BUILDING ADJACENT TO THE PARKING LOT.
- THERE IS CURRENTLY A BUILDING ON THE PARCEL.

**SOIL EROSION CONTROL SCHEDULE**

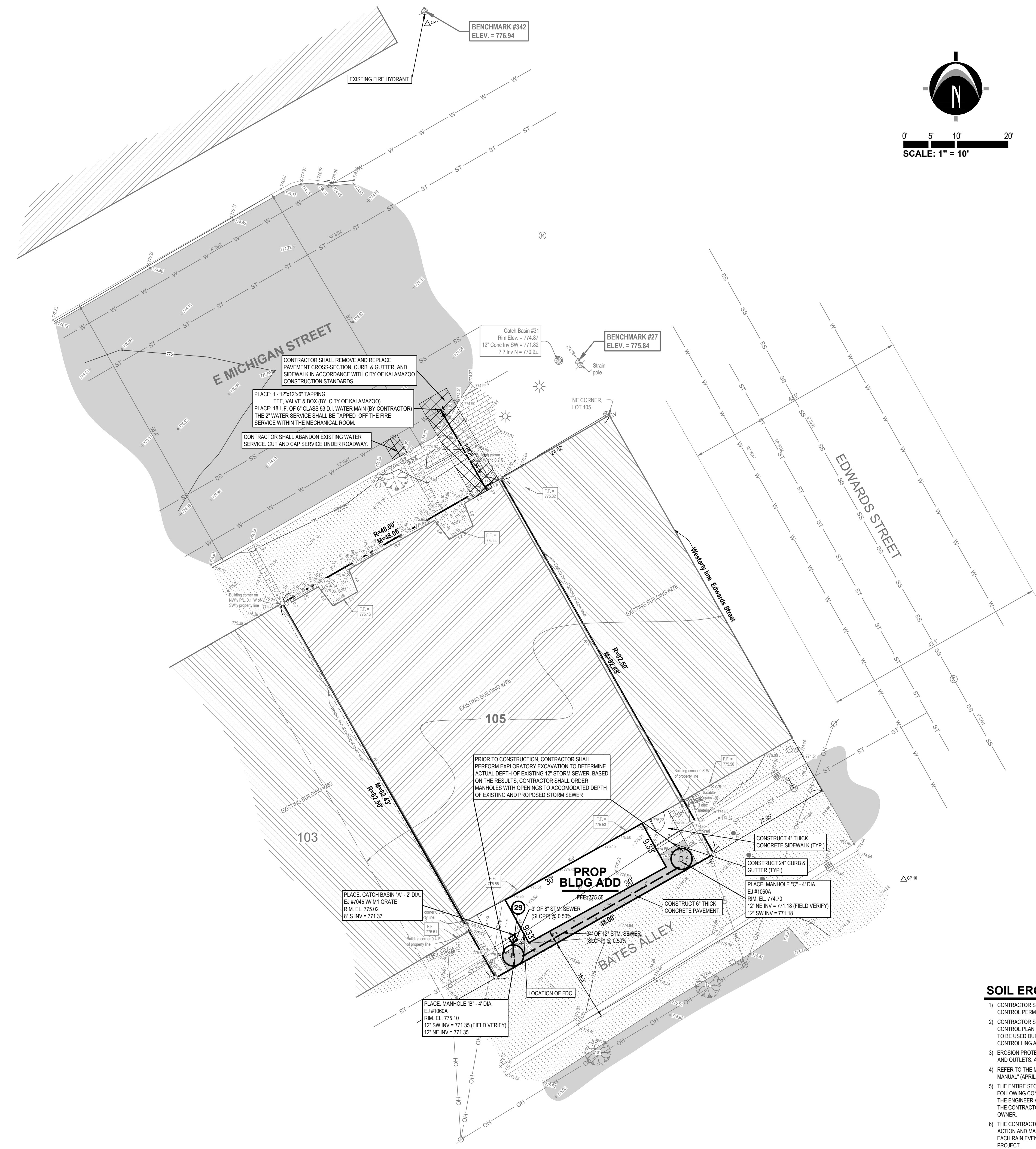
	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
PERFORM SITE DEMOLITION												
CONSTRUCT BUILDING FOUNDATION AND BUILDING												
CONSTRUCT IMPROVEMENTS AROUND BUILDING												
CONSTRUCT UTILITY LINES TO BUILDING												
ROW & SIDEWALK CLOSURE AND TRAFFIC CONTROL												
FINISH GRADE SITE												
PAVE SITE												
SITE RESTORATION/CLEAN UP												

**SOIL EROSION AND SEDIMENTATION CONTROL NOTES**

- CONTRACTOR SHALL POSSESS THE SOIL EROSION AND SEDIMENTATION CONTROL PERMIT PRIOR TO START OF ANY EARTH WORK.
- CONTRACTOR SHALL MODIFY THIS SOIL EROSION AND SEDIMENTATION CONTROL PLAN TO SHOW THE ADDITIONAL CONTROL MEASURES INTENDED TO BE USED DURING CONSTRUCTION. SUBMIT MODIFICATIONS TO THE CONTROLLING AGENCY, THE OWNER, AND THE ENGINEER.
- EROSION PROTECTION SHALL BE PROVIDED AT ALL STORM SEWER INLETS AND OUTLETS. ALL BARE EARTH SHALL BE STABILIZED WITH SEEDING.
- REFER TO THE M.D.O.T. "SOIL EROSION AND SEDIMENTATION CONTROL MANUAL" APRIL 2009 FOR ADDITIONAL INFORMATION.
- THE ENTIRE STORM SEWER SYSTEM SHALL BE CLEANED AND FLUSHED FOLLOWING CONSTRUCTION AND PAID RECEIPT THEREOF PROVIDED TO THE ENGINEER AND COUNTY SESC AGENT PRIOR TO FINAL PAYMENT TO THE CONTRACTOR OR FINAL ACCEPTANCE OF THE CONSTRUCTION BY THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO INSPECT, TAKE CORRECTIVE ACTION AND MAINTAIN ALL TEMPORARY SESC MEASURES DAILY AND AFTER EACH RAIN EVENT UNTIL FINAL COMPLETION AND ACCEPTANCE OF THE PROJECT.



○ - TEMPORARY MEASURE  
 □ - PERMANENT MEASURE  
 REFER TO MOST STANDARD PLAN R-96.0



**811** Know what's below.  
**CALL before you dig.**

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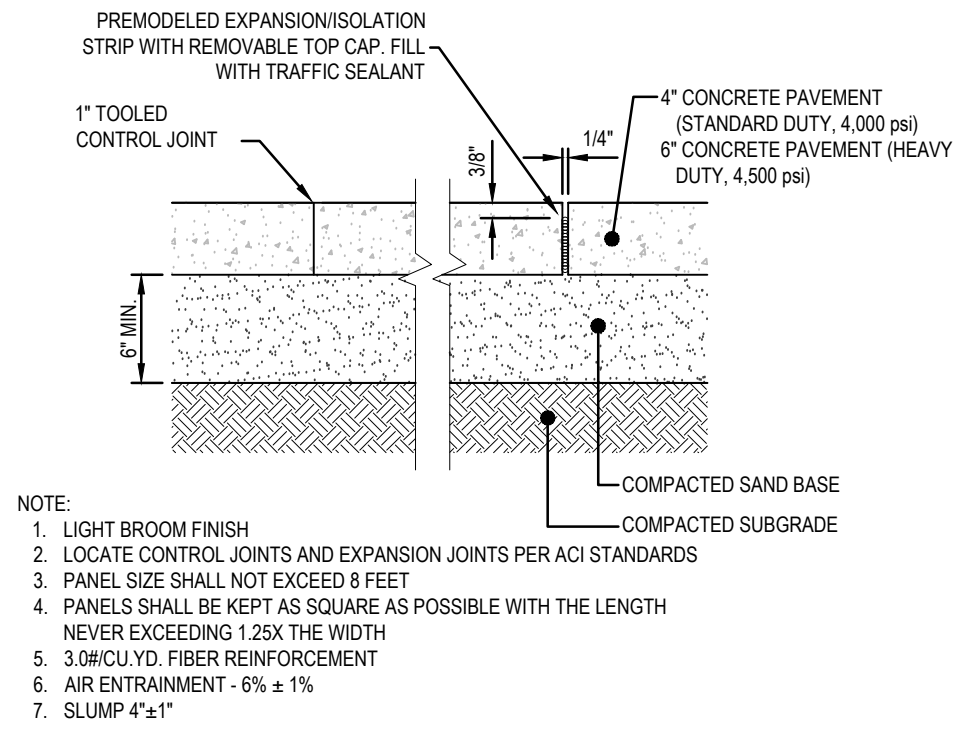
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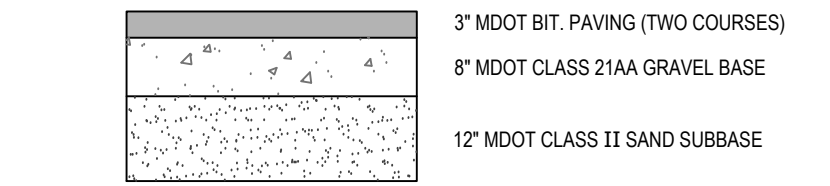
**REVISIONS:**

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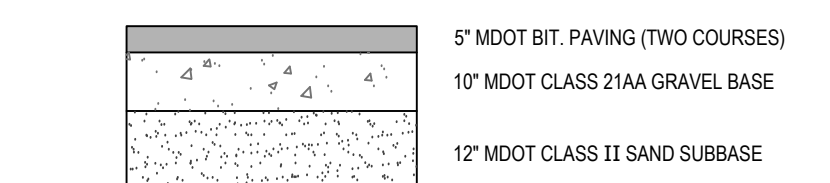
**CONCRETE PAVEMENT DETAIL**

N.T.S.



**STANDARD DUTY BITUMINOUS PAVEMENT CROSS SECTION DETAIL**

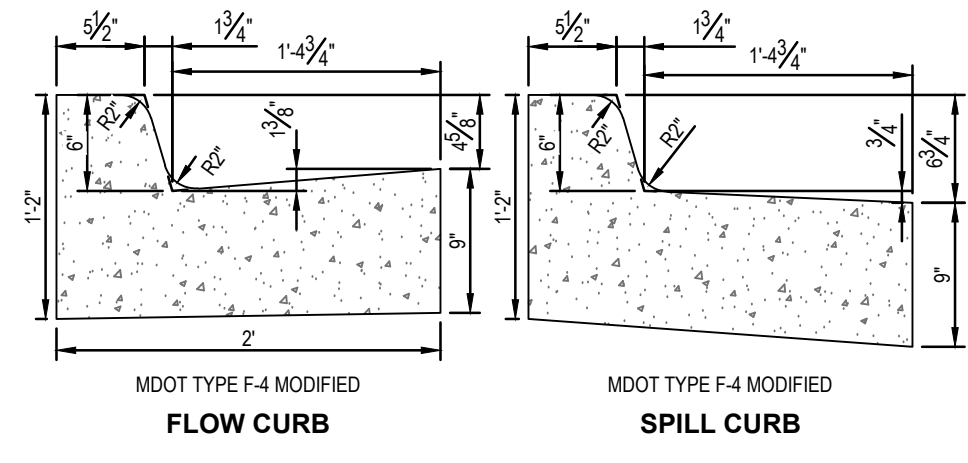
N.T.S.



**HEAVY DUTY BITUMINOUS PAVEMENT CROSS SECTION DETAIL**

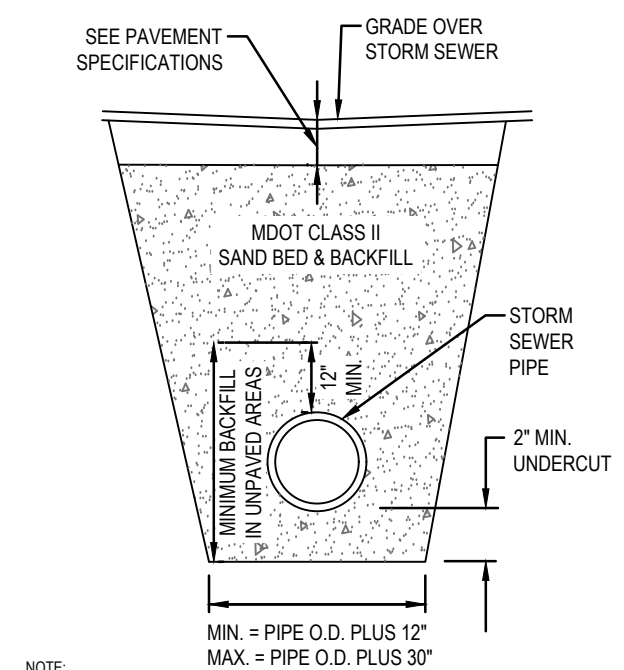
N.T.S.

- GRADING NOTES:**
- ESTABLISH PERMANENT BENCH MARK ON SITE PRIOR TO GRADING.
  - PROPOSED SPOT GRADES ARE TO EDGE OF METALTOP OF PAVEMENT UNLESS OTHERWISE NOTED. THE VERTICAL DIFFERENCE BETWEEN PAVEMENT GRADES AND TOP OF CURB GRADES VARY FOR FLOW AND SPILL CURB (SEE DETAIL SHEETS).
  - PROPOSED ADA ROUTE SHALL MEET THE STANDARDS SET FORTH IN THE MOST RECENT ADDITION OF ADA STANDARDS FOR ACCESSIBLE DESIGN - APPENDIX A TO PART 1191, AS AMENDED.
  - SEE PLANS FOR LOCATIONS OF SPILL VS FLOW CURB.



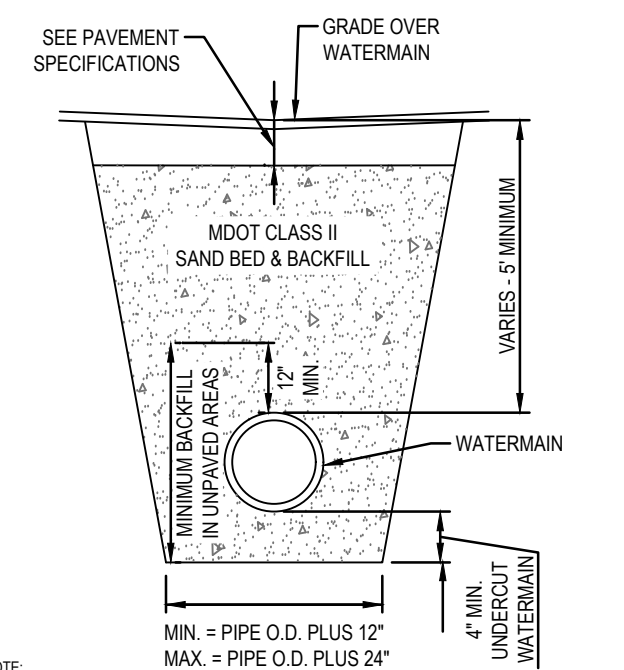
**24" CONCRETE CURB AND GUTTER DETAIL**

N.T.S.



**STORM SEWER TRENCH AND BACKFILL DETAIL**

N.T.S.



**WATER MAIN TRENCH AND BACKFILL DETAIL**

N.T.S.

**CONSTRUCTION NOTES**

**STORM SEWER**

- ALL LEACHING BASINS SHOULD BE PROVIDED WITH A MINIMUM 2' SUMP.
- ALL STORM SEWER SHALL BE SMOOTH LINED CORRUGATED POLYETHYLENE PIPE (SLPP), WITH WATERTIGHT JOINTS MEETING THE REQUIREMENTS OF THE MICHIGAN PLUMBING CODE, AASHTO M-252 AND M-294, ASTM F-2306, F-868, F-3212, F-417, F-5487, D-3350 AND F-1417. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS AND ASTM D-2321 OR CONCRETE PIPE MEETING THE REQUIREMENTS OF ASTM C-7611 UNLESS OTHERWISE NOTED.
- IF UNDERDRAIN SHALL BE PERFORATED PIPE WITH SOCK, MEETING THE REQUIREMENTS OF AASHTO M-252 AND THE GEOTEXTILE SHALL MEET AASHTO M-288 REQUIREMENTS.
- ALL FURRED END SECTIONS SHALL BE CONCRETE.
- ALL LEACHING BASINS AND MANHOLES SHALL BE CONCRETE, CONFORMING TO ASTM C-478 WITH BUTYL RUBBER GASKETED JOINTS WITH BOOT TYPE PIPE CONNECTIONS CONFORMING TO ASTM C-923 FOR ALL PIPE CONNECTIONS 24" DIAMETER AND SMALLER.
- ALL LEACHING BASINS ARE DRAWN AND WILL BE STAKED AT CENTER OF CASTING.

**WATERMAIN**

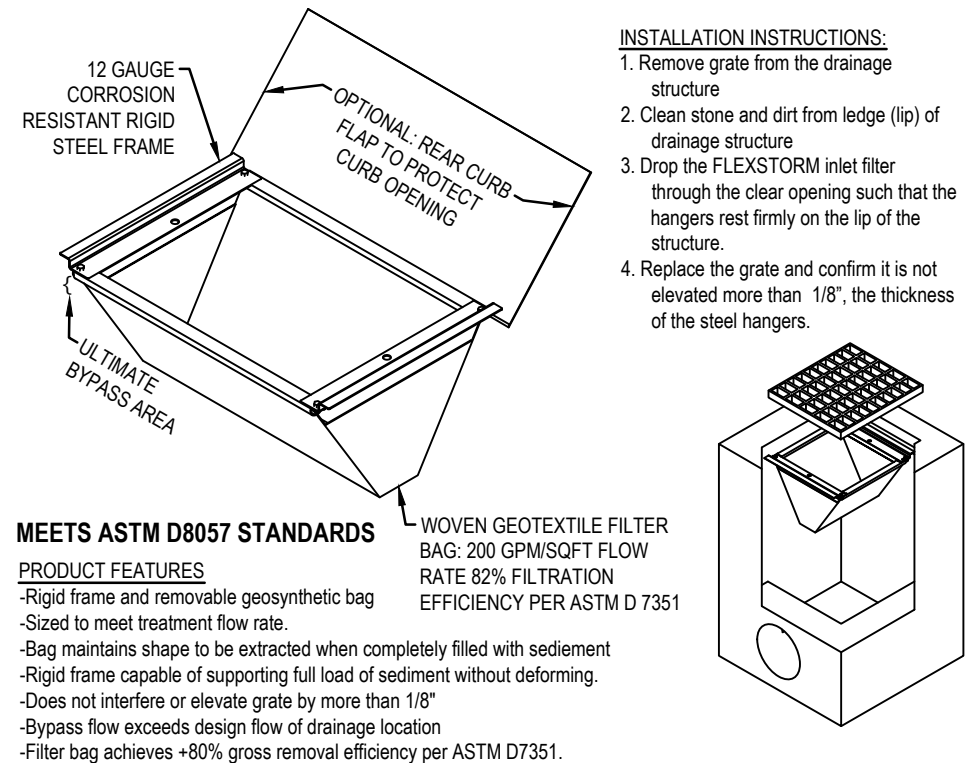
- ALL WATERMAIN SEWER CONSTRUCTION SHALL CONFORM TO THE CITY STANDARD CONSTRUCTION SPECIFICATIONS, INCLUDING POST CONSTRUCTION VIDEO INSPECTION OF THE SANITARY SEWER SYSTEM.

**GENERAL**

- ALL CONSTRUCTION AND MATERIAL SPECIFICATIONS INCLUDED FOR THIS PROJECT SHALL BE IN ACCORDANCE WITH THE MDOT CONSTRUCTION AND MATERIALS SPECIFICATIONS (LATEST EDITION) AND THE ORDINANCES OF THE CITY, WHERE CONFLICTS OCCUR IN THE ABOVE, THE CITY SHALL BE THE GOVERNING AUTHORITY.
- SOIL BORINGS HAVE BEEN PERFORMED BY THE OWNER AND SHALL BE PROVIDED TO THE CONTRACTOR. VARIATION IN EXISTING SOIL CONDITIONS MAY IMPACT THE EARTHWORK QUANTITIES IF UNUSABLE SOILS ARE ENCOUNTERED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO THE EXISTING WATER AND SEWAGE SYSTEM RESULTING FROM NON-CONFORMANCE WITH THE APPLICABLE STANDARDS OR THROUGH GENERAL NEGLIGENCE.
- ALL WORK, INCLUDING INSPECTIONS AND TESTING COST REQUIRED FOR REMOVAL, RELOCATION OR NEW CONSTRUCTION FOR PRIVATE OR PUBLIC UTILITIES, WILL BE DONE BY AND AT THE EXPENSE OF THE CONTRACTOR AND INCLUDED IN THE BID PRICE FOR THE VARIOUS WORK ITEMS UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL NECESSARY PERMITS FROM THE CITY AND COUNTY AND ANY OTHER AGENCY FOR ALL WORK DONE BY THE CONTRACTOR.
- ANY DEFECTS IN THE CONSTRUCTION, INCLUDING MATERIALS OR WORKMANSHIP SHALL BE REPLACED OR CORRECTED BY REMOVAL AND REPLACEMENT OR OTHER APPROVED METHODS PRIOR TO ACCEPTANCE BY THE CITY OR OWNER WITHOUT ANY ADDITIONAL COST TO THE CITY OR OWNER.
- ALL PUNCH LIST AND DEFICIENCY WORK SHALL BE COMPLETED WITHIN 1 MONTH OF THE END OF CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN A STREET OPENING PERMIT FROM THE CITY BEFORE BEGINNING WORK WITHIN ANY PUBLIC STREET RIGHT-OF-WAY.
- THE CONTRACTOR SHALL MAINTAIN A CURRENT SET OF CONSTRUCTION DRAWINGS ON SITE AT ALL TIMES. THESE PLANS HAVE BEEN DEVELOPED FOR ELECTRONIC FIELD LAYOUT. DIMENSIONS SHOWN ARE FOR GRAPHIC PRESENTATION ONLY AND SHOULD NOT BE USED FOR LAYOUT. CONTACT THE ENGINEER IF ANY DISCREPANCIES BETWEEN THE PLAN AND ELECTRONIC DATA ARE DISCOVERED.
- THE WORK LIMITS SHOWN ON THESE PLANS ARE FOR PHYSICAL CONSTRUCTION ONLY. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY LIGHTS, BARRICADES, FLAGMEN, ETC. AS REQUIRED TO PERFORM THE REQUIRED WORK. THE INSTALLATION AND OPERATION OF ALL TEMPORARY TRAFFIC CONTROL AND TEMPORARY TRAFFIC CONTROL DEVICES AS REQUIRED SHALL BE PROVIDED BY THE CONTRACTOR WHETHER INSIDE OR OUTSIDE THESE WORK LIMITS. THE CONTRACTOR SHALL FURNISH, ERECT, MAINTAIN AND SUBSEQUENTLY REMOVE SUCH ADDITIONAL TRAFFIC CONTROL DEVICES LOCATED OUTSIDE THE LIMITS OF CONSTRUCTION AS ARE REQUIRED ON THOSE STREETS WHICH ARE USED AS DETOURS, INCLUDING ROAD CLOSURE SIGNS AND BARRICADES AT THE POINT WHERE THE ROAD IS CLOSED TO THROUGH TRAFFIC.
- THE CONTRACTOR SHALL PROTECT LOCATION OF ALL PROPERTY PINS AND BENCHMARKS.
- ALL WORK CONTINGENTED SHALL AT ALL TIMES BE SUBJECT TO THE DIRECT INSPECTION OF THE CITY, OWNER AND THEIR REPRESENTATIVES. THE CITY AND OWNER RESERVES THE RIGHT TO HALT ALL CONSTRUCTION

**ACTIVITY FOR NONCONFORMANCE OF PLANS, SPECIFICATIONS AND OTHER APPLICABLE STANDARDS OR REGULATIONS**

- PRICES BID PER FOOT FOR ALL PIPES IS COMPACTED IN PLACE REGARDLESS OF SOIL OR ROCK CONDITIONS. CONTRACTOR IS RESPONSIBLE FOR ALL SIGNS, BARRICADES AND SAFETY FENCES TO DETER PEOPLE FROM ENTERING THE WORK AREA AND FOR MAINTAINING AND PROTECTING THE FLOW OF VEHICULAR AND PEDESTRIAN TRAFFIC AROUND THE JOB SITE. TRAFFIC CONTROLS SHALL BE COORDINATED WITH THE POLICE DEPARTMENT AND THE CITY.
- PRIOR TO ANY CONSTRUCTION OR GRADING, A PROTECTIVE BARRIER, FENCE, POST AND/OR SIGNS CLEARLY INDICATING LIMITS OF WORK/DISTURBANCE SHALL BE INSTALLED INDICATING NO DISTURBANCES OUTSIDE LIMITS. THE CITY AND OWNER SHALL BE CONTACTED UPON TERMINATION OF LIMITS IN THE FIELD.
- ALL ROAD SURFACES, EASEMENTS OR RIGHT-OF-WAYS DISTURBED BY CONSTRUCTION OF ANY PART OF THIS IMPROVEMENT ARE TO BE RESTORED COMPLETELY TO THE SATISFACTION OF THE CITY AND THE OWNER.
- NO PARKING OF CONTRACTOR OR CONSTRUCTION EQUIPMENT OR VEHICLES ON ANY PUBLIC STREETS SHALL BE PERMITTED.
- ALL DISTURBED SIGNS, GUARDRAILS, MAIL BOXES, AND DRIVEWAYS SHALL BE REPAIRED OR REPLACED AS DIRECTED BY THE CITY AND THE OWNER.
- DUST CONTROL: THE CONTRACTOR SHALL SUPPLY ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY SUCH AS CALCIUM CHLORIDE, WATER OR MOTORIZED DUST FREE STREET SWEEPING DEVICE TO MAINTAIN ALL ROADWAYS BEING USED FOR ACCESS TO THE CONSTRUCTION SITE AND SHALL ADHERE TO ALL ORDINANCES OF THE CITY, COUNTY, MOVED OR ANY OTHER GOVERNING AUTHORITY.
- ALL SEWERS, MANHOLES, JUNCTION CHAMBERS AND INLET BASINS MUST BE CLEANED BEFORE ACCEPTANCE BY THE CITY AND OWNER.
- IF MUD, SOIL OR OTHER DEBRIS IS DEPOSITED ON ADJACENT STREETS, ROADS OR OTHER PROPERTY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF SUCH AT THE END OF EACH WORK DAY OR AS REQUIRED DURING THE WORK DAY.
- ADJUST TO GRADE OR RECONSTRUCT TO GRADE WORK SHALL INCLUDE THE REMOVAL AND REPLACEMENT OF ANY EXISTING CONCRETE BLOCKOUT PAVEMENT, DAMAGED PAVEMENT DOWELS OR OTHER SUCH LOAD TRANSFER DEVICES SHALL BE REPLACED AS DIRECTED BY THE CITY AND THE ENGINEER.
- ALL EXISTING CASTINGS FOR STRUCTURES TO BE ADJUSTED OR RECONSTRUCTED TO GRADE SHALL BE FIELD CHECKED AT THE TIME OF CONSTRUCTION AND MARKED SUITABLE FOR SALVAGE AND REUSE OR REPLACED, COMPACTED PREMIUM BACKFILL (MDOT CLASS II SAND) WILL BE REQUIRED AT ALL FILL AREAS OR ANY STREETS WHERE REMOVAL AND REPLACEMENT OF PAVEMENT IS REQUIRED AND FOR ALL UNDERGROUND CONSTRUCTION UNDER ANY DRIVEWAY OR PAVEMENT INCLUDING THE 45 DEGREE ANGLE OF INFLUENCE FROM THE OUTSIDE EDGE OF PAVEMENT OR TOP OF CURB. COMPACTION TESTS SHALL BE REQUIRED EVERY 60 FEET UNDER PAVEMENT. PAVEMENT INCLUDES, BUT NOT LIMITED TO, ROADWAY SURFACES, SIDEWALKS, BIKE WAYS, DRIVEWAYS, SHOULDERS, BUILDINGS, ETC.
- NO BUILDING MATERIAL, EQUIPMENT, VEHICLES OR CHEMICALS SHALL BE STORED OR PLACED OUTSIDE LIMITS OF WORK/DISTURBANCE.
- STORMWATER POLLUTION PREVENTION ITEMS SHALL BE IN PLACE PRIOR TO COMMENCING CLEARING CONSTRUCTION, EARTHWORK GRADING, OR ANY OTHER TYPE OF CONSTRUCTION ACTIVITY.
- ROOF DRAINS, FOUNDATION DRAINS AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER ARE PROHIBITED.
- CONSTRUCTION NOISE SHALL BE KEPT TO A MINIMUM DURING NIGHTTIME HOURS AND MUST COMPLY WITH MUNICIPAL CODE REQUIREMENTS.



**FLEXSTORM INLET FILTER LITE DETAIL**

N.T.S.

**O'Connor**  
266 East Michigan Avenue  
Kalamazoo, MI 49007

**Details & Specifications**

PART OF THE SOUTH 1/2 OF SECTION 15, T2S, R11W,  
CITY OF KALAMAZOO, KALAMAZOO COUNTY, MICHIGAN

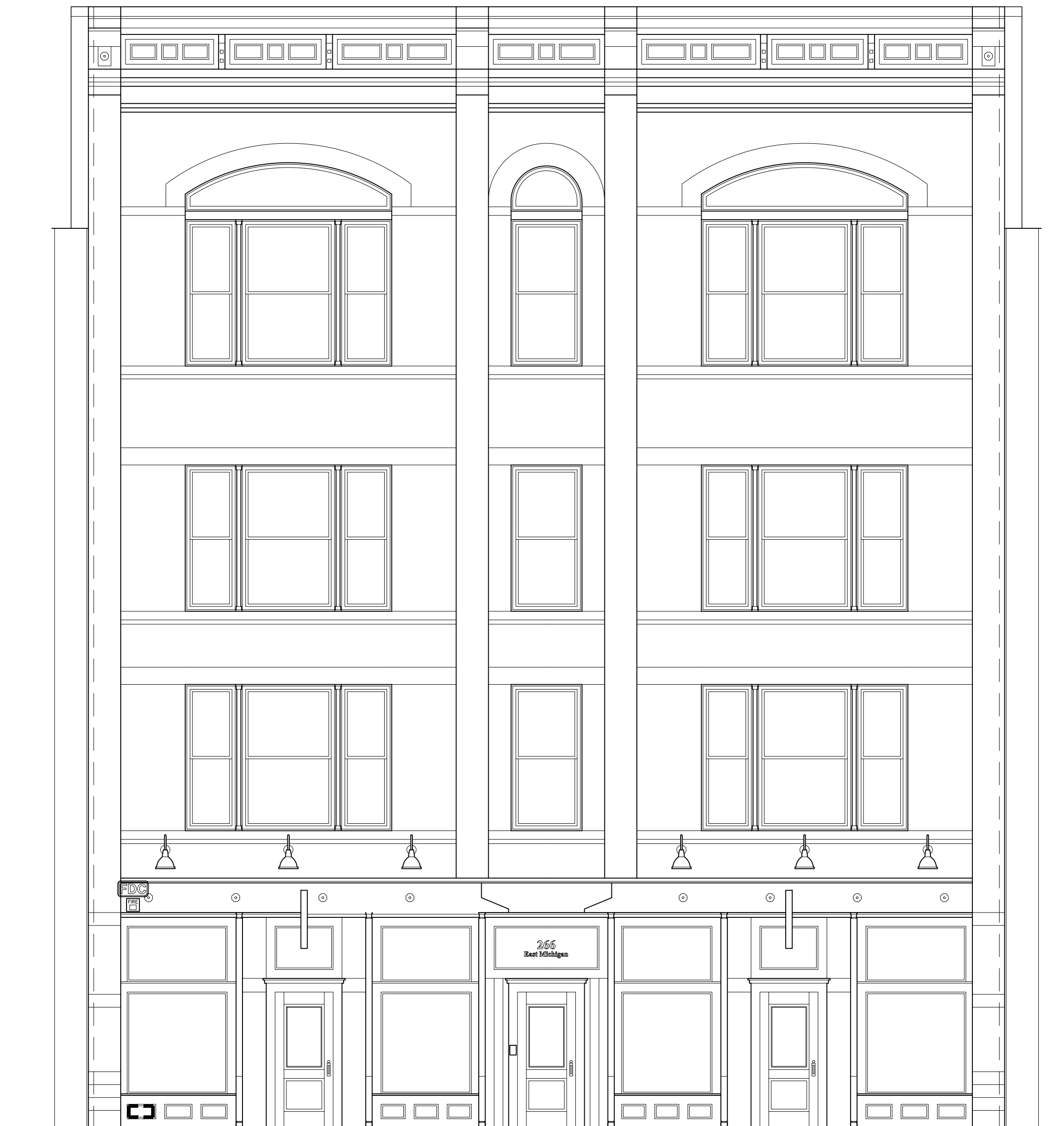
**STAMP:**

CLEMENS A. AJDU  
ENGINEER  
No. 40934  
LICENSED PROFESSIONAL ENGINEER

**PROJECT NO:**  
20400162

**SHEET NO:**  
**C-500**

# 266 East Michigan Avenue Lofts O'Connor Development Kalamazoo, Michigan



Issue for Review  
December 13, 2023  
GR190610



architecture    planning    interior design    graphic design

r2 design group, pllc  
1679 Lake Drive SE  
Grand Rapids, MI 49506  
616.457.8100  
616.819.9876

structural engineering



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## INDEX

COVER SHEET - INDEX	INTERIOR DESIGN SERIES SEE DESIGN/BUILD DWGS
<b>CIVIL SERIES</b>	<b>ELECTRICAL SERIES</b>
C-210 EXISTING & DEMO PLAN	E1.00 DETAILS, SYMBOL LEGEND & SPECIFICATIONS
C-205 SITE LAYOUT PLAN	E2.00 ONE-LINE DIAGRAM
C-500 DETAILS & SPECIFICATIONS	E3.00 PANELBOARD SCHEDULES
<b>STRUCTURAL SERIES</b>	EL.1.00 BASEMENT & 1ST FLOOR LIGHTING PLAN - PHOTOMETRICS
S0.01 GENERAL STRUCTURAL NOTES/SCHEDULES	EL.1.00A BASEMENT & 1ST FLOOR LIGHTING PLAN - PHOTOMETRICS
S0.02 TYPICAL DETAILS	EL.1.01 2ND & 3RD FLOOR LIGHTING PLAN - PHOTOMETRICS
S1.01 1st & 2nd FLOOR FRAMING PLANS	EL.1.01A 2ND & 3RD FLOOR LIGHTING PLAN - PHOTOMETRICS
S1.02 3rd & 4th FLOOR FRAMING PLANS	EL.1.02 4TH & 4TH FLOOR LOFT LIGHTING PLAN - PHOTOMETRICS
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S2.01 STRUCTURAL SECTIONS	EP.1.00 BASEMENT & 1ST FLOOR POWER PLAN
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A0.02 LIFE SAFETY PLAN	M1.00 BASEMENT & 1ST FLOOR MECHANICAL PLANS
A0.03 RATED ASSEMBLIES/WALL TYPES	M1.01 2ND & 3RD FLOOR MECHANICAL PLANS
D1.00 DEMO PLANS	M1.02 4TH & 4TH FLOOR LOFT MECHANICAL PLANS
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A1.02 FLOOR PLANS	
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A7.00 INTERIOR ELEVATIONS	
A7.01 INTERIOR ELEVATIONS	
A9.00 DOOR SCHEDULE & DETAILS	
A9.01 ROOM FINISH SCHEDULE, SPECIFICATIONS & EXTERIOR MATERIALS	

## PROJECT SUMMARY/UNIT MATRIX

**PROJECT SUMMARY**  
RENOVATION OF AN APPROXIMATELY 13,572sf BUILDING IN DOWNTOWN KALAMAZOO, MI. THE FIRST FLOOR WILL HOLD TWO COMMERCIAL RETAIL/RESTAURANT/BAR TENANTS WHICH CURRENTLY EXIST. A NEW RESIDENTIAL ELEVATOR, LOBBY AND EGRESS STAIR TO BE ADDED TO THE SOUTH SIDE. FLOORS 2, 3 & 4 TO BE RENOVATED INTO 13, 1-BEDROOM/1-BATHROOM UNITS RANGING FROM 555sf TO 840sf. THE BASEMENT WILL REMAIN UNCHANGED OUTSIDE OF NEW STAIR.

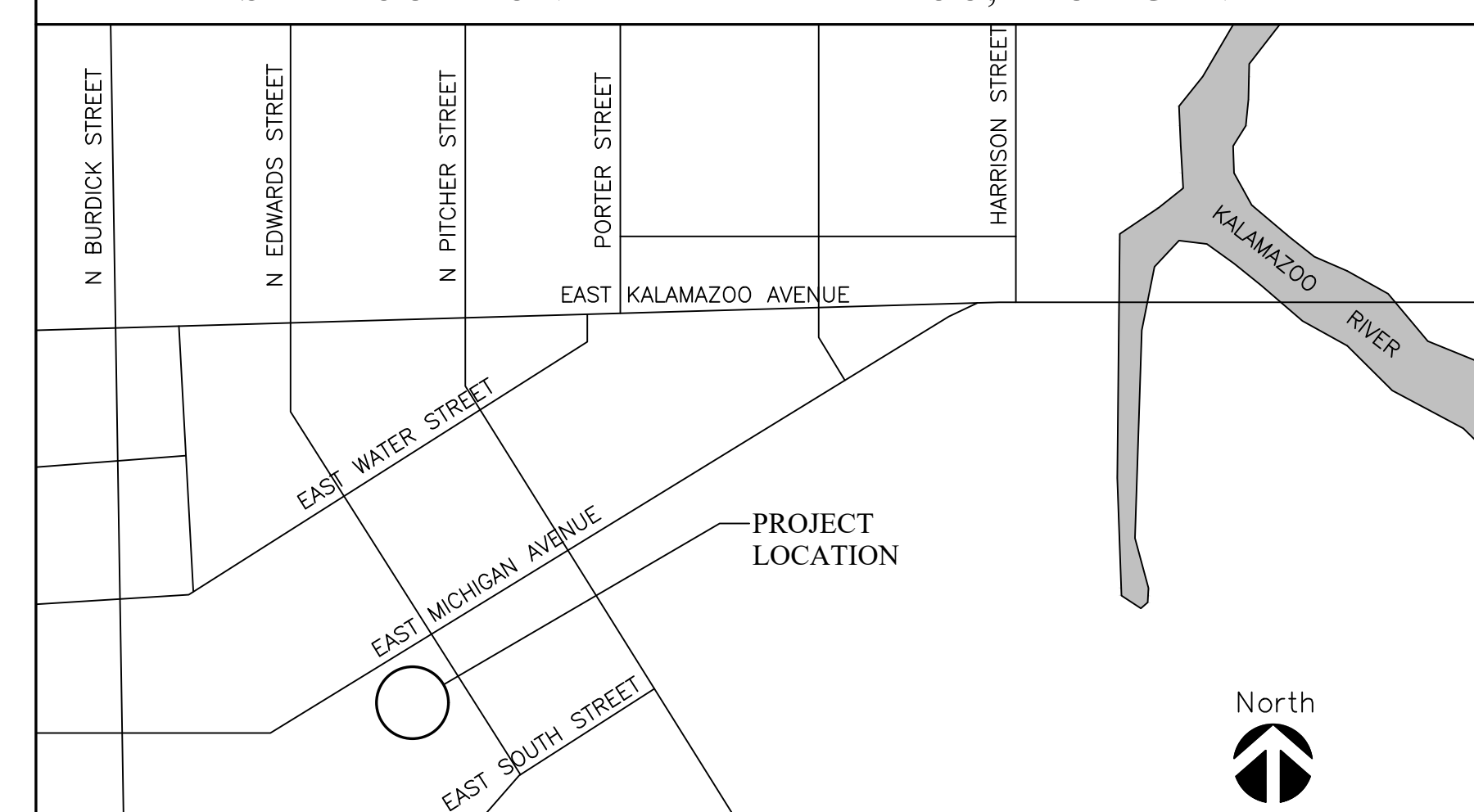
UNIT MIX (13 TOTAL UNITS):

**2ND FLOOR**  
4 - 1 BEDROOM/1 BATHROOM (565sf TO 760sf)

**3RD FLOOR**  
3 - 1 BEDROOM/1 BATHROOM (570sf TO 755sf)  
1 - 1 BEDROOM+/1 BATHROOM (840sf)

**4TH FLOOR**  
4 - 1 BEDROOM/1 BATHROOM (555sf TO 670sf)  
1 - 1 BEDROOM + LOFT/1 BATHROOM (730sf)

## SITE LOCATION MAP - KALAMAZOO, MICHIGAN



BUILDING CODE SUMMARY

CODES: 2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS (CHAPTER 4 - PRESCRIPTIVE COMPLIANCE METHOD) AND THE APPLICABLE SECTIONS OF THE 2015 MICHIGAN BUILDING CODE.
SECTION 401 GENERAL
401.1 SCOPE THE GENERAL PROVISIONS OF THIS CHAPTER SHALL CONTROL THE ALTERATION, REPAIR, ADDITION AND CHANGE OF OCCUPANCY OR RELOCATION OF EXISTING BUILDINGS AND STRUCTURES, INCLUDING HISTORIC BUILDINGS AND STRUCTURES AS REFERENCED IN SECTION 301.1.1.

ACCESSIBILITY:
TYPE A UNITS: NONE REQUIRED (LESS THAN 20 DWELLING UNITS ARE PROVIDED)
TYPE B UNITS: ALL DWELLING UNITS ARE REQUIRED TO BE TYPE B.

401.2.1 EXISTING MATERIALS, MATERIALS ALREADY IN USE IN A BUILDING IN COMPLIANCE WITH REQUIREMENTS OR APPROVALS IN EFFECT AT THE TIME OF THEIR ERECTION OR INSTALLATION SHALL BE PERMITTED TO REMAIN IN USE UNLESS DETERMINED BY THE BUILDING OFFICIAL TO BE UNSAFE PER SECTION 115.

403.10 SMOKE ALARMS, INDIVIDUAL SLEEPING UNITS, AND INDIVIDUAL DWELLING UNITS IN GROUP R AND I-1 OCCUPANCIES SHALL BE PROVIDED WITH SMOKE ALARMS IN ACCORDANCE WITH THE MICHIGAN BUILDING CODE.

406.3 REPLACEMENT WINDOW EMERGENCY ESCAPE AND RESCUE OPENINGS, WHERE WINDOWS ARE REQUIRED TO PROVIDE EMERGENCY ESCAPE AND RESCUE OPENINGS IN GROUP R-2 AND R-3 OCCUPANCIES.

407.3 STAIRWAYS, AN EXISTING STAIRWAY SHALL NOT BE REQUIRED TO COMPLY WITH THE REQUIREMENTS OF SECTION 1011.1 OF THE INTERNATIONAL BUILDING CODE WHERE THE EXISTING SPACE AND CONSTRUCTION DOES NOT ALLOW A REDUCTION IN PITCH OR SLOPE.

GENERAL DEMOLITION NOTES

- 1. VERIFY EXISTING ITEMS TO REMAIN.
2. DEMOLISH AND REMOVE ITEMS INDICATED. PREPARE ANY OPENINGS AS REQUIRED TO RECEIVE NEW CONSTRUCTION.
3. NOTIFY THE ARCHITECT ONCE DEMOLITION IS COMPLETE SO A SITE VISIT CAN BE PROVIDED TO VERIFY EXISTING CONDITIONS.
4. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY HAZARDOUS MATERIAL IDENTIFICATION, REMOVAL AND/OR REMEDIATION. THE OWNER SHALL BE RESPONSIBLE FOR THE IDENTIFICATION OF HAZARDOUS MATERIALS AND REMOVAL AND/OR REMEDIATION AS REQUIRED. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY IF THERE IS A SUSPECTED PRESENCE OF HAZARDOUS MATERIAL OR ASBESTOS.

ARCHITECTURAL DEMOLITION NOTES

- 1. CONTRACTOR TO CONFIRM ITEMS TO BE SALVAGED WITH THE OWNER PRIOR TO THE START OF THE DEMOLITION ACTIVITIES.
2. DO NOT CUT AND PATCH EXISTING CONSTRUCTION IN A WAY THAT RESULTS IN OBVIOUS, VISUAL EVIDENCE THAT WORK HAS OCCURRED. CONTRACTOR TO CONFIRM WITH ARCHITECT PRIOR TO CUTTING AND PATCHING TO DETERMINE IF FINAL RESULTS WILL BE ACCEPTABLE.
3. PROTECT EXISTING CONSTRUCTION NOT INDICATED FOR DEMOLITION FROM DAMAGE. COORDINATE WITH OWNER PRIOR TO REMOVAL OF ELEMENTS TO BE STORED FOR PROTECTION PRIOR TO DEMOLITION.

STRUCTURAL DEMOLITION NOTES

- 1. CONSULT WITH THE STRUCTURAL ENGINEER OF RECORD AND CONVEY AN ON-SITE MEETING TO REVIEW THE STRUCTURAL MEMBERS TO BE REMOVED AND TO VERIFY THE INTEGRITY OF THE STRUCTURE DURING DEMOLITION PRIOR TO COMMENCING WORK.
2. DO NOT CUT OR MODIFY EXISTING STRUCTURAL ELEMENTS UNLESS DIRECTED WITHIN THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/STRUCTURAL ENGINEER OF ALL STRUCTURAL CUTS PRIOR TO EXECUTION FOR APPROVAL.
3. PROVIDE AND MAINTAIN INTERIOR AND EXTERIOR SHORING, BRACING, OR STRUCTURAL SUPPORT TO PRESERVE STABILITY AND TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF THE CONSTRUCTION TO REMAIN. PERFORM DEMOLITION OPERATIONS TO PREVENT UNEXPECTED OR UNCONTROLLED MOVEMENT OR COLLAPSE OF CONSTRUCTION BEING DEMOLISHED. STRENGTHEN OR ADD NEW SUPPORTS WHEN REQUIRED DURING PROGRESS OF SELECTIVE DEMOLITION.

BUILDING SYSTEMS AND UTILITY DEMOLITION NOTES

- 1. EXISTING UTILITIES INDICATED TO BE REMOVED SHALL BE CUT AND CAPPED WITHIN OR AT THE BOUNDARY OF THE DEMOLITION AREA. IDENTIFY ALL UTILITIES TO BE CUT AND CAPPED BY OTHERS. VERIFY THAT DESIGNATED UTILITIES ARE NOT IN SERVICE PRIOR TO THE START OF DEMOLITION. EXISTING UTILITIES SERVING EQUIPMENT WHICH IS TO REMAIN OR WHICH SERVES ADJACENT AREAS SHALL BE MAINTAINED.
2. REMOVE EXISTING TELEPHONE, DATA, ELECTRICAL BOXES, DEVICES, WIRING, RACEWAYS, AND CABLING WHERE INDICATED. TERMINATE WIRING AND CABLING AT ORIGINAL PANELS.
3. WHERE INDICATED, REMOVE EXISTING PLUMBING FIXTURES, INCLUDING CASEWORK, HANGERS, AND OTHER SUPPORTING ITEMS. CAP ALL PIPING AS REQUIRED BY APPLICABLE CODES AND REGULATIONS. UNDERGROUND PIPING SHALL BE CAPPED BELOW THE FLOOR AND THE SLAB RELATED TO THE ORIGINAL CONDITION.

GENERAL NOTES

- 1. DO NOT SCALE DRAWINGS. USE DIMENSIONS PROVIDED OR CONSULT THE ARCHITECT FOR CLARIFICATIONS.
2. CONTRACT DOCUMENTS INCLUDE THE CONSTRUCTION DOCUMENTS, PROJECT MANUAL (IF ISSUED), ADDENDA, CHANGE ORDERS, AND BULLETINS.
3. SUBMIT IN WRITING ALL DRAWING RELATED QUESTIONS, CLARIFICATIONS, SUBSTITUTIONS, AND REQUEST FOR CHANGES TO THE ARCHITECT/ENGINEER.
4. DRAWING INFORMATION WITHIN EXISTING BUILDINGS MAY NOT BE COMPLETE DUE TO CONCEALED CONDITIONS AND LACK OF PRIOR BUILDING ACCESS. FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. WHERE EXISTING CONDITIONS DEVIATE AND WILL AFFECT THE PROPOSED WORK, SUBMIT FOR CLARIFICATION. EXISTING CONDITIONS THAT DIFFER FROM WHAT IS SHOWN SHALL BE SUBMITTED TO THE ARCHITECT FOR CLARIFICATION.

FIRE SPRINKLER NOTES

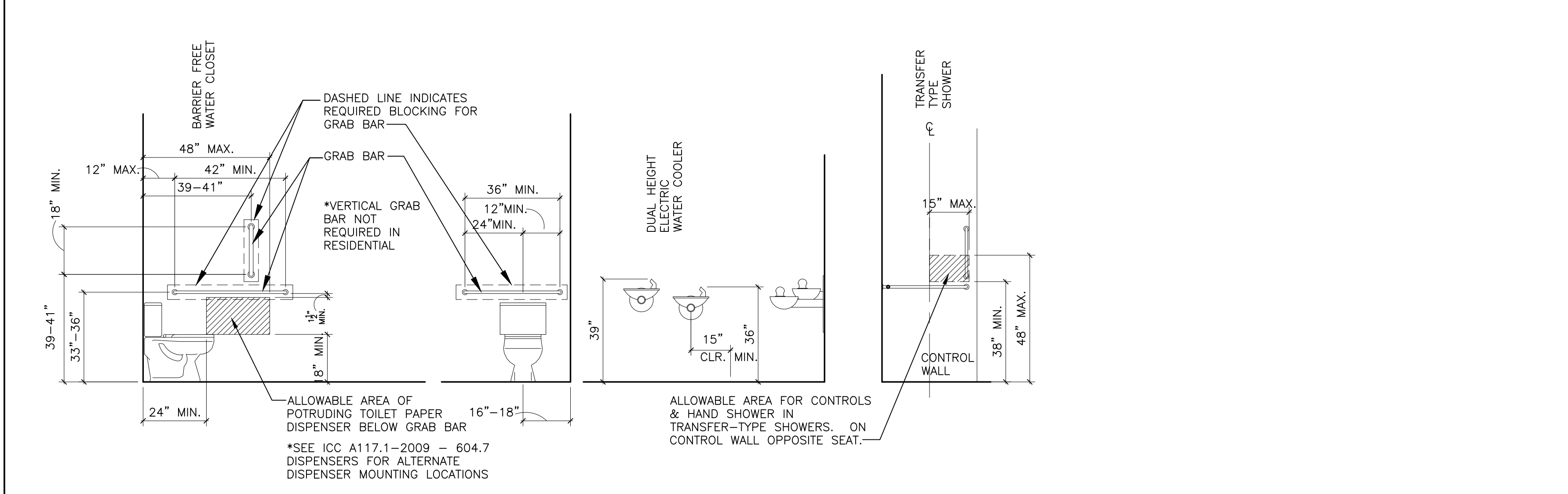
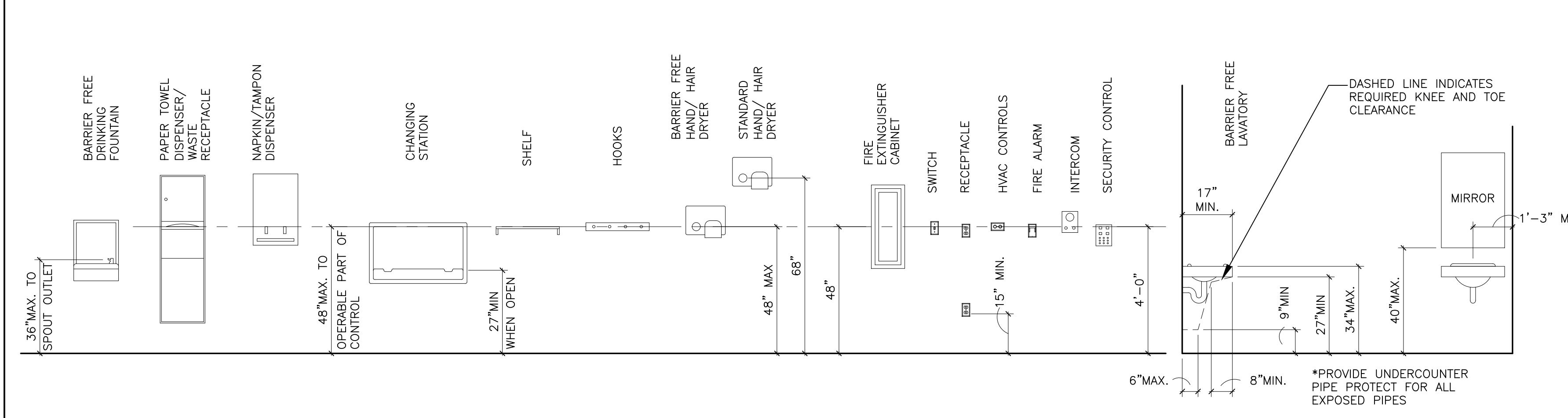
- 1. THE ENTIRE STRUCTURE SHALL BE SPRINKLED, INCLUDING THE BASEMENT AND EXISTING FIRST FLOOR TENANT SPACES. (13-FIRE SUPPRESSION SYSTEM - SEE FIRE PROTECTION DRAWINGS)
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL CODES AND ORDINANCES IN EFFECT AS WELL AS ANY OTHER REQUIREMENTS BY THE AUTHORITY HAVING JURISDICTION.
3. THE FIRE SPRINKLER SYSTEM SHALL BE DESIGNED AND PROVIDED BY THE FIRE PROTECTION CONTRACTOR AS A DESIGN-BUILD SERVICE IN ACCORDANCE WITH THE REQUIREMENTS OF NFPA.

FIRE RATED ASSEMBLY NOTES

- 1. SEE SHEETS A0.02 AND A0.03

REFERENCE SYMBOLS

Table with columns for SPACE MARK, DOOR MARK, FRAME TYPE, METAL WALL LOUVER, WALL & PARTITION TYPE, EXISTING SPOT GRADE, PROPOSED SPOT GRADE, CEILING TAG, REVISION MARK, DATUM ELEVATION, SECTION MARK, ELEVATION MARK, DETAIL MARK. Includes symbols for ROOM NAME, 100, 125A, 100'-0", DET.#/SHEET #, 100.5', 100.5', C-1.



TYPICAL MOUNTING HEIGHTS
SCALE: 3/8" = 1'-0"

REF:

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O'Connor Development
Kalamazoo, Michigan

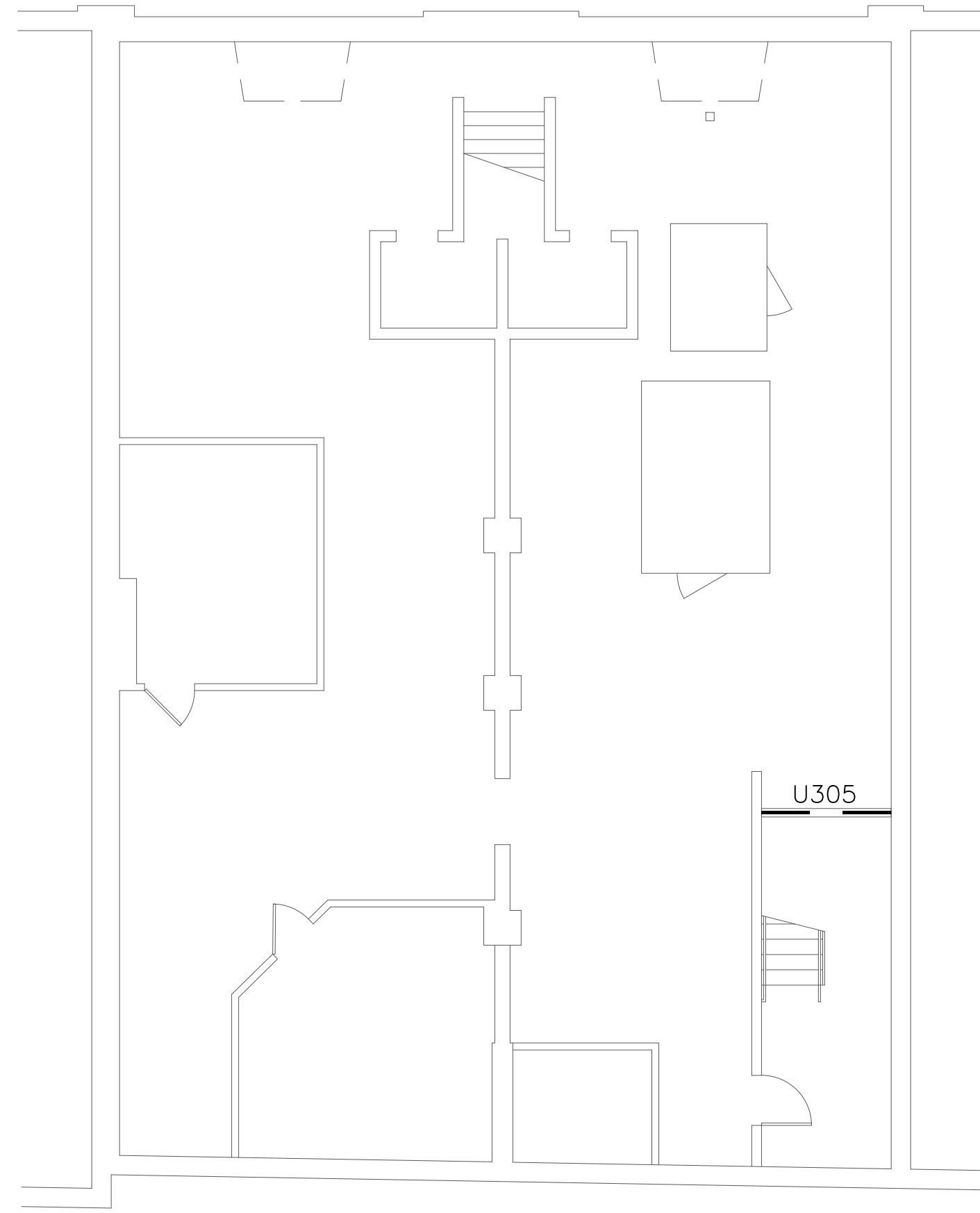
Table with columns No., Date, Item. Issued Drawing Log.

r2 design group logo and contact information: architecture, planning, interior design, graphic design. 1679 lake drive se, grand rapids, mi 49506, 616.819.9876, www.r2designgroup.com

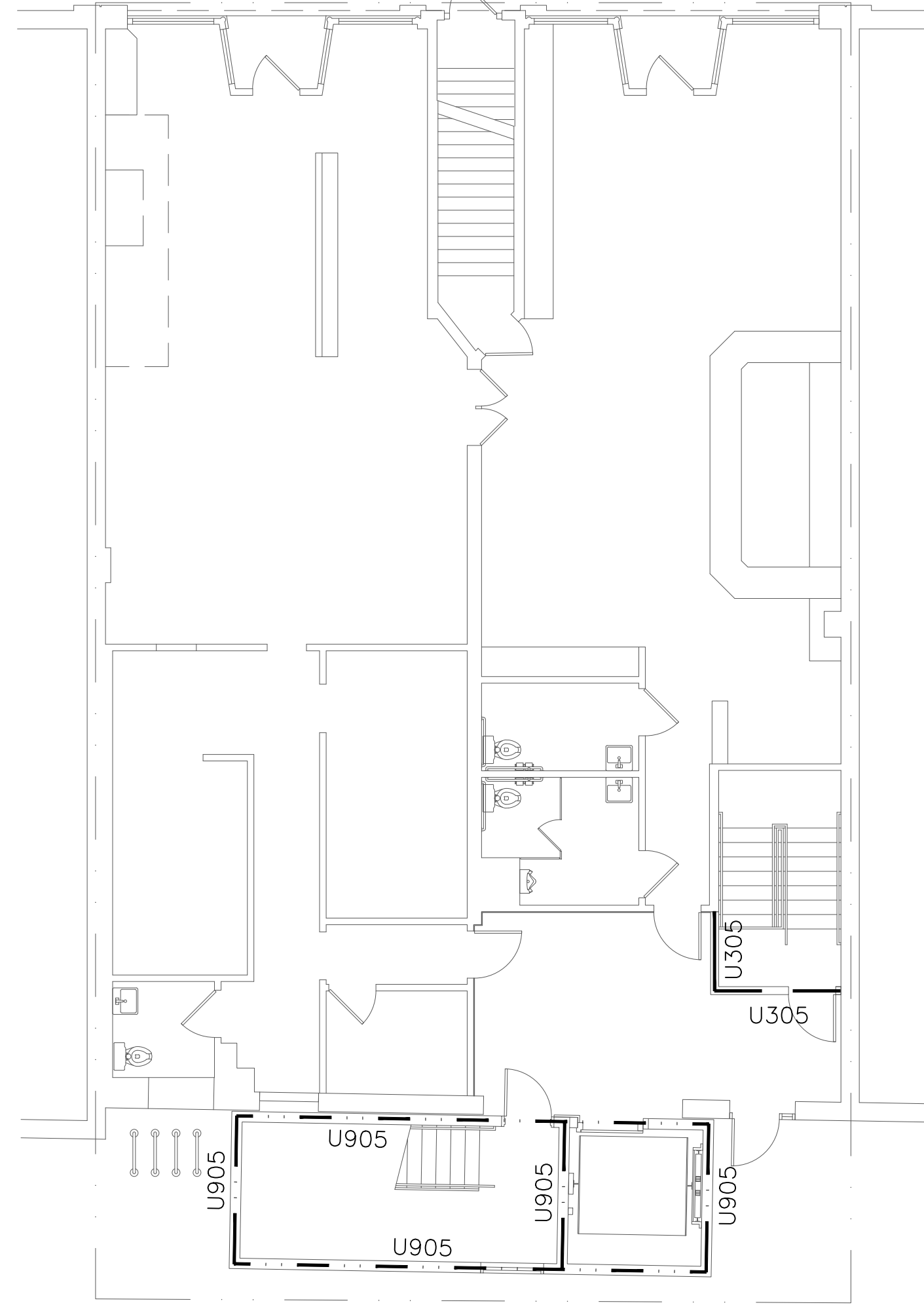
GENERAL NOTES

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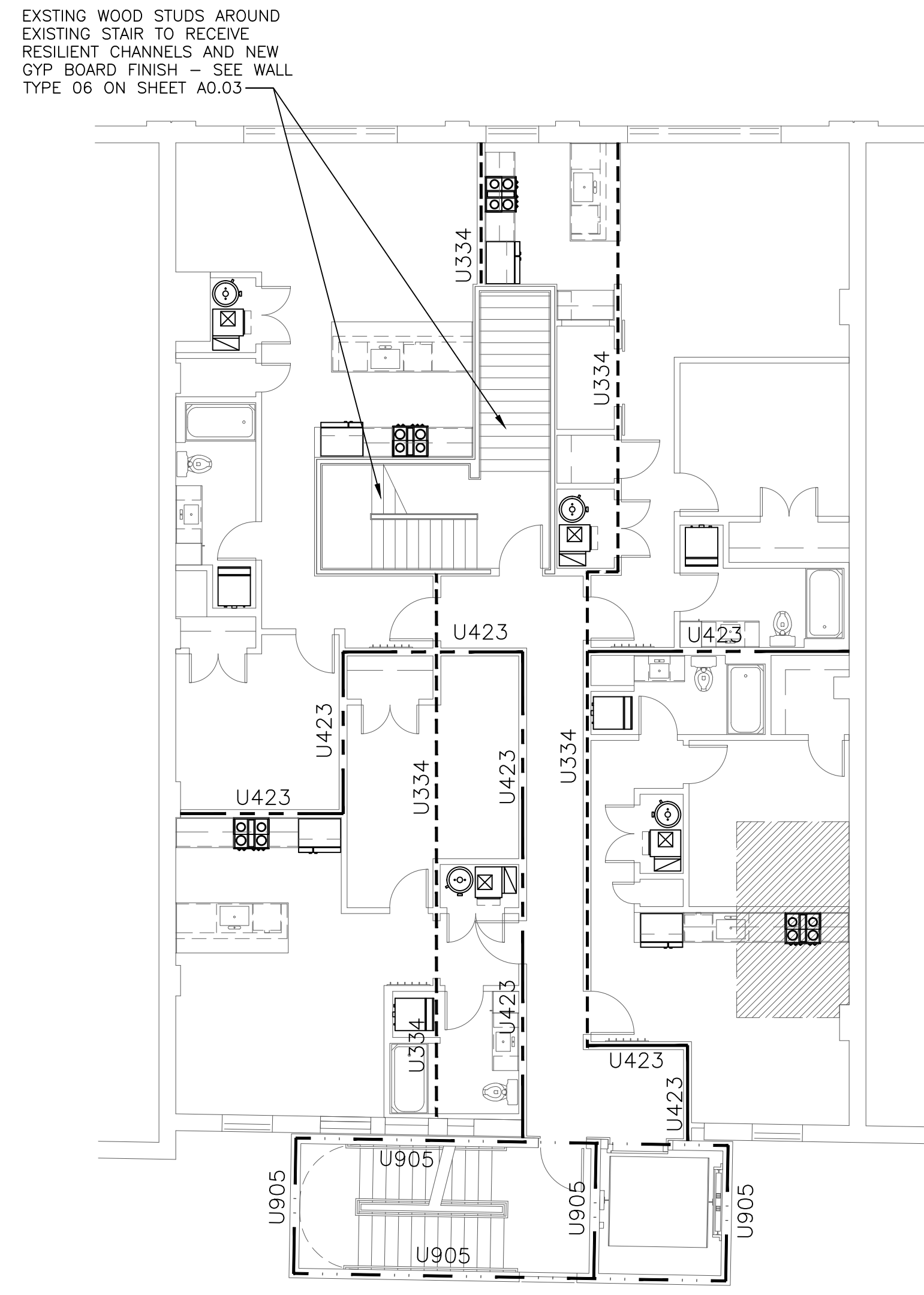
A0.01



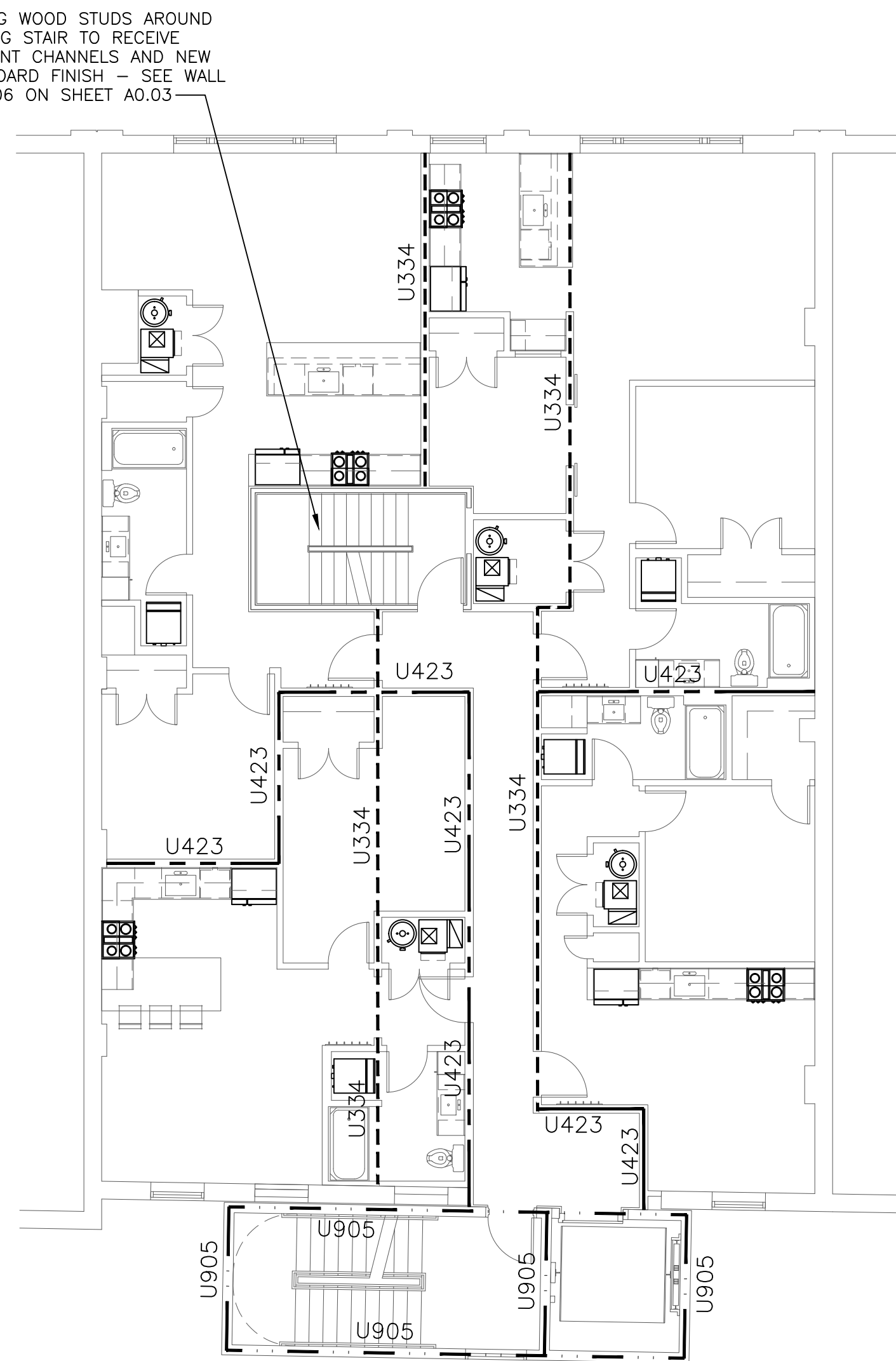
01 BASEMENT PLAN  
SCALE: 1/8" = 1'-0"



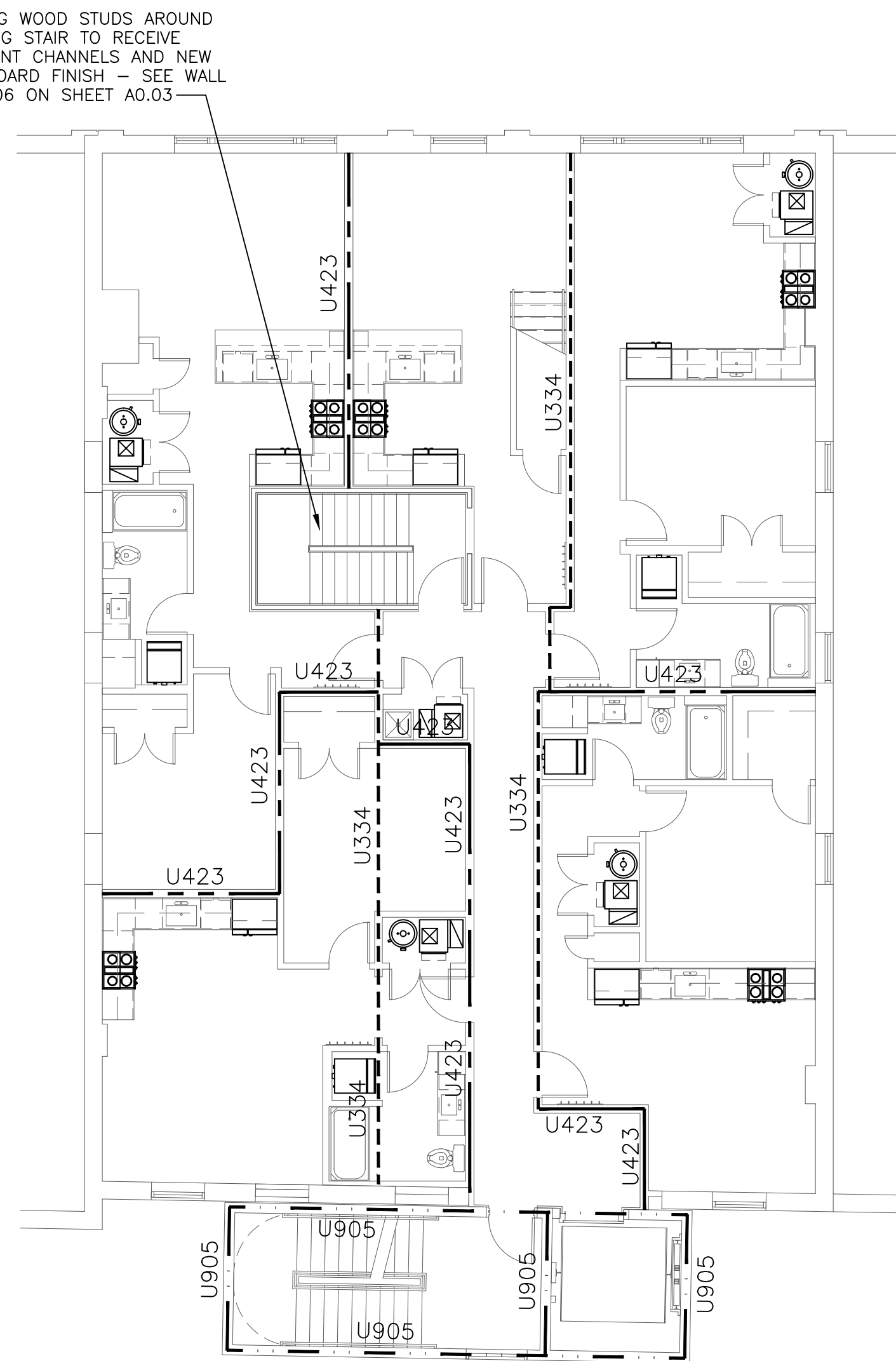
02 1st FLOOR PLAN  
SCALE: 1/8" = 1'-0"



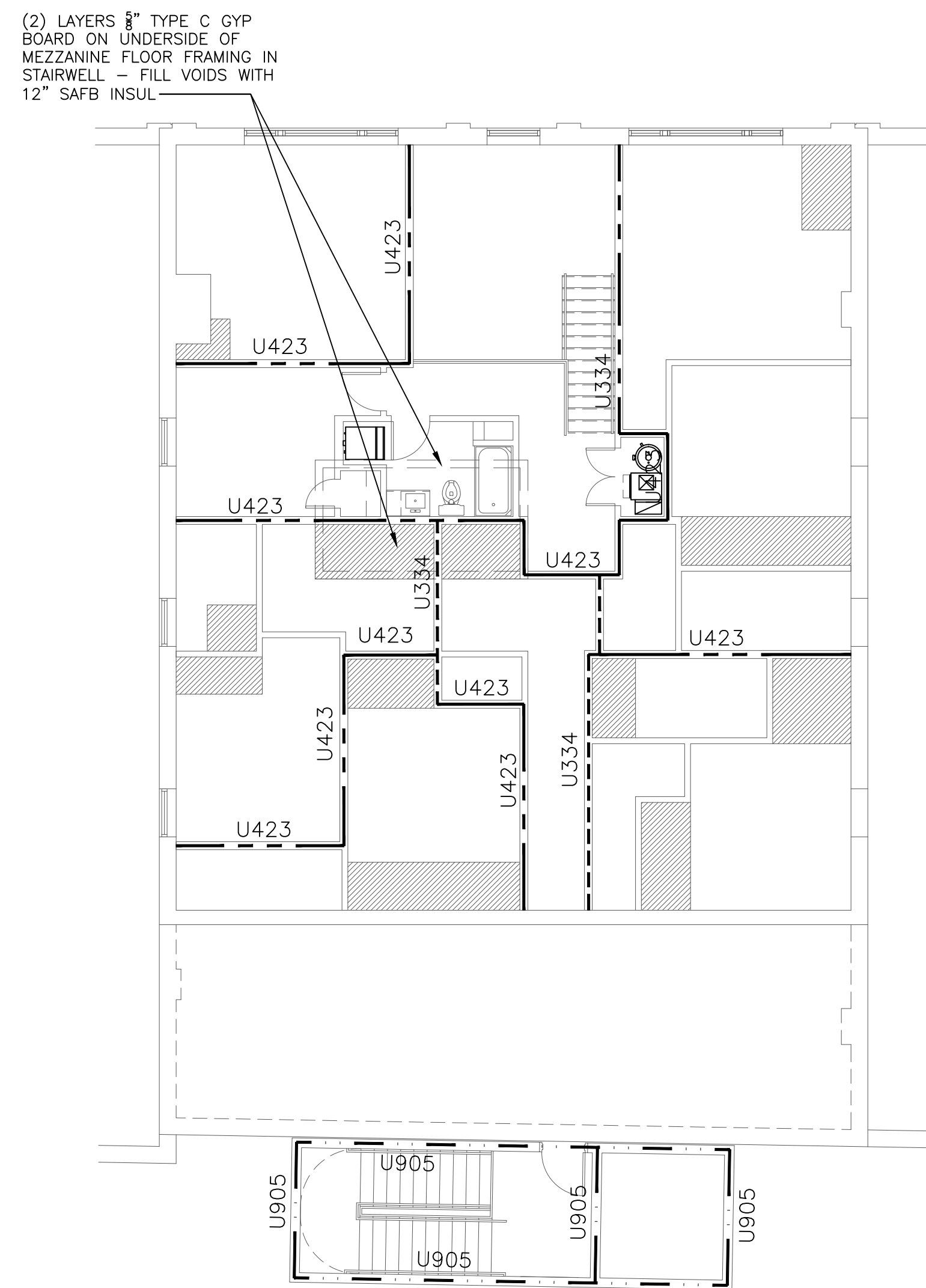
03 2nd FLOOR PLAN  
SCALE: 1/8" = 1'-0"



04 3rd FLOOR PLAN  
SCALE: 1/8" = 1'-0"



05 4th FLOOR PLAN  
SCALE: 1/8" = 1'-0"



06 4th FLOOR MEZZANINE PLAN  
SCALE: 1/8" = 1'-0"

UL ASSEMBLY CHART - WALLS

- U905 1. UL DESIGN NO. U905 - CMU WALL (2-HOUR ASSEMBLY FOR STAIR AND ELEVATOR SHAFTS)
- U423 2. UL DESIGN NO. U423 - INTERIOR, NON-LOAD BEARING, METAL STUD DEMISING WALL (2-HOUR ASSEMBLY)
- U334 3. UL DESIGN NO. U334 - INTERIOR, LOAD BEARING, WOOD DEMISING WALL (2-HOUR ASSEMBLY)
- U411 4. UL DESIGN NO. U411 - INTERIOR, NON-LOAD BEARING WALLS (2-HOUR ASSEMBLY)

UL ASSEMBLY CHART - FLOORS, ROOF, AND CEILINGS

1. UL DESIGN NO. U570 - WOOD FRAMED FLOOR/CEILING (1-HOUR ASSEMBLY, 1-HOUR REQUIRED)
2. 2015 MICHIGAN BUILDING CODE ITEM NUMBER 21-1.1 - WOOD FRAMED CEILING/ROOF (1-HOUR ASSEMBLY, 1-HOUR REQUIRED):  
  
ROOF: FLAT WOOD TRUSSES, SPACED A MAXIMUM OF 24" OC WITH 3/4" WOOD STRUCTURAL PANELS WITH EXTERIOR GLUE APPLIED AT RIGHT ANGLES TO TOP CHORD OF TRUSSES WITH 8d NAILS.  
  
CEILING: BASE LAYER 5/8" TYPE X GYPSUM BOARD APPLIED AT RIGHT ANGLES TO TRUSS WITH 1 1/2" TYPE S OR TYPE W DRYWALL SCRES 24" OC. FACE LAYER 5/8" TYPE X GYPSUM BOARD APPLIED AT RIGHT ANGLES TO TRUSS THROUGH BASE LAYER WITH 1 1/2" TYPE S OR TYPE W DRYWALL SCREWS 12" OC AT JOINTS AND INTERMEDIATE TRUSS. FACE LAYER TYPE G DRYWALL SCREWS PLACED 2" BACK ON IETHER SIDE OF FACE LAYER END JOINTS, 12" OC.

UL ASSEMBLY CHART - HORIZONTAL SEPARATION

UL ASSEMBLY NOTES

1. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PENETRATIONS THRU RATED ASSEMBLIES
2. SEE DETAILS WITHIN THE CONSTRUCTION DOCUMENTS FOR ADDITIONAL INFORMATION.

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Kalamazoo, Michigan

No.	Date	Item

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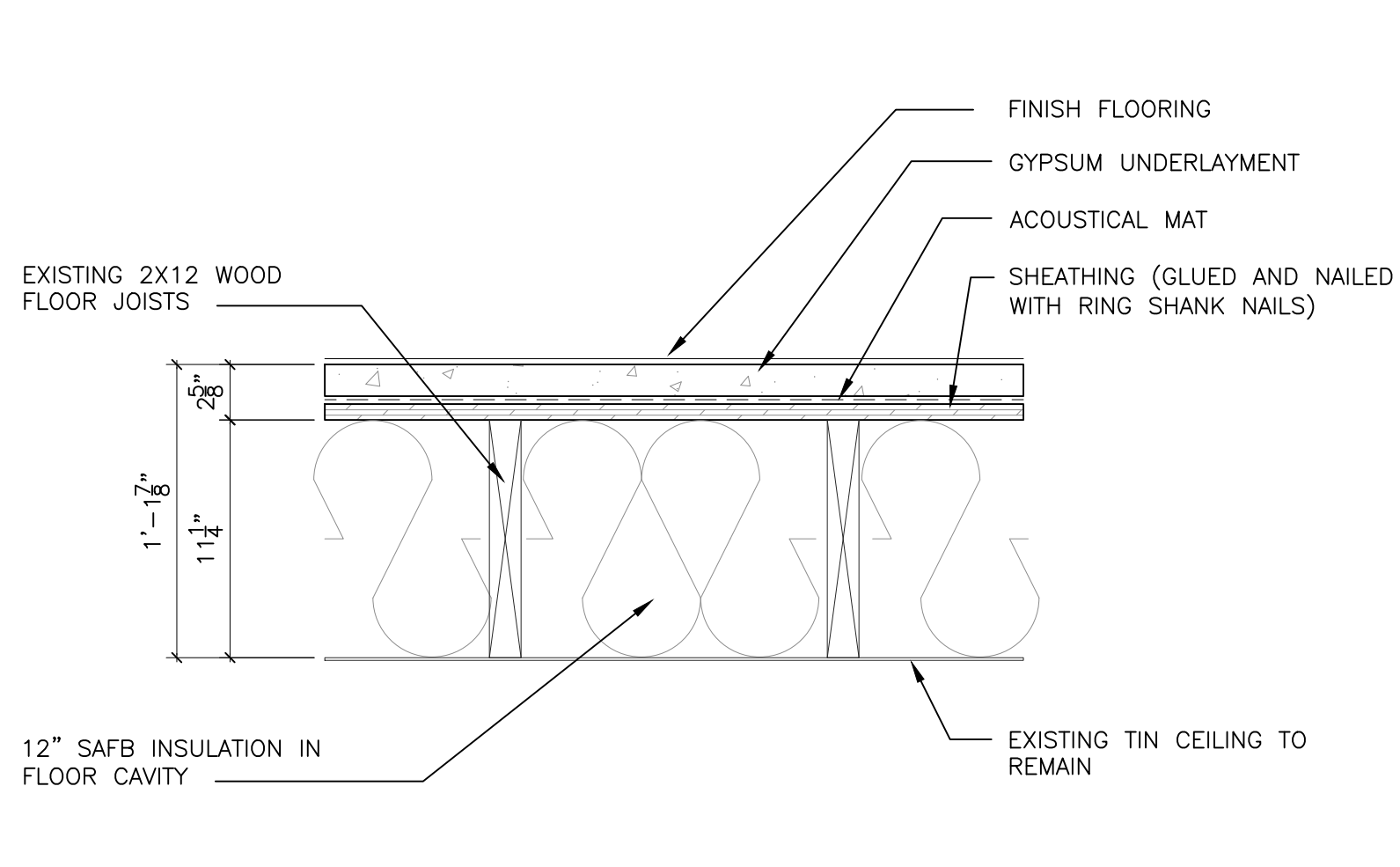
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FIRE SEPARATION PLANS

Job No: GR190610  
Issue: Issue for Review  
Issue Date: December 13, 2023

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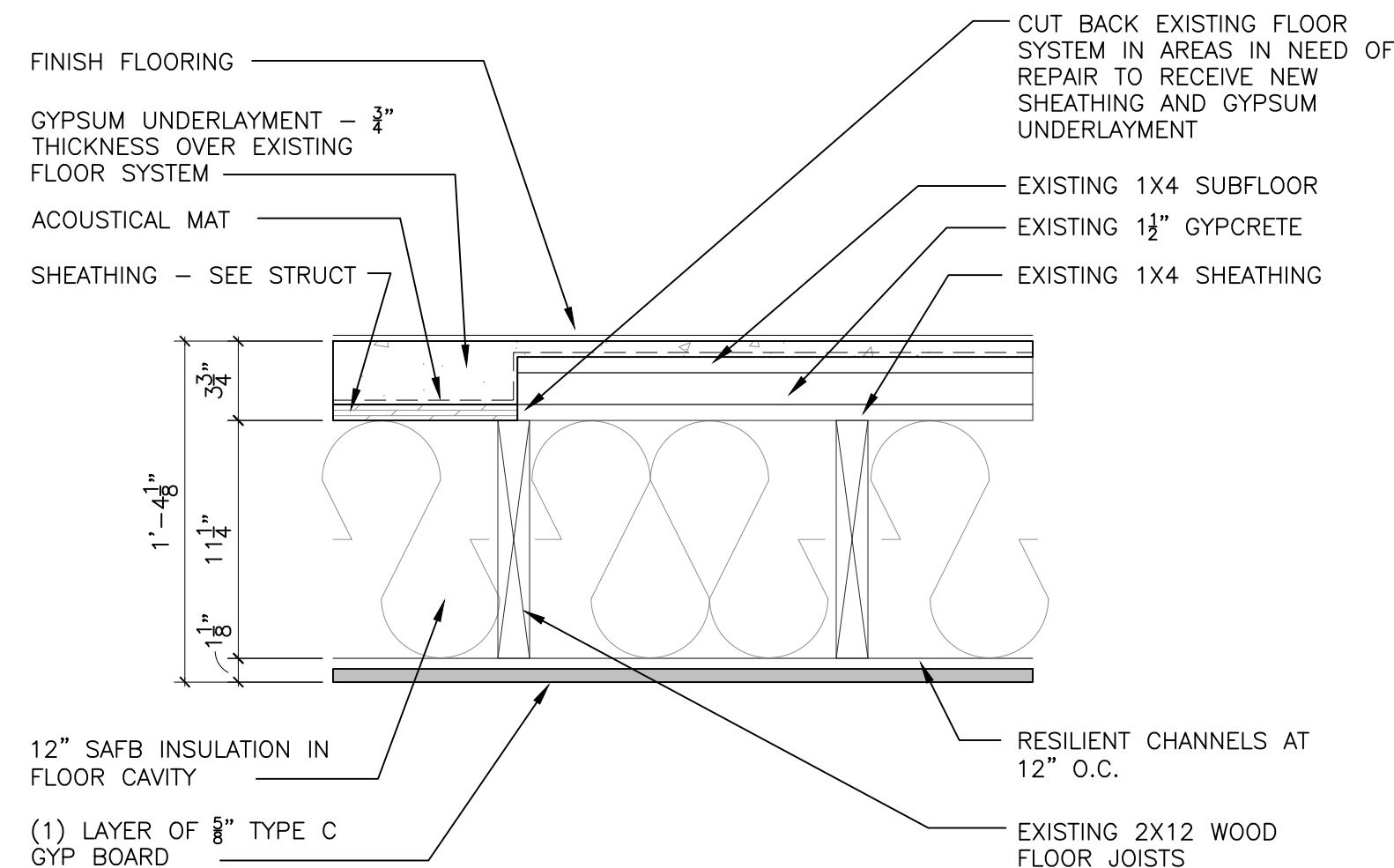


- FLOOR SYSTEM**
- 1 1/2\"/>

FLOOR COVERING	STC/IIC RATING
SHEET VINYL	-/-
VINYL PLANK	-/-
ENG. HARDWOOD	-/-
CERAMIC TILE	-/-
CARPET AND PAD	-/-

01 1ST FLOOR CEILING ASSEMBLY REF: XXX\_XX

SCALE:

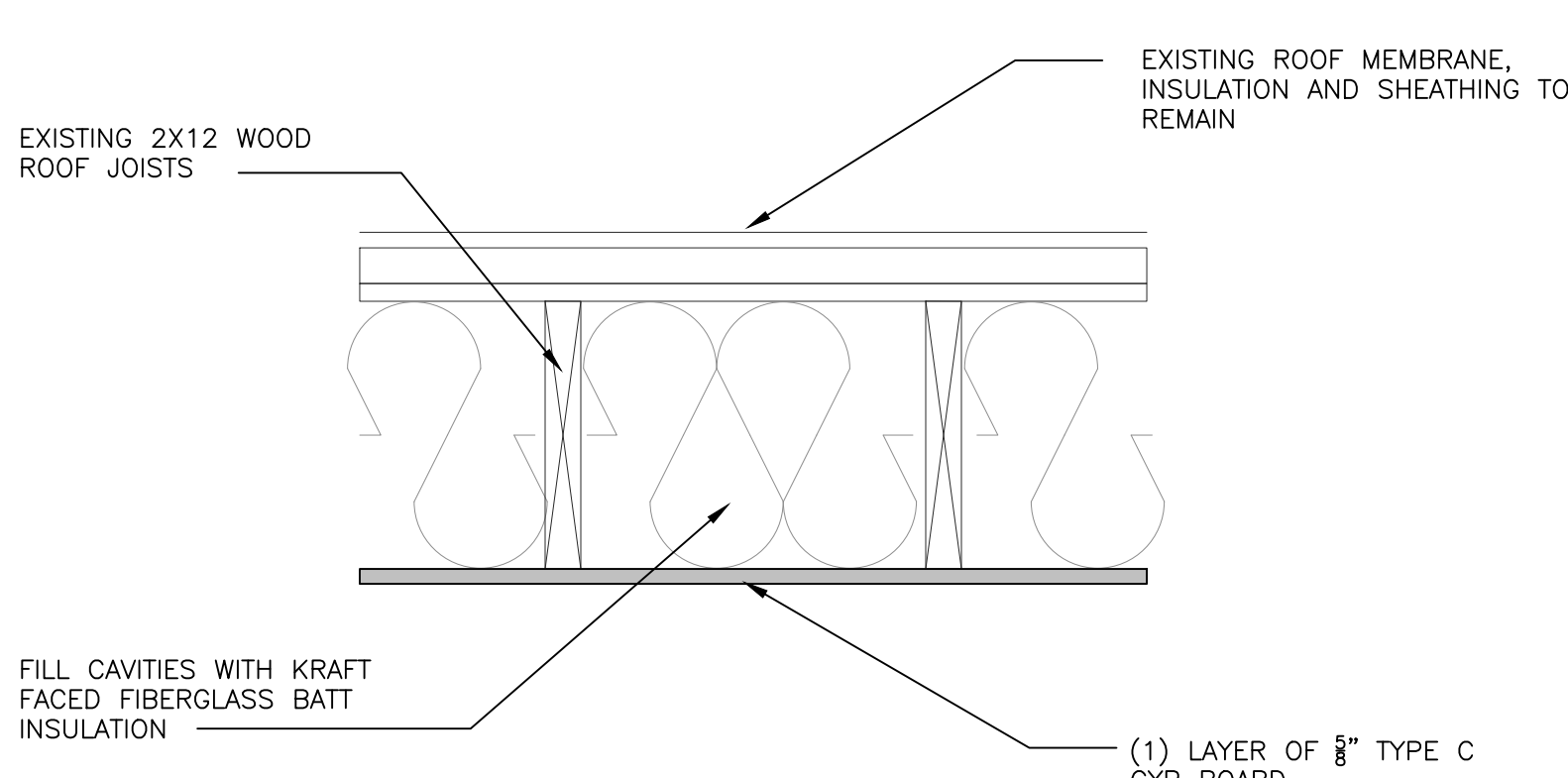


- FLOOR SYSTEM UL L569 (1 HOUR FLOOR/CEILING)**
- 1 1/2\"/>

FLOOR COVERING	STC/IIC RATING
SHEET VINYL	60/54
VINYL PLANK	60/52
ENG. HARDWOOD	60/55
CERAMIC TILE	61/55
CARPET AND PAD	60/78

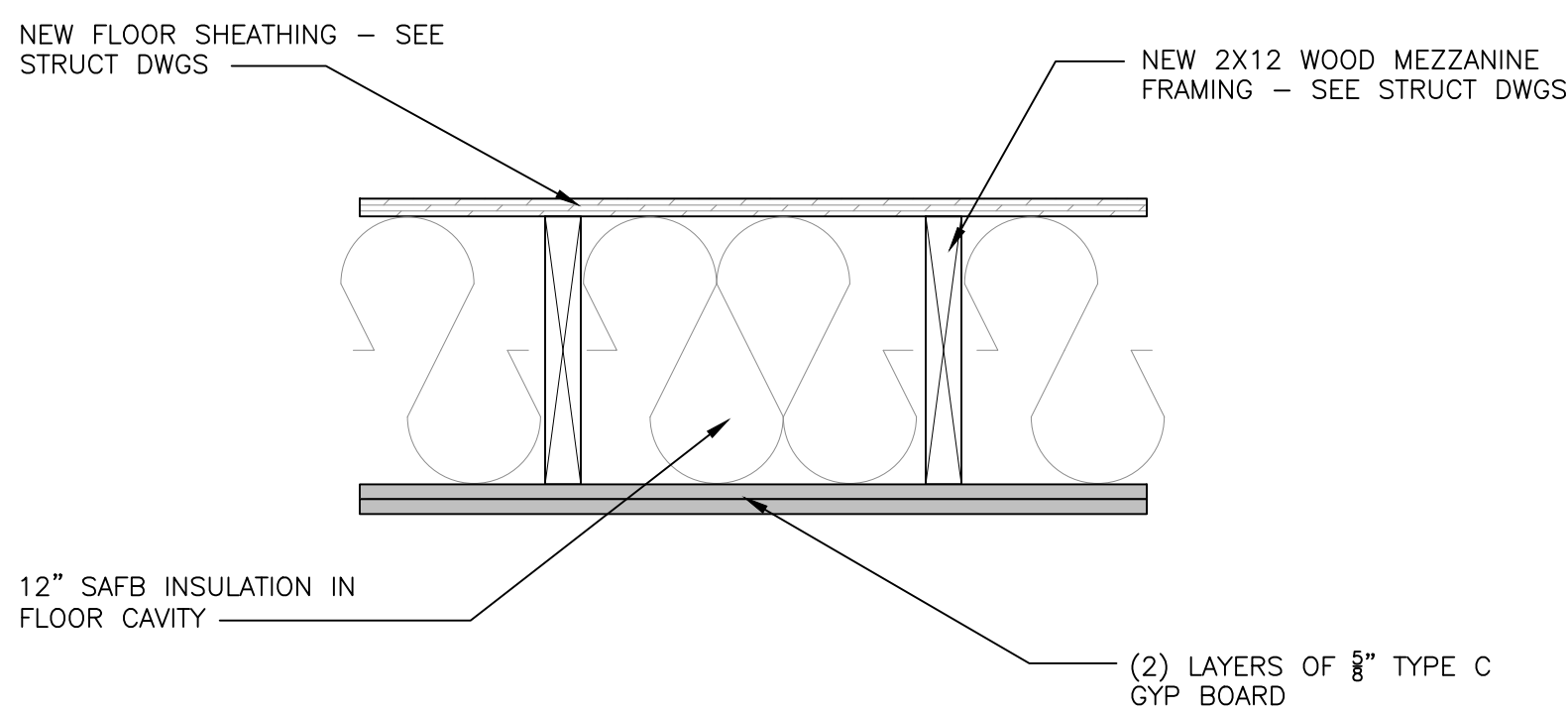
02 1 HOUR FLOOR/CEILING ASSEMBLY (L569) REF: XXX\_XX

SCALE:



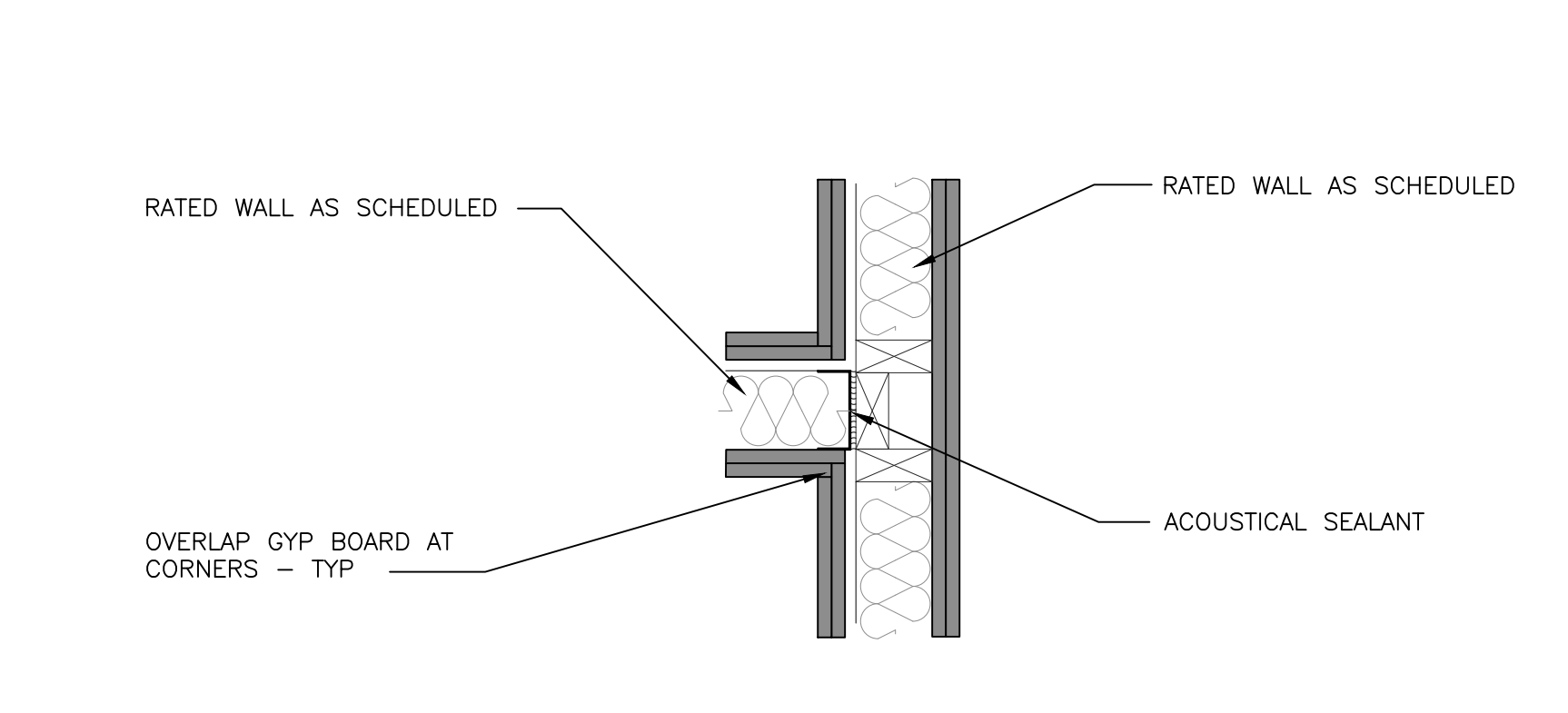
03 4TH FLOOR CEILING ASSEMBLY REF: XXX\_XX

SCALE:



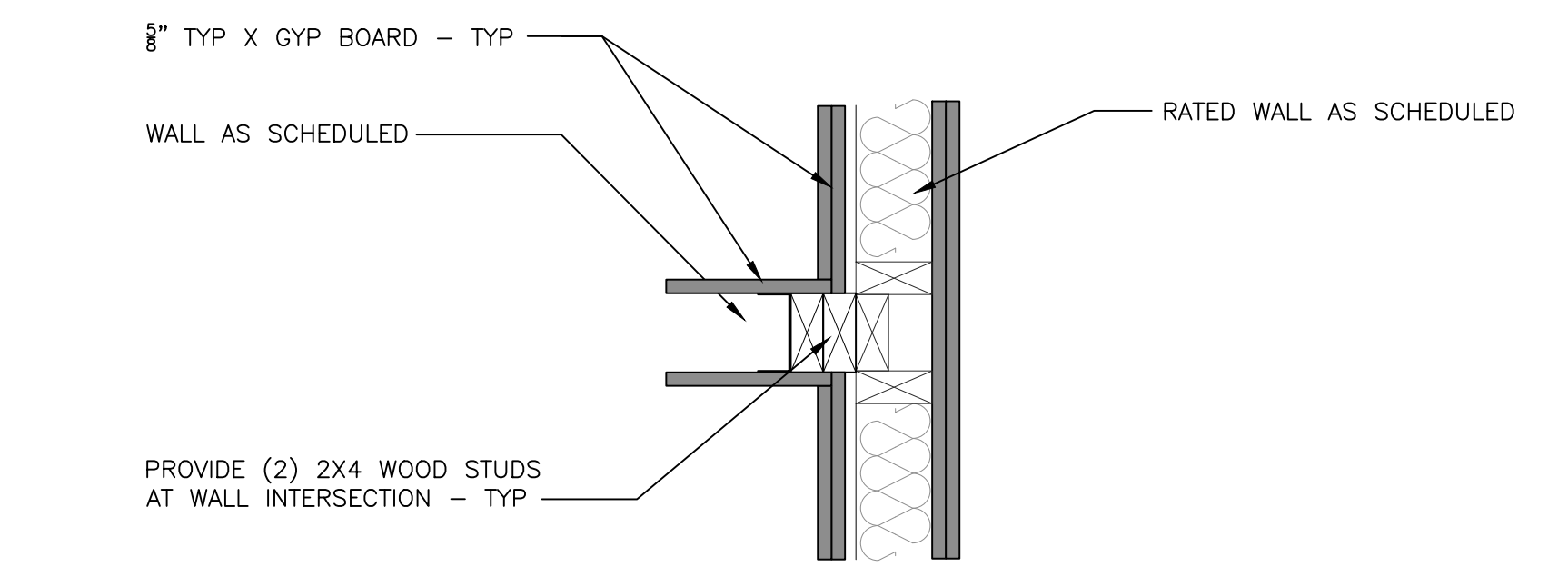
03A 4TH FLOOR STAIR/LOFT CEILING ASSEMBLY REF: XXX\_XX

SCALE:



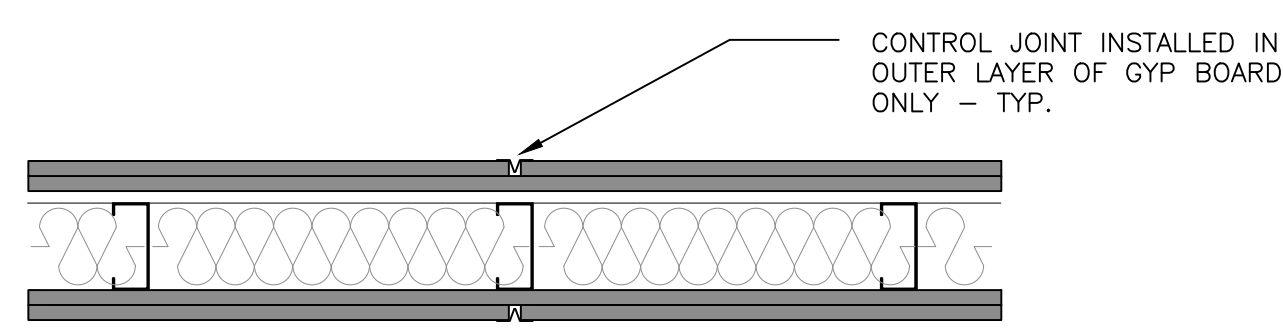
04 TYP. RATED WALL TO RATED WALL INTERSECTION REF: XXX\_XX

SCALE:



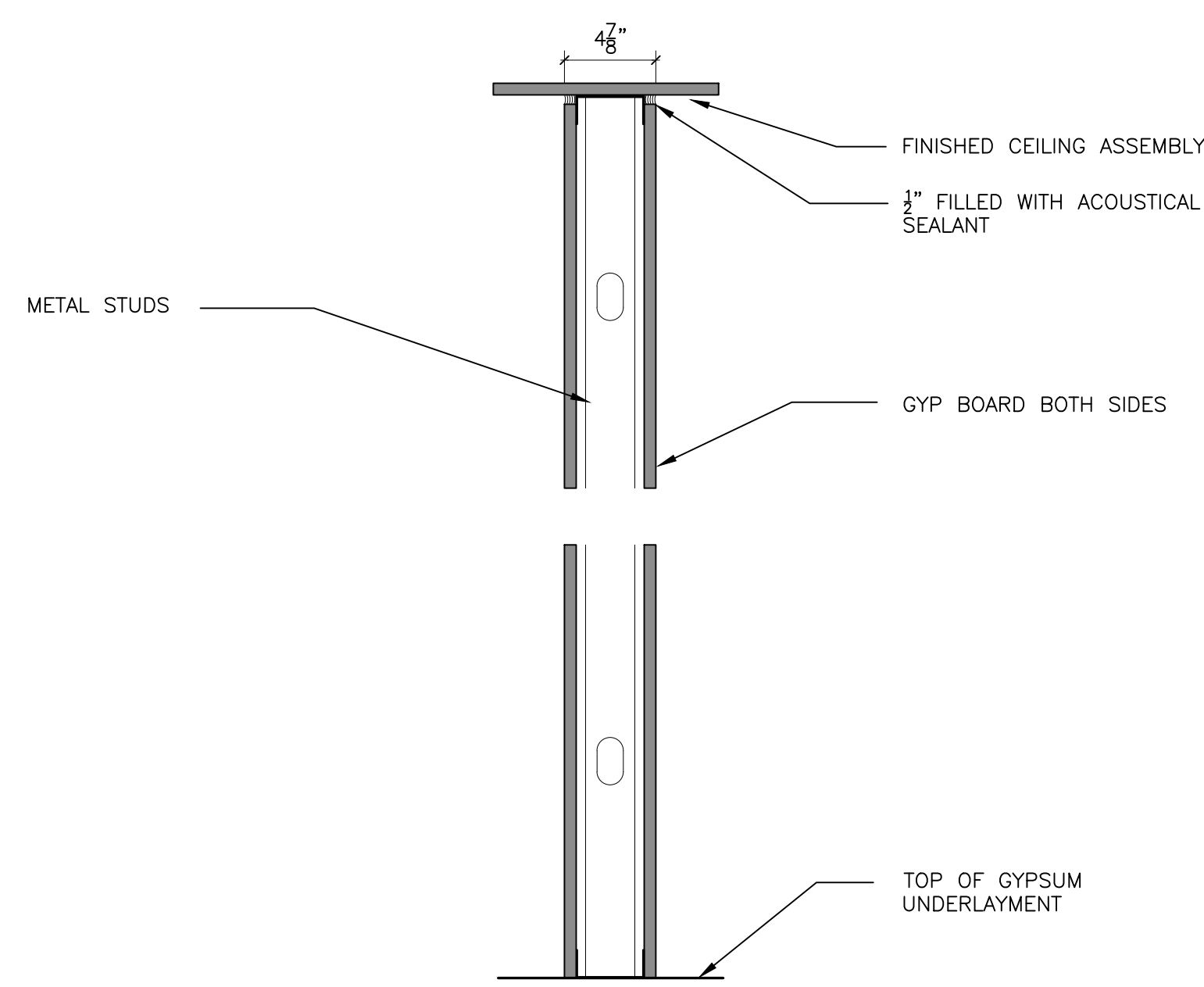
05 TYP. RATED WALL TO NON-RATED WALL INTERSECTION REF: XXX\_XX

SCALE:



06 TYP. CONTROL JOINT IN RATED WALL REF: XXX\_XX

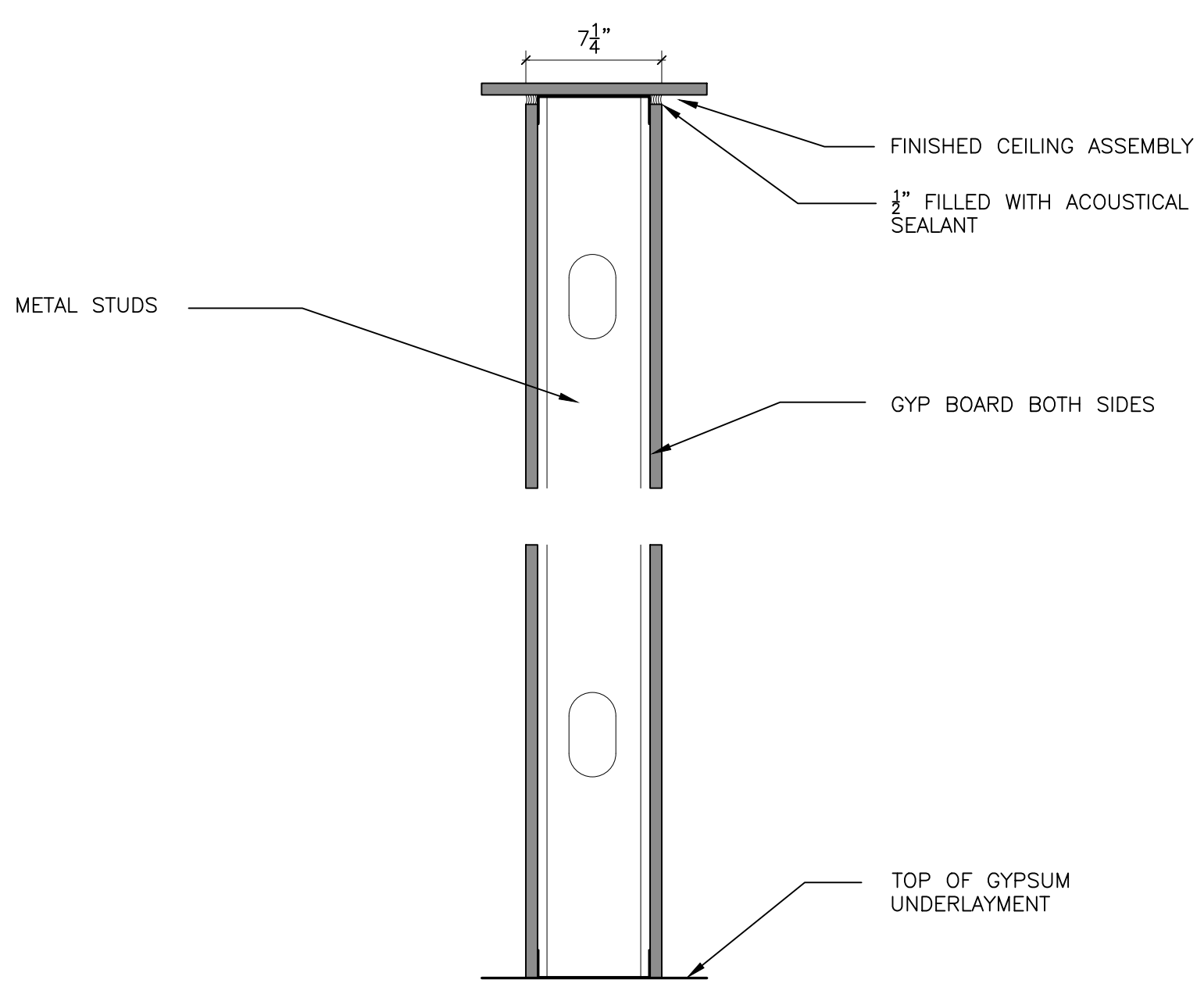
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WALL TYPE 01

3 5/8\"/>

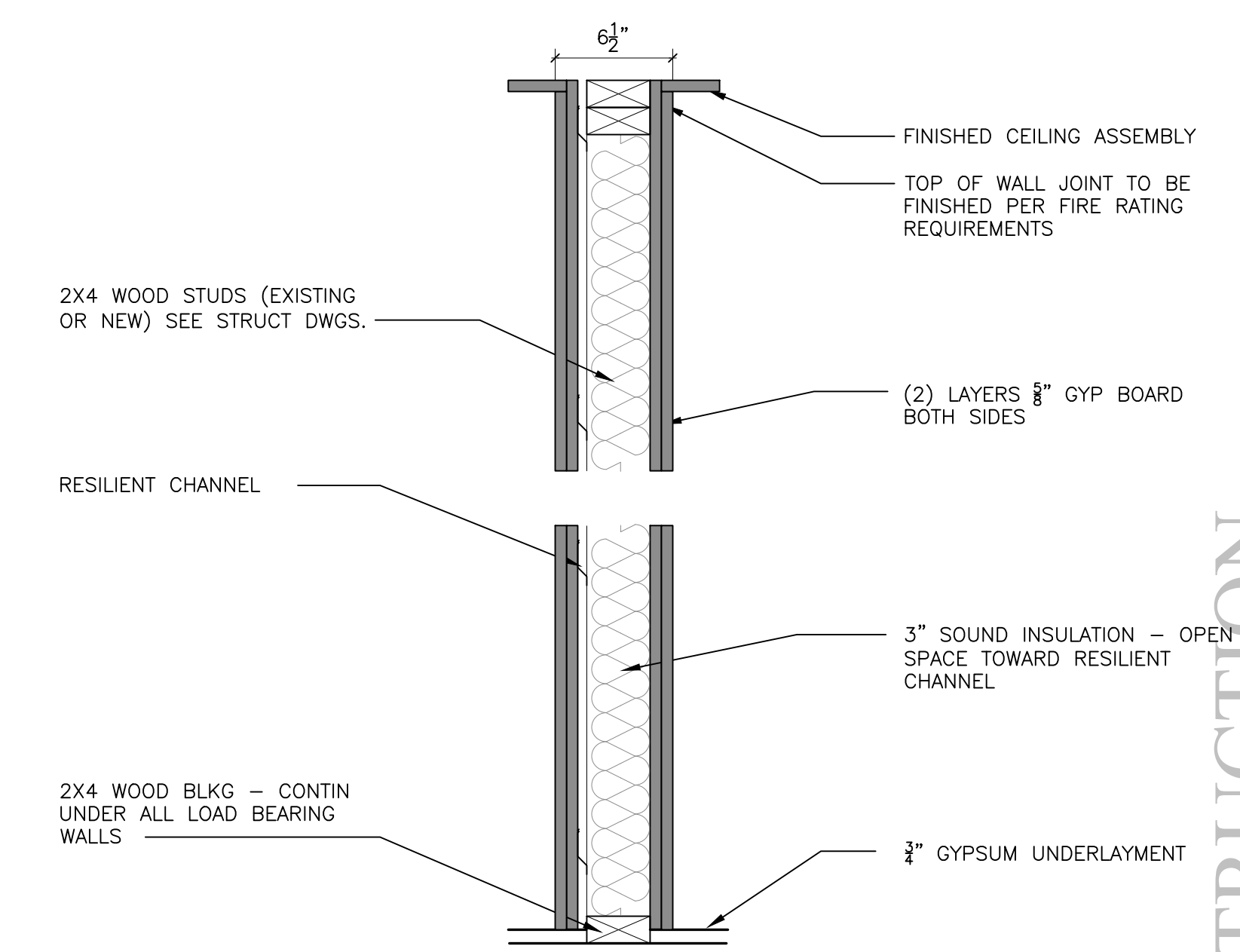
SCALE:



WALL TYPE 02

6\"/>

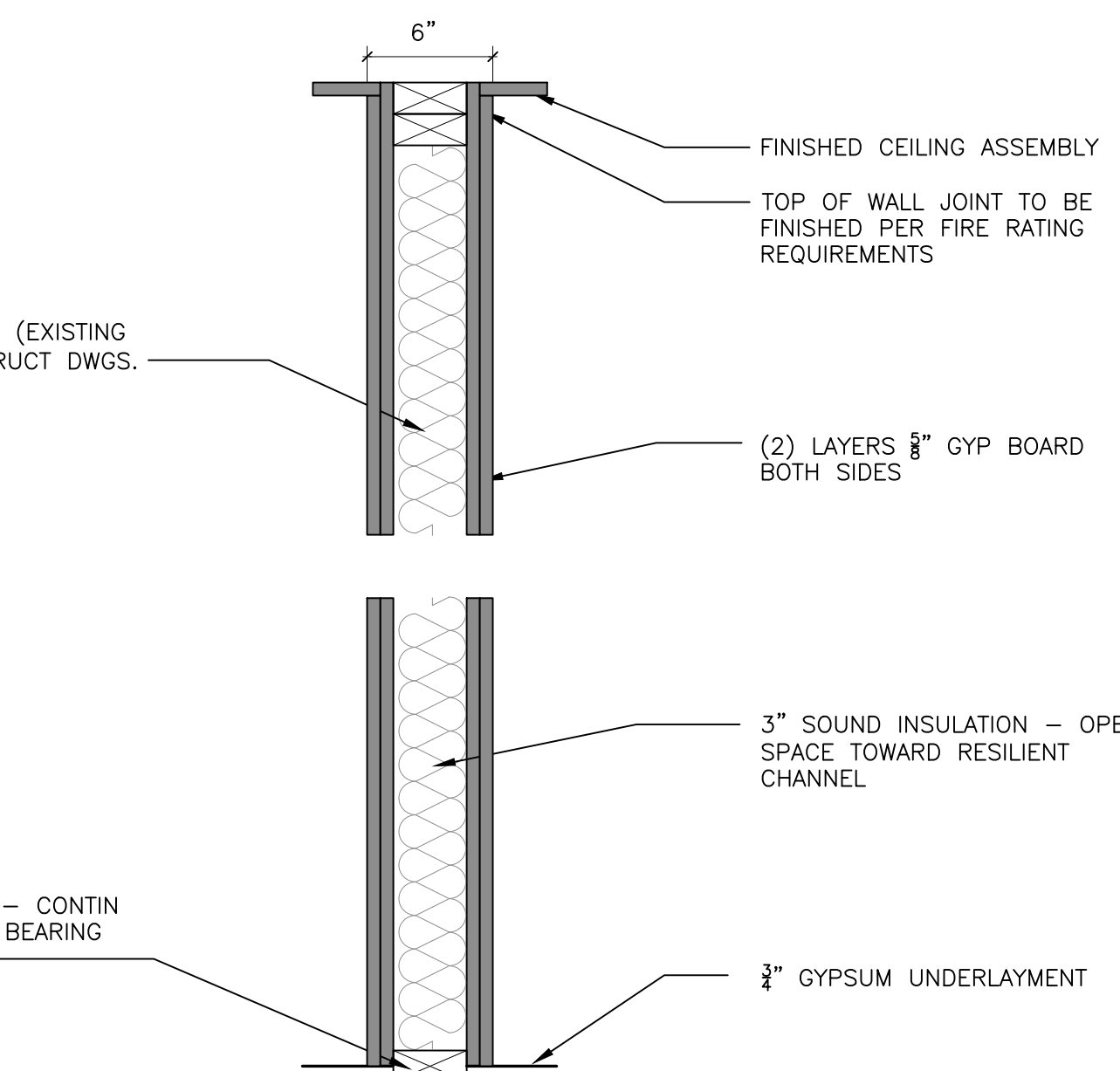
SCALE:



WALL TYPE 03

2X4 WOOD STUD LOAD BEARING RATED PARTITION (2 HOUR) - CORRIDOR REF: XXX\_XX

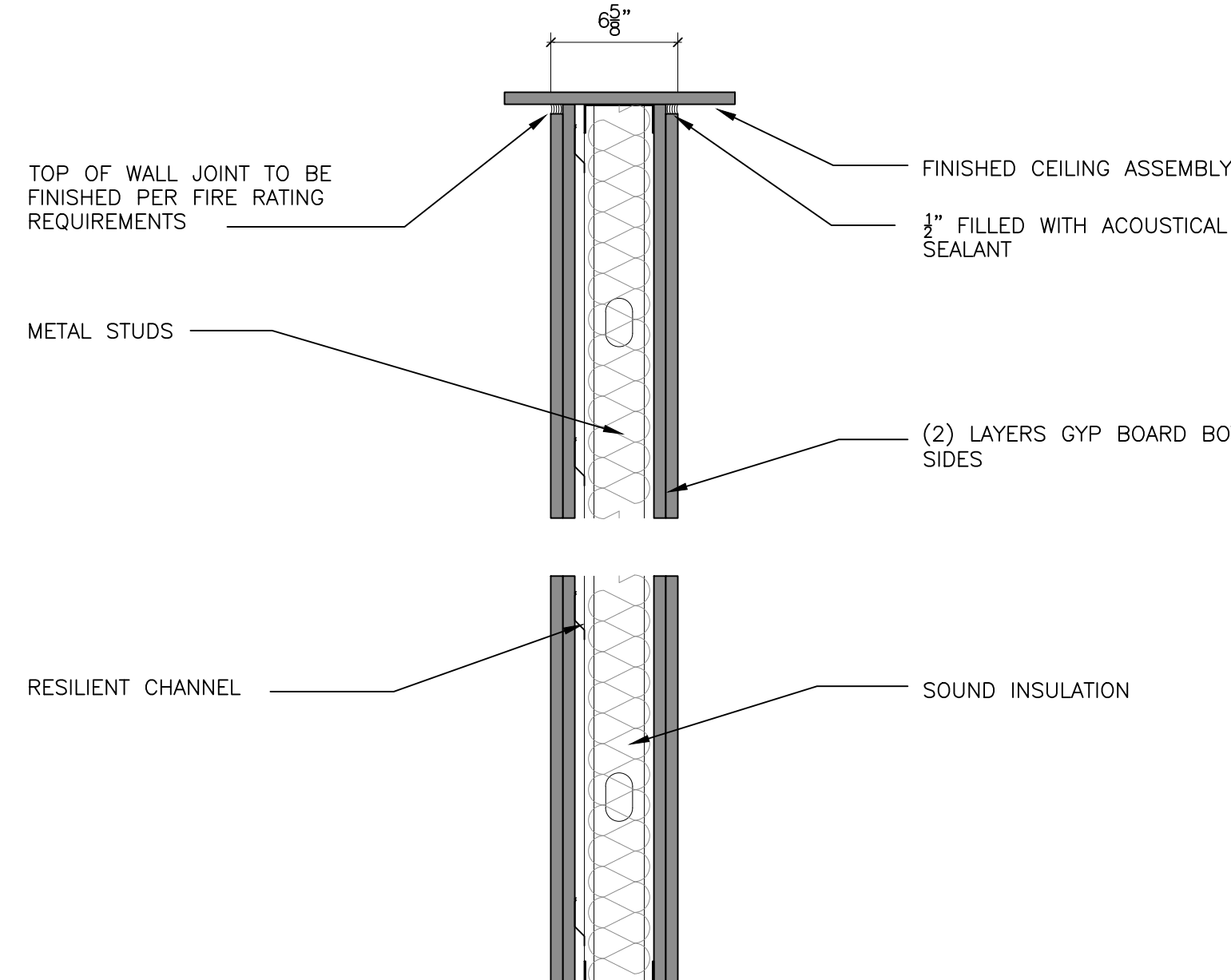
SCALE:



WALL TYPE 04

2X4 WOOD STUD LOAD BEARING RATED PARTITION (2 HOUR) - WITHIN UNIT REF: XXX\_XX

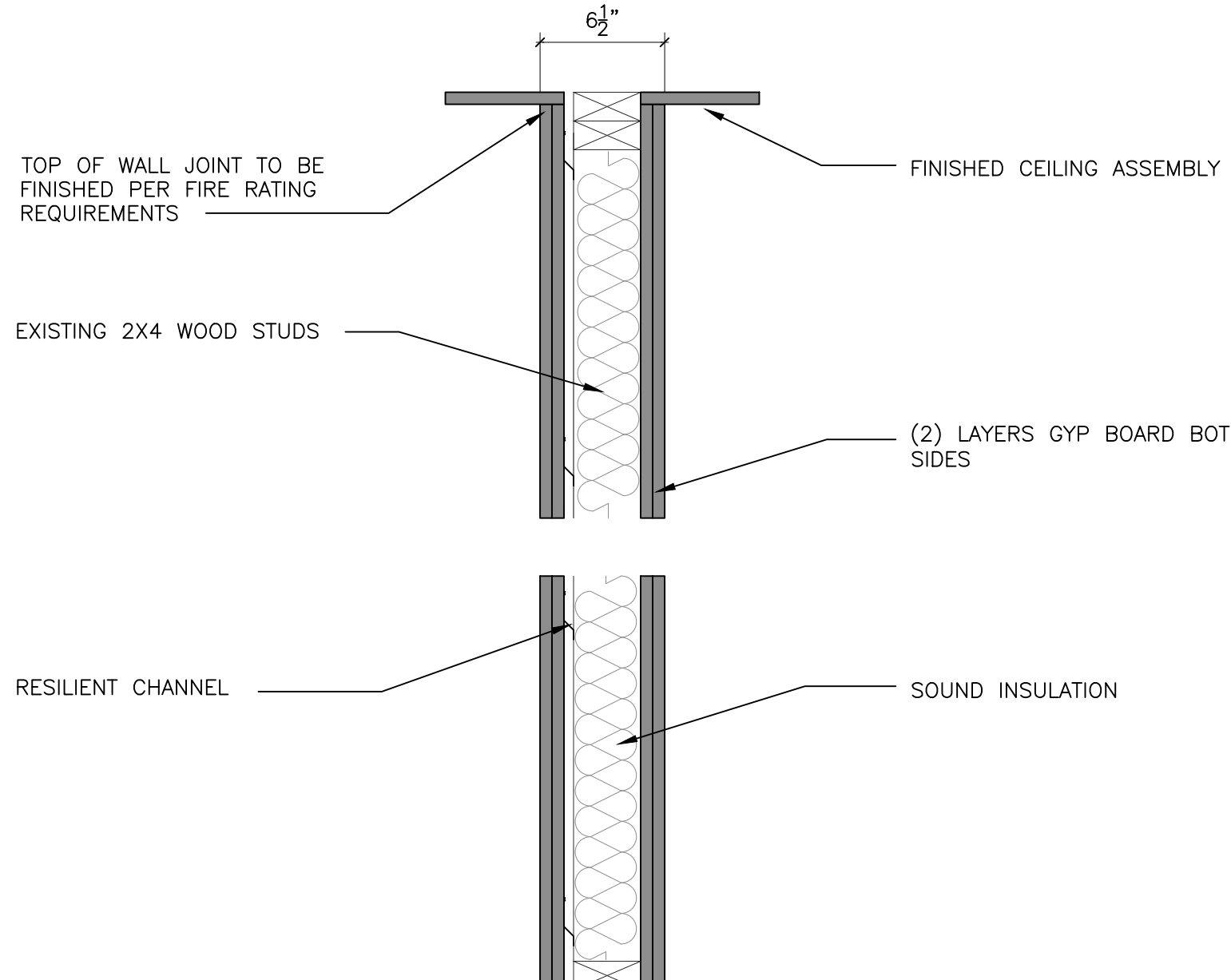
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WALL TYPE 05

3 5/8\"/>

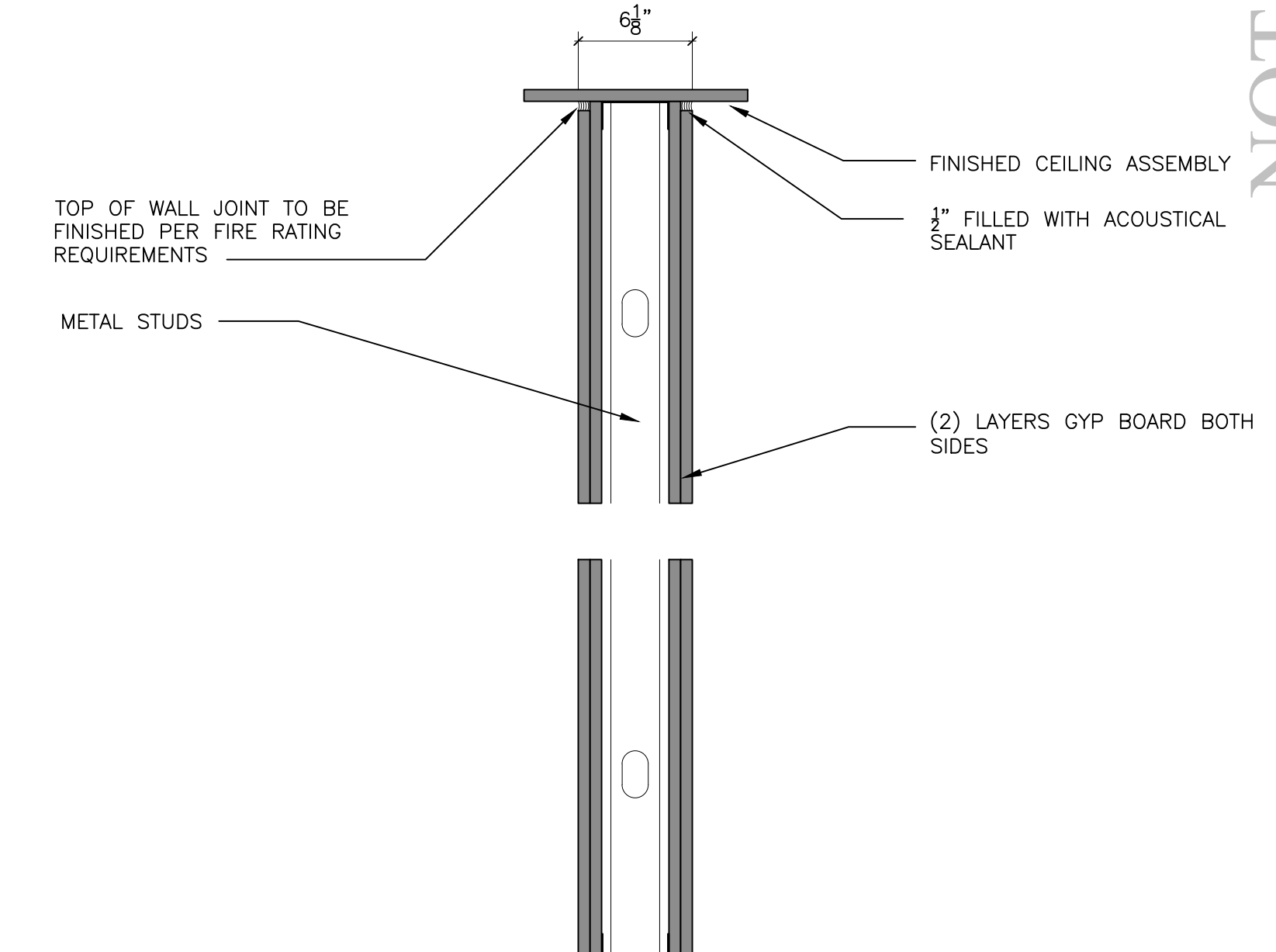
SCALE:



WALL TYPE 06

2X4 EXISTING WOOD STUD WALL WITH NEW WALL FINISHES REF: XXX\_XX

SCALE:



WALL TYPE 05

3 5/8\"/>

SCALE:

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No.	Date	Item
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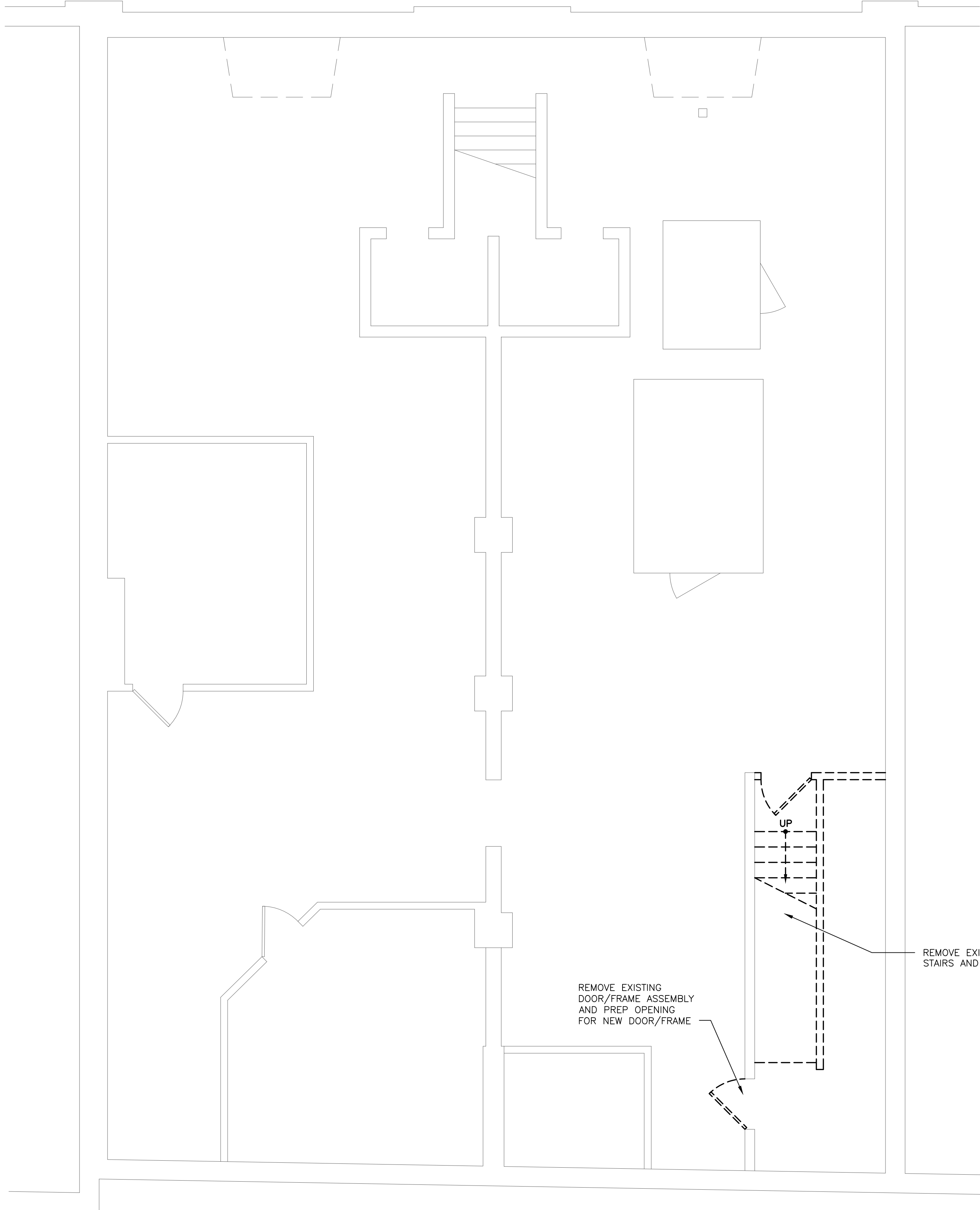
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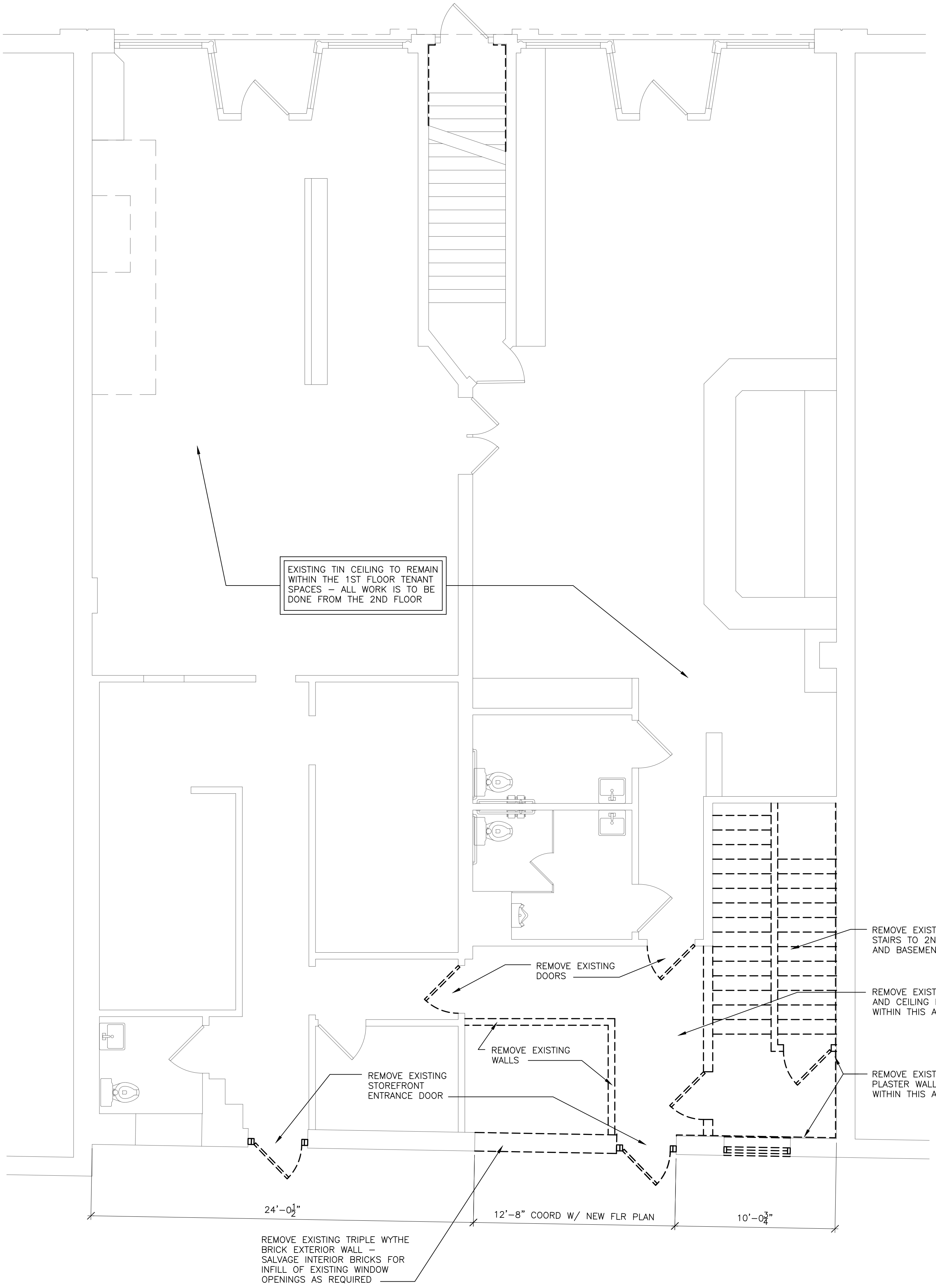
Job No: GR190610  
Issue: Issue for Review  
Issue Date: December 13, 2023  
A0.03

NOT FOR CONSTRUCTION

No.	Date	Item



**01 BASEMENT DEMO PLAN**  
 SCALE: 1/4" = 1'-0"  
 REF: ab-01, jofls



**02 1ST FLOOR DEMO PLAN**  
 SCALE: 1/4" = 1'-0"  
 REF: ab-01, jofls

DEMO PLAN WALL LEGEND	DEMO PLAN NOTES
<p>EXISTING</p> <p>EXISTING WALLS, ELEMENTS &amp; FIXTURES TO BE REMOVED (DEMO)</p>	<p>1. SEE SHEET A0.01 FOR GENERAL DEMOLITION NOTES</p>



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 planning  
 interior design  
 graphic design

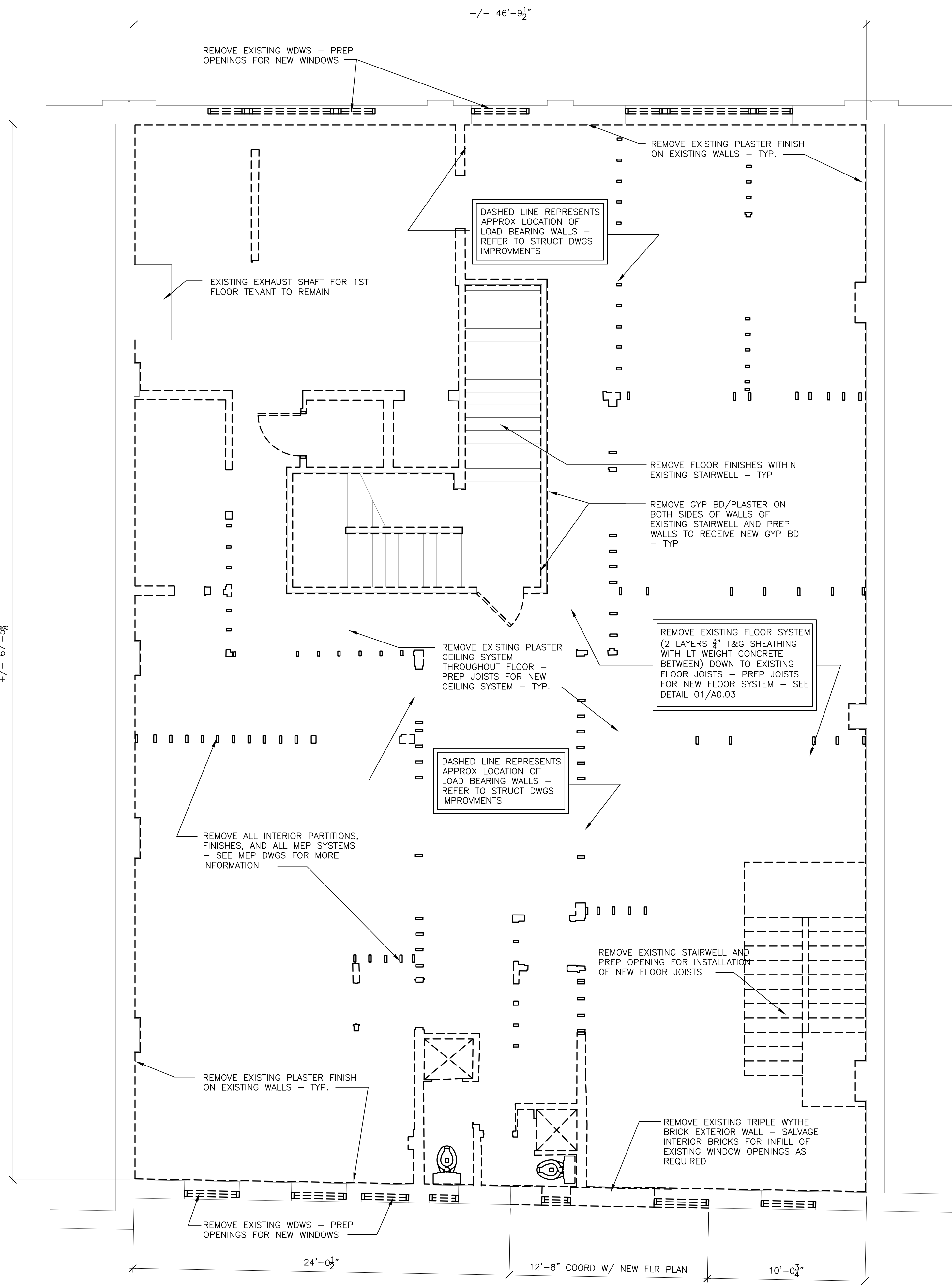
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**BASEMENT & 1ST FLOOR DEMO PLANS**

Job No: GR190610  
 Issue: Issue for Review  
 Issue Date: December 13, 2023

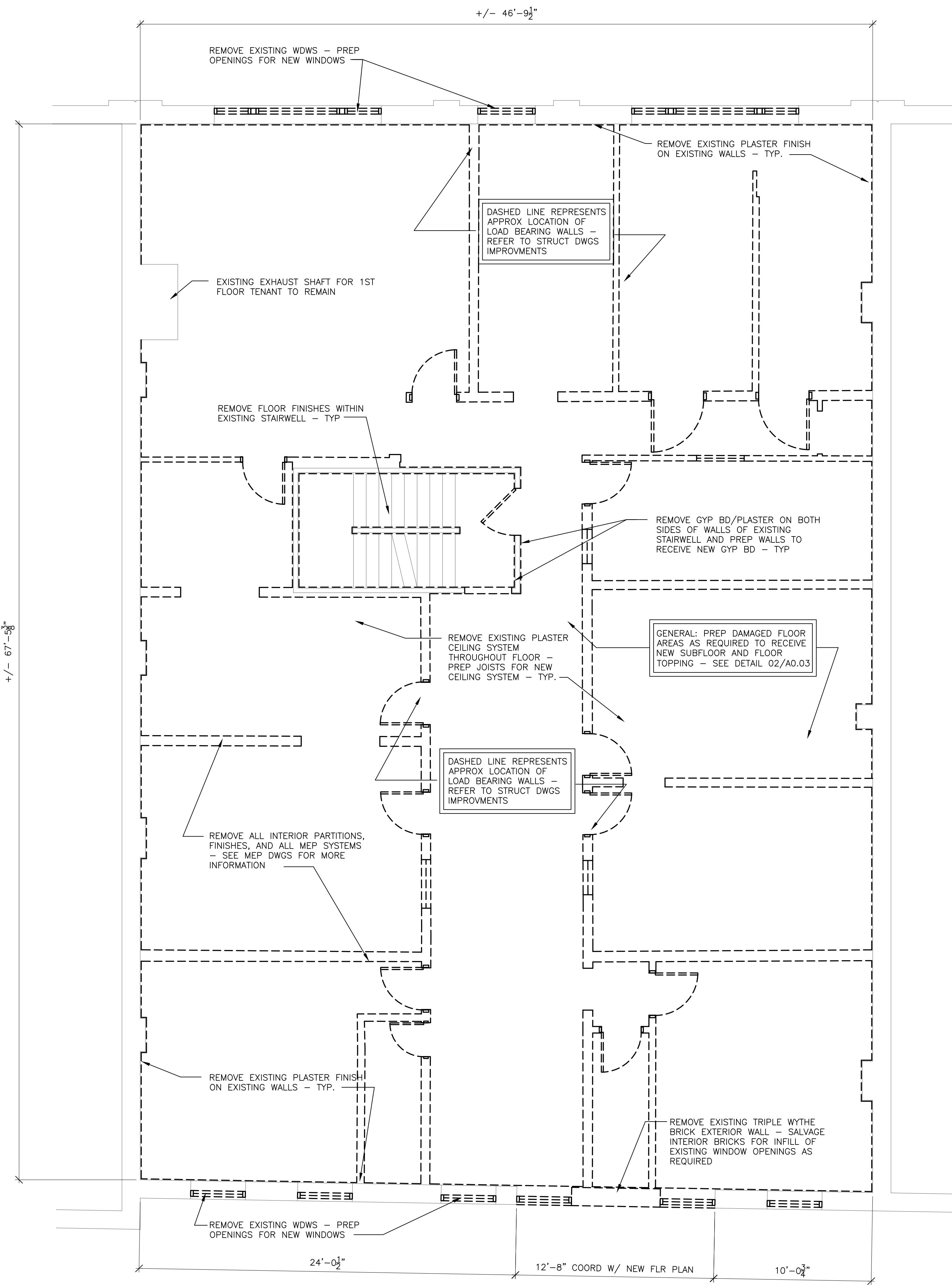
**D1.00**





01 2ND FLOOR DEMO PLAN  
SCALE: 1/4" = 1'-0"

REF:  
ab-01 Jofts



02 3RD FLOOR DEMO PLAN  
SCALE: 1/4" = 1'-0"

REF:  
ab-01 Jofts

DEMO PLAN WALL LEGEND		DEMO PLAN NOTES	
	EXISTING	1. SEE SHEET A0.01 FOR GENERAL DEMOLITION NOTES	
	EXISTING WALLS, ELEMENTS & FIXTURES TO BE REMOVED (DEMO)		

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No.	Date	Item
Issued Drawing Log		

266 East Michigan Avenue Lofts  
O'Connor Development  
Kalamazoo, Michigan

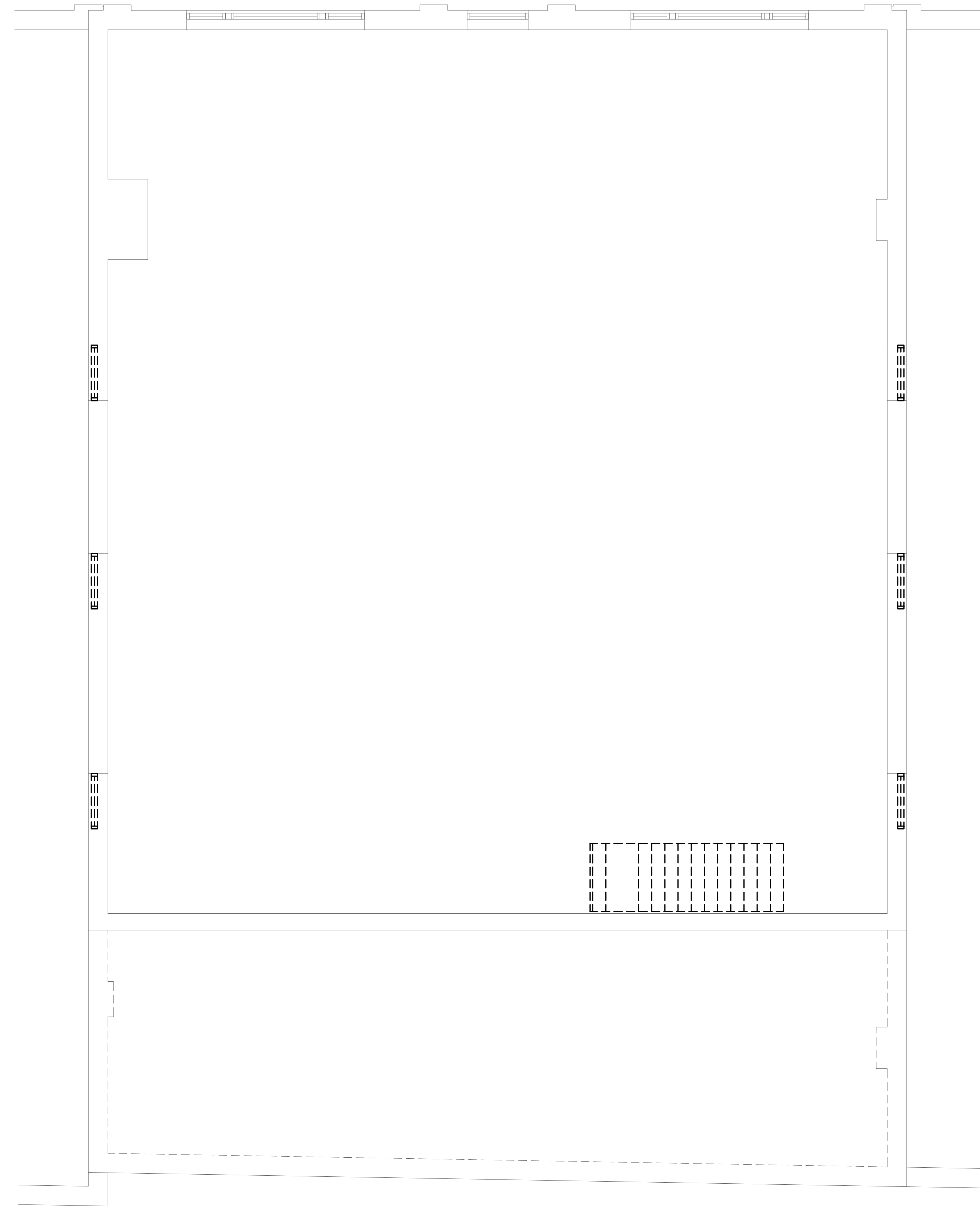
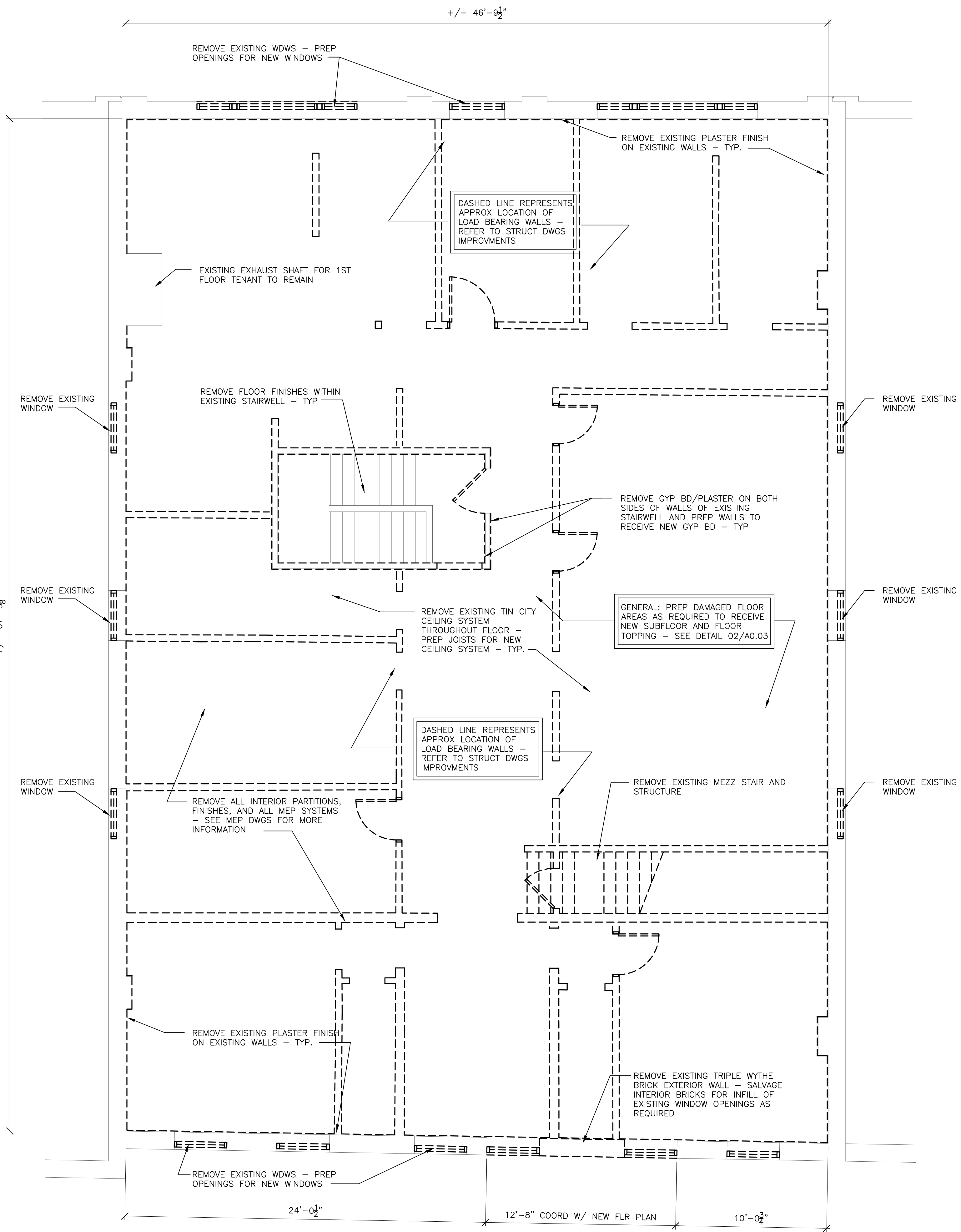


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2ND & 3RD FLOOR DEMO PLANS

Job No: GR190610  
Issue: Issue for Review  
Issue Date: December 13, 2023

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**01 4TH FLOOR DEMO PLAN**  
SCALE: 1/4" = 1'-0"  
REF: ab-01, 1of1s

**02 4TH FLOOR LOFT DEMO PLAN**  
SCALE: 1/4" = 1'-0"  
REF: ab-01, 1of1s

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No.	Date	Item
Issued Drawing Log		

<p><b>DEMO PLAN WALL LEGEND</b></p> <p> EXISTING</p> <p> EXISTING WALLS, ELEMENTS &amp; FIXTURES TO BE REMOVED (DEMO)</p>	<p><b>DEMO PLAN NOTES</b></p> <p>1. SEE SHEET A0.01 FOR GENERAL DEMOLITION NOTES</p>
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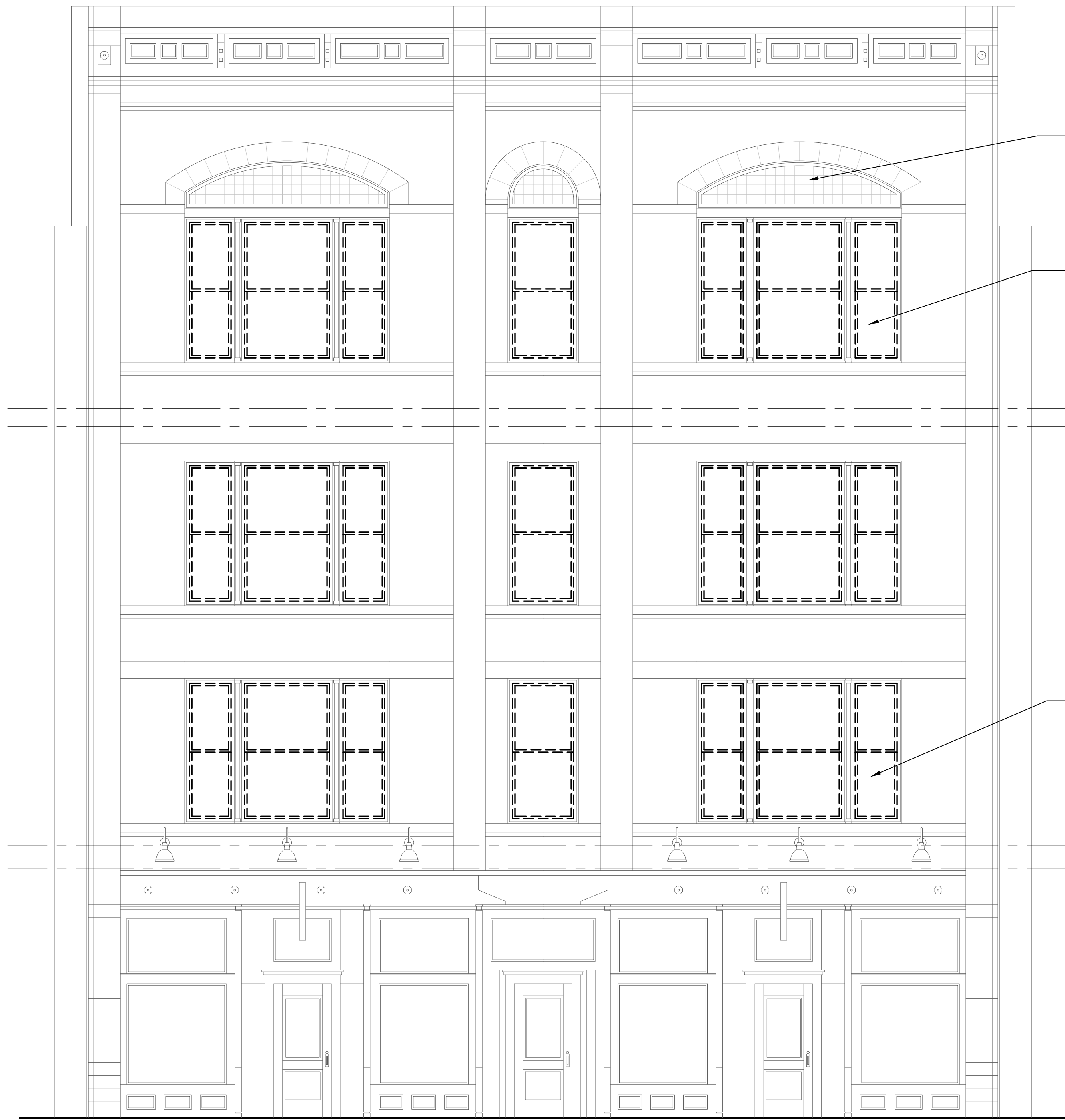


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**4TH & 4TH FLOOR  
LOFT DEMO PLANS**

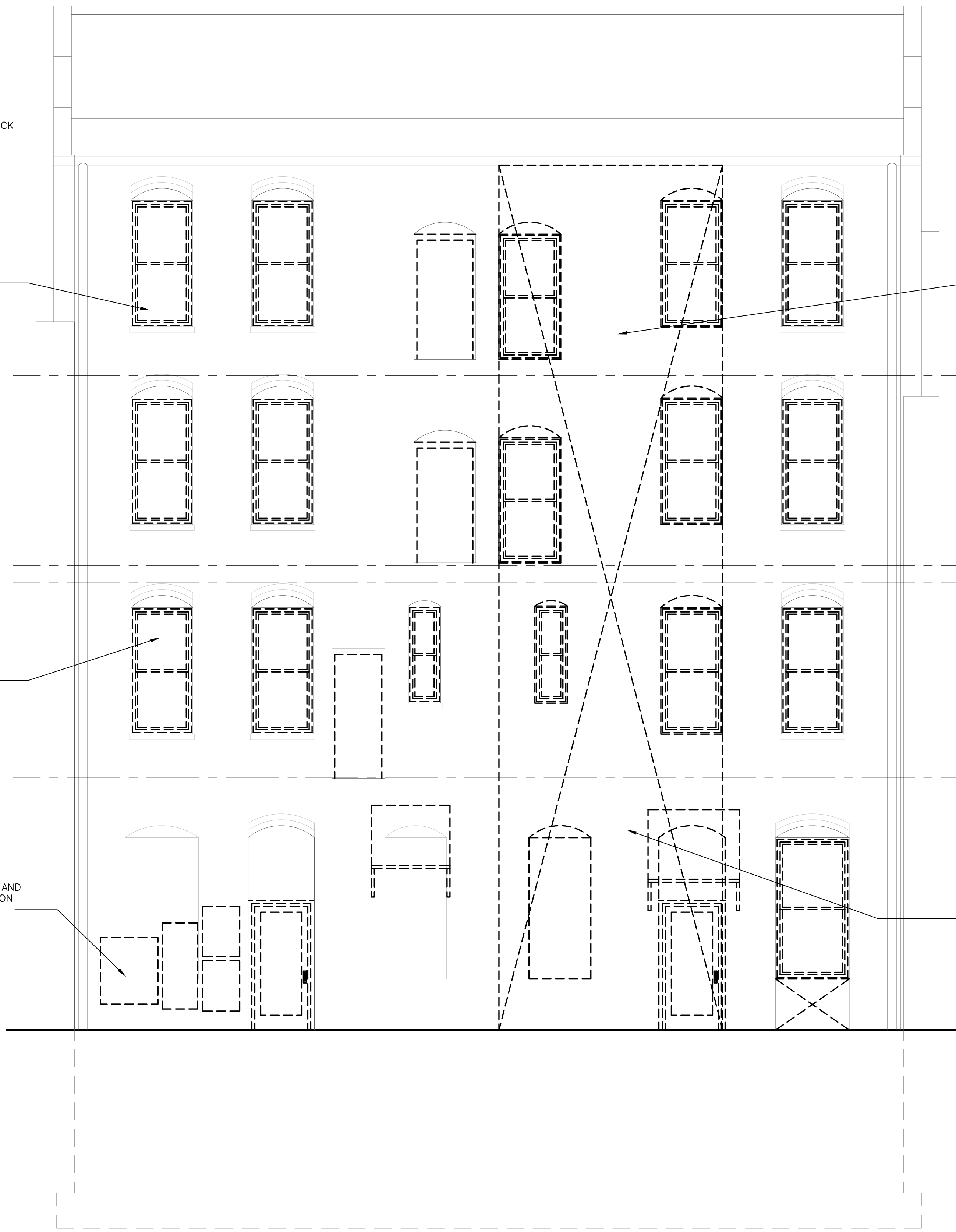
Job No: GR190610  
Issue: Issue for Review  
Issue Date: December 13, 2023

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Kalamazoo, Michigan



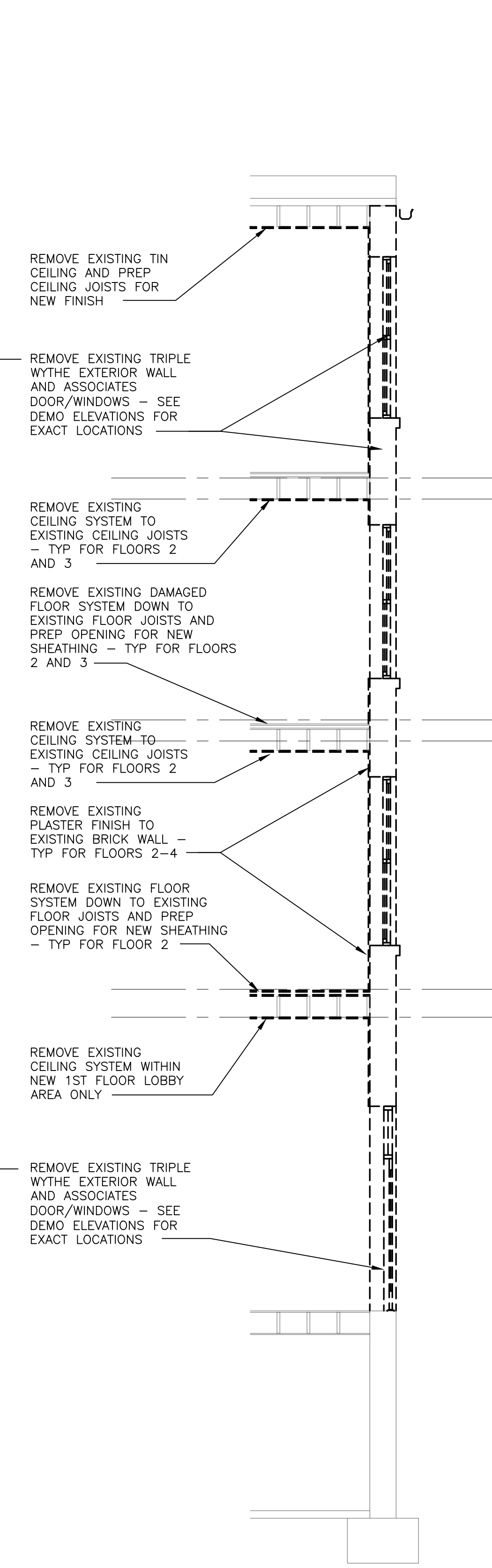
01 NORTH DEMO ELEVATION  
SCALE: 1/4" = 1'-0"

REF:  
ab-elevs lofts



02 SOUTH DEMO ELEVATION  
SCALE: 1/4" = 1'-0"

REF:  
ab-elevs lofts

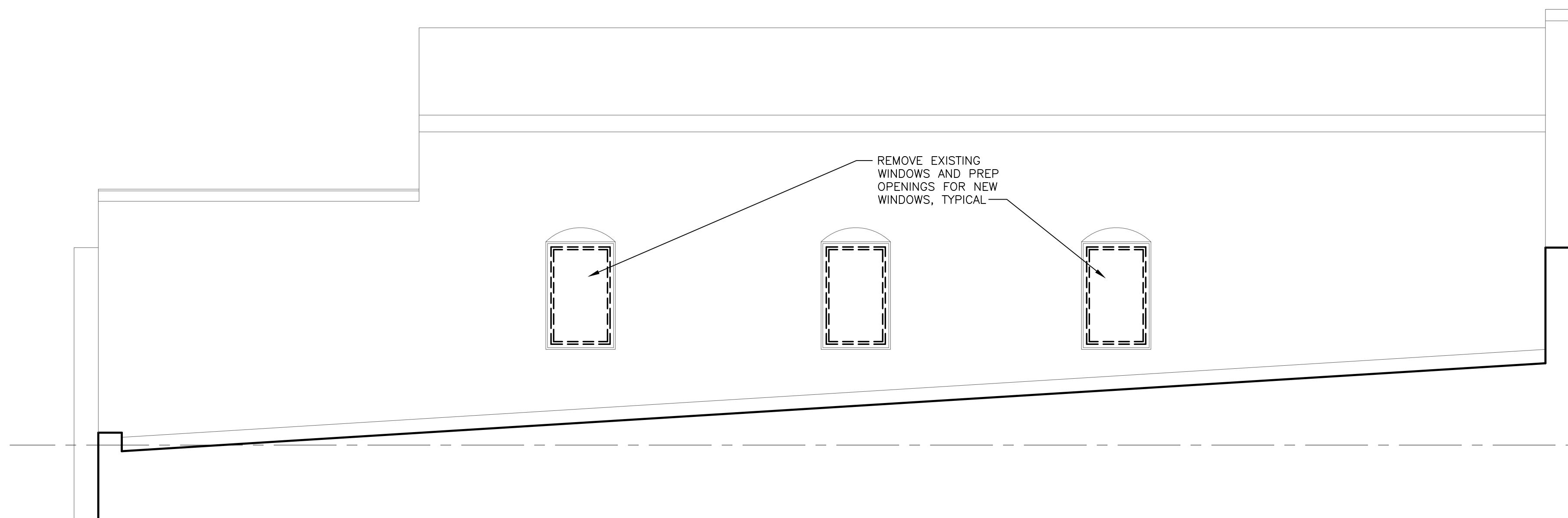


03 DEMO WALL SECTION  
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REF:  
ab-elevs lofts

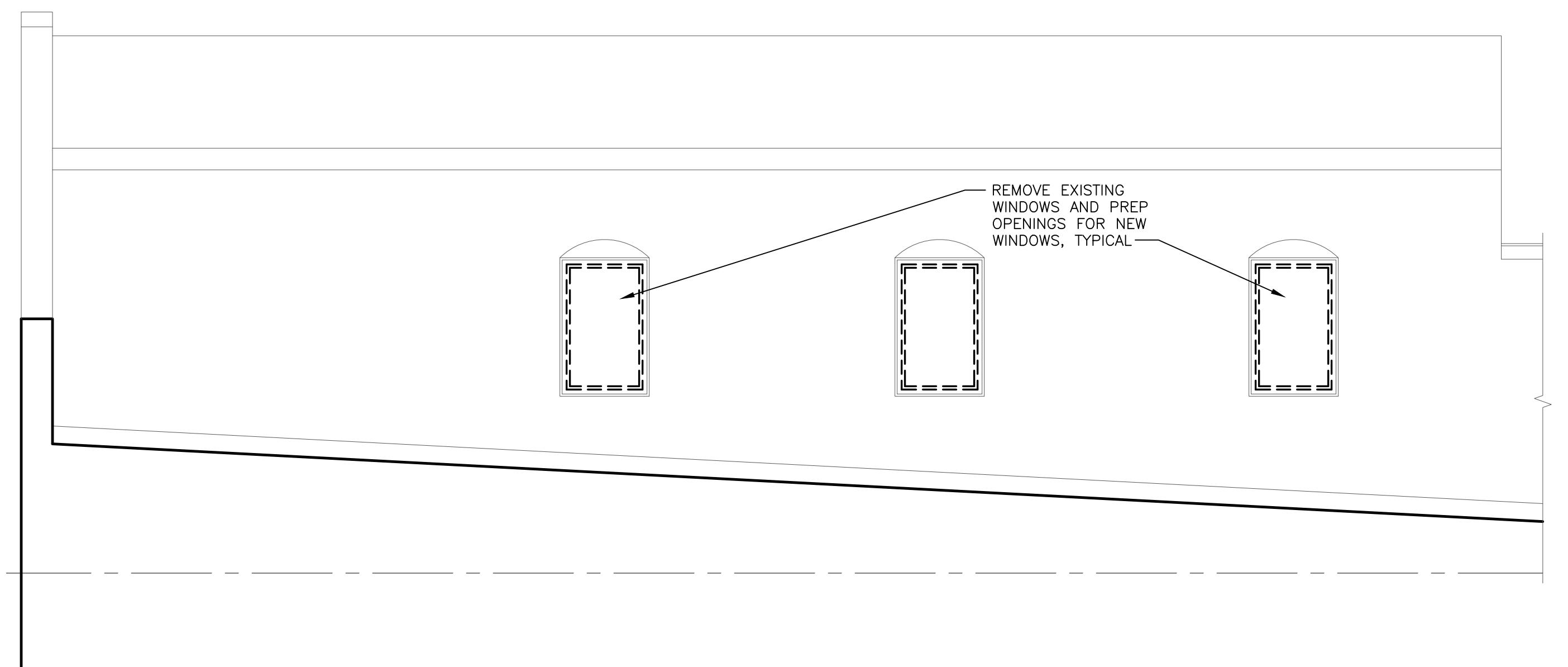
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No.	Date	Item
Issued Drawing Log		



04 WEST DEMO ELEVATION  
SCALE: 1/4" = 1'-0"

REF:  
ab-elevs lofts



05 EAST DEMO ELEVATION  
SCALE: 1/4" = 1'-0"

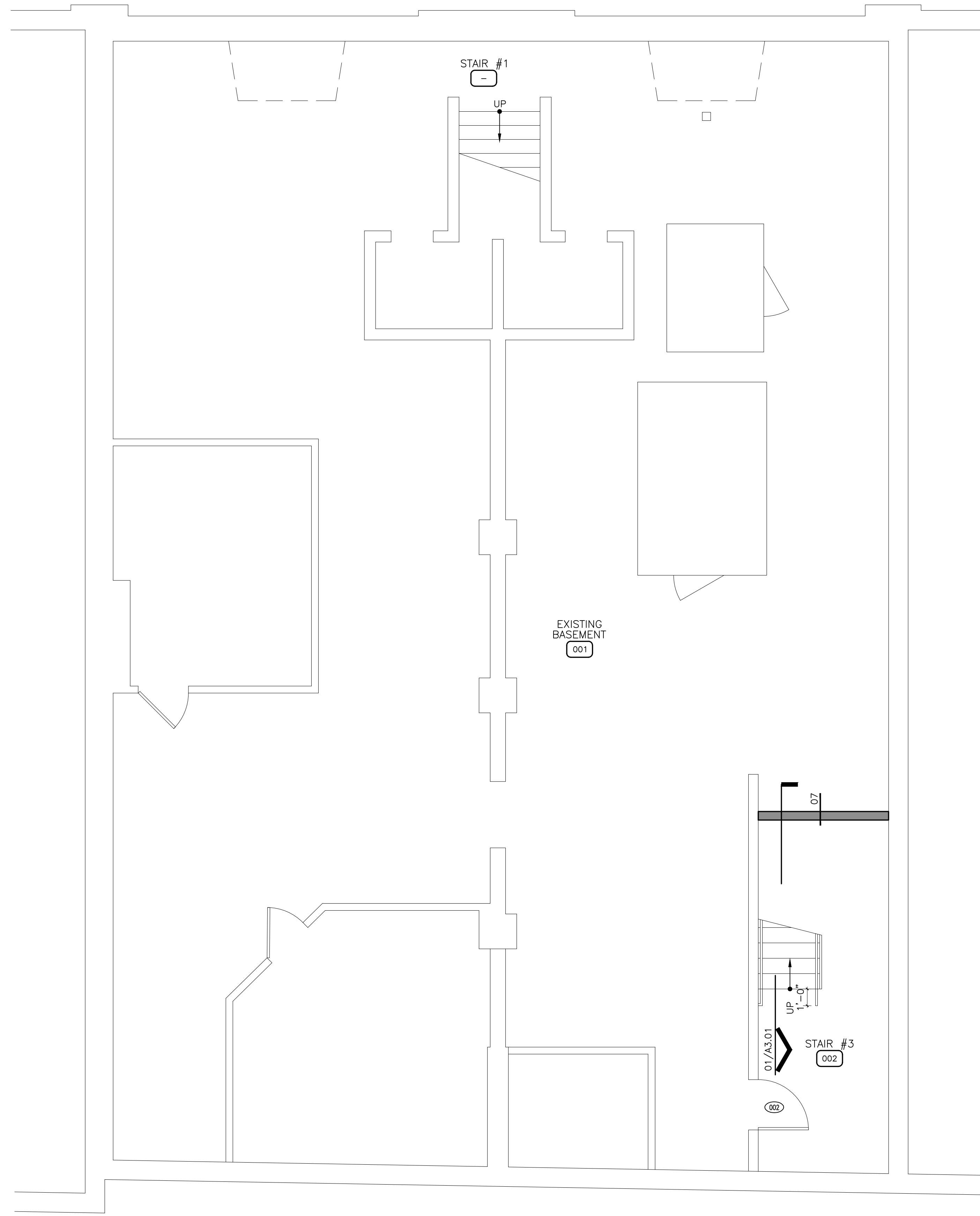
REF:  
ab-elevs lofts

REF:  
ab-elevs lofts

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DEMO ELEVATIONS  
& WALL SECTIONS

Job No: GR190610  
Issue: Issue for Review  
Issue Date: December 13, 2023

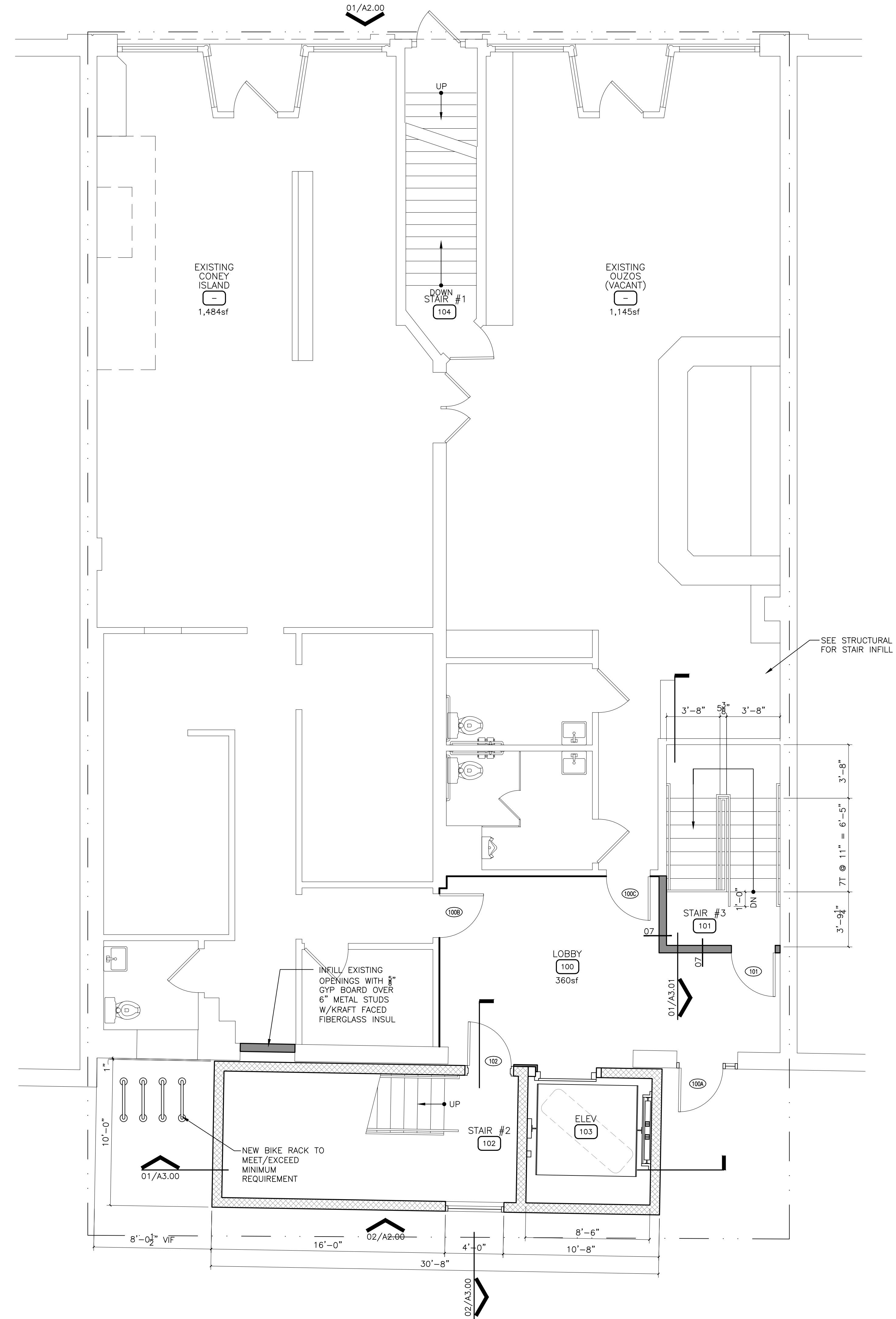


**01 BASEMENT PLAN**  
SCALE: 1/4" = 1'-0"

REF:  
ab-01\_lofts

ELEVATOR SPECIFICATION	
MANUFACTURER:	KONE
TYPE:	MONOSPACE 300
CAPACITY:	3500
SPEED:	
TRAVEL:	39'-4"
STOPS:	4
DOOR TYPE:	SINGLE SPEED - RIGHT HAND
PIT DEPTH:	5'-0"
MACHINE ROOM:	NOT REQUIRED - CONTROL PANEL LOCATED ON TOP FLOOR ADJACENT TO DOOR.
STRETCHER REQ.:	ELEVATOR MANUFACTURER TO CONFIRM THAT THE ELEVATOR WILL ACCOMMODATE AN 24"X84" AMBULANCE STRETCHER WITH NOT LESS THAN 5" RADIUS CORNERS.
*FOR DESIGN INTENT & PRICING, FINAL ELEVATOR AND SPECIFICATIONS TBD.	

WALL LEGEND	
	EXISTING
	INDICATES RATED UNIT DEMISING & CORRIDOR WALLS (SEE A0.03 FOR FLOOR/CEILING ASSEMBLIES AND WALL TYPES)
	FULL HEIGHT WALLS
	PARTIAL HEIGHT WALLS
	WALLS/ELEMENTS OVERHEAD
	WALLS/ELEMENTS BELOW



**02 1ST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

REF:  
ab-01\_lofts

PLAN NOTES	
1.	SEE INTERIOR DESIGN DOCUMENTS FOR FINAL FINISH SELECTIONS AND ADDITIONAL INFORMATION.
2.	PROVIDE WALL TYPE D1 UNLESS NOTED OTHERWISE.
3.	"RC" ON PLANS INDICATE SIDE OF WALL THAT THE RESILIENT CHANNEL IS LOCATED
4.	INTERIOR PARTITION DIMENSIONS TO FACE OF STUD.
5.	PROVIDE ADDITIONAL LAYER 8" GYP BOARD TO COVER TUB/SHOWER FLANGE AS REQUIRED.
6.	DRYWALL CONTRACTOR RESPONSIBLE FOR CONTROL JOINTS AS REQUIRED. JOINTS SHALL BE 30"-0" OC MAX AND AT THE CORNER OF EACH DOOR - TYP.
7.	CONTROL JOINTS ON RATED PARTITIONS SHALL BE PER UL AND MAINTAIN PARTITION RATING INDICATED.
8.	MEP TRADES ARE RESPONSIBLE FOR THRU WALL PENETRATIONS AT FIRE RATED ASSEMBLIES AND SHALL BE PER UL AND MAINTAIN ASSEMBLY RATING.
9.	CONFIRM TUB/SHOWER ROUGH OPENING SIZE PRIOR TO WALL FRAMING.
10.	COORDINATE WITH OTHER TRADES TO PROVIDE BLOCKING AS REQUIRED FOR FIXTURE AND EQUIPMENT ATTACHMENT.
11.	SEE A0.03 FOR WALL TYPES FLOOR/CEILING ASSEMBLIES & WALL TYPES

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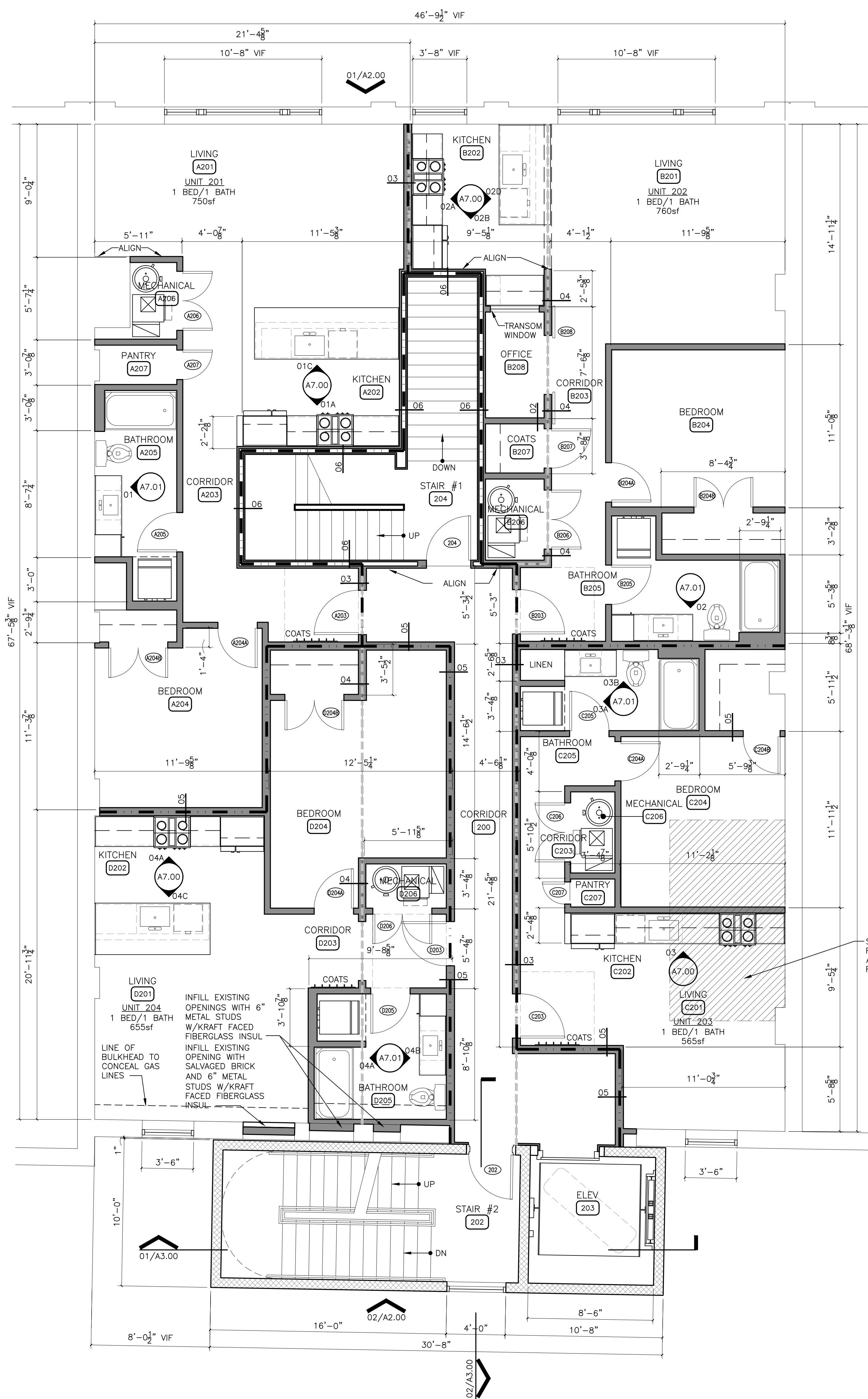
No.	Date	Item

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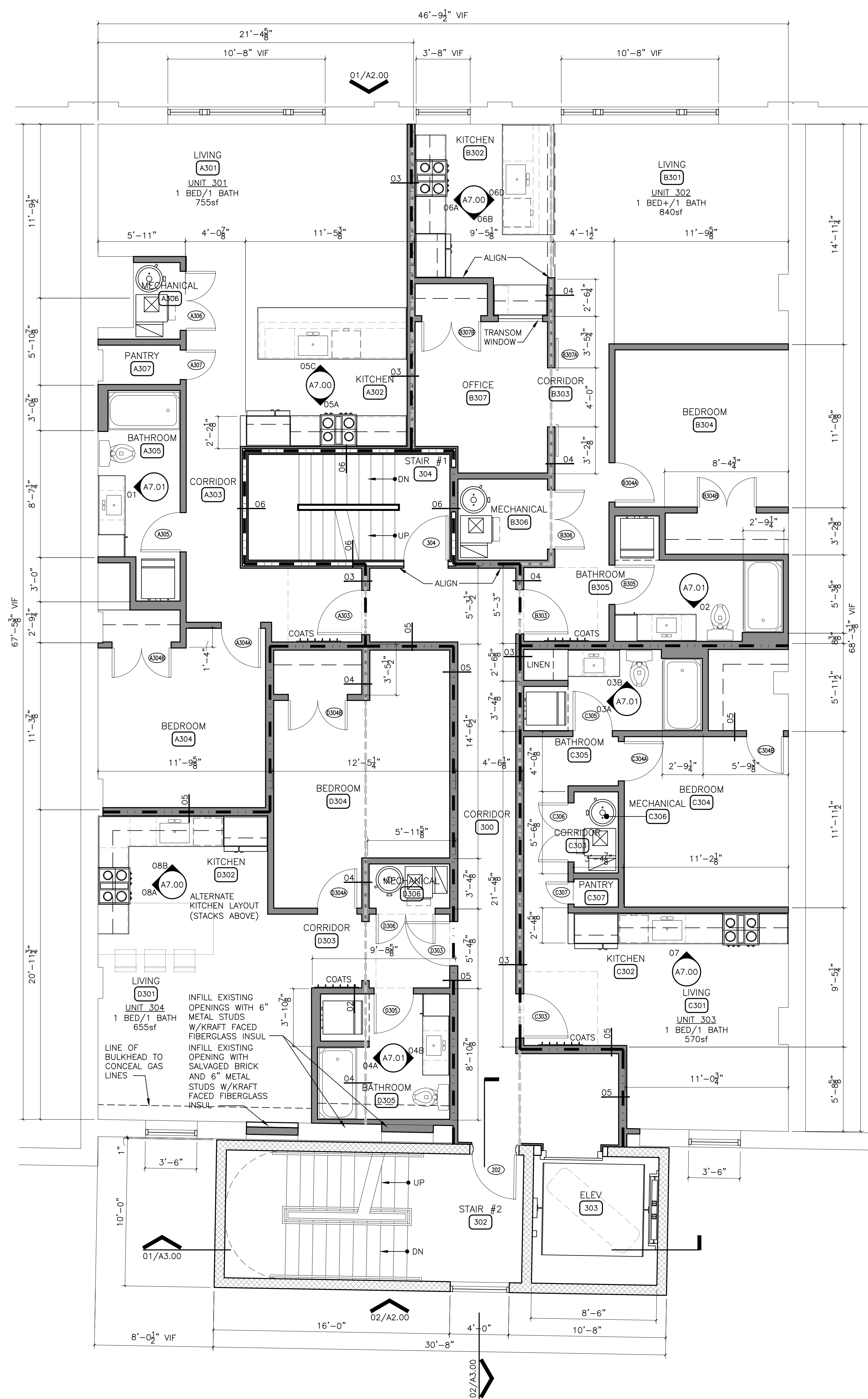
**BASEMENT & 1ST FLOOR PLANS**

Job No:	GR190610
Issue:	Issue for Review
Issue Date:	December 13, 2023



**01 2ND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

REF: ab-01\_lofts



**02 3RD FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

REF: ab-01\_lofts

ELEVATOR SPECIFICATION	
MANUFACTURER:	KONE
TYPE:	MONOSPACE 300
CAPACITY:	3500
SPEED:	
TRAVEL:	39'-4"
STOPS:	4
DOOR TYPE:	SINGLE SPEED - RIGHT HAND
PIT DEPTH:	5'-0"
MACHINE ROOM:	NOT REQUIRED - CONTROL PANEL LOCATED ON TOP FLOOR ADJACENT TO DOOR.
STRETCHER REQ.:	ELEVATOR MANUFACTURER TO CONFIRM THAT THE ELEVATOR WILL ACCOMMODATE AN 24"X84" AMBULANCE STRETCHER WITH NOT LESS THAN 5" RADIUS CORNERS.

\*FOR DESIGN INTENT & PRICING, FINAL ELEVATOR AND SPECIFICATIONS TBD.

WALL LEGEND	
	EXISTING
	INDICATES RATED UNIT DEMISING & CORRIDOR WALLS (SEE A0.03 FOR FLOOR/CEILING ASSEMBLIES AND WALL TYPES)
	FULL HEIGHT WALLS
	PARTIAL HEIGHT WALLS
	WALLS/ELEMENTS OVERHEAD
	WALLS/ELEMENTS BELOW

PLAN NOTES	
1.	SEE INTERIOR DESIGN DOCUMENTS FOR FINAL FINISH SELECTIONS AND ADDITIONAL INFORMATION.
2.	PROVIDE WALL TYPE D1 UNLESS NOTED OTHERWISE.
3.	"RC" ON PLANS INDICATE SIDE OF WALL THAT THE RESILIENT CHANNEL IS LOCATED
4.	INTERIOR PARTITION DIMENSIONS TO FACE OF STUD.
5.	PROVIDE ADDITIONAL LAYER 8" GYP BOARD TO COVER TUB/SOWER FLANGE AS REQUIRED.
6.	DRYWALL CONTRACTOR RESPONSIBLE FOR CONTROL JOINTS AS REQUIRED. JOINTS SHALL BE 30'-0" OC MAX AND AT THE CORNER OF EACH DOOR - TYP.
7.	CONTROL JOINTS ON RATED PARTITIONS SHALL BE PER UL AND MAINTAIN PARTITION RATING INDICATED.
8.	MEP TRADES ARE RESPONSIBLE FOR THRU WALL PENETRATIONS AT FIRE RATED ASSEMBLIES AND SHALL BE PER UL AND MAINTAIN ASSEMBLY RATING.
9.	CONFIRM TUB/SOWER ROUGH OPENING SIZE PRIOR TO WALL FRAMING.
10.	COORDINATE WITH OTHER TRADES TO PROVIDE BLOCKING AS REQUIRED FOR FIXTURE AND EQUIPMENT ATTACHMENT.
11.	SEE A0.03 FOR WALL TYPES, FLOOR/CEILING ASSEMBLIES & WALL TYPES

No.	Date	Item

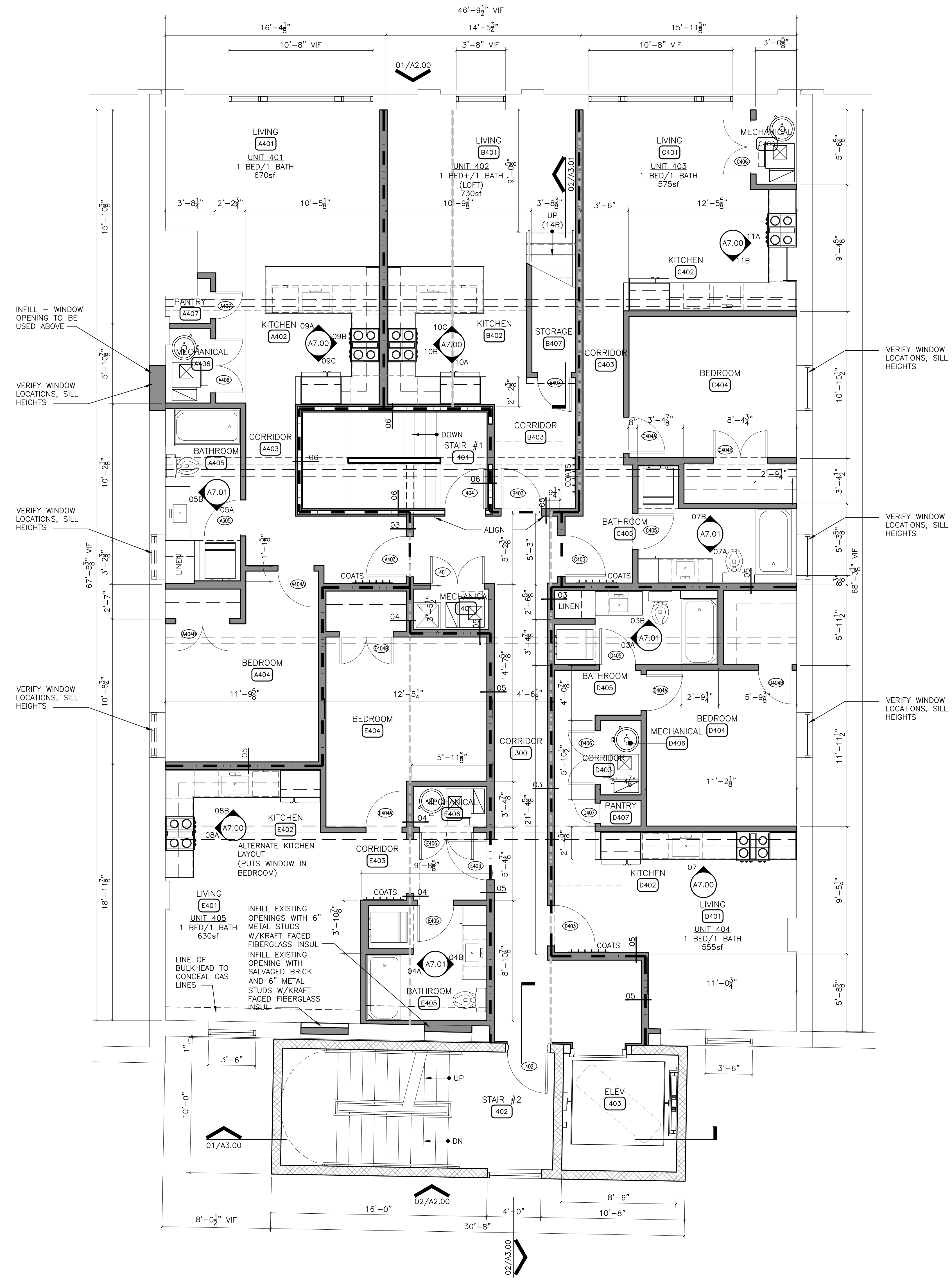
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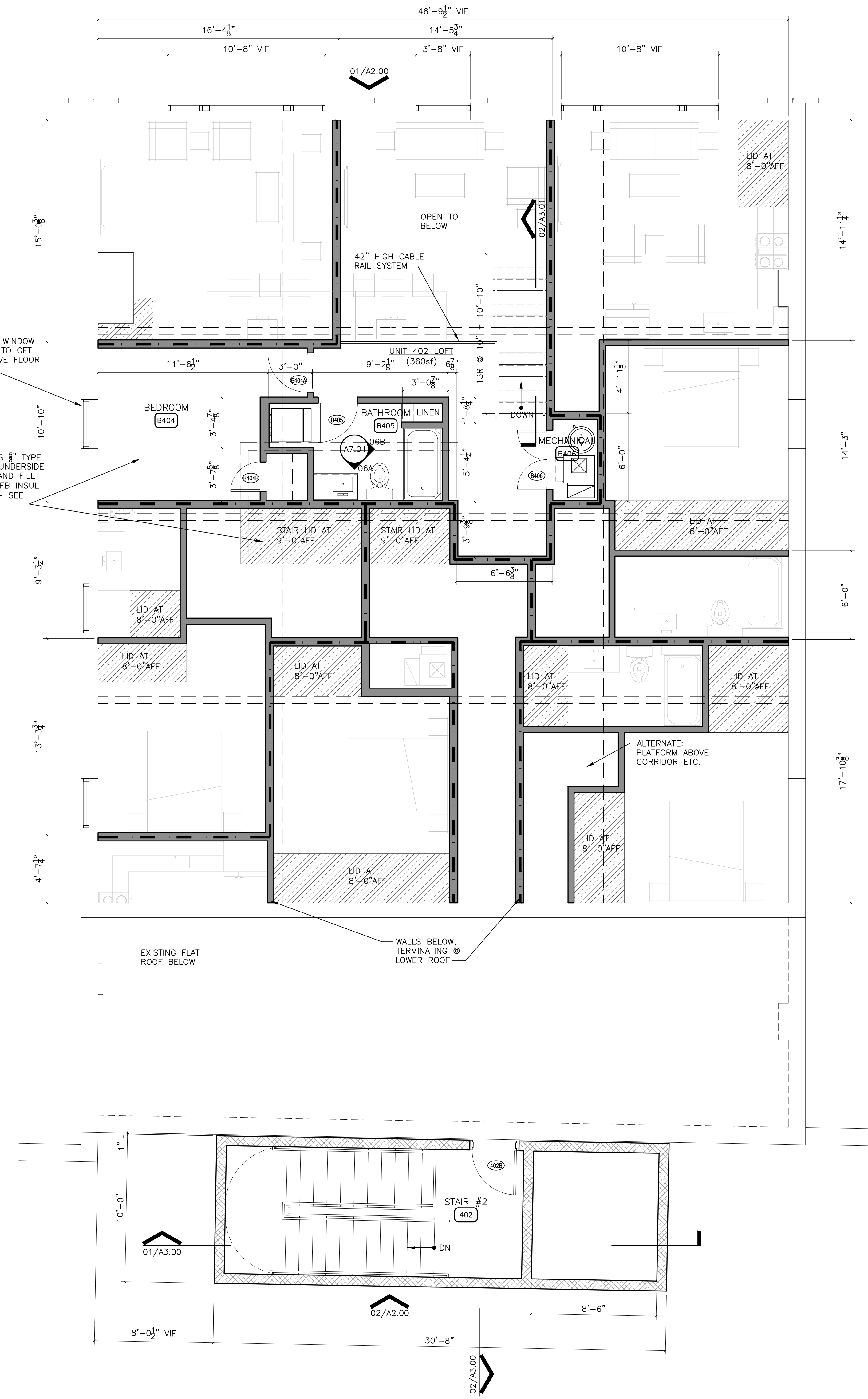
**2ND & 3RD FLOOR PLANS**

Job No: GR19010  
Issue: Issue for Review  
Issue Date: December 13, 2023



01 4TH FLOOR PLAN  
SCALE: 1/4" = 1'-0"

REF: ab-01\_lofts



02 4TH FLOOR LOFT PLAN  
SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION

ELEVATOR SPECIFICATION	
MANUFACTURER:	KONE
TYPE:	MONOSPACE 300
CAPACITY:	3500
SPEED:	
TRAVEL:	39'-4"
STOPS:	4
DOOR TYPE:	SINGLE SPEED - RIGHT HAND
PIT DEPTH:	5'-0"
MACHINE ROOM:	NOT REQUIRED - CONTROL PANEL LOCATED ON TOP FLOOR ADJACENT TO DOOR.
STRETCHER REQ.:	ELEVATOR MANUFACTURER TO CONFIRM THAT THE ELEVATOR WILL ACCOMMODATE AN 24"X84" AMBULANCE STRETCHER WITH NOT LESS THAN 5" RADIUS CORNERS.
*FOR DESIGN INTENT & PRICING, FINAL ELEVATOR AND SPECIFICATIONS TBD.	

WALL LEGEND	
	EXISTING
	INDICATES RATED UNIT DEMISING & CORRIDOR WALLS (SEE A0.03 FOR FLOOR/CEILING ASSEMBLIES AND WALL TYPES)
	FULL HEIGHT WALLS
	PARTIAL HEIGHT WALLS
	WALLS/ELEMENTS OVERHEAD
	WALLS/ELEMENTS BELOW

PLAN NOTES	
1.	SEE INTERIOR DESIGN DOCUMENTS FOR FINAL FINISH SELECTIONS AND ADDITIONAL INFORMATION.
2.	PROVIDE WALL TYPE D1 UNLESS NOTED OTHERWISE.
3.	"RC" ON PLANS INDICATE SIDE OF WALL THAT THE RESILIENT CHANNEL IS LOCATED
4.	INTERIOR PARTITION DIMENSIONS TO FACE OF STUD.
5.	PROVIDE ADDITIONAL LAYER 8" GYP BOARD TO COVER TUB/SHOWER FLANGE AS REQUIRED.
6.	DRYWALL CONTRACTOR RESPONSIBLE FOR CONTROL JOINTS AS REQUIRED. JOINTS SHALL BE 30'-0" OC MAX AND AT THE CORNER OF EACH DOOR - TYP.
7.	CONTROL JOINTS ON RATED PARTITIONS SHALL BE PER UL AND MAINTAIN PARTITION RATING INDICATED.
8.	MEP TRADES ARE RESPONSIBLE FOR THRU WALL PENETRATIONS AT FIRE RATED ASSEMBLIES AND SHALL BE PER UL AND MAINTAIN ASSEMBLY RATING.
9.	CONFIRM TUB/SHOWER ROUGH OPENING SIZE PRIOR TO WALL FRAMING.
10.	COORDINATE WITH OTHER TRADES TO PROVIDE BLOCKING AS REQUIRED FOR FIXTURE AND EQUIPMENT ATTACHMENT.
11.	SEE A0.03 FOR WALL TYPES FLOOR/CEILING ASSEMBLIES & WALL TYPES

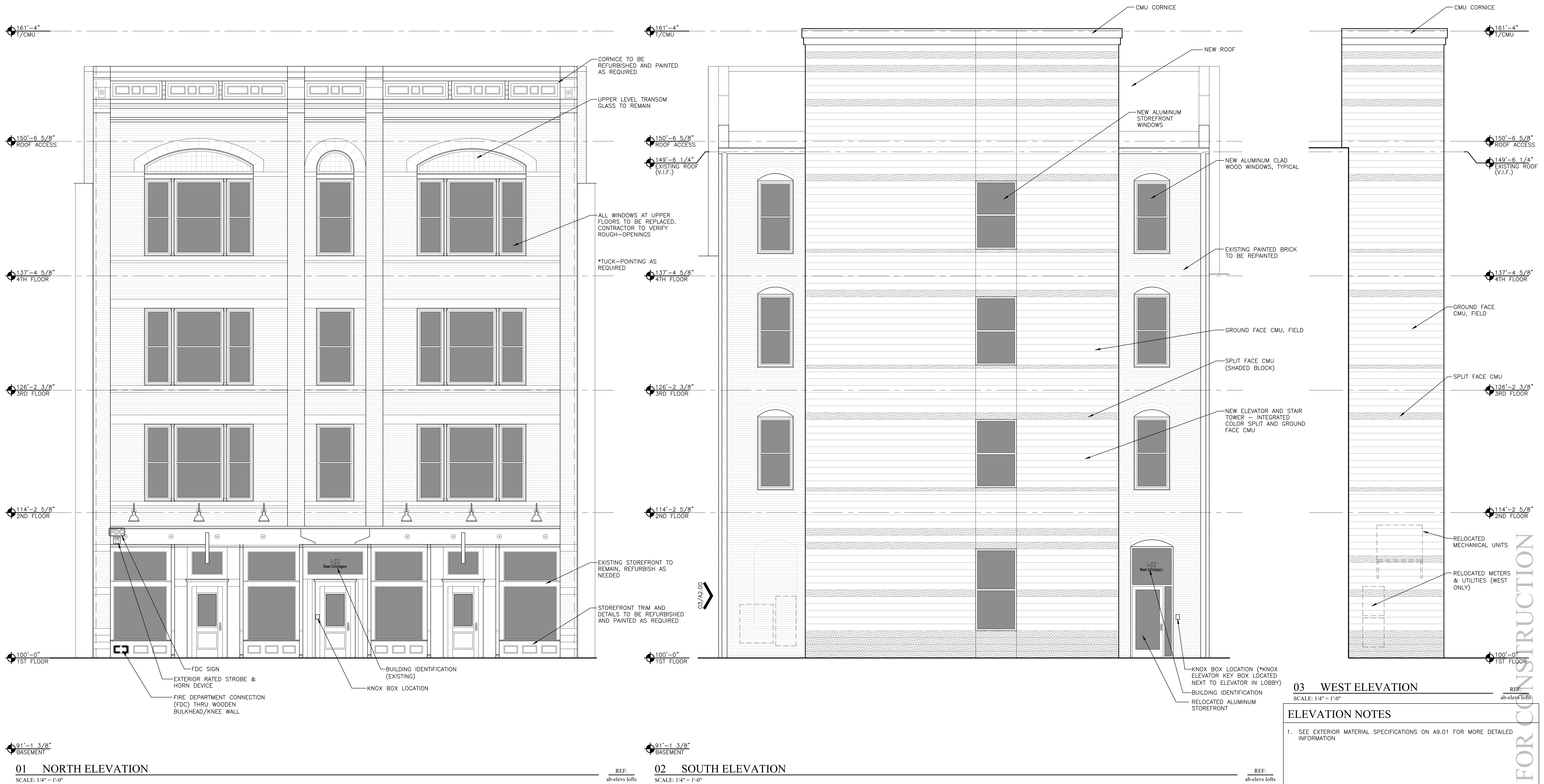
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**4TH & 4TH FLOOR LOFT PLANS**

Job No: GR19010  
Issue: Issue for Review  
Issue Date: December 13, 2023



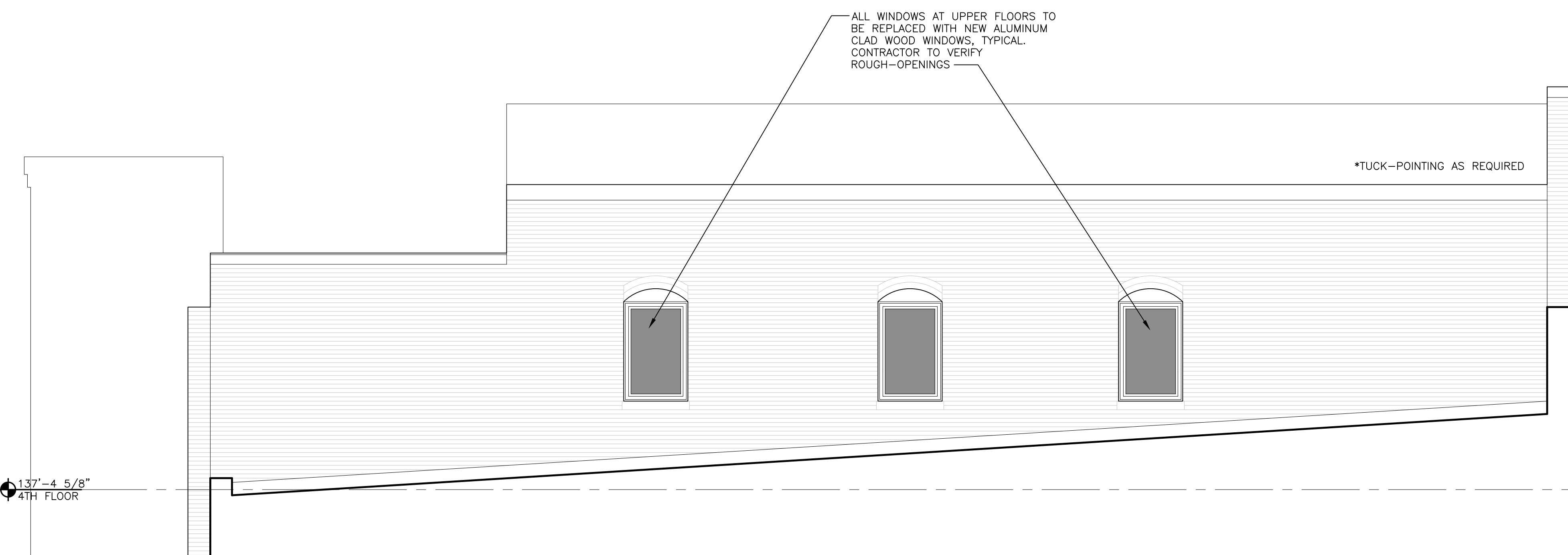
01 NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

02 SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

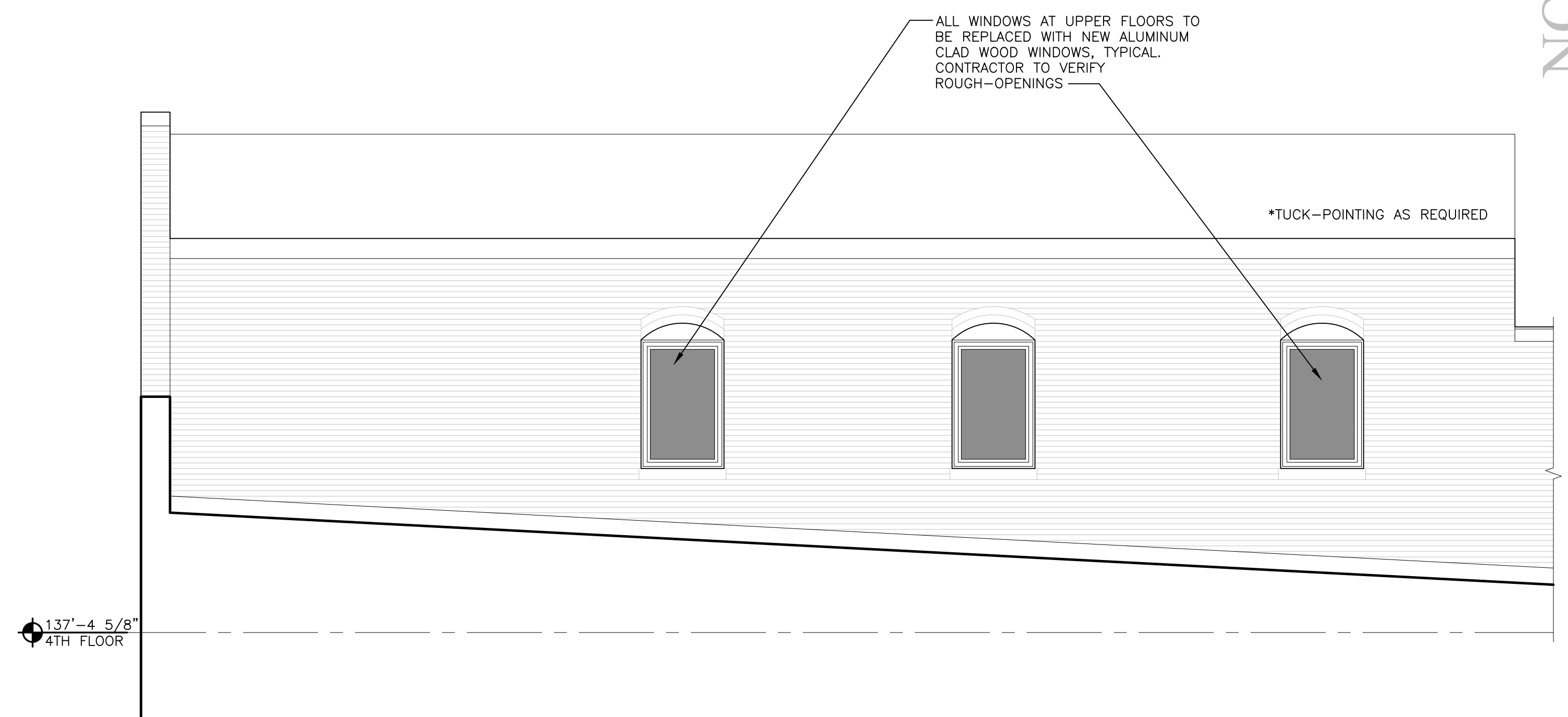
03 WEST ELEVATION  
SCALE: 1/4" = 1'-0"

ELEVATION NOTES

- SEE EXTERIOR MATERIAL SPECIFICATIONS ON A9-01 FOR MORE DETAILED INFORMATION



04 WEST ELEVATION  
SCALE: 1/4" = 1'-0"



05 EAST ELEVATION  
SCALE: 1/4" = 1'-0"

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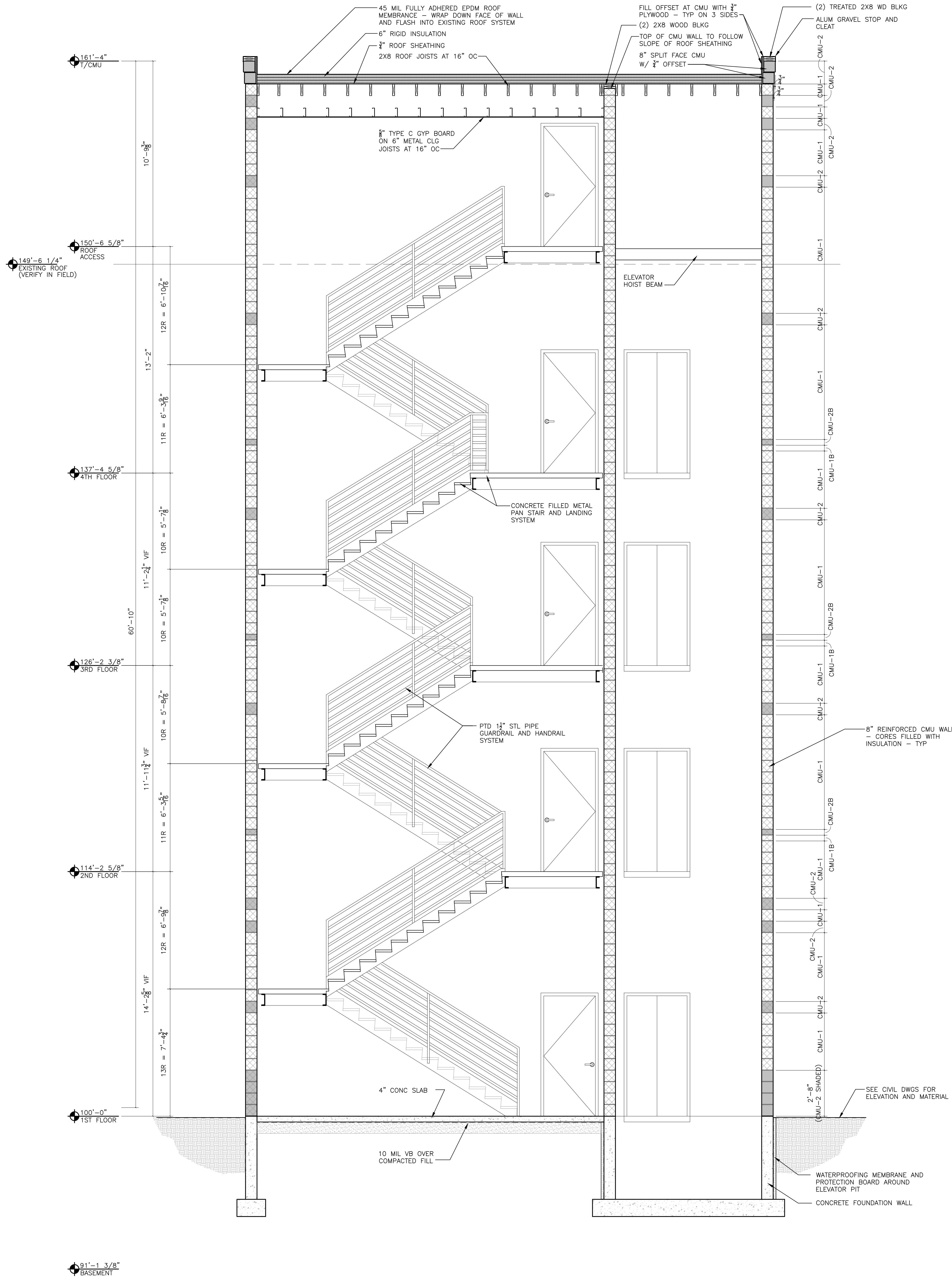
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ELEVATIONS

Job No:	GR190610
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Issue Date:	December 13, 2023



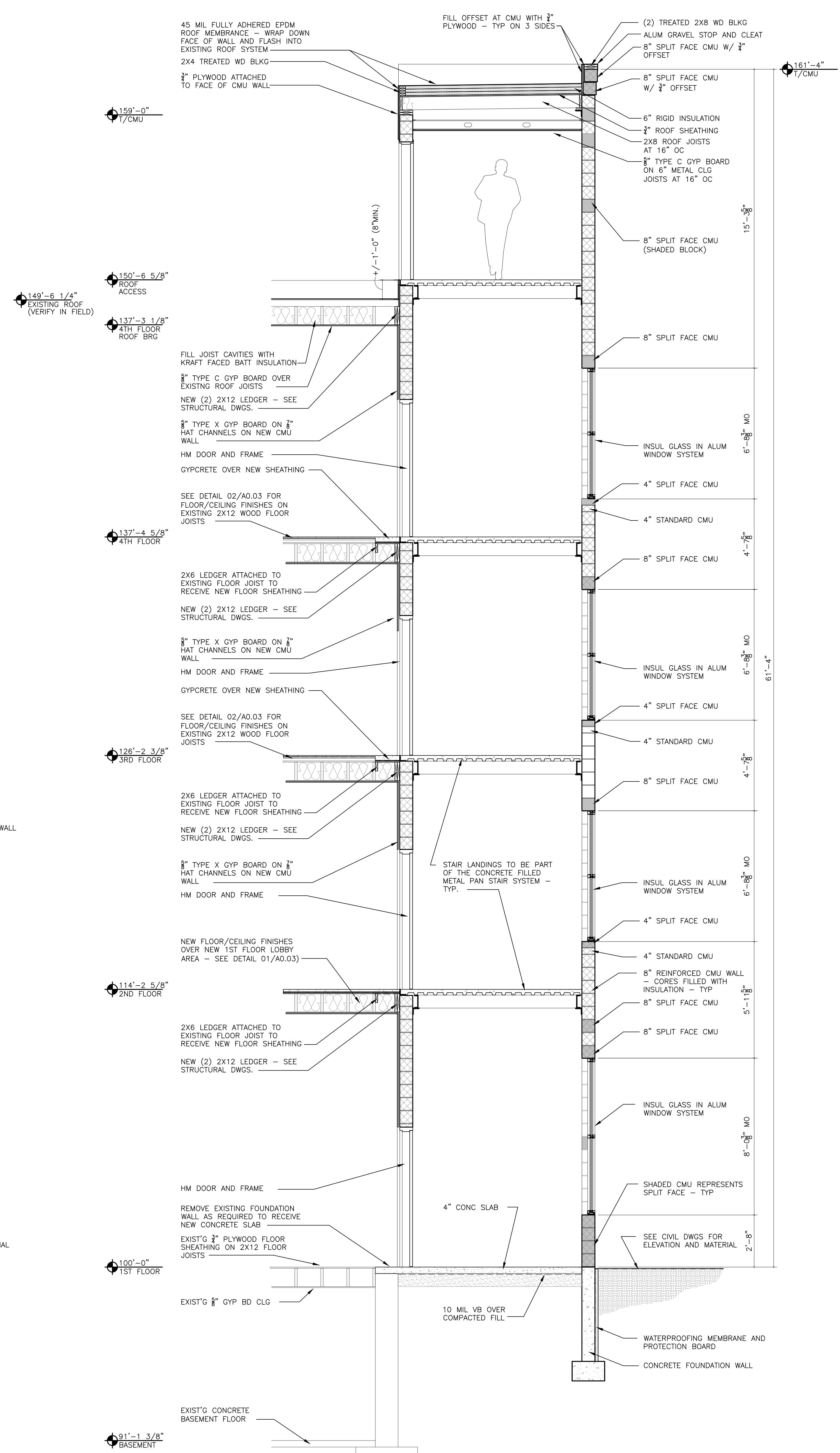
01 SECTION THRU STAIR/ELEVATOR TOWER

SCALE: 3/8" = 1'-0"

REF: 620\_01

02 SECTION THRU STAIR TOWER

SCALE: 3/8" = 1'-0"



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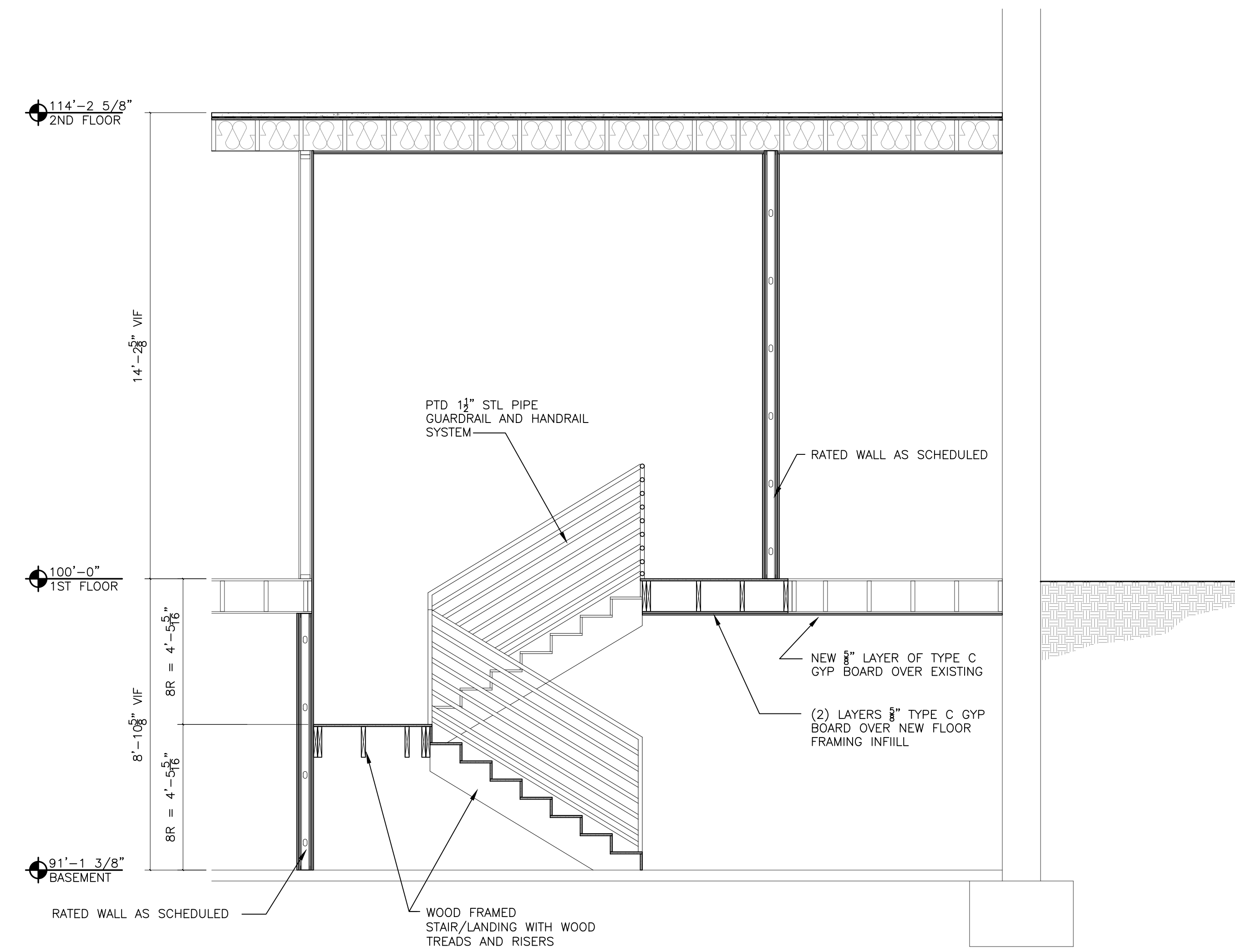
STAIR/ELEVATOR TOWER SECTIONS

Job No: GR190610  
 Issue: Issue for Review  
 Issue Date: December 13, 2023

REF: 620\_01

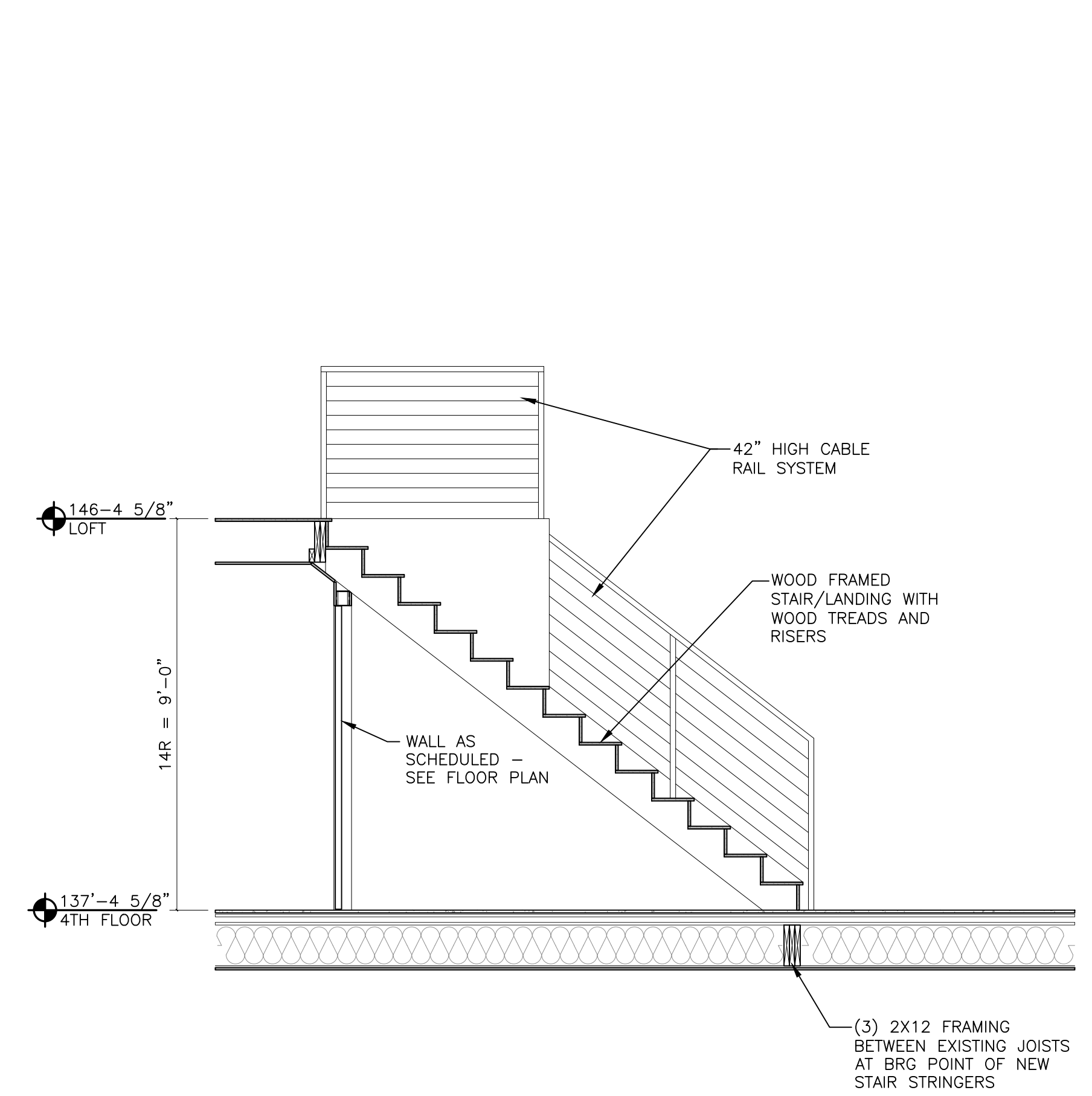
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01 STAIR SECTION

SCALE: 3/8" = 1'-0"



02 LOFT STAIR SECTION

SCALE: 3/8" = 1'-0"

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No.	Date	Item

Issued Drawing Log



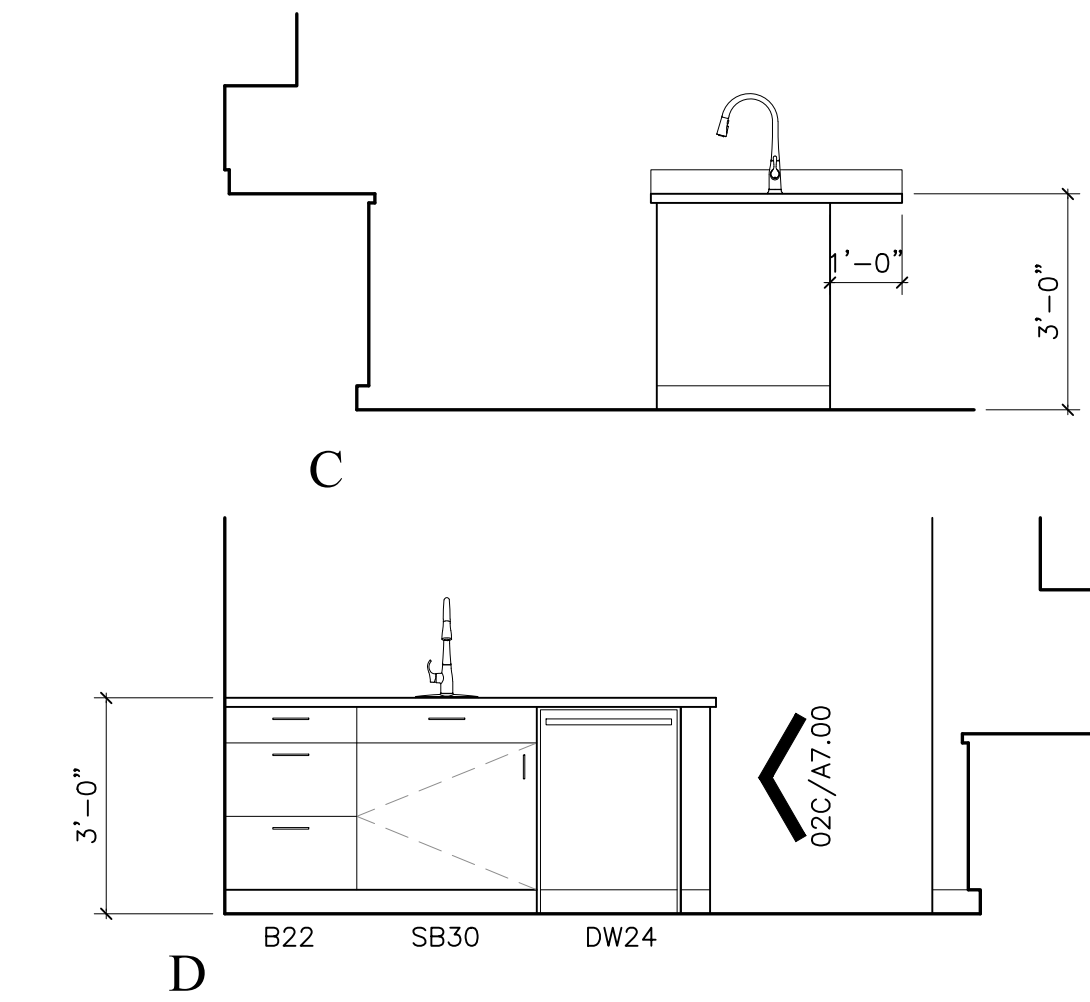
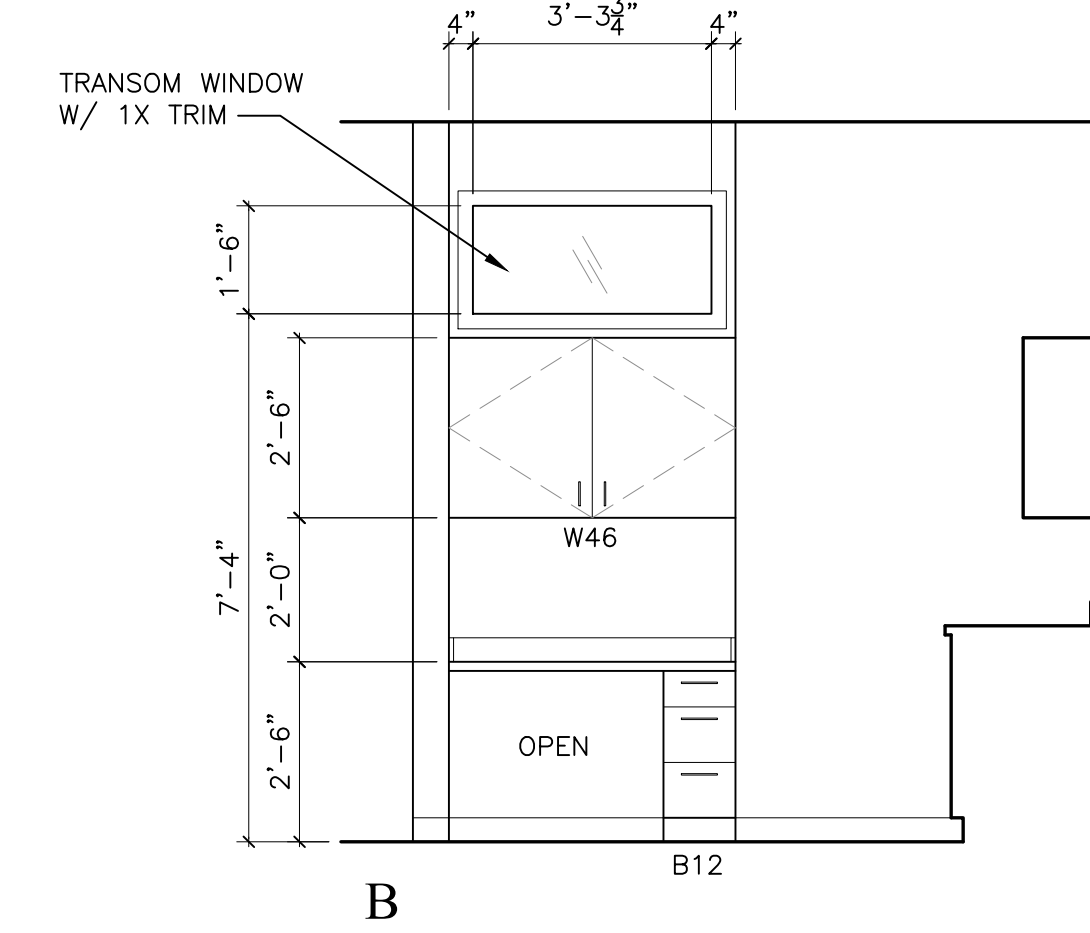
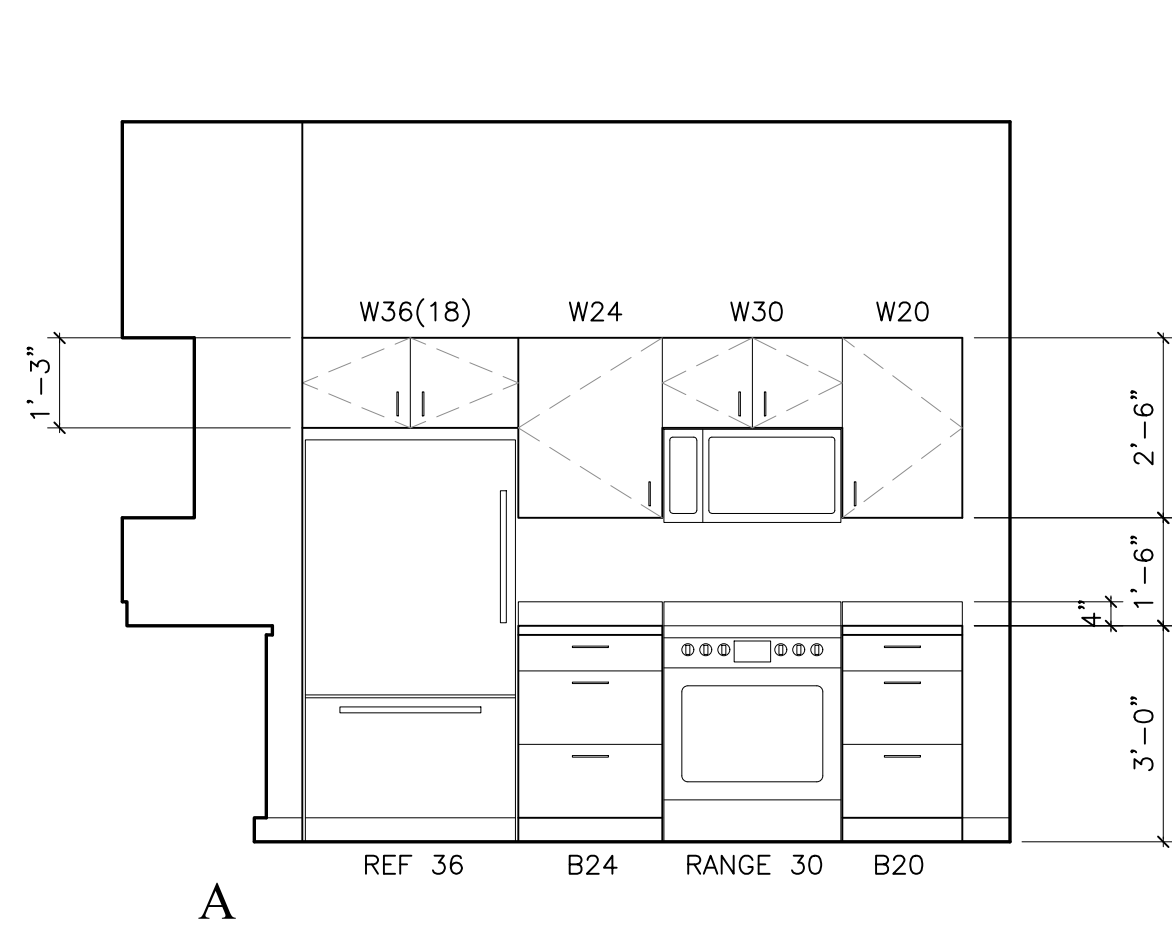
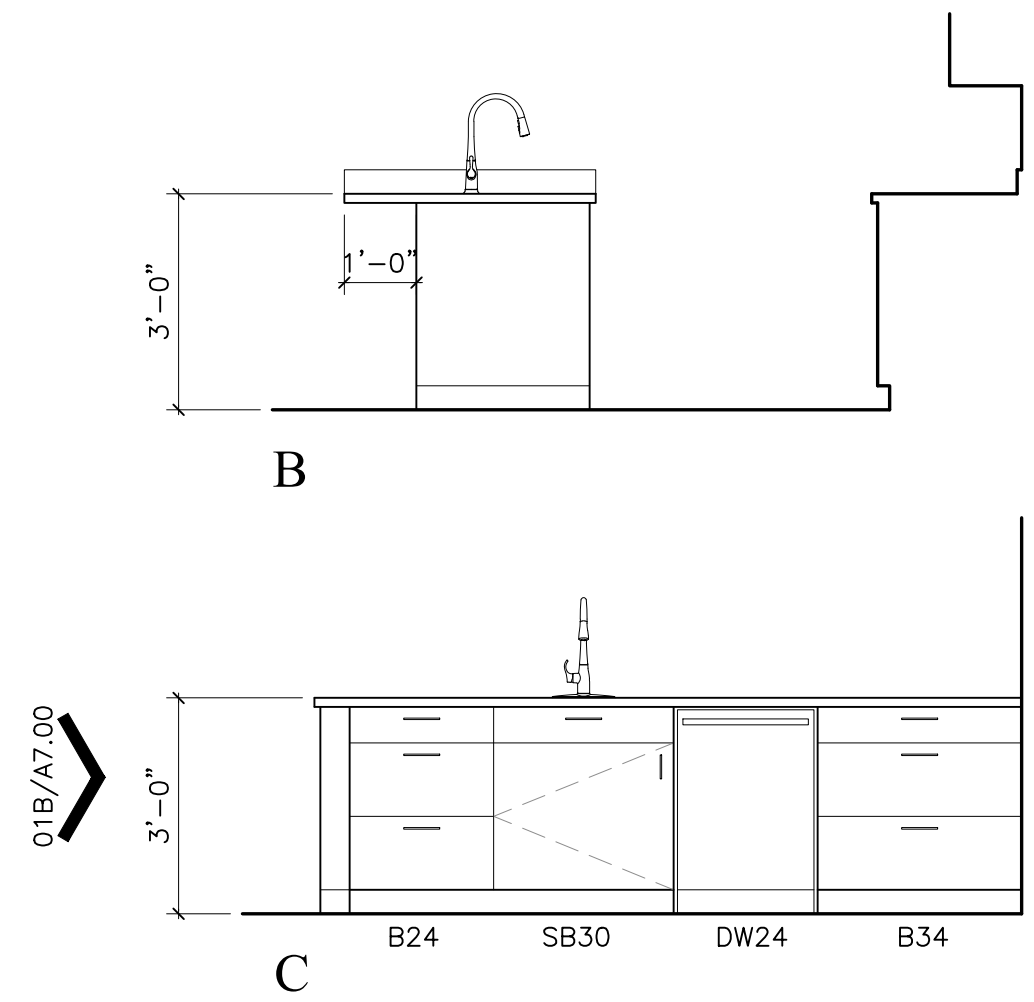
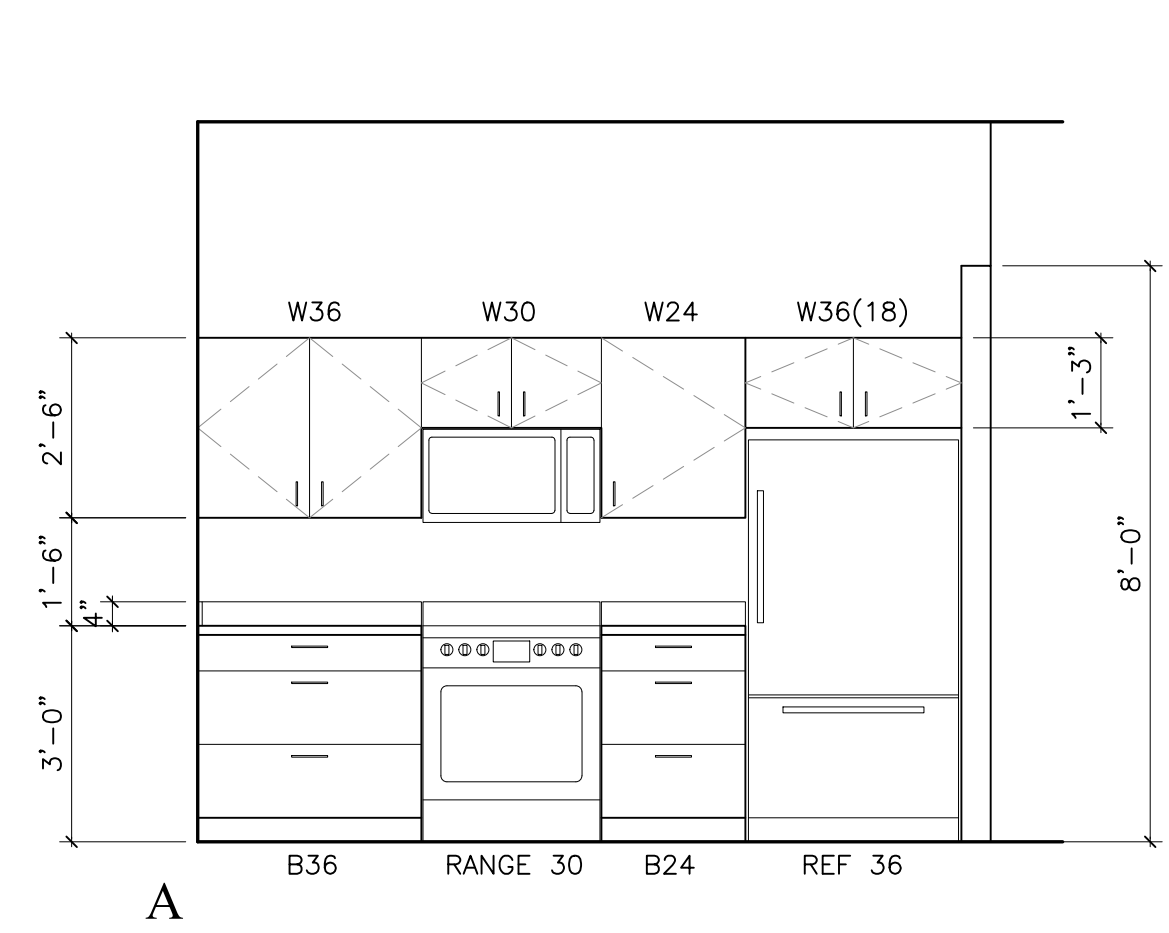
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STAIR/ELEVATOR  
 TOWER SECTIONS

Job No:	GR190610
Issue:	Issue for Review
Issue Date:	December 13, 2023

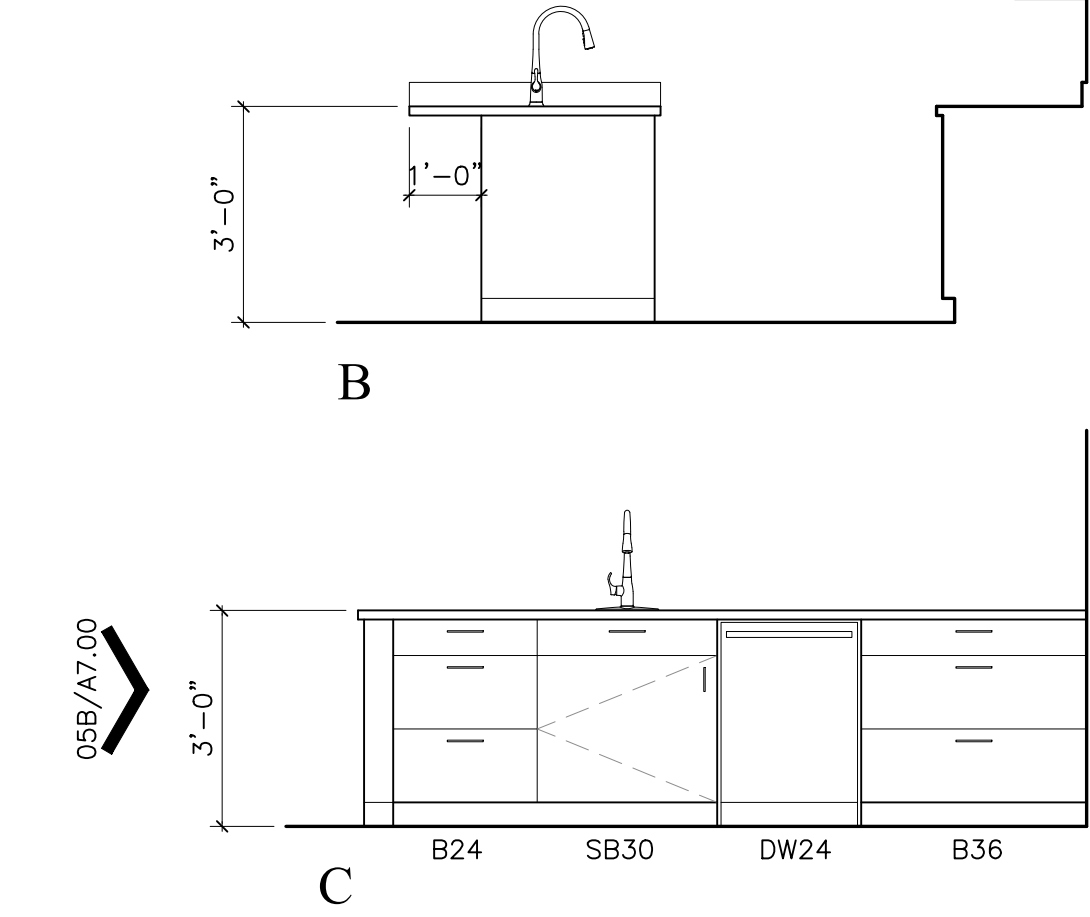
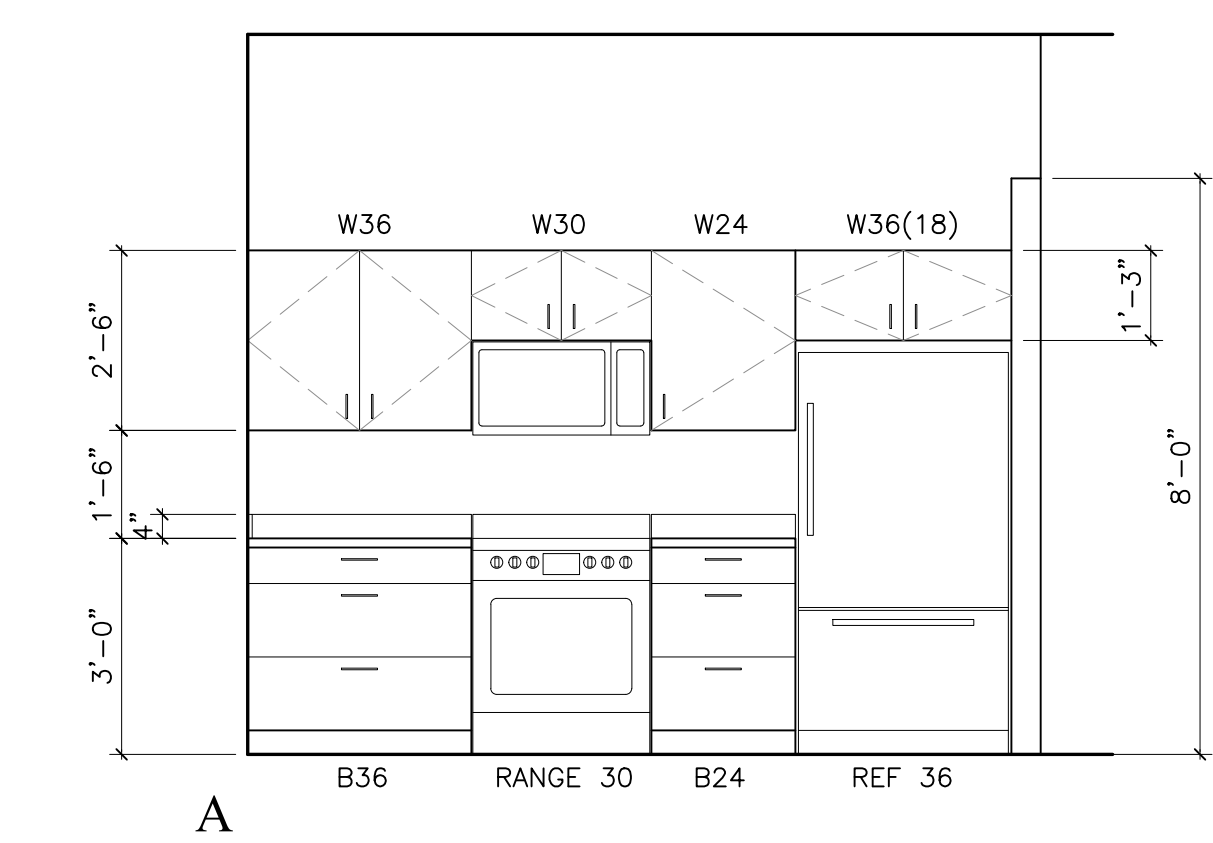
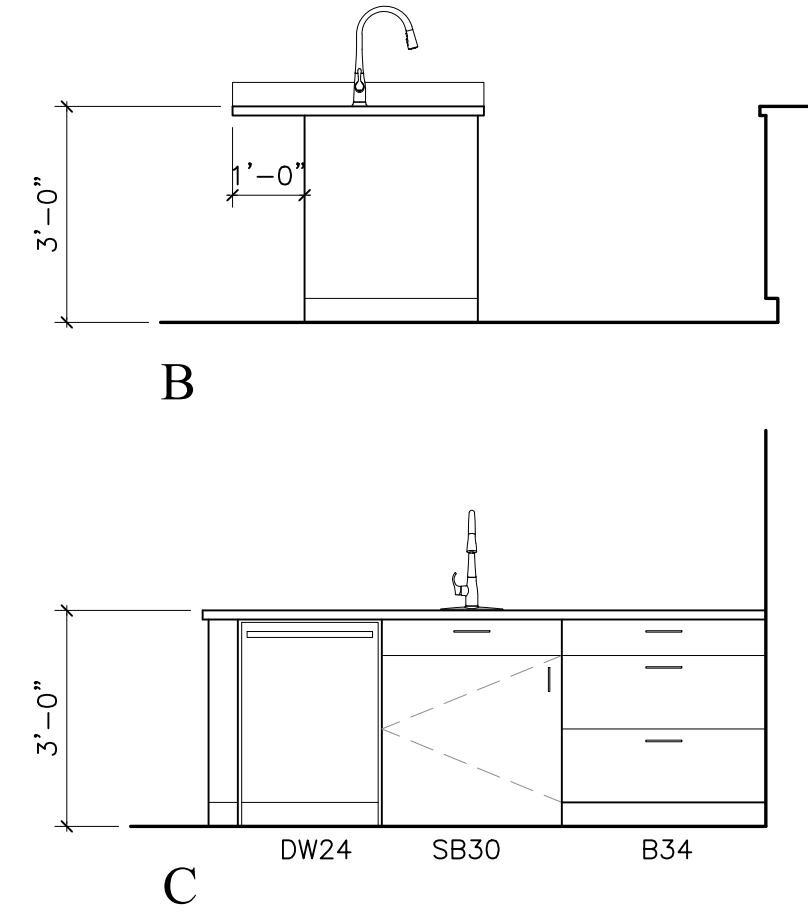
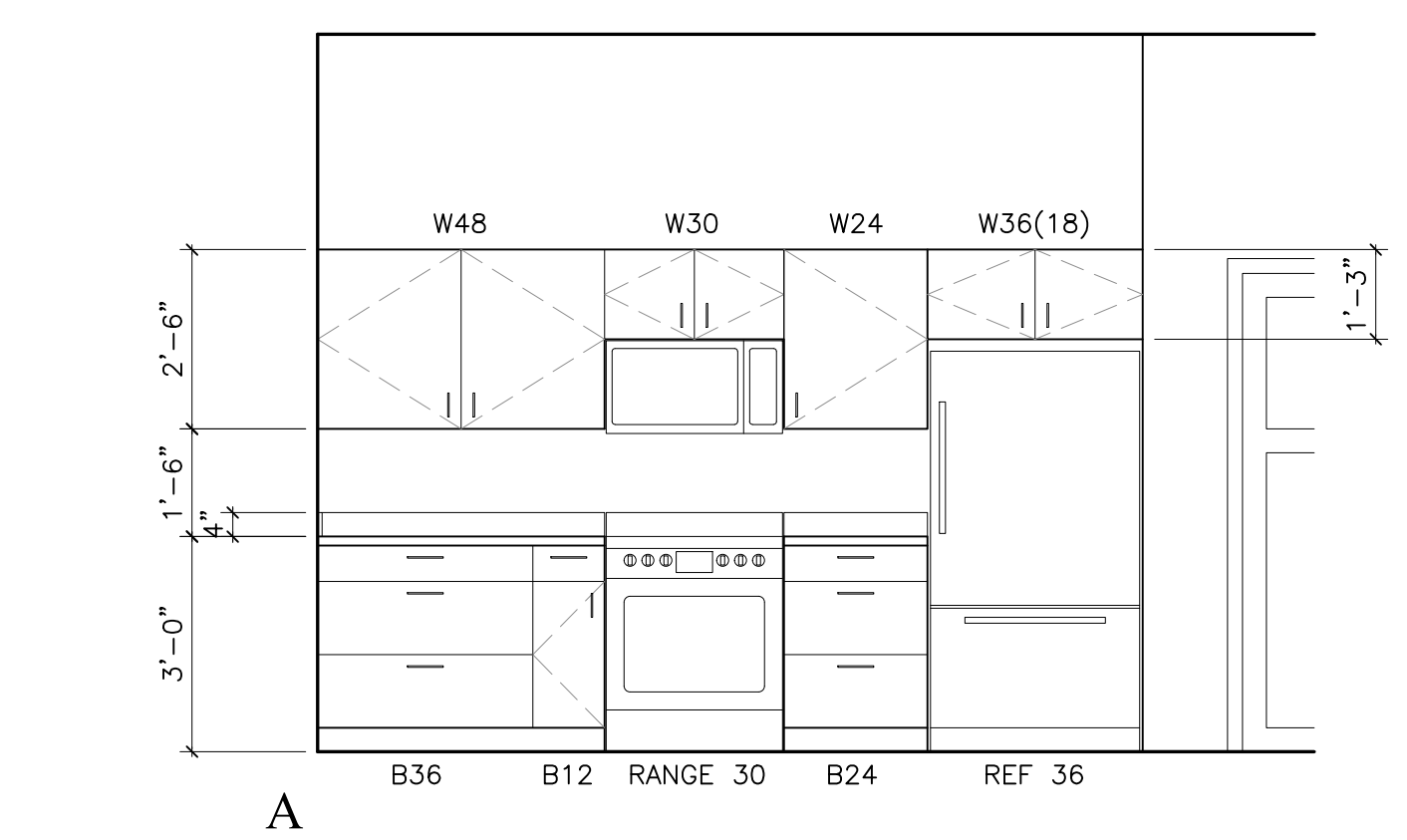
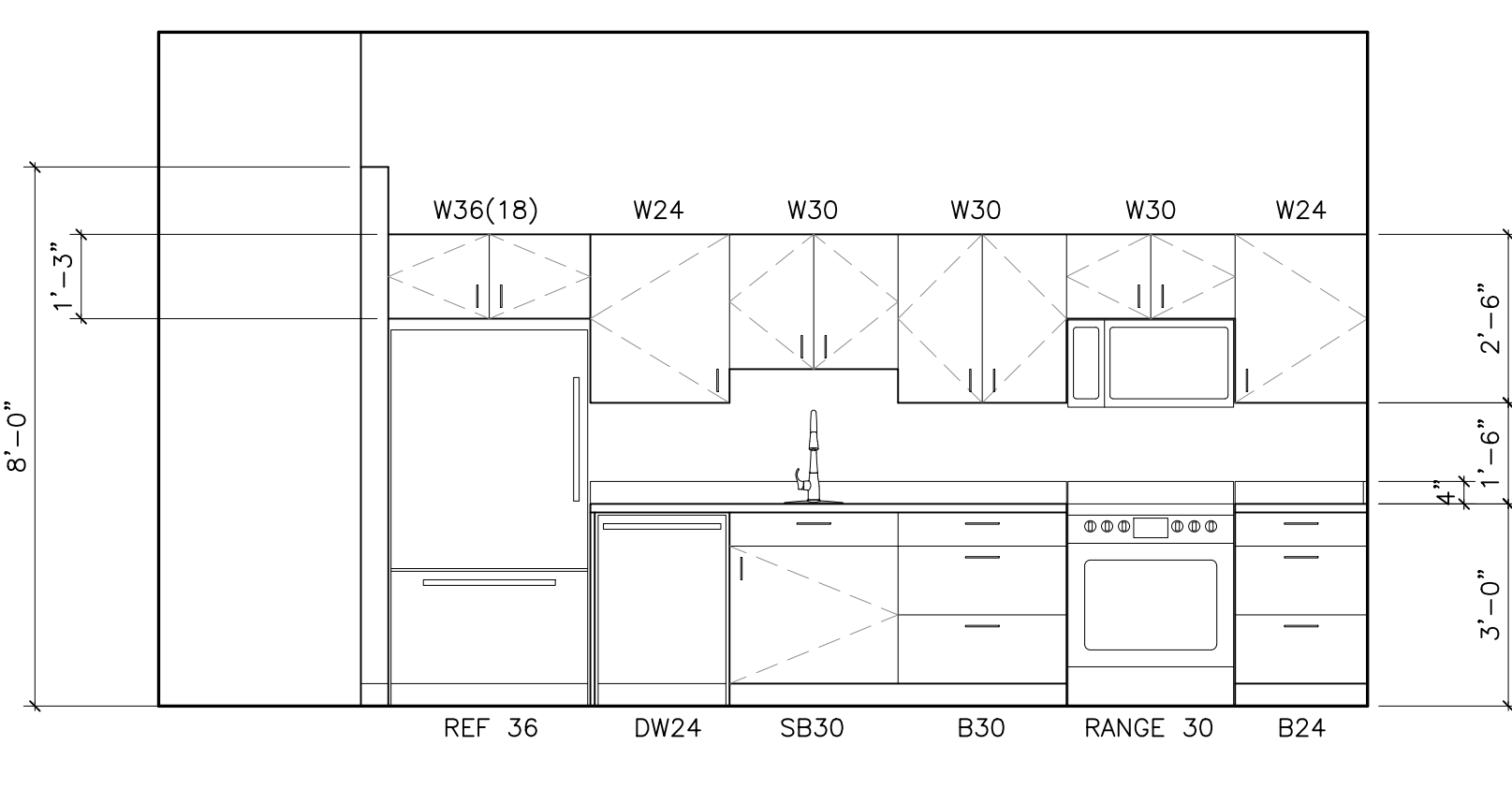
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01 KITCHEN A202  
SCALE: 3/8" = 1'-0"

02 KITCHEN B202  
SCALE: 3/8" = 1'-0"

REF: c10\_01

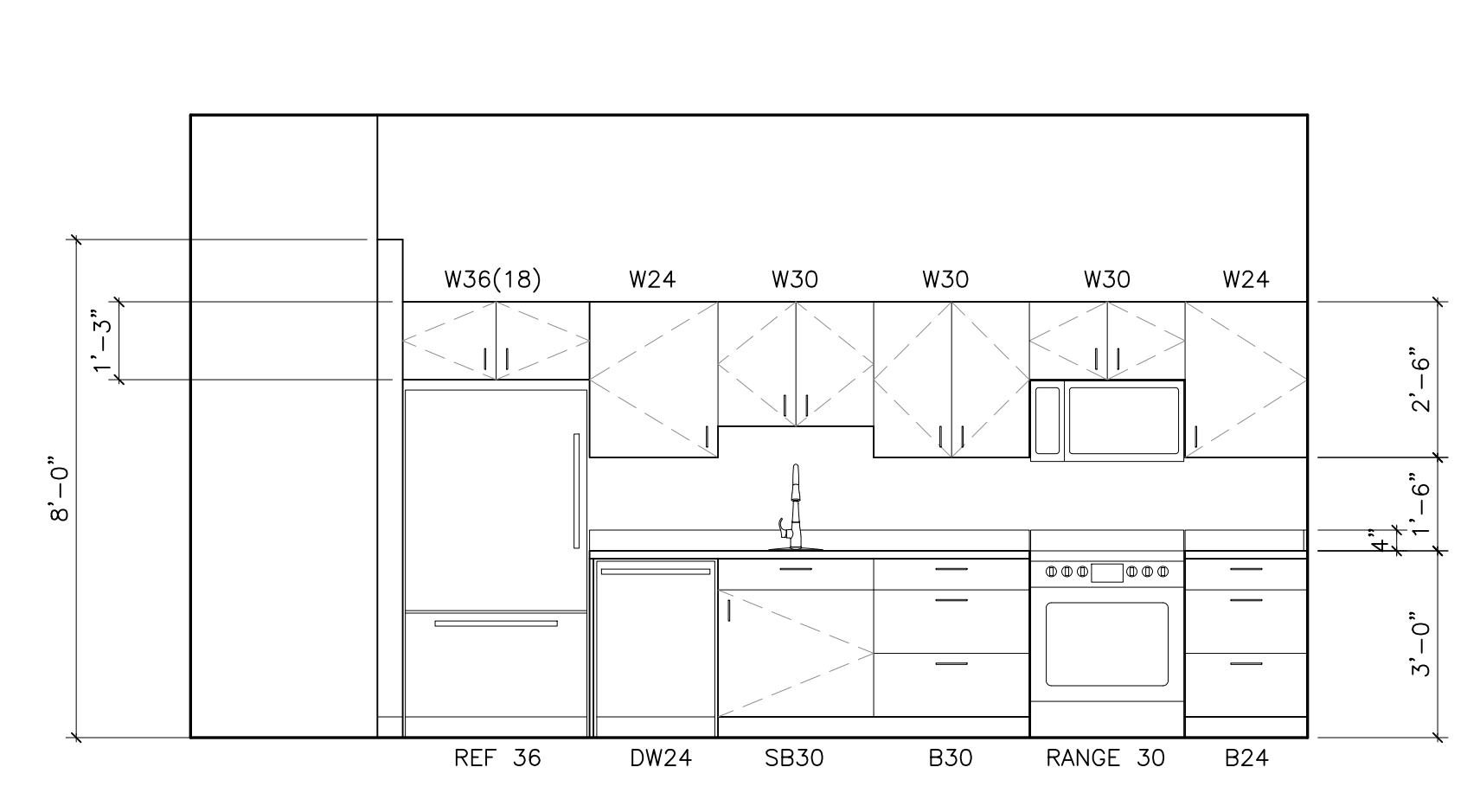
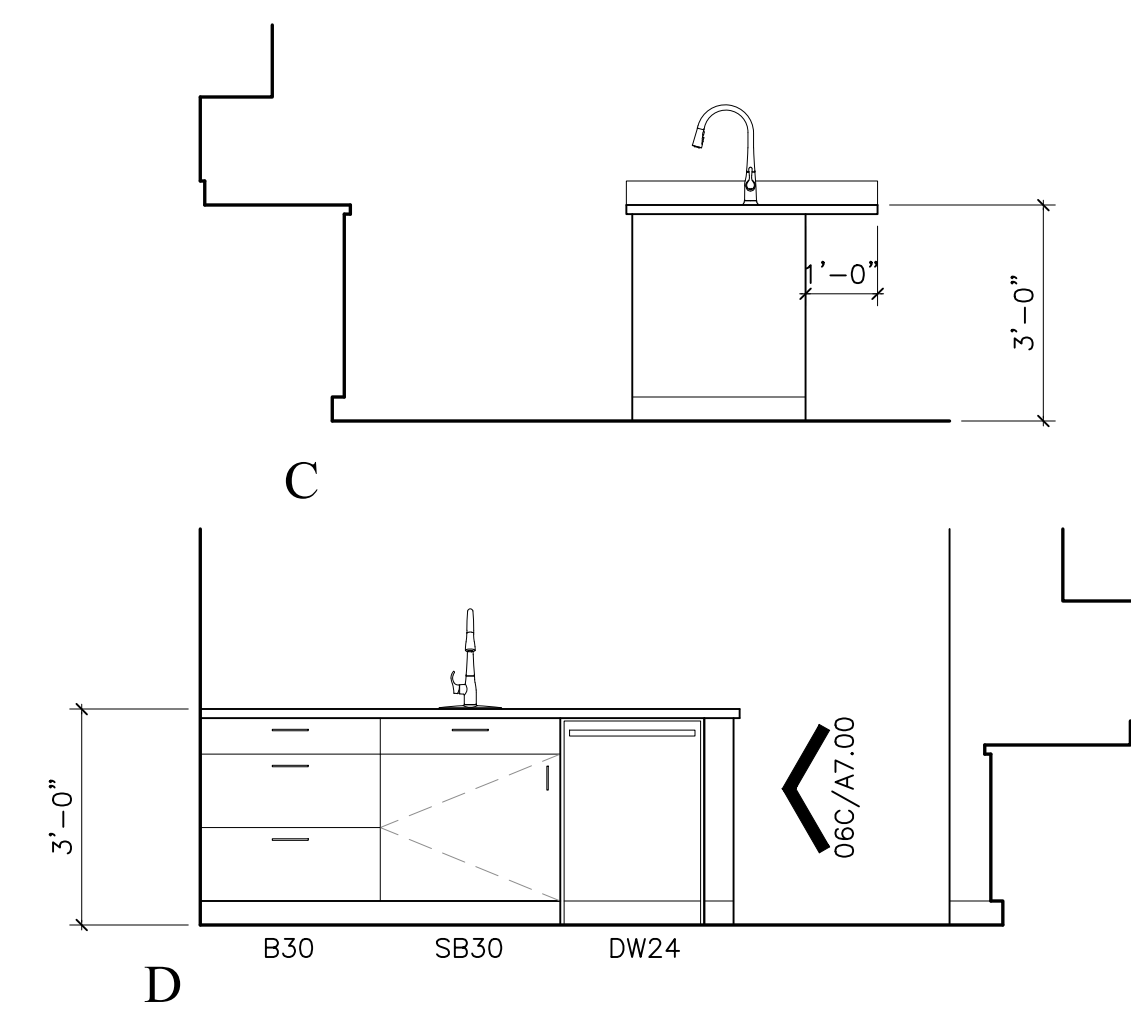
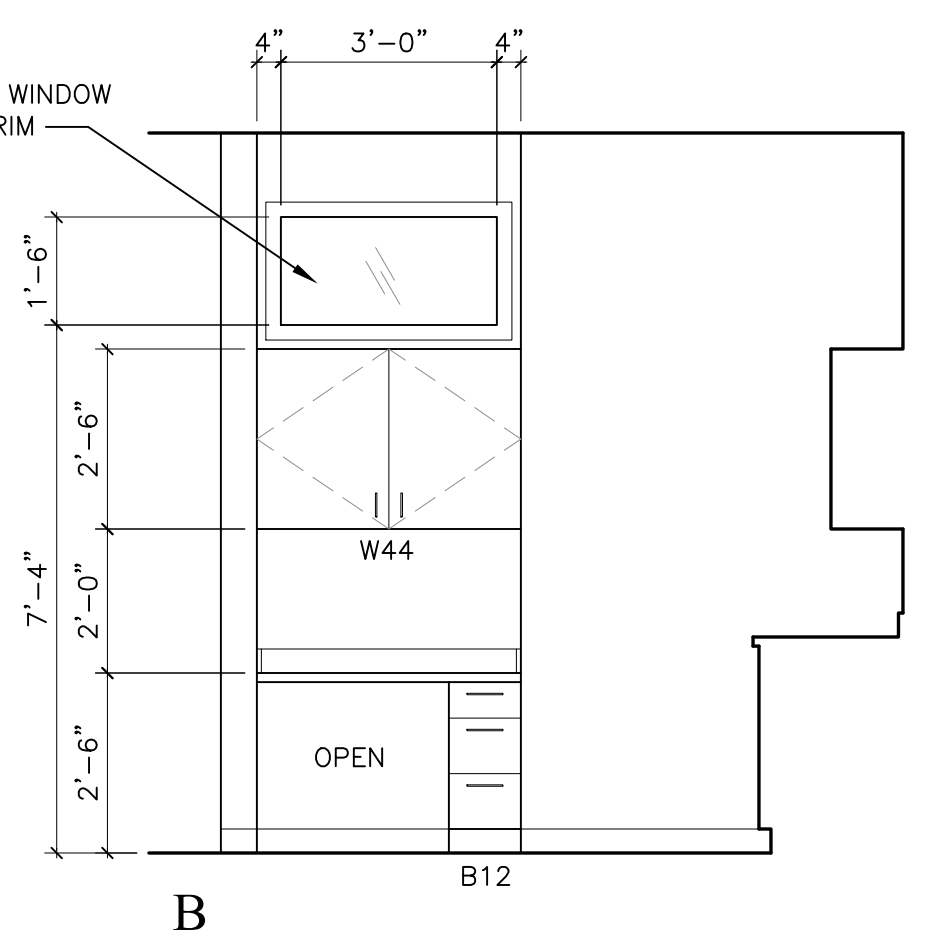
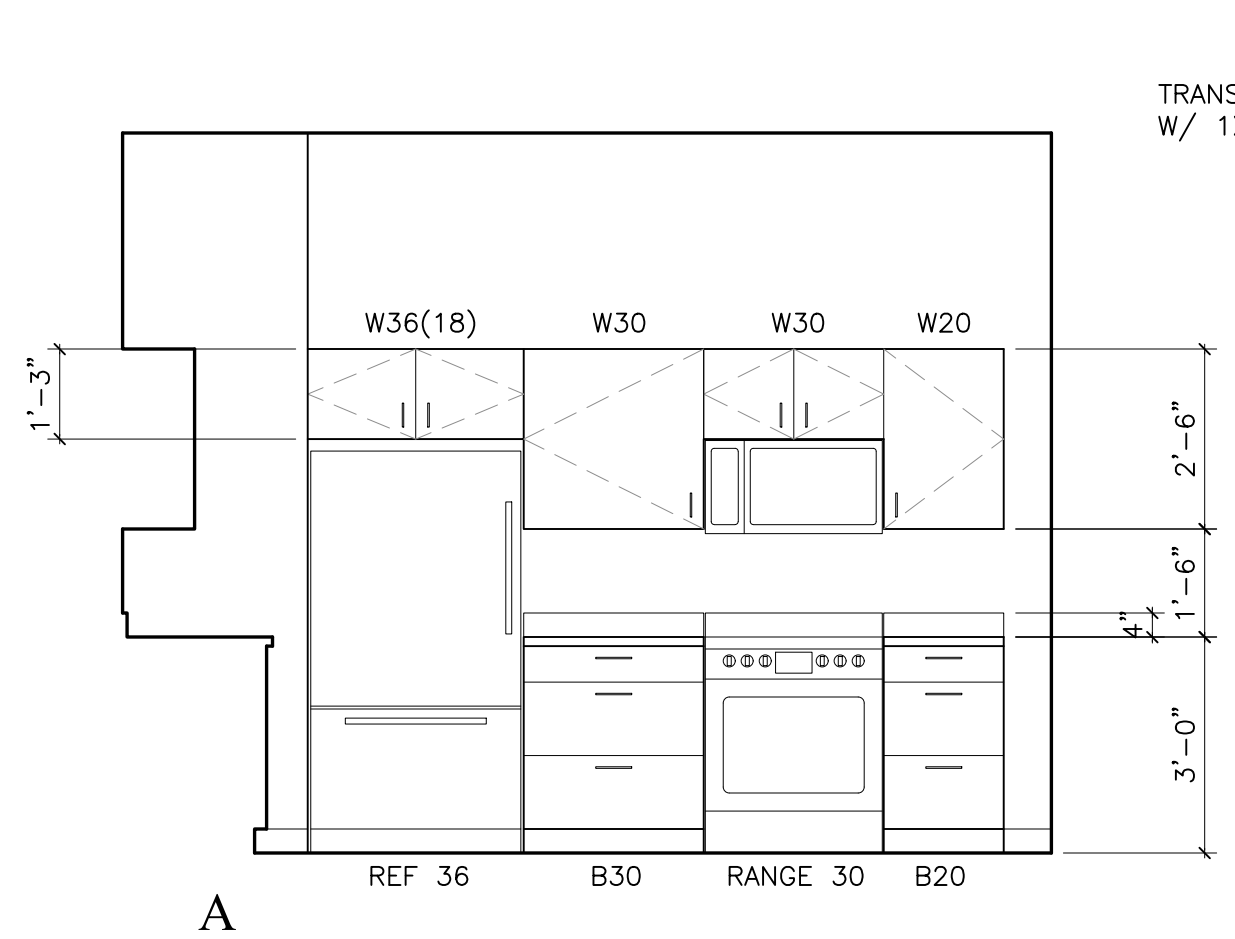


03 KITCHEN C202  
SCALE: 3/8" = 1'-0"

04 KITCHEN D202  
SCALE: 3/8" = 1'-0"

05 KITCHEN A302  
SCALE: 3/8" = 1'-0"

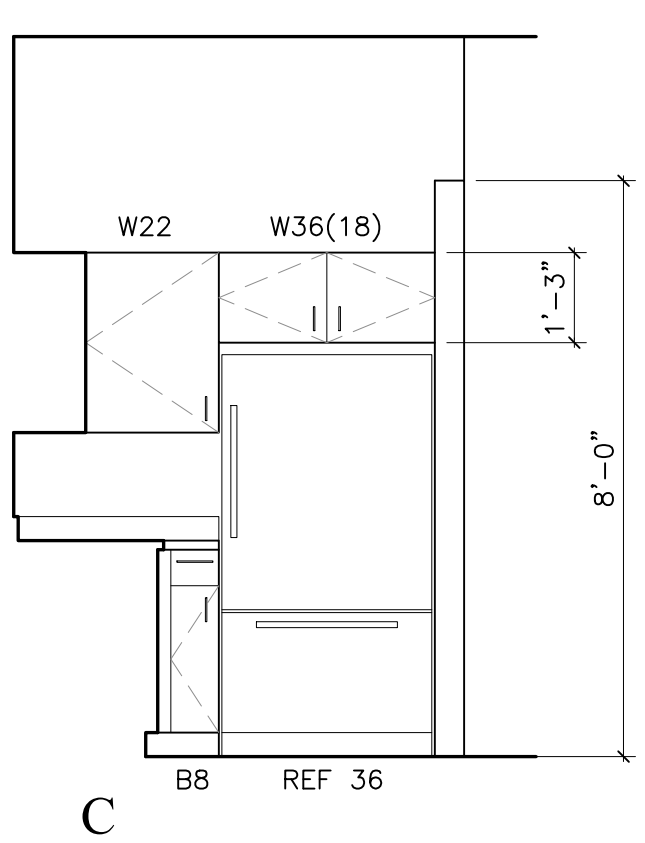
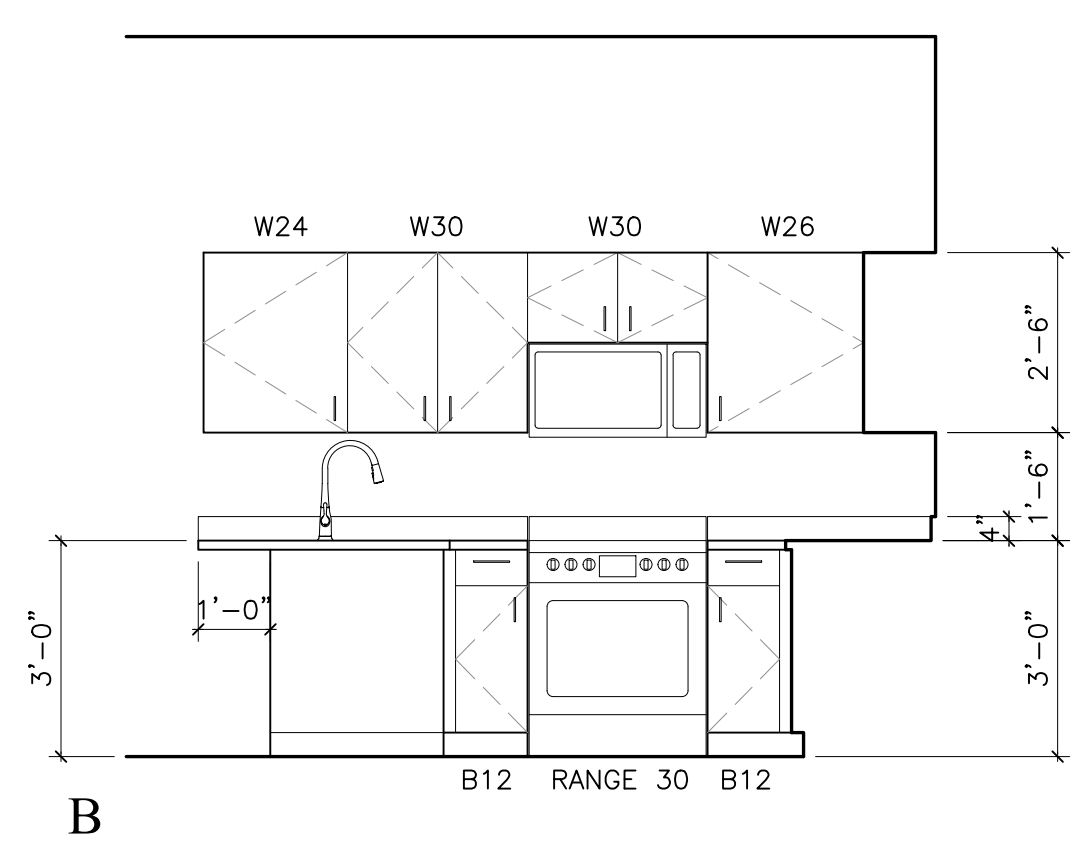
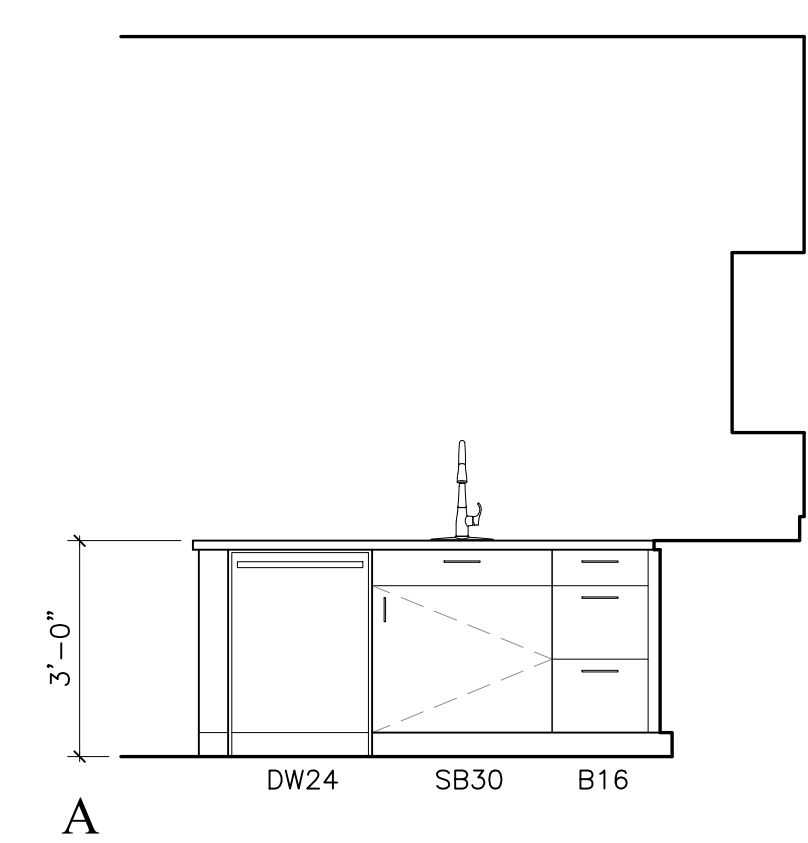
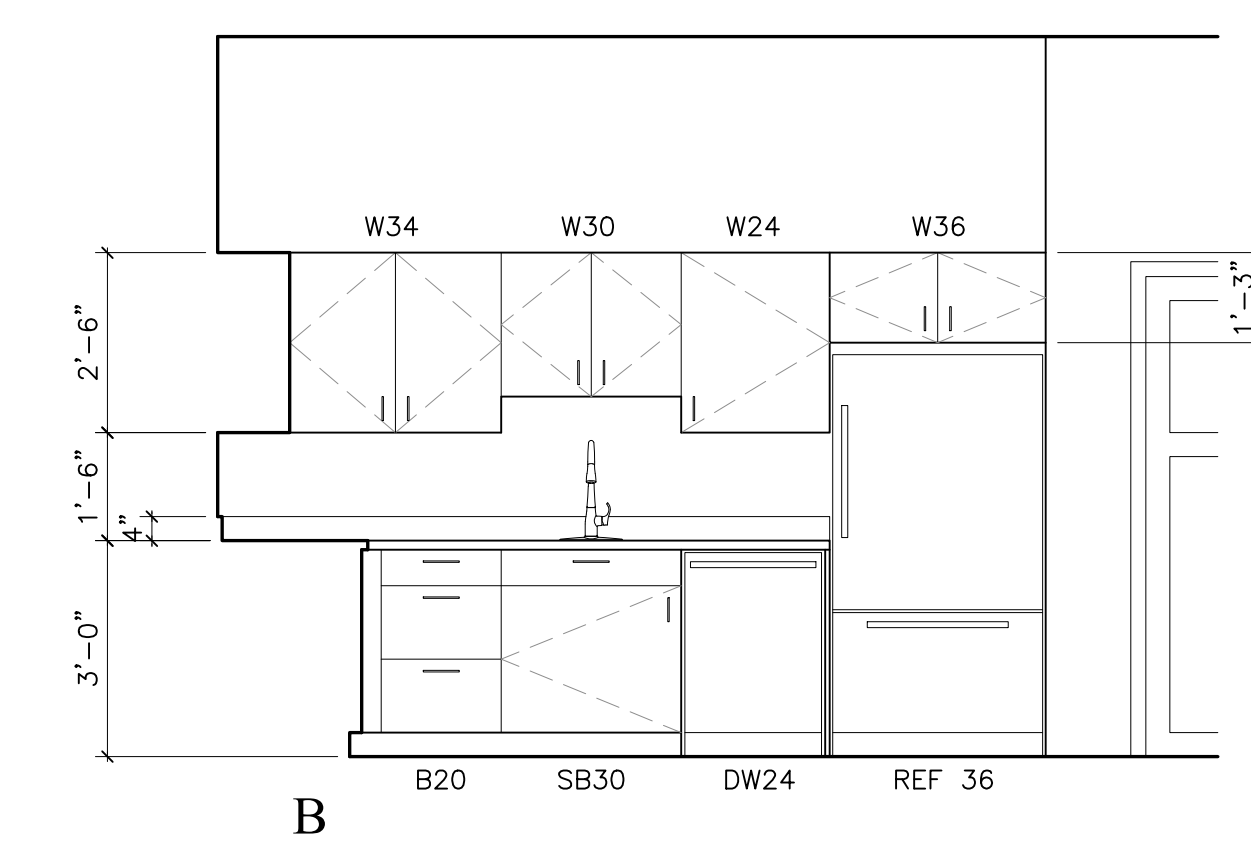
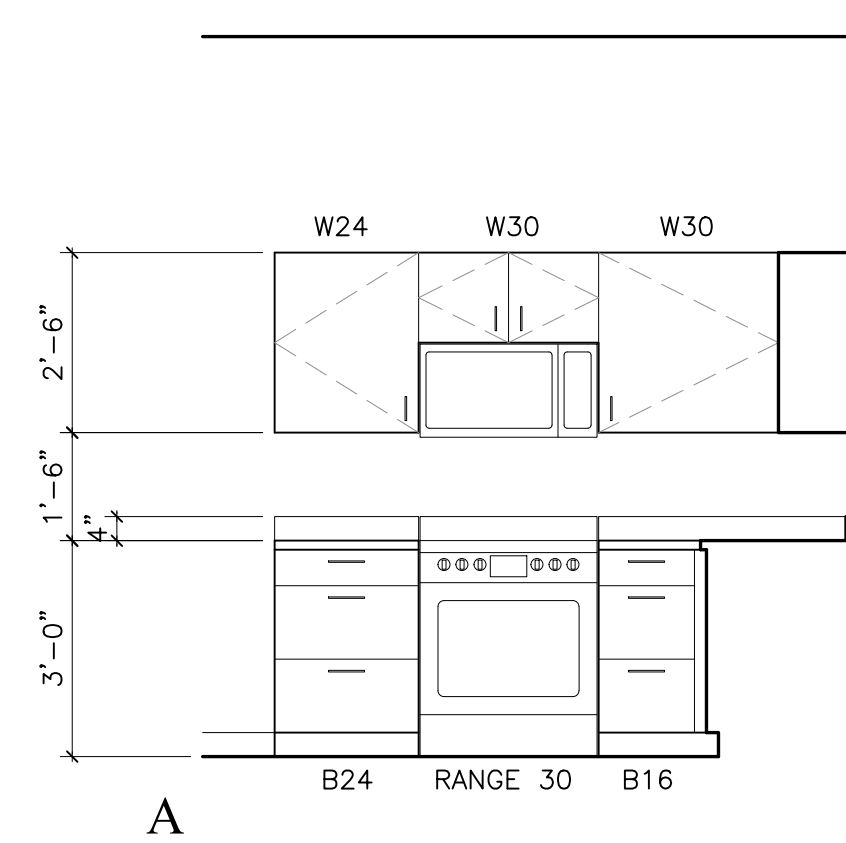
REF: c10\_01



06 KITCHEN B302  
SCALE: 3/8" = 1'-0"

07 KITCHEN C302 & D402  
SCALE: 3/8" = 1'-0"

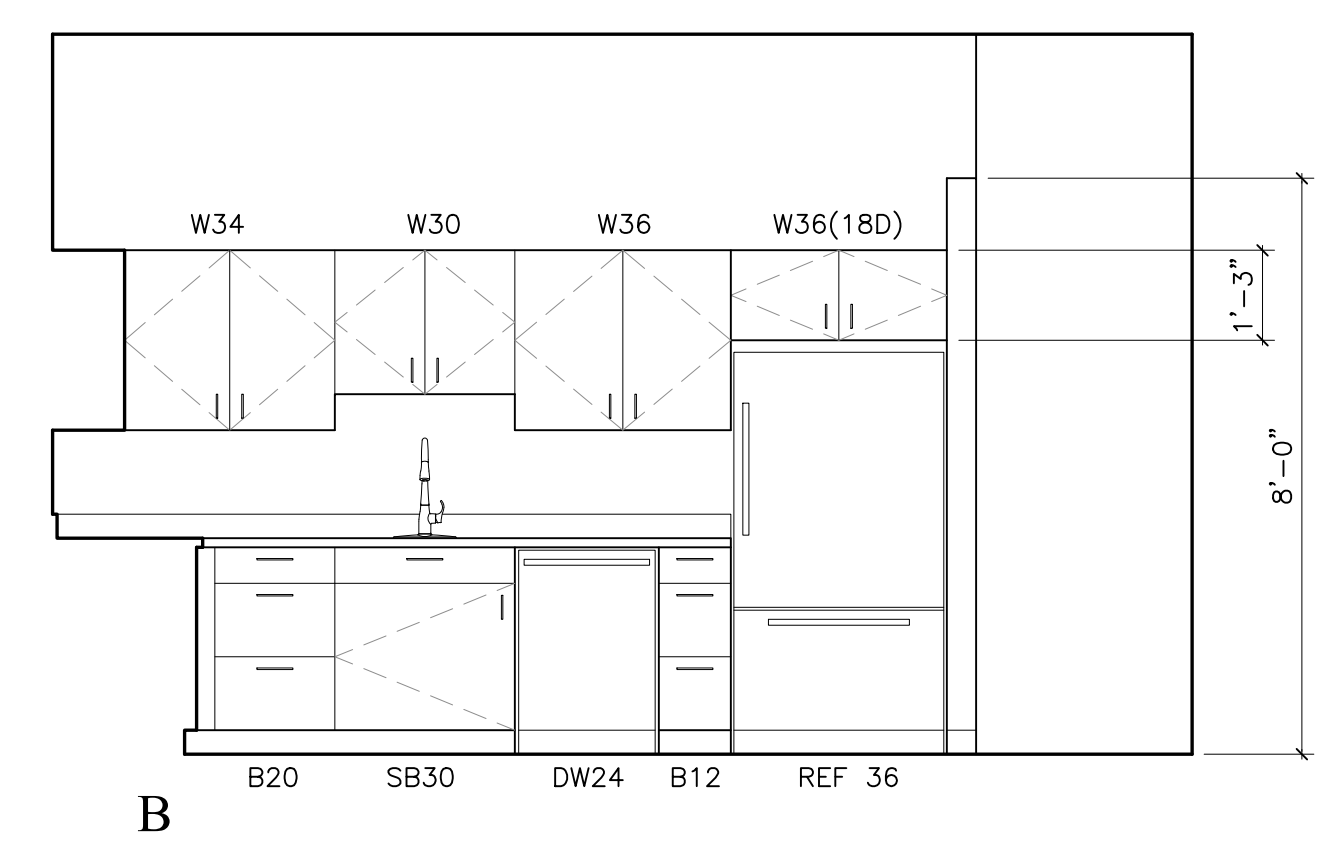
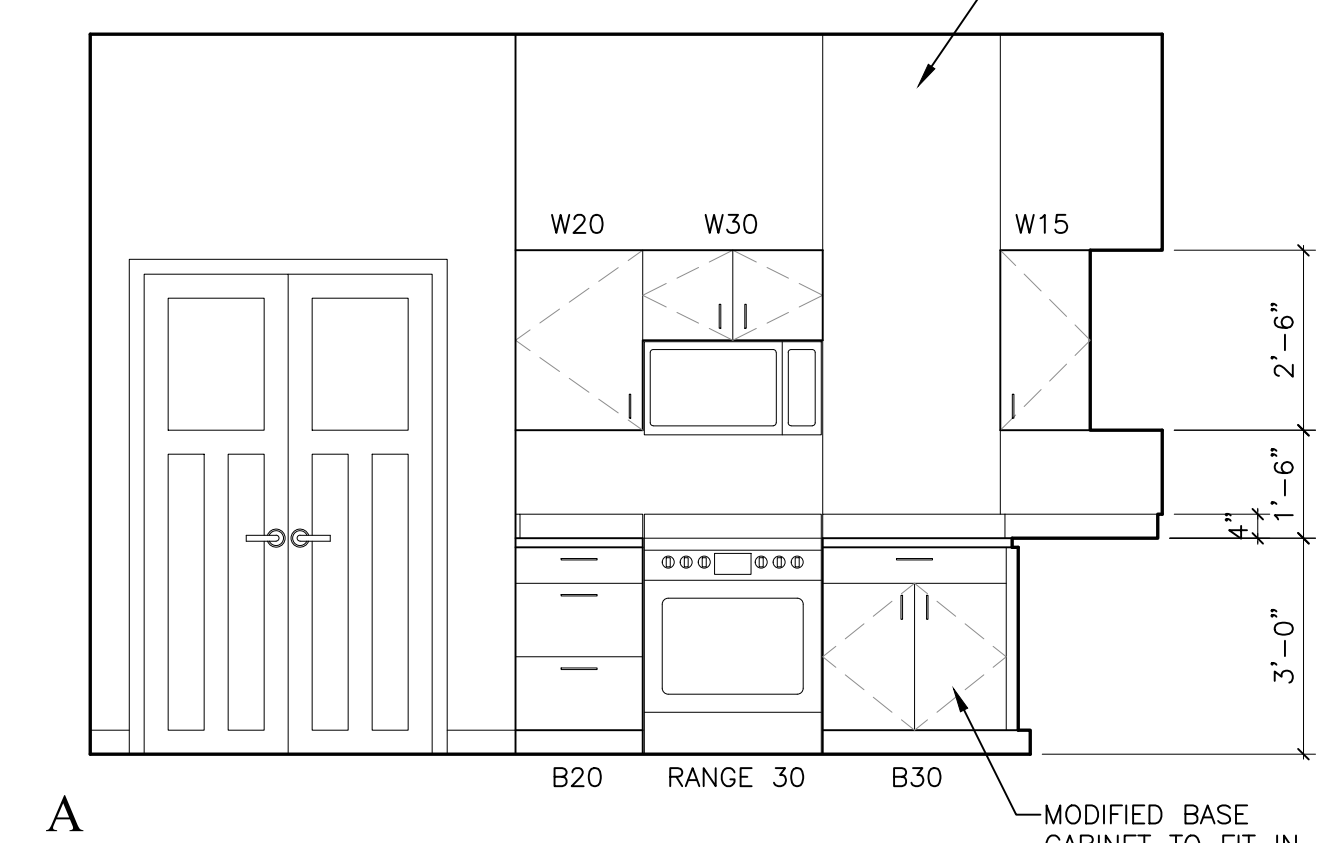
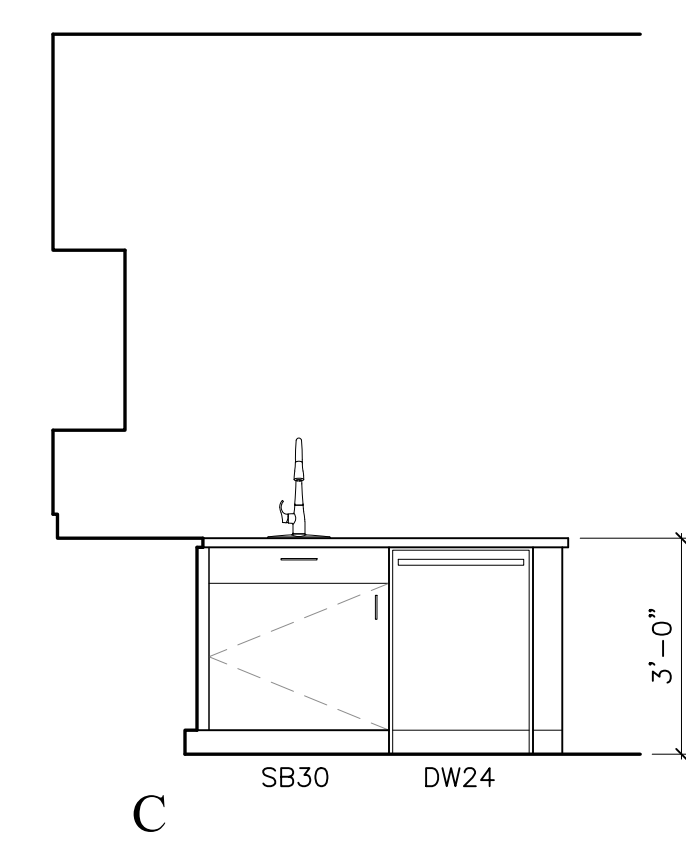
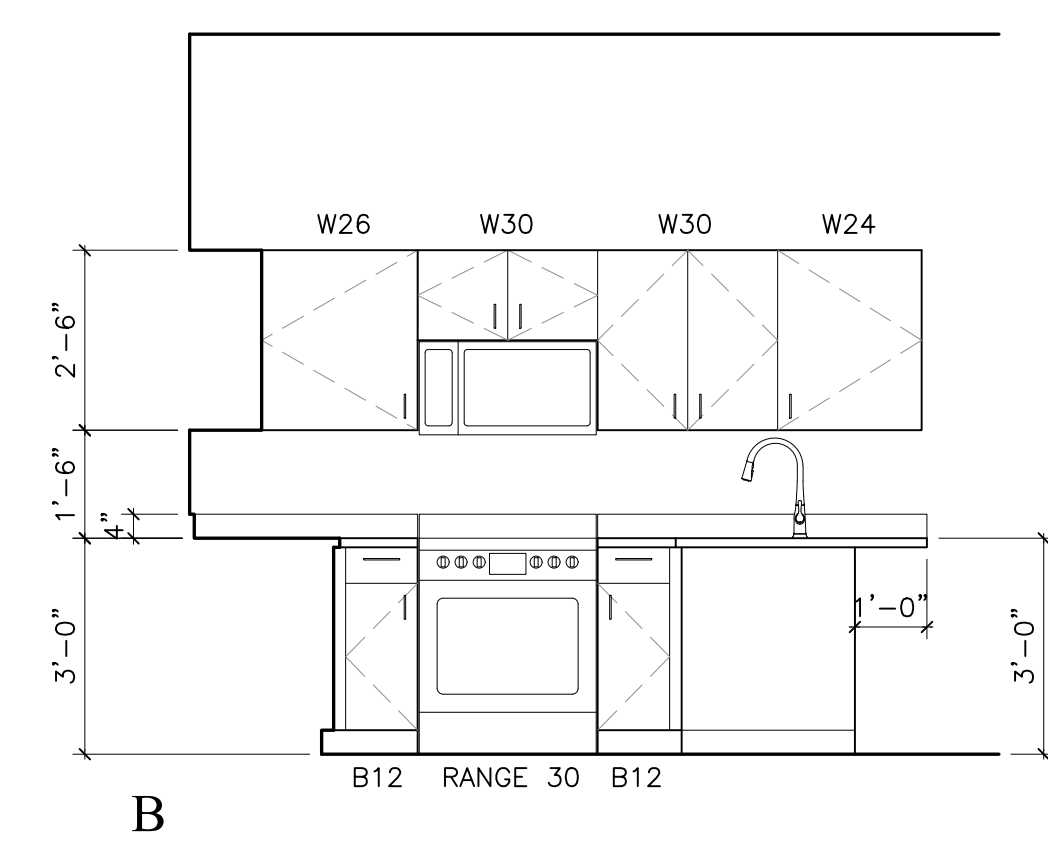
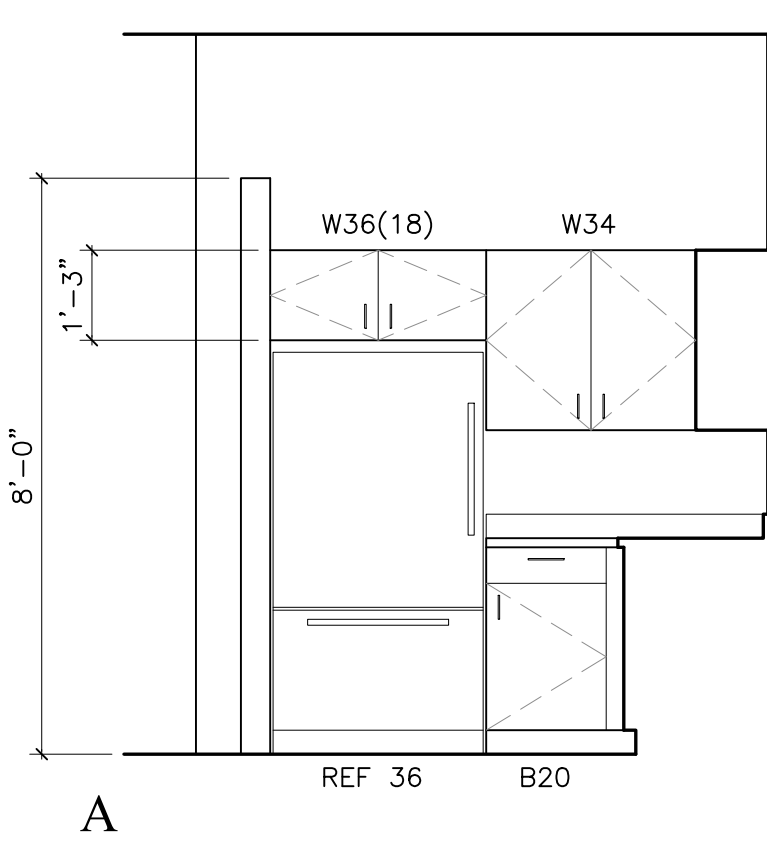
REF: c10\_01



08 KITCHEN D302 & E402  
SCALE: 3/8" = 1'-0"

09 KITCHEN A402  
SCALE: 3/8" = 1'-0"

REF: c10\_01



10 KITCHEN B402  
SCALE: 3/8" = 1'-0"

11 KITCHEN C402  
SCALE: 3/8" = 1'-0"

REF: c10\_01

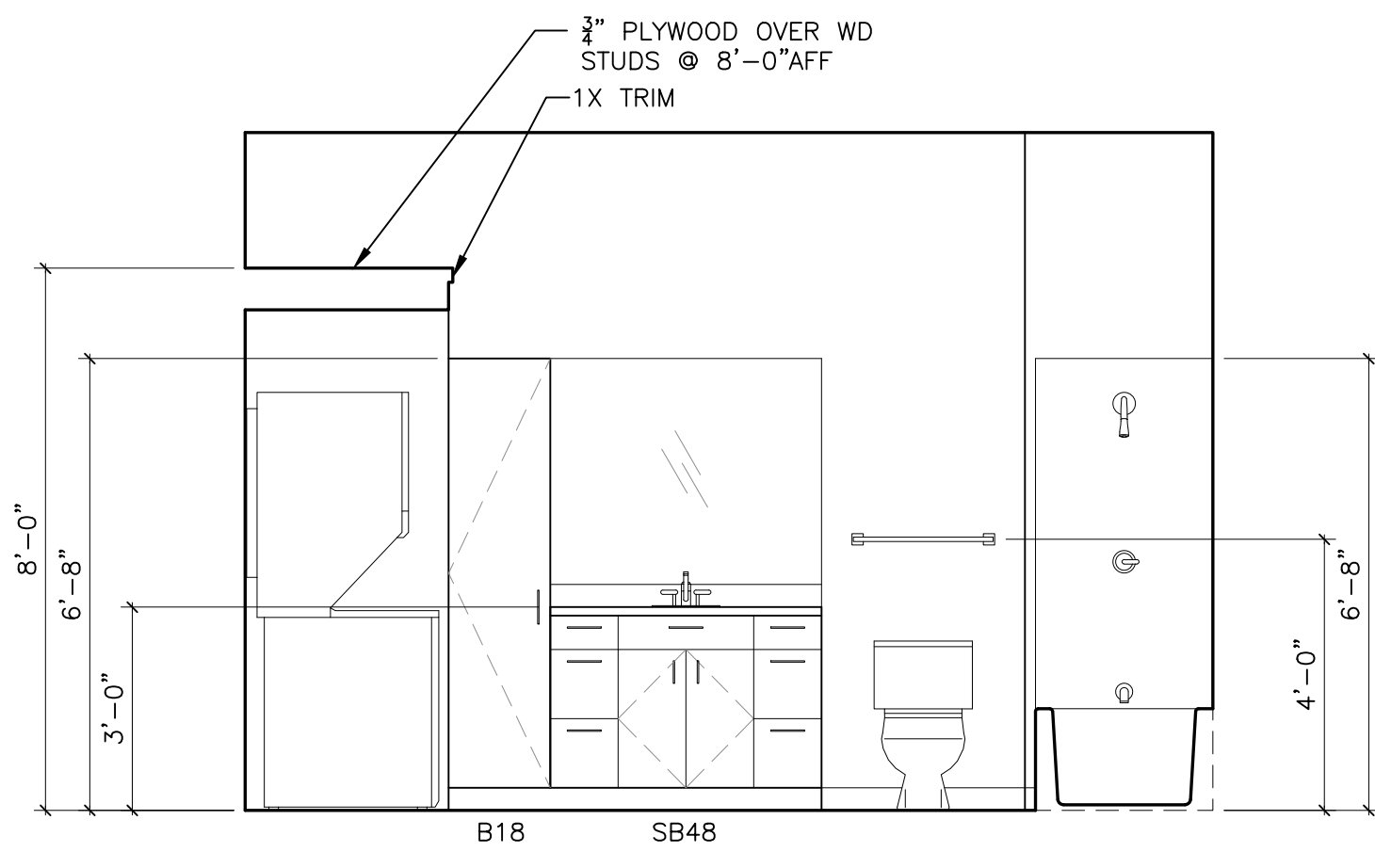
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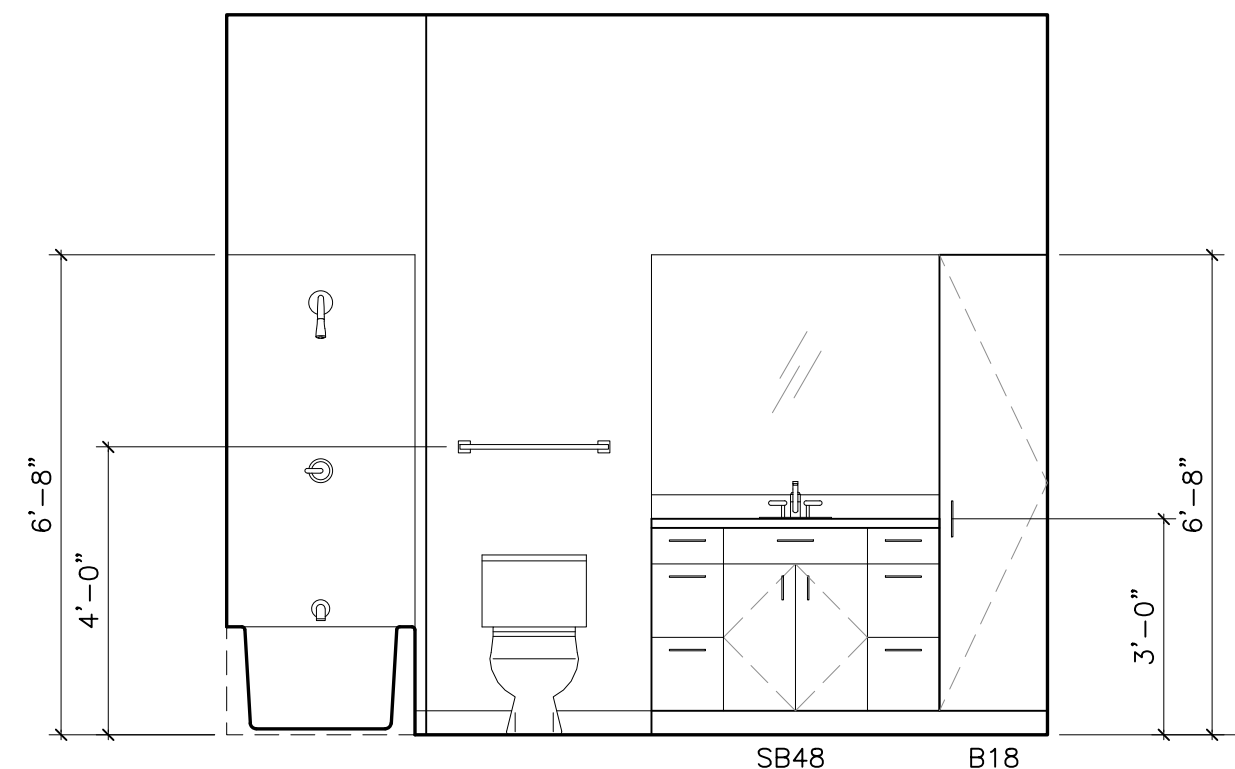
**INTERIOR ELEVATIONS**  
Job No: GR190610  
Issue: Issue for Review  
Issue Date: December 13, 2023

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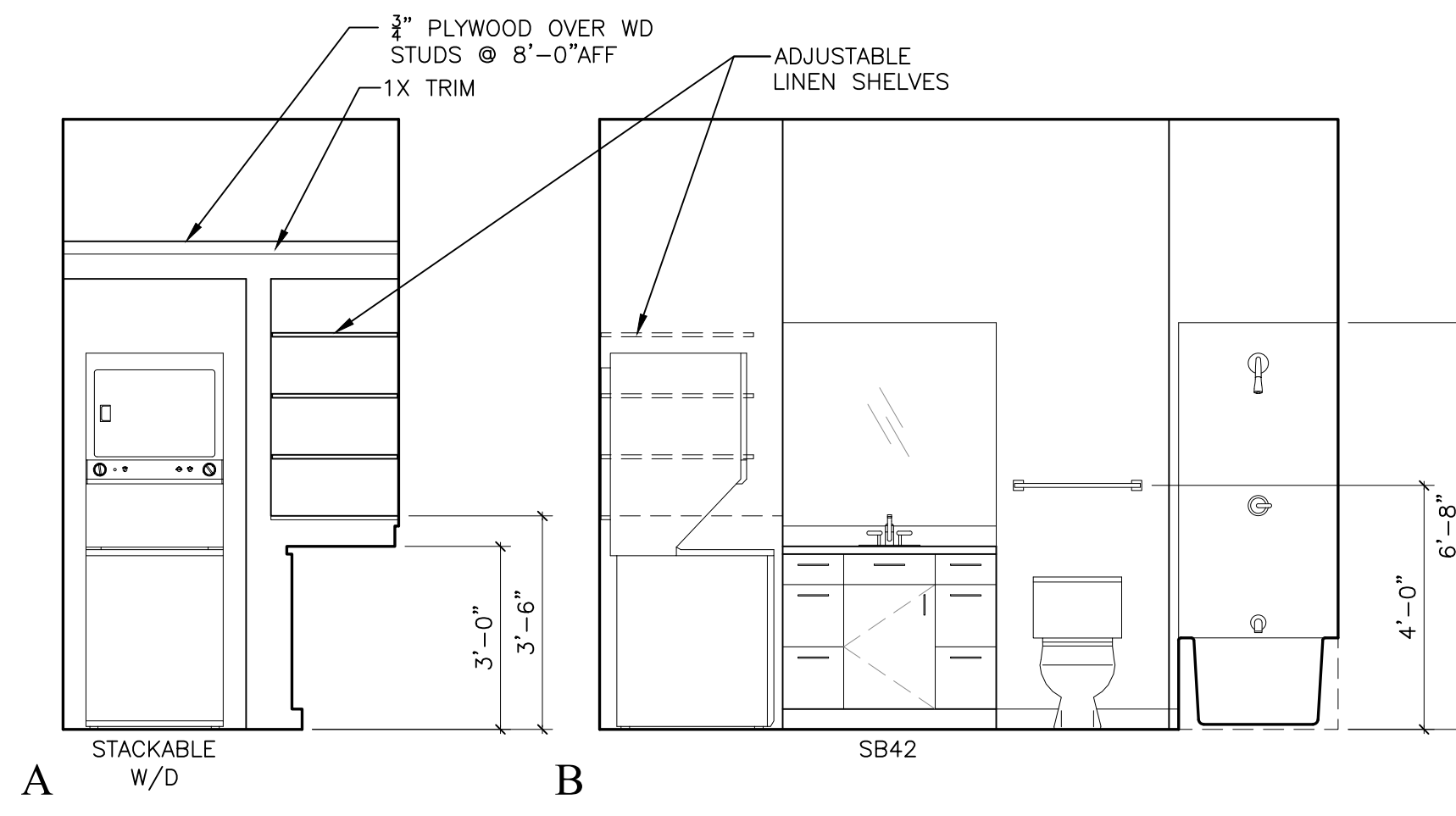
01 BATHROOM A205 & A305  
SCALE: 3/8" = 1'-0"

REF: c10\_01



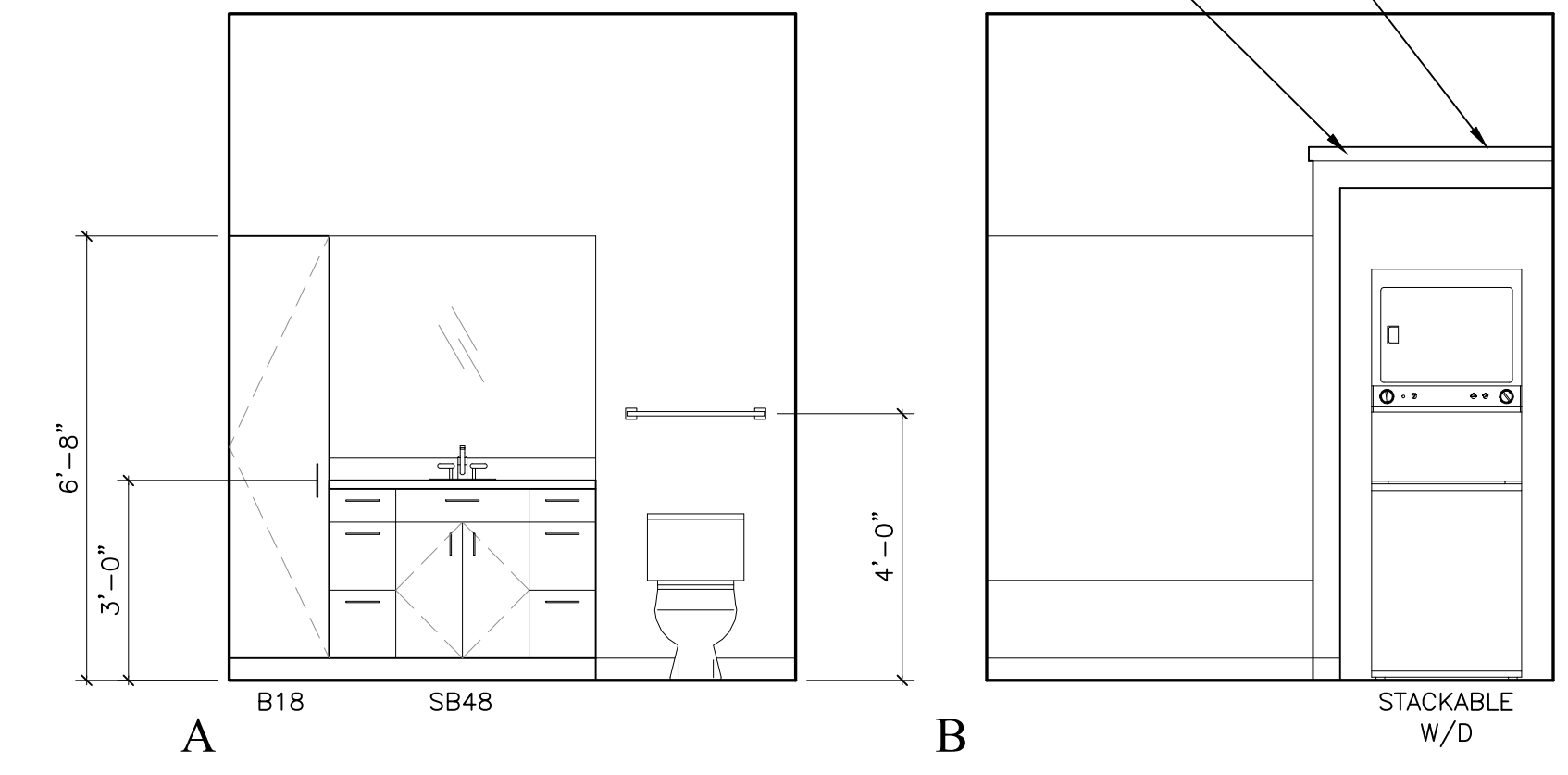
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REF: c10\_01



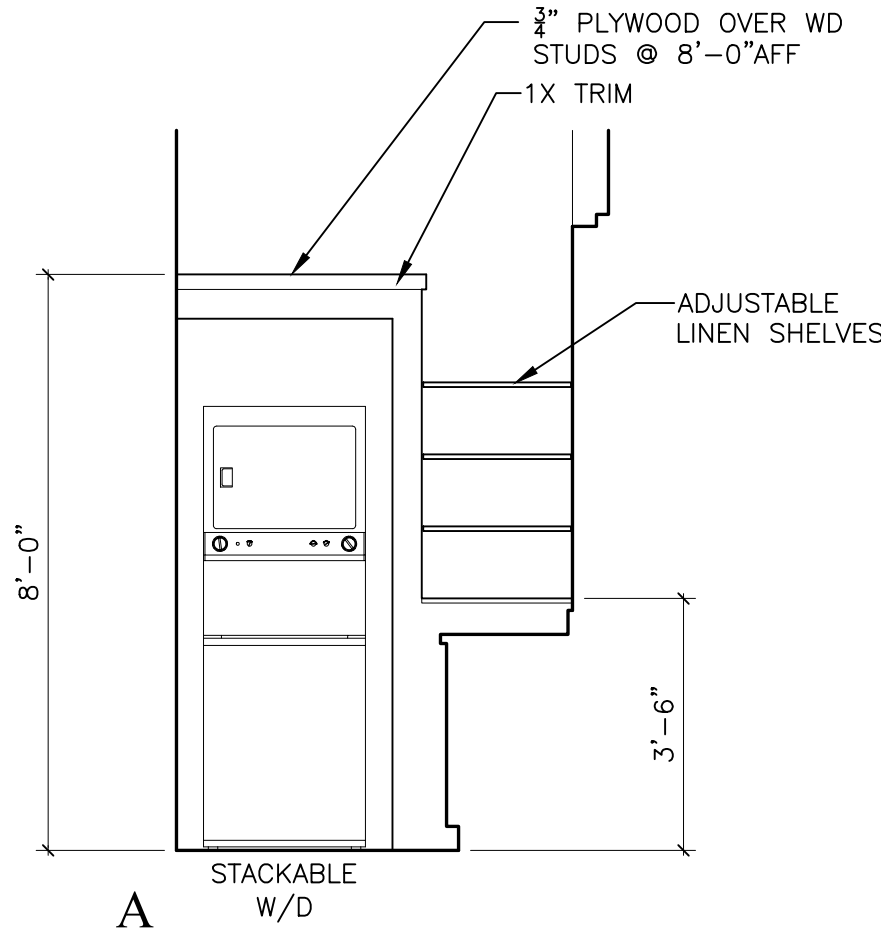
03 BATHROOM C205, C305 & D405  
SCALE: 3/8" = 1'-0"

REF: c10\_01



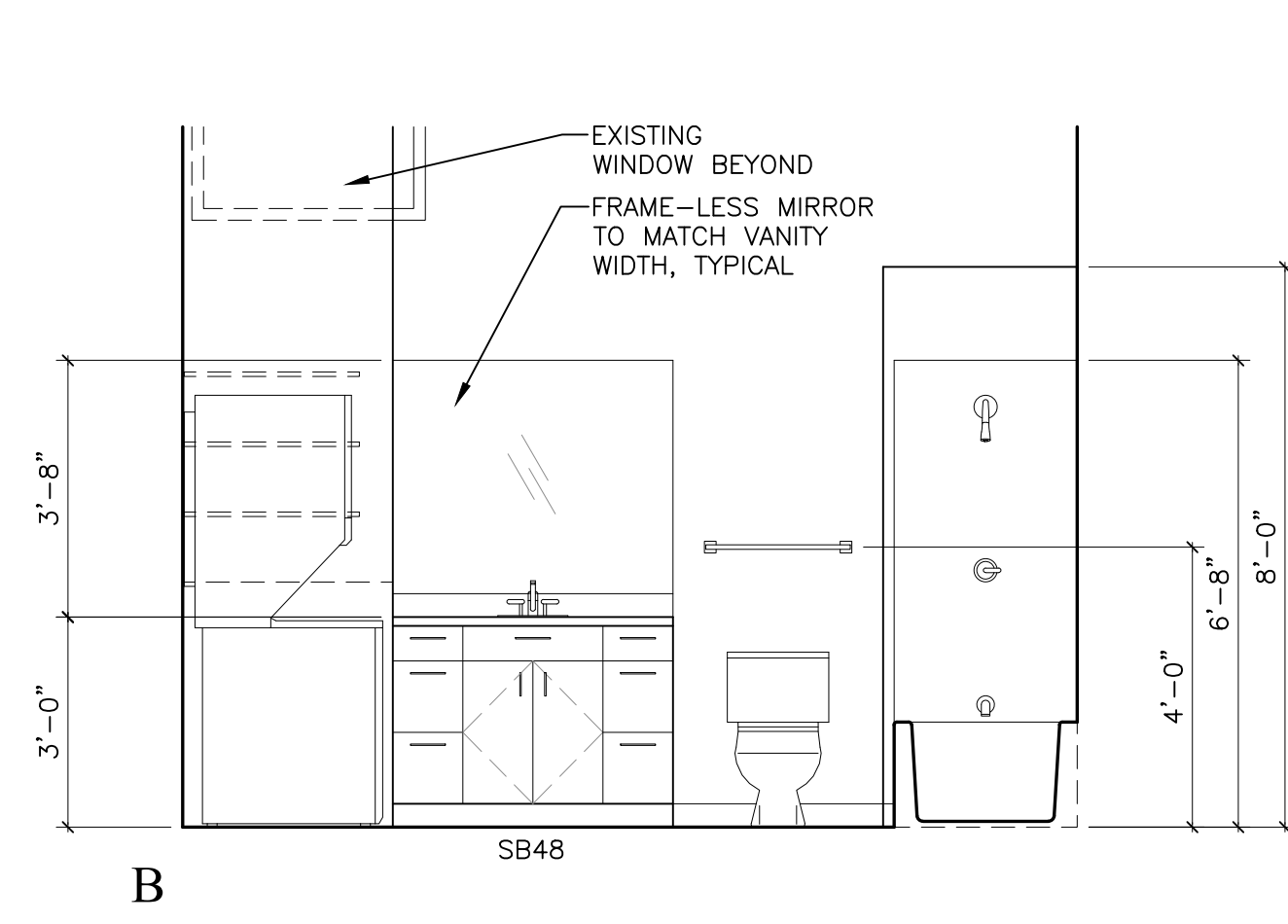
04 BATHROOM D205, D305 & E405  
SCALE: 3/8" = 1'-0"

REF: c10\_01



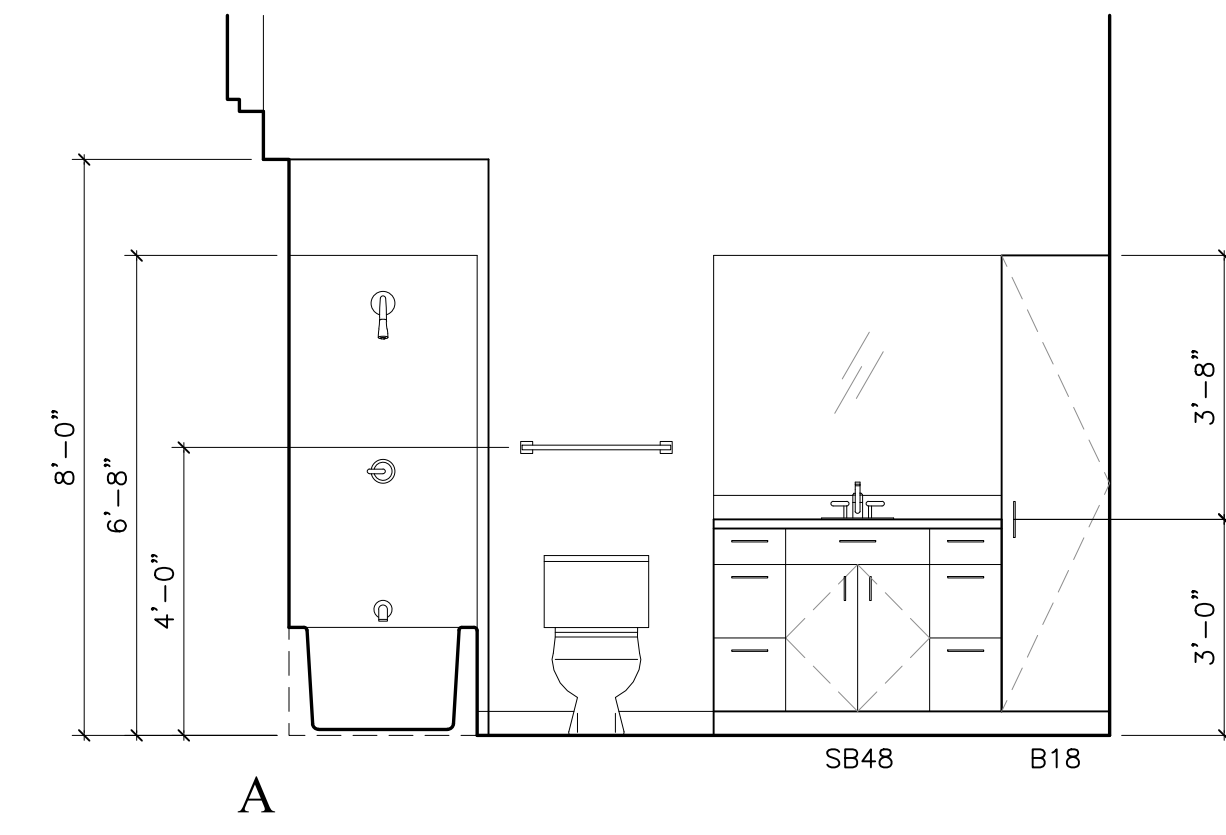
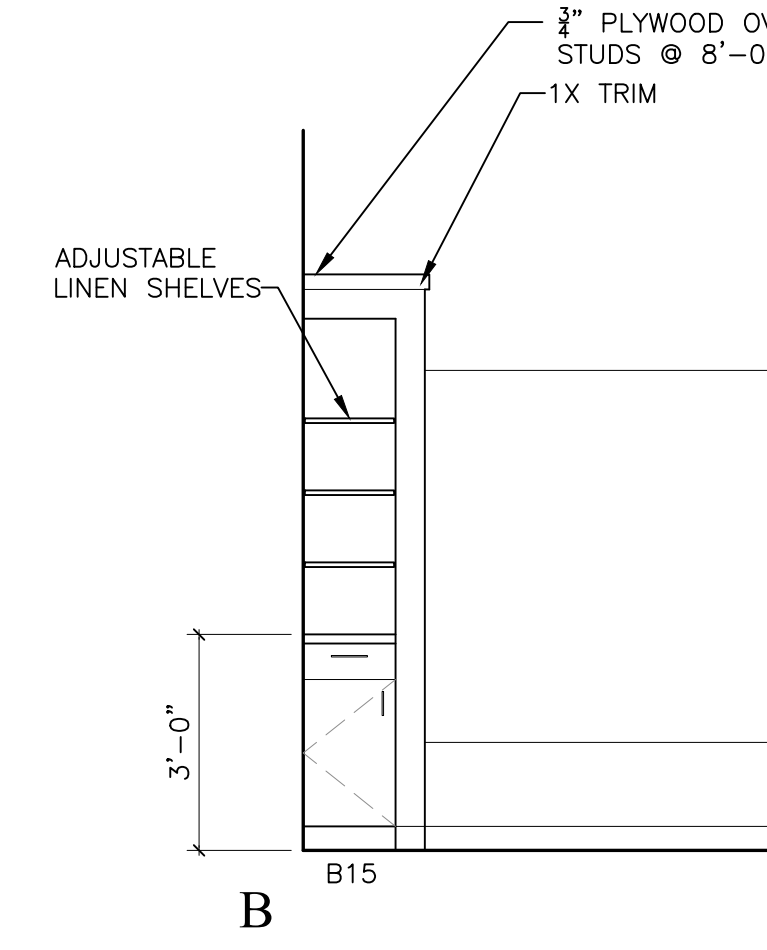
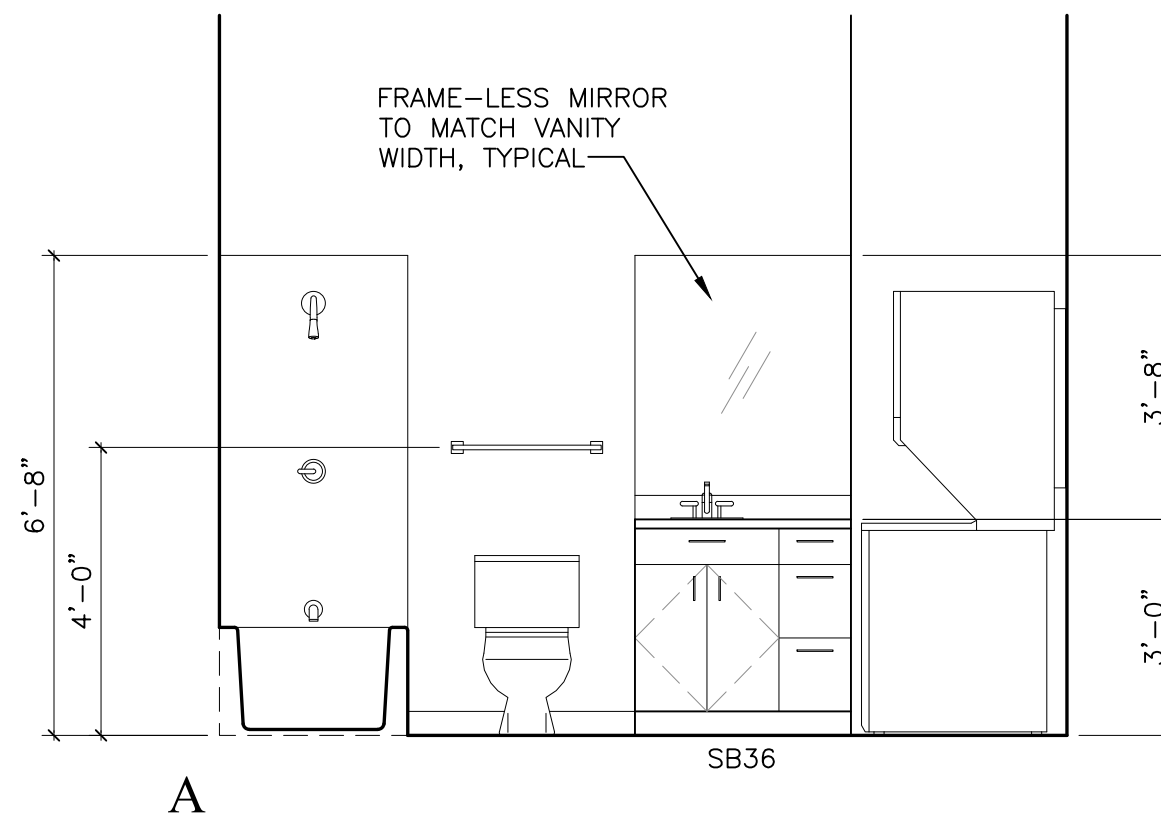
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SCALE: 3/8" = 1'-0"

REF: c10\_01



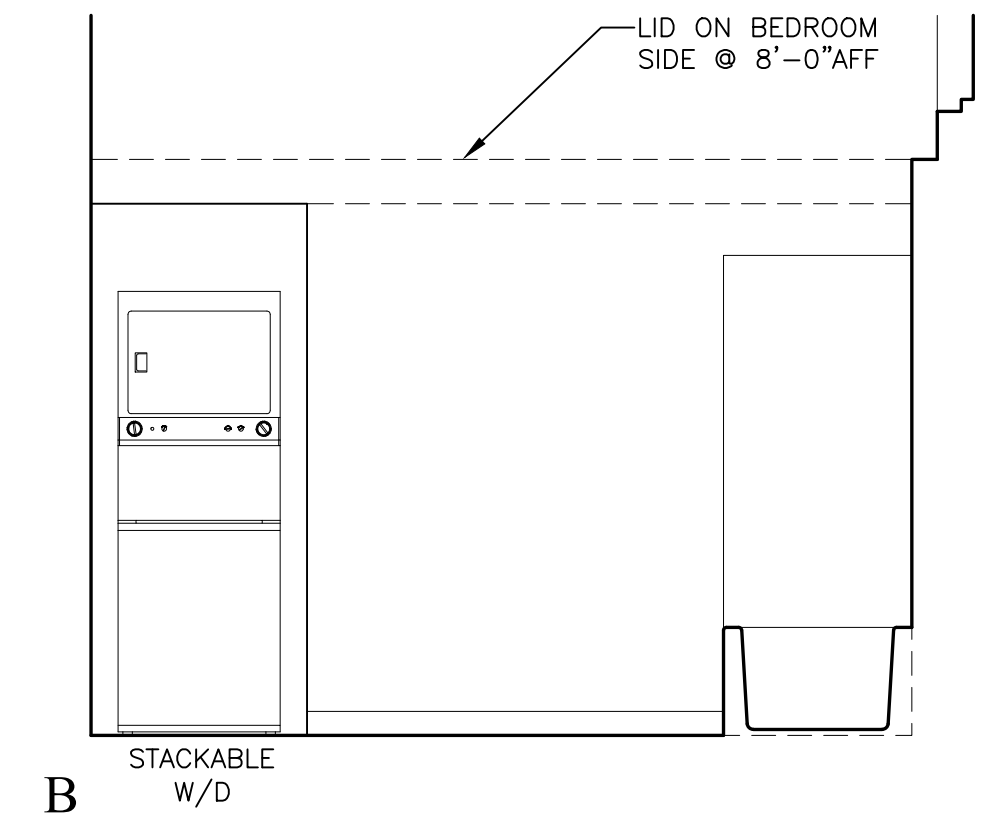
06 BATHROOM B405  
SCALE: 3/8" = 1'-0"

REF: c10\_01



07 BATHROOM C405  
SCALE: 3/8" = 1'-0"

REF: c10\_01



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INTERIOR  
ELEVATIONS

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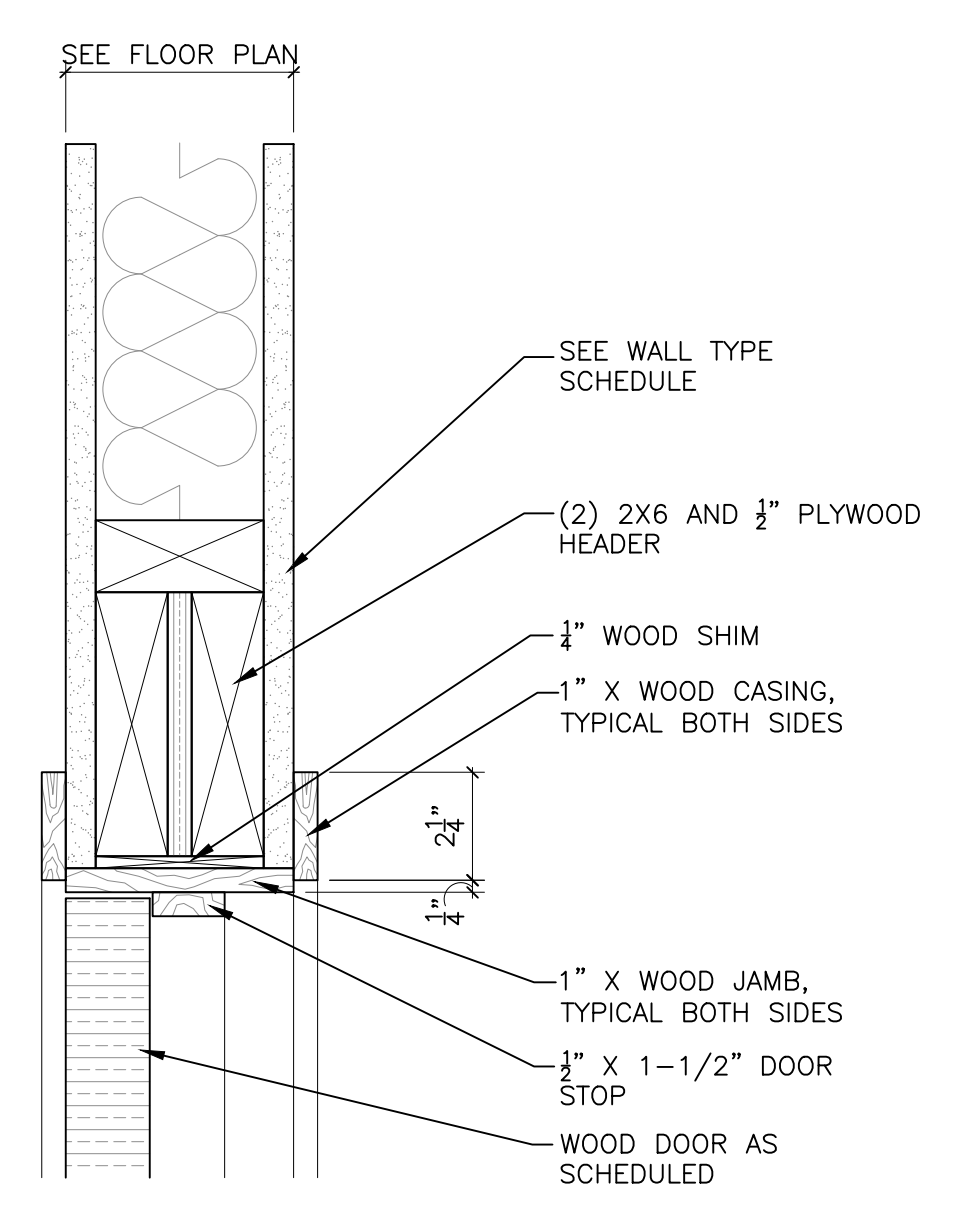
**DOOR SCHEDULE**

MARK	DOOR OR CASED OPENING					FRAME			LABEL	DETAILS			HARDWARE SET # OR FUNCTION	REMARKS
	SIZE	MATERIAL	TYPE	FINISH	MATERIAL	TYPE	FINISH	HEAD		JAMB	T'HOLD			
COMMON BUILDING	002	3'-0" X 7'-0"	HM	3	-	HM	1	-	C	H3	J3	-	-	STAIR
	100A	3'-0" X 8'-0"	AL/GL	2	-	AL	1	-	-	-	-	-	SECURITY	BUILDING LOBBY, COMMERCIAL ENTRY
	100B	3'-0" X 7'-0"	WD	5	-	HM	1	-	C	H3	J3	-	SECURITY	COMMERCIAL RETAIL ENTRY
	100C	3'-0" X 7'-0"	WD	5	-	HM	1	-	C	H3	J3	-	SECURITY	COMMERCIAL RETAIL ENTRY
	101	3'-0" X 7'-0"	HM	3	-	HM	1	-	B	H3	J3	-	-	STAIR
	202/302/402	3'-0" X 7'-0"	HM	3	-	HM	1	-	B	H3	J3	-	-	STAIR
	204/304/404	3'-0" X 7'-0"	HM	3	-	HM	1	-	B	H3	J3	-	-	STAIR
UNIT 201/301/401	401	4'-0" X 7'-0" DBL	HM	7	-	HM	1	-	-	-	-	-	STOREROOM	MECHANICAL
	402B	3'-0" X 7'-0"	HM	1	-	HM	1	-	B	H3	J3	-	-	INSULATED EXTERIOR DOOR
	A203/A303/A403	3'-0" X 6'-8"	HM	4	-	HM	1	-	C	H3	J3	-	SECURITY	UNIT ENTRY
	A204A/A304A/A404A	2'-8" X 6'-8"	WD	4	-	WD	1	-	-	-	-	-	BEDROOM	BEDROOM
	A204B/A304B/A404B	4'-0" X 6'-8" DBL	WD	7	-	WD	1	-	-	-	-	-	PASSAGE	CLOSET
	A205/A305/A405	2'-8" X 6'-8"	WD	4	-	WD	1	-	-	-	-	-	PRIVACY	BATHROOM
	A206/A306/A406	4'-0" X 6'-8" DBL	WD	7	-	WD	1	-	-	-	-	-	PASSAGE	MECHANICAL
A207/A307/A407	2'-0" X 6'-8"	WD	4	-	WD	1	-	-	-	-	-	PASSAGE	PANTRY	
UNIT 202/302/403	B203/B303/C403	3'-0" X 6'-8"	HM	4	-	HM	1	-	C	H3	J3	-	SECURITY	UNIT ENTRY
	B204A/B304A/C404A	2'-8" X 6'-8"	WD	4	-	WD	1	-	-	-	-	-	BEDROOM	BEDROOM
	B204B/B304B/C404B	4'-0" X 6'-8" DBL	WD	7	-	WD	1	-	-	-	-	-	PASSAGE	CLOSET
	B205/B305/C405	2'-8" X 6'-8"	WD	4	-	WD	1	-	-	-	-	-	PRIVACY	BATHROOM
	B206/B306/C406	4'-0" X 6'-8" DBL	WD	7	-	WD	1	-	-	-	-	-	PASSAGE	MECHANICAL
	B207	2'-8" X 6'-8"	WD	4	-	WD	1	-	-	-	-	-	PASSAGE	CLOSET
	B208/B307A	4'-4" X 6'-8" SLIDER	WD	6	-	WD	1	-	-	H2	-	-	PASSAGE	OFFICE BARN SLIDERS
	B307B	4'-0" X 6'-8" DBL	WD	7	-	WD	1	-	-	-	-	-	PASSAGE	CLOSET
UNIT 203/303/404	C203/C303/D403	3'-0" X 6'-8"	HM	4	-	HM	1	-	C	H3	J3	-	SECURITY	UNIT ENTRY
	C204A/C304A/D404A	2'-8" X 6'-8"	WD	4	-	WD	1	-	-	-	-	-	BEDROOM	BEDROOM
	C204B/C304B/D404B	2'-6" X 6'-8"	WD	4	-	WD	1	-	-	-	-	-	PASSAGE	CLOSET
	C205/C305/D405	2'-8" X 6'-8"	WD	4	-	WD	1	-	-	-	-	-	PRIVACY	BATHROOM
	C206/C306/D406	3'-0" X 6'-8"	WD	4	-	WD	1	-	-	-	-	-	PASSAGE	MECHANICAL
	C207/C307/D407	1'-6" X 6'-8"	WD	4	-	WD	1	-	-	-	-	-	PASSAGE	PANTRY
	UNIT 204/304/405	D203/D303/E403	3'-0" X 6'-8"	HM	4	-	HM	1	-	C	H3	J3	-	SECURITY
D204A/D304A/E404A		2'-8" X 6'-8"	WD	4	-	WD	1	-	-	-	-	-	BEDROOM	BEDROOM
D204B/D304B/E404B		4'-0" X 6'-8" DBL	WD	7	-	WD	1	-	-	-	-	-	PASSAGE	CLOSET
D205/D305/E405		2'-8" X 6'-8"	WD	4	-	WD	1	-	-	-	-	-	PRIVACY	BATHROOM
D206/D306/E406		3'-0" X 6'-8"	WD	4	-	WD	1	-	-	-	-	-	PASSAGE	MECHANICAL
UNIT 402	B403	3'-0" X 6'-8"	HM	4	-	HM	1	-	C	H3	J3	-	SECURITY	UNIT ENTRY
	B404A	2'-8" X 6'-8"	WD	4	-	WD	1	-	-	-	-	-	BEDROOM	BEDROOM
	B404B	2'-0" X 6'-8"	WD	4	-	WD	1	-	-	-	-	-	PASSAGE	CLOSET
	B405	2'-8" X 6'-8"	WD	4	-	WD	1	-	-	-	-	-	PRIVACY	BATHROOM
	B406	4'-0" X 6'-8" DBL	WD	7	-	WD	1	-	-	-	-	-	PASSAGE	MECHANICAL
	B407	2'-6" X 6'-8"	WD	4	-	WD	1	-	-	-	-	-	PASSAGE	CLOSET

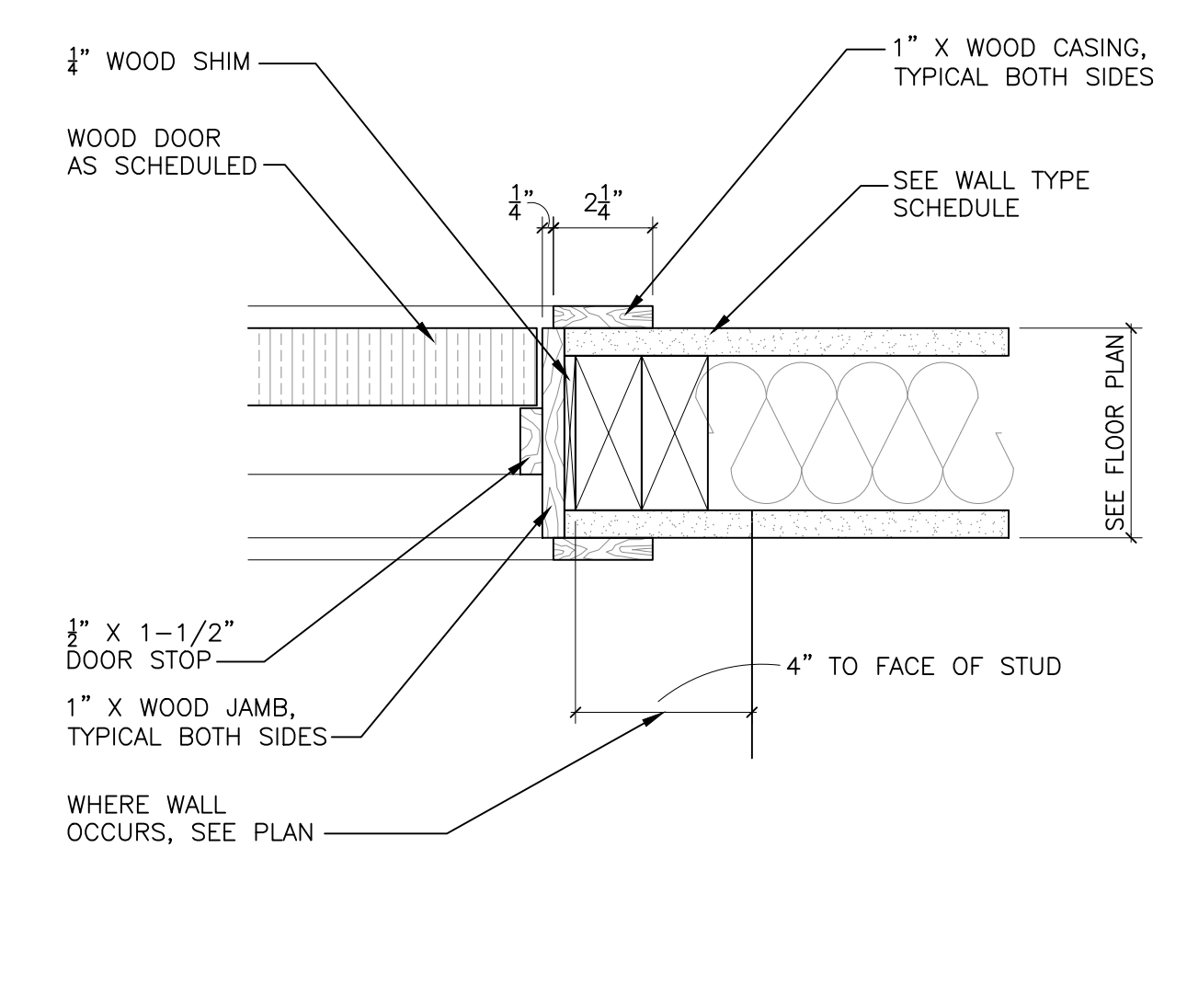
DOOR TYPES	FRAME TYPES	FIRE RESISTANCE (LABEL)
		<p>A 3 HOUR RATED DOOR/FRAME                      B 90 MINUTE RATED DOOR/FRAME                      C 60 MINUTE RATED DOOR/FRAME                      C-45 45 MINUTE RATED DOOR/FRAME                      F 20 MINUTE RATED DOOR/FRAME</p>

**GENERAL NOTES**

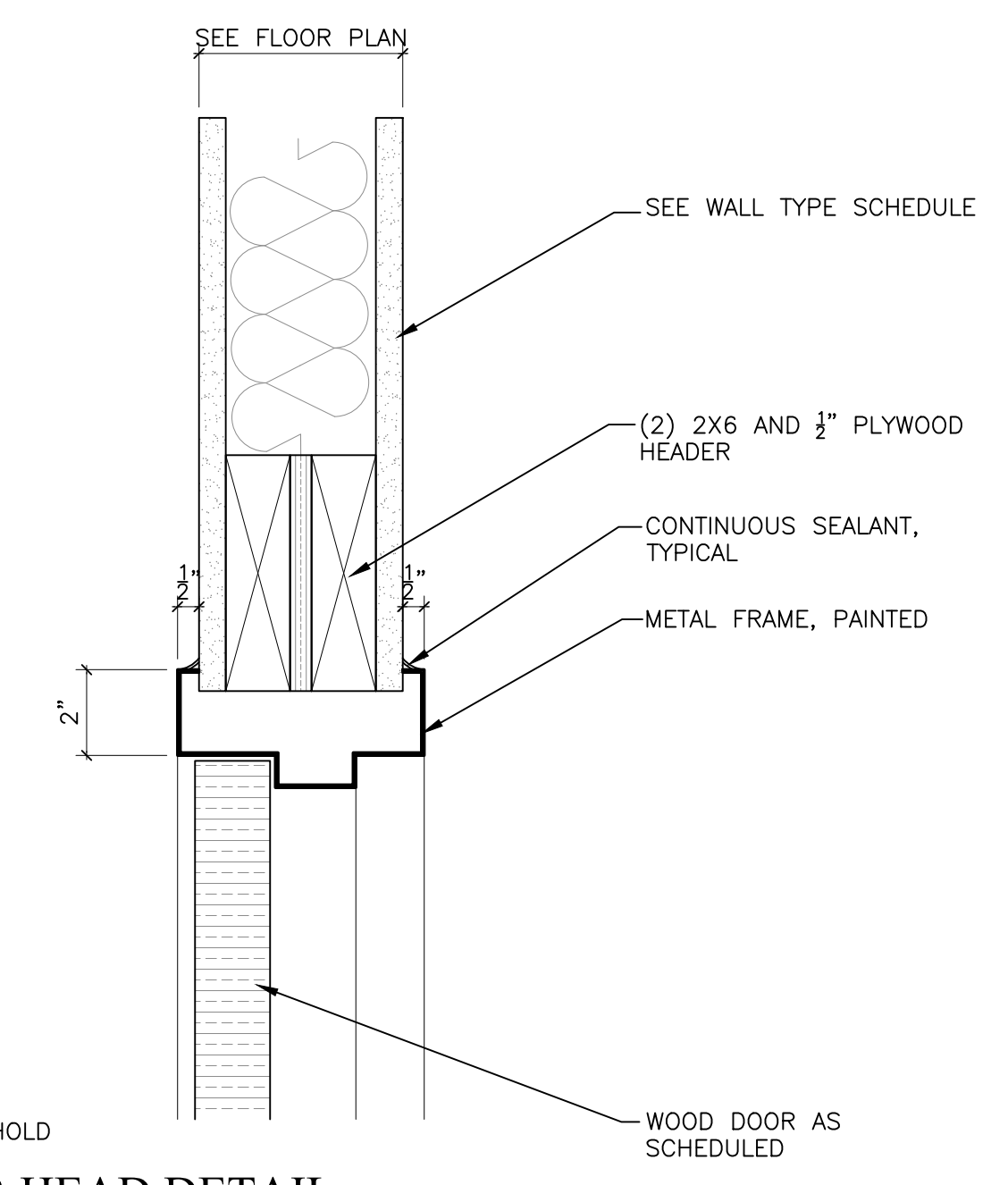
- GLASS IN ALL DOORS SHALL BE TEMPERED
- 



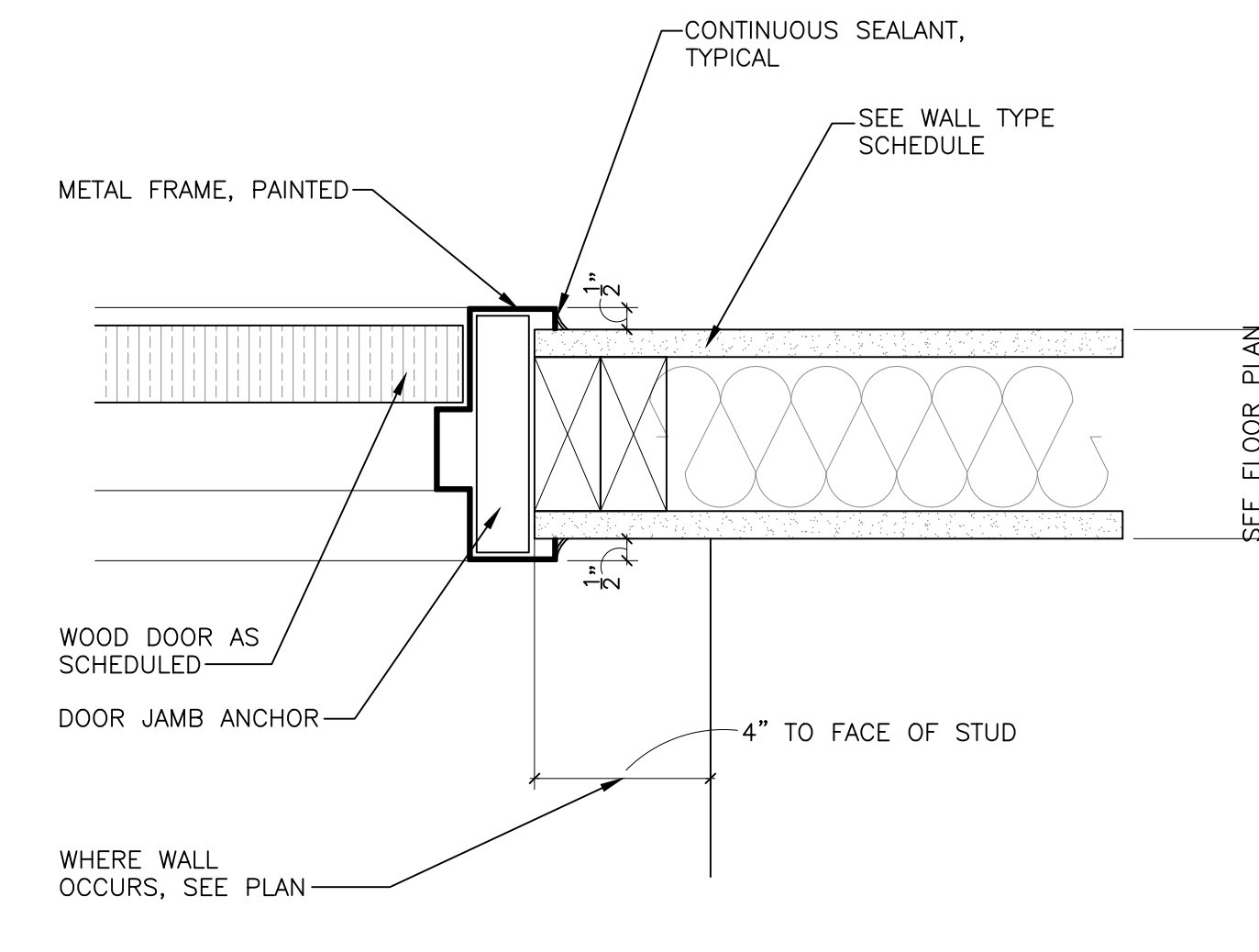
**H1 - WD DOOR HEAD DETAILS**  
 SCALE: 3" = 1'-0"  
 REF: c10\_wood door details



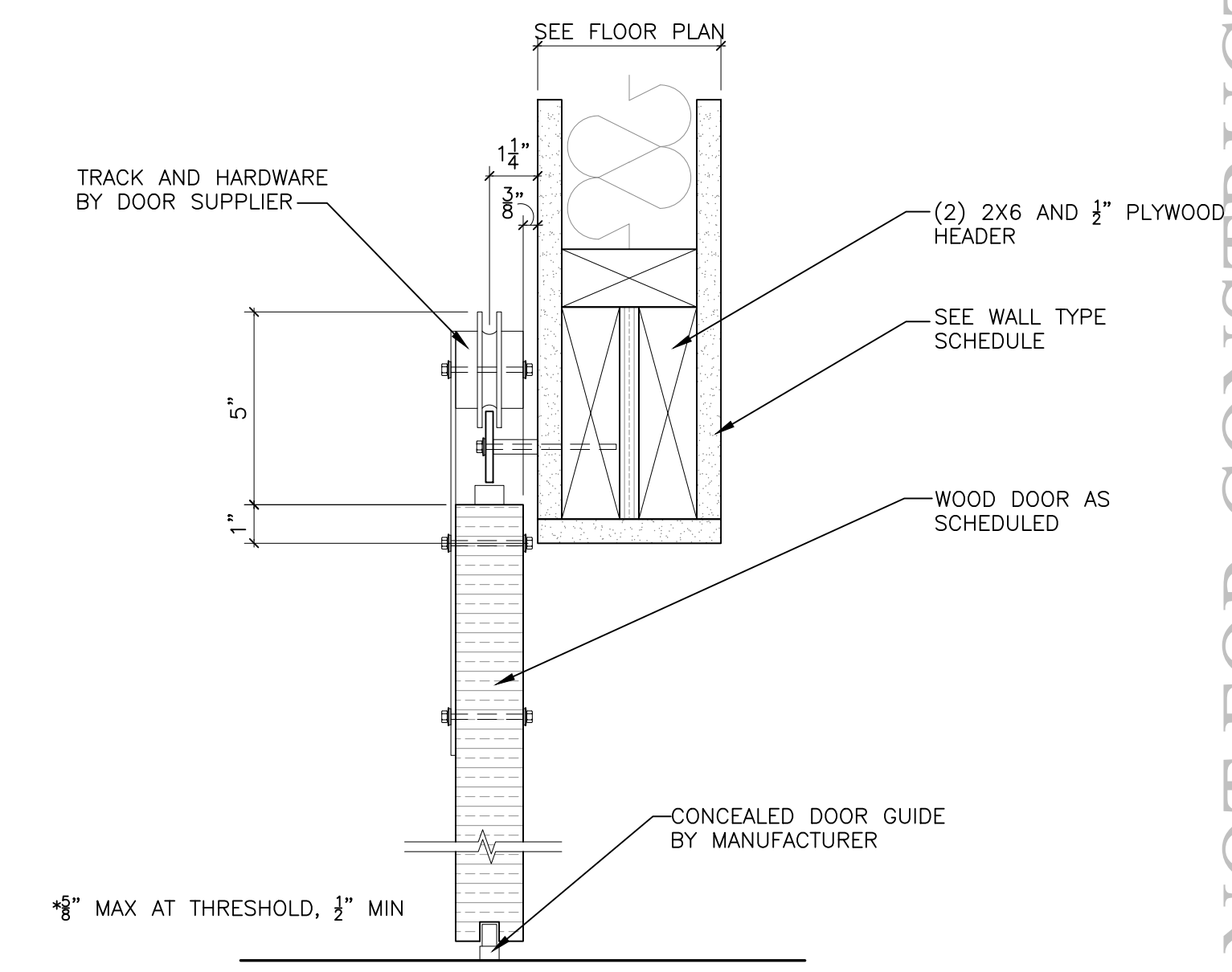
**J1 - WD DOOR JAMB DETAILS**  
 SCALE: 3" = 1'-0"  
 REF: c10\_wood door details



**H2 - HM DOOR HEAD DETAIL**  
 SCALE: 3" = 1'-0"  
 REF: c10\_door details



**J2 - HM DOOR JAMB DETAIL**  
 SCALE: 3" = 1'-0"  
 REF: c10\_door details



**H3 - BARN-STYLE DOOR HEAD DETAIL**  
 SCALE: 3" = 1'-0"  
 REF: c10\_wood door details

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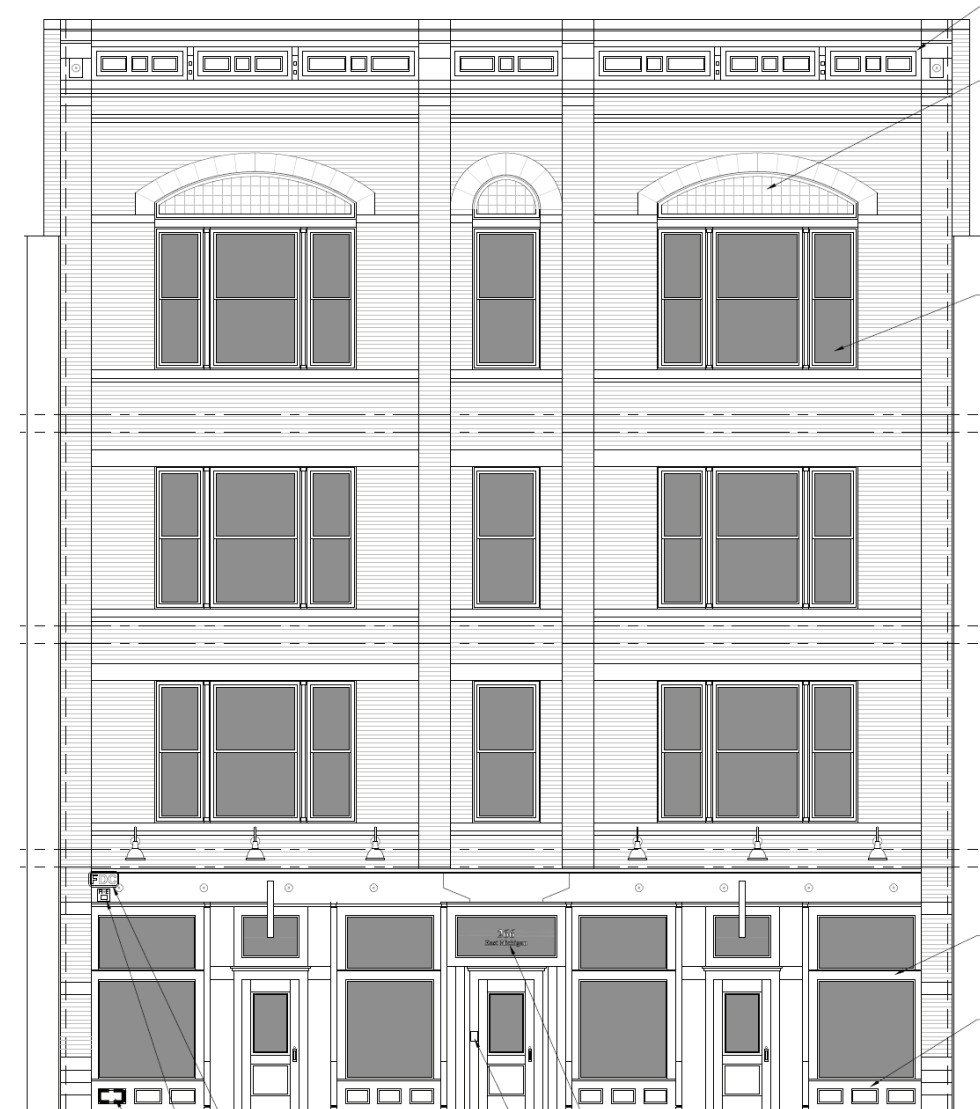
**DOOR SCHEDULE & DETAILS**

Job No: GR190610  
 Issue: Issue for Review  
 Issue Date: December 13, 2023

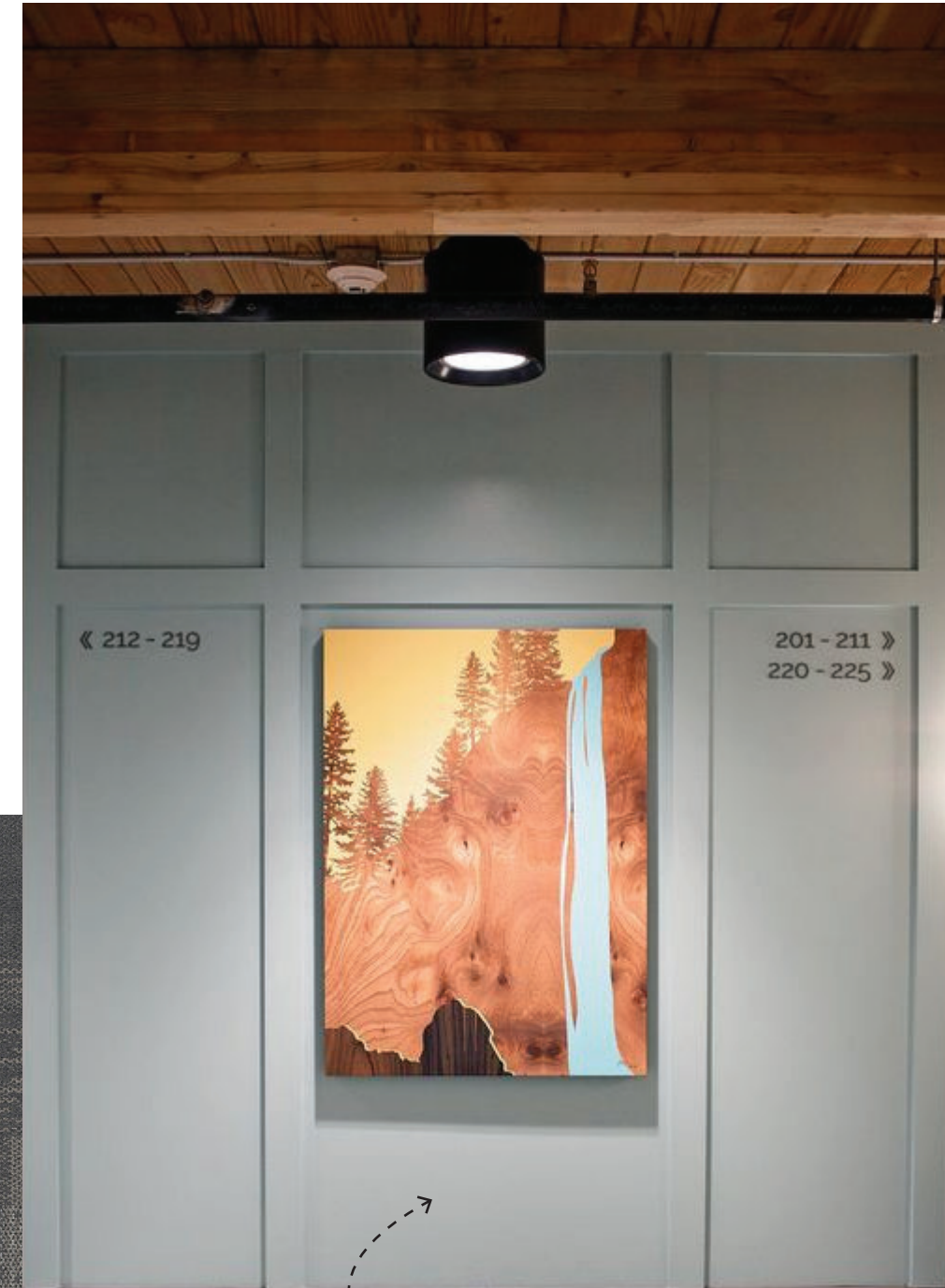
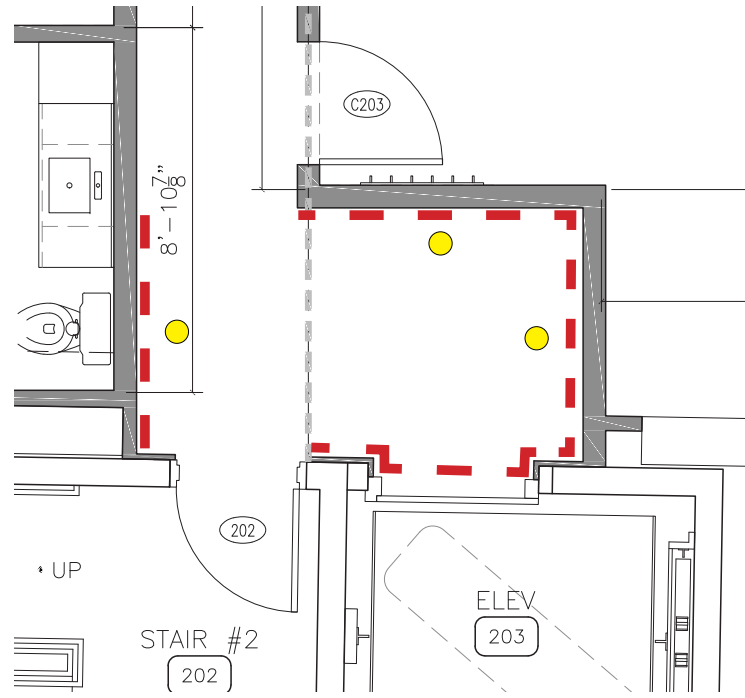


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ANDREA NEMES DESIGN co.



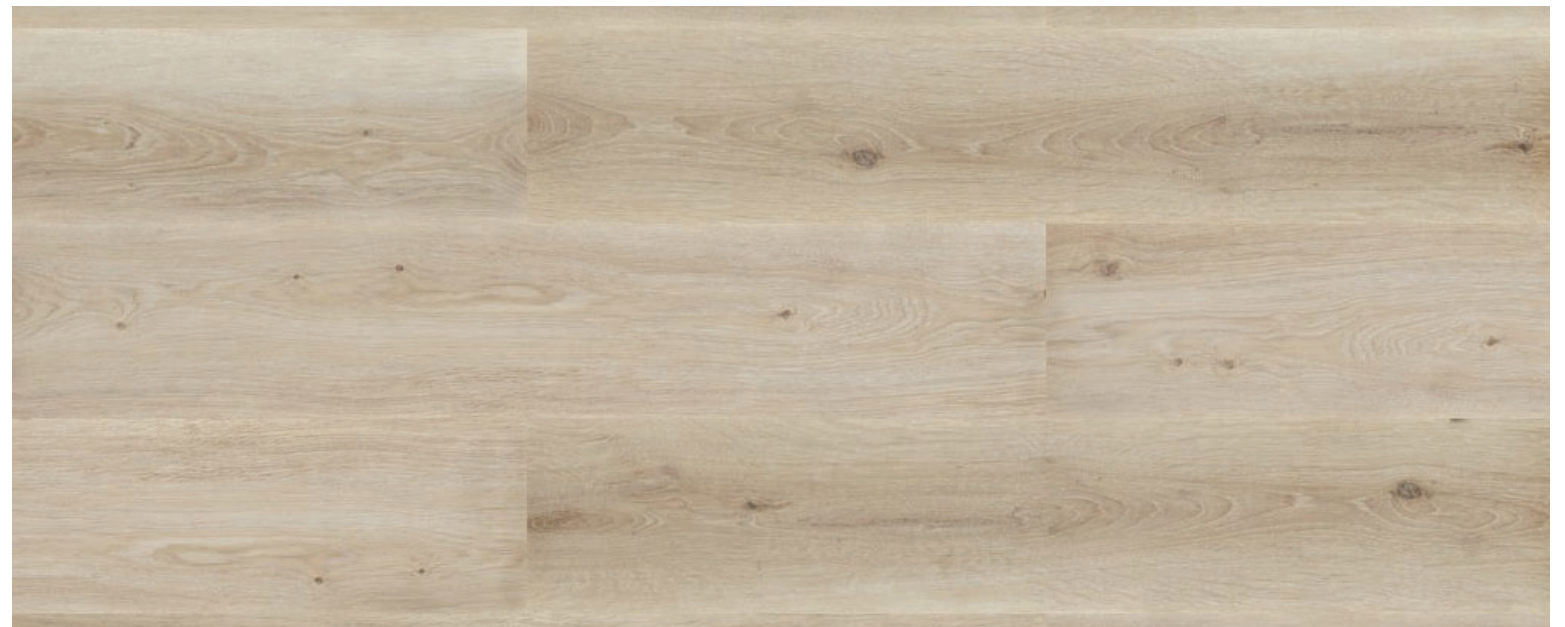
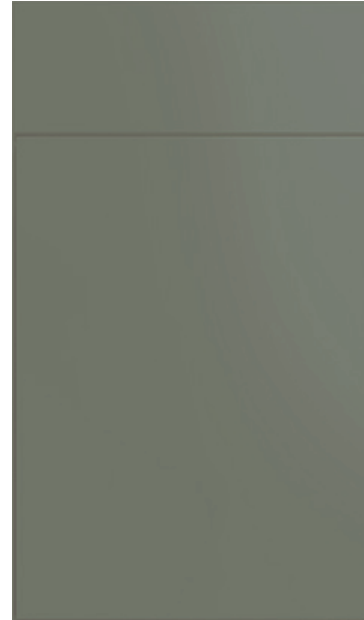
# CORRIDORS



WALL PANELING @  
ELEVATOR LOBBY

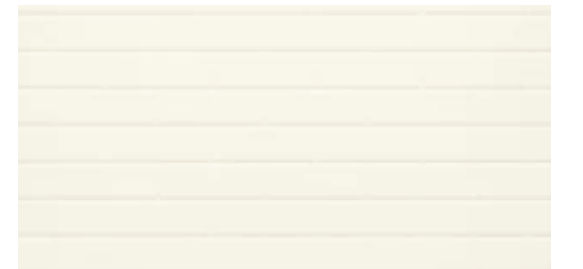
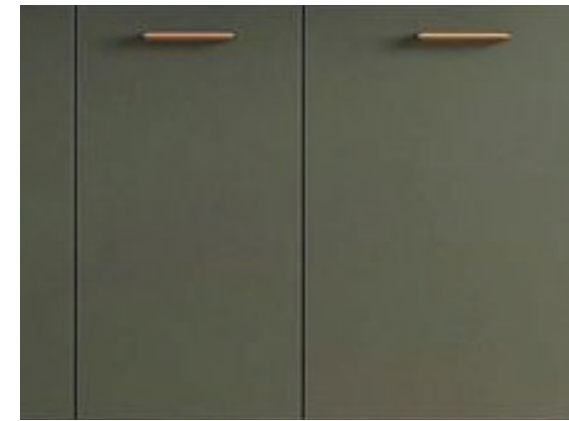
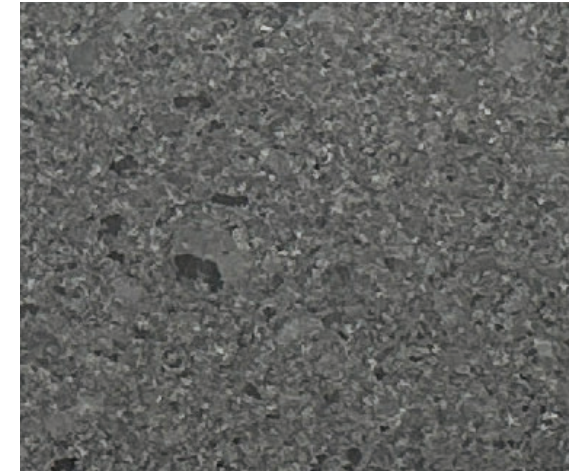
CORRIDOR CARPET TILE

UNITS

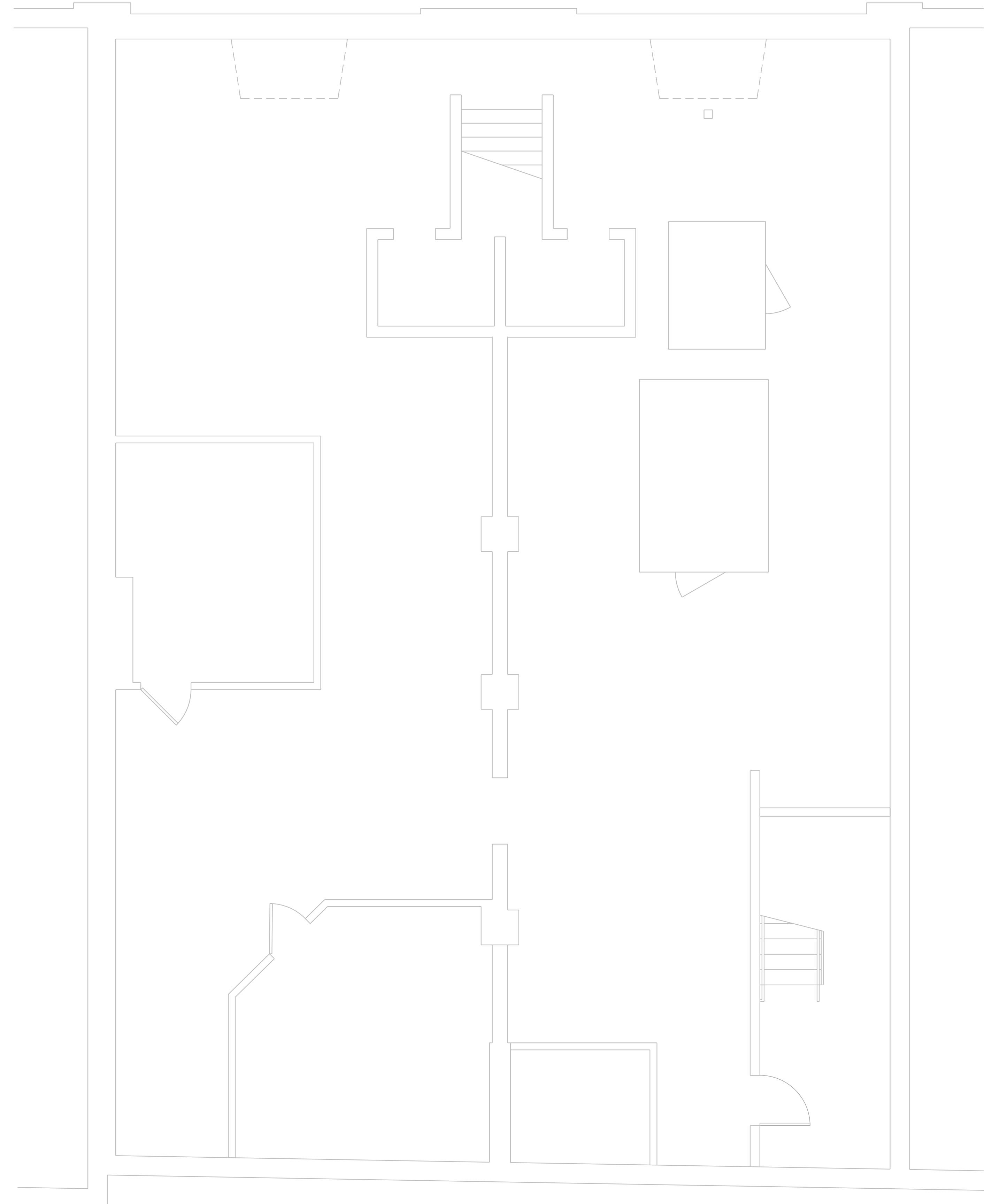




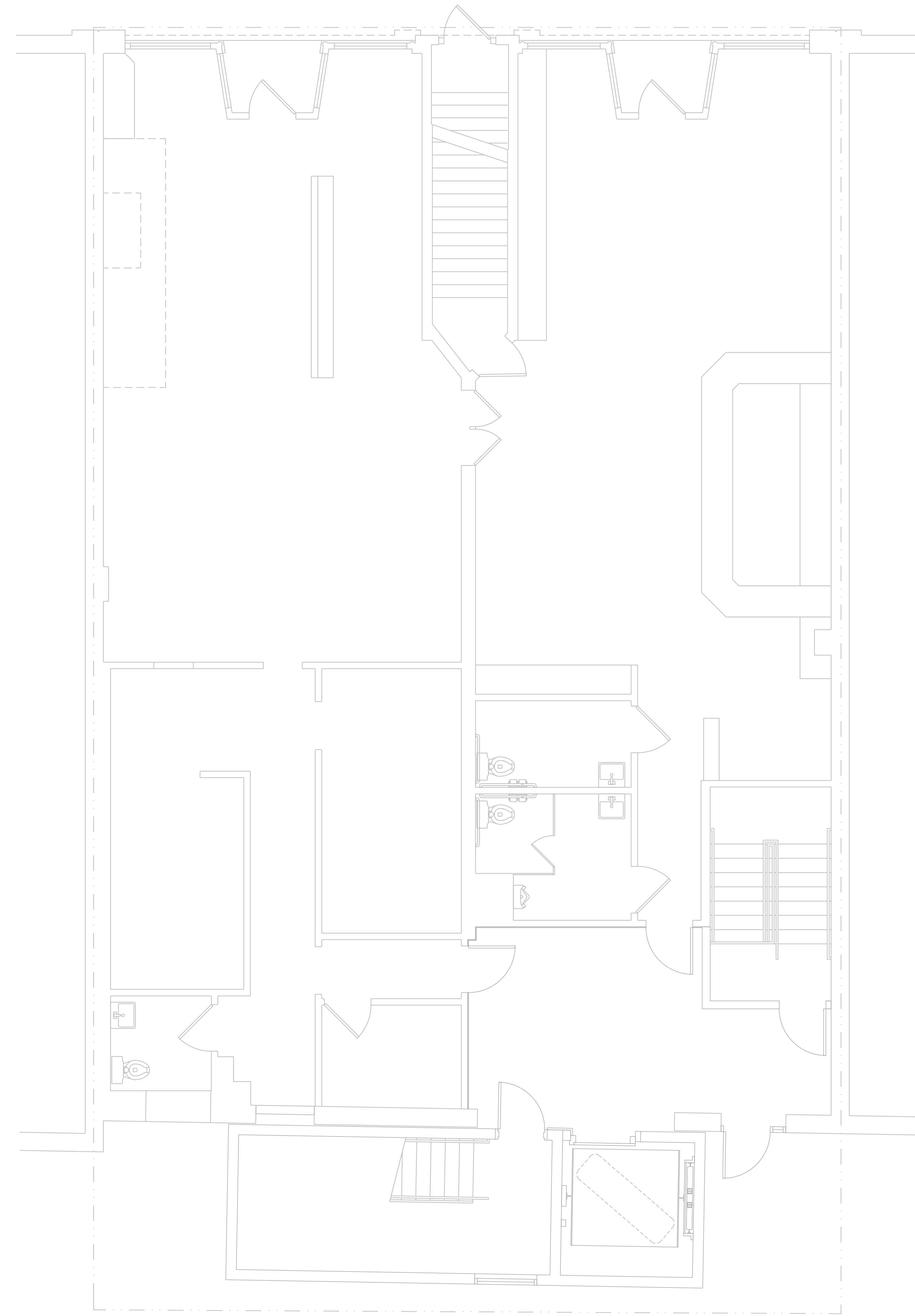
BATHROOM








**BASEMENT PLAN - PLUMBING**  
 SCALE: 1/4" = 1'-0"




**1ST FLOOR PLAN - PLUMBING**  
 SCALE: 1/4" = 1'-0"

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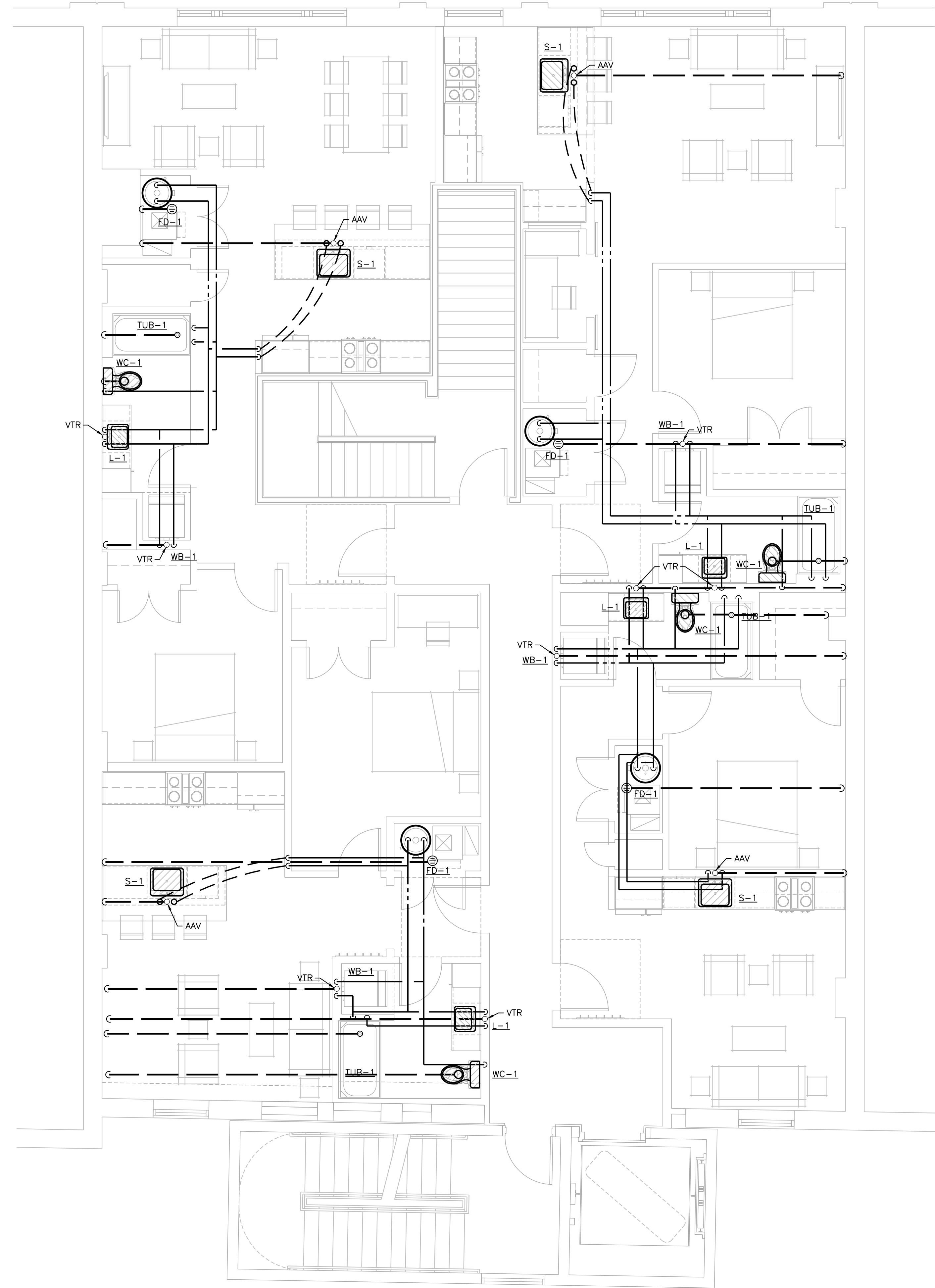
No.	Date	Item

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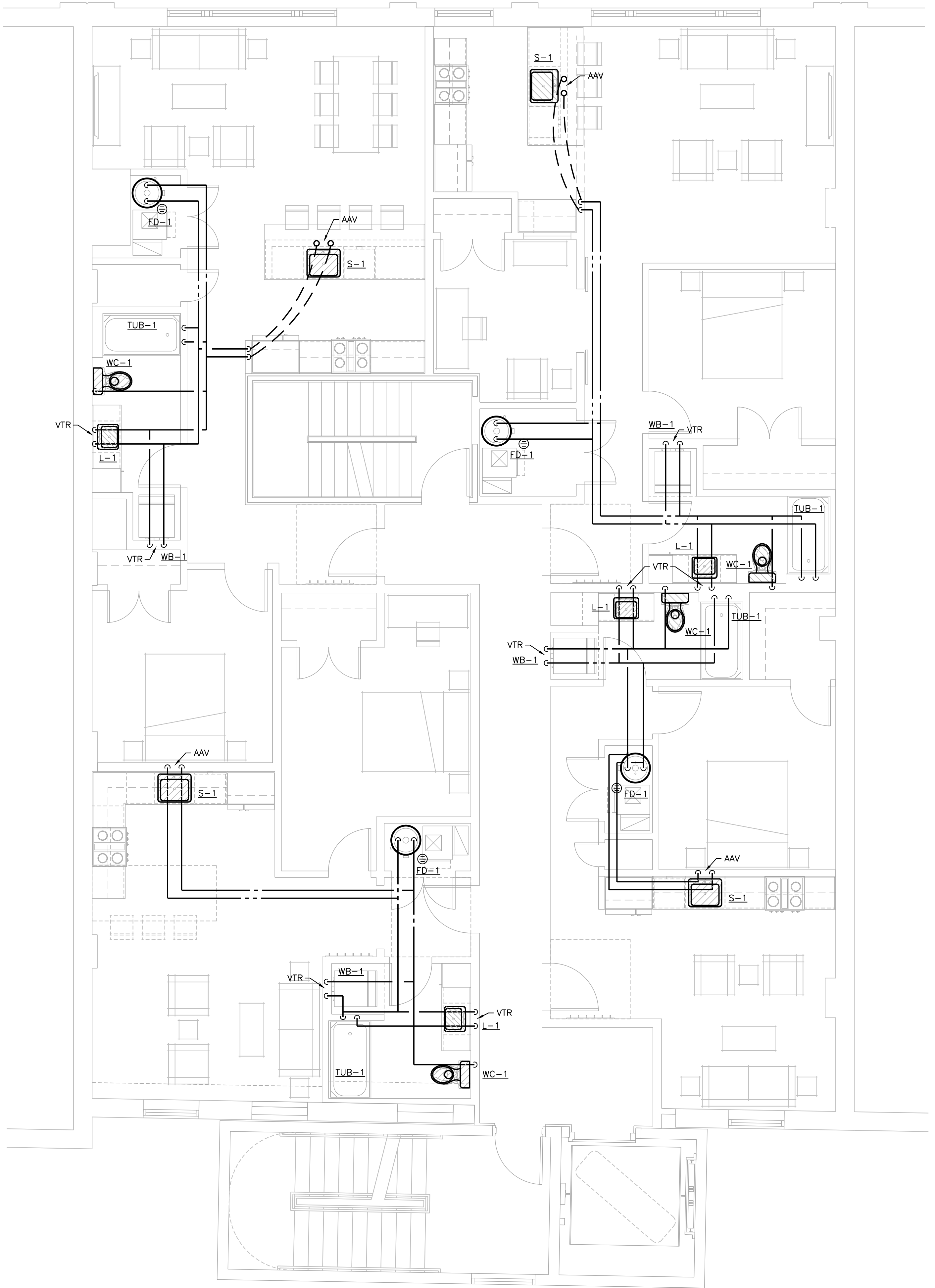
  
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**BASEMENT & 1ST FLOOR PLAN - PLUMBING**  
 Job No: GR190610  
 Issue: Progress  
 Issue Date: November 29, 2023

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N  
 2ND FLOOR PLAN - PLUMBING  
 SCALE: 1/4" = 1'-0"

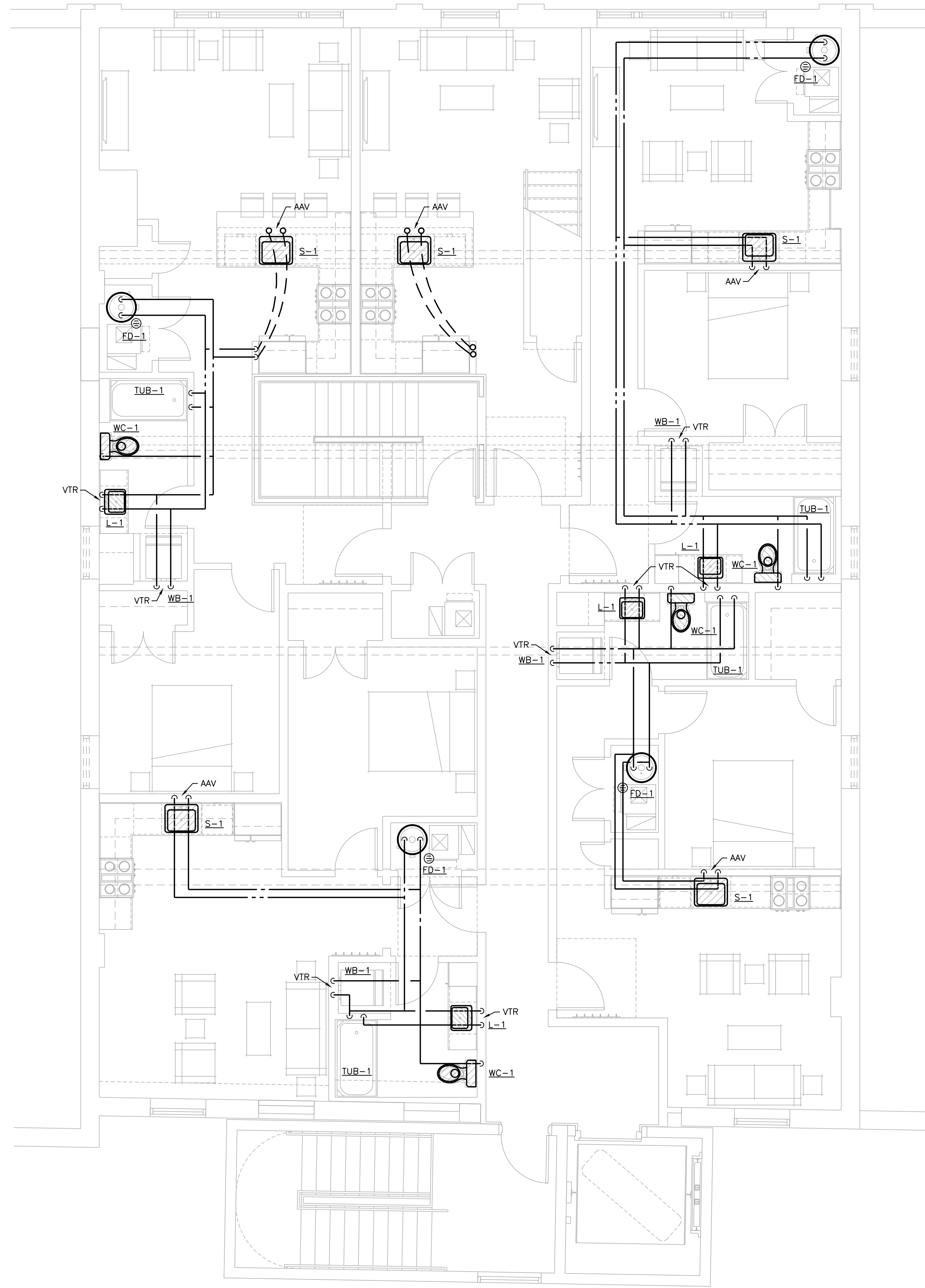


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 3RD FLOOR PLAN - PLUMBING  
 SCALE: 1/4" = 1'-0"

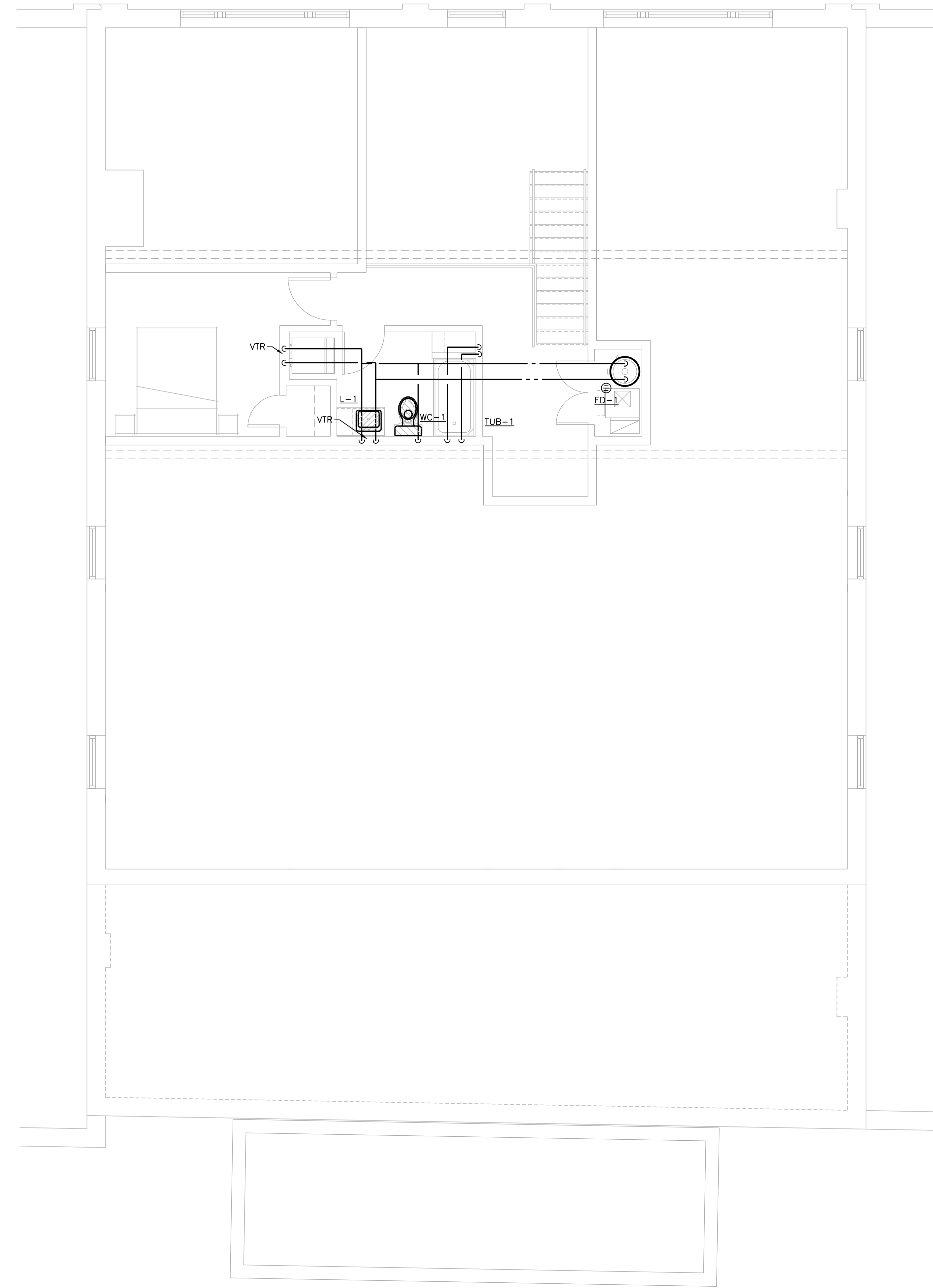
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N  
**4TH FLOOR PLAN - PLUMBING**  
 SCALE: 1/4" = 1'-0"



N  
**4TH FLOOR LOFT PLAN - PLUMBING**  
 SCALE: 1/4" = 1'-0"

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**4TH & 4TH FLOOR  
LOFT PLAN -  
PLUMBING**

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Issue:	Progress
Issue Date:	November 29, 2023

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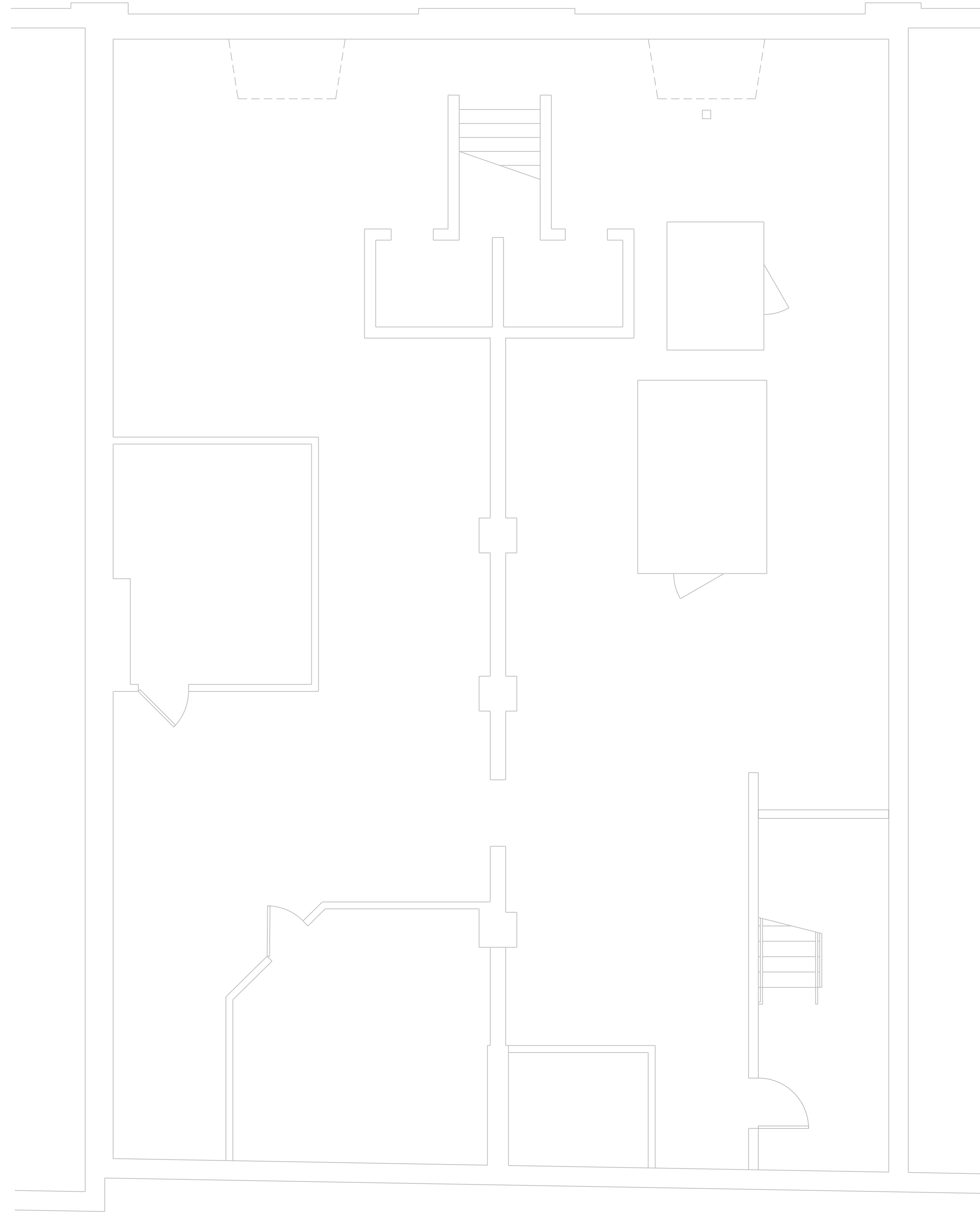


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 planning  
 interior design  
 graphic design

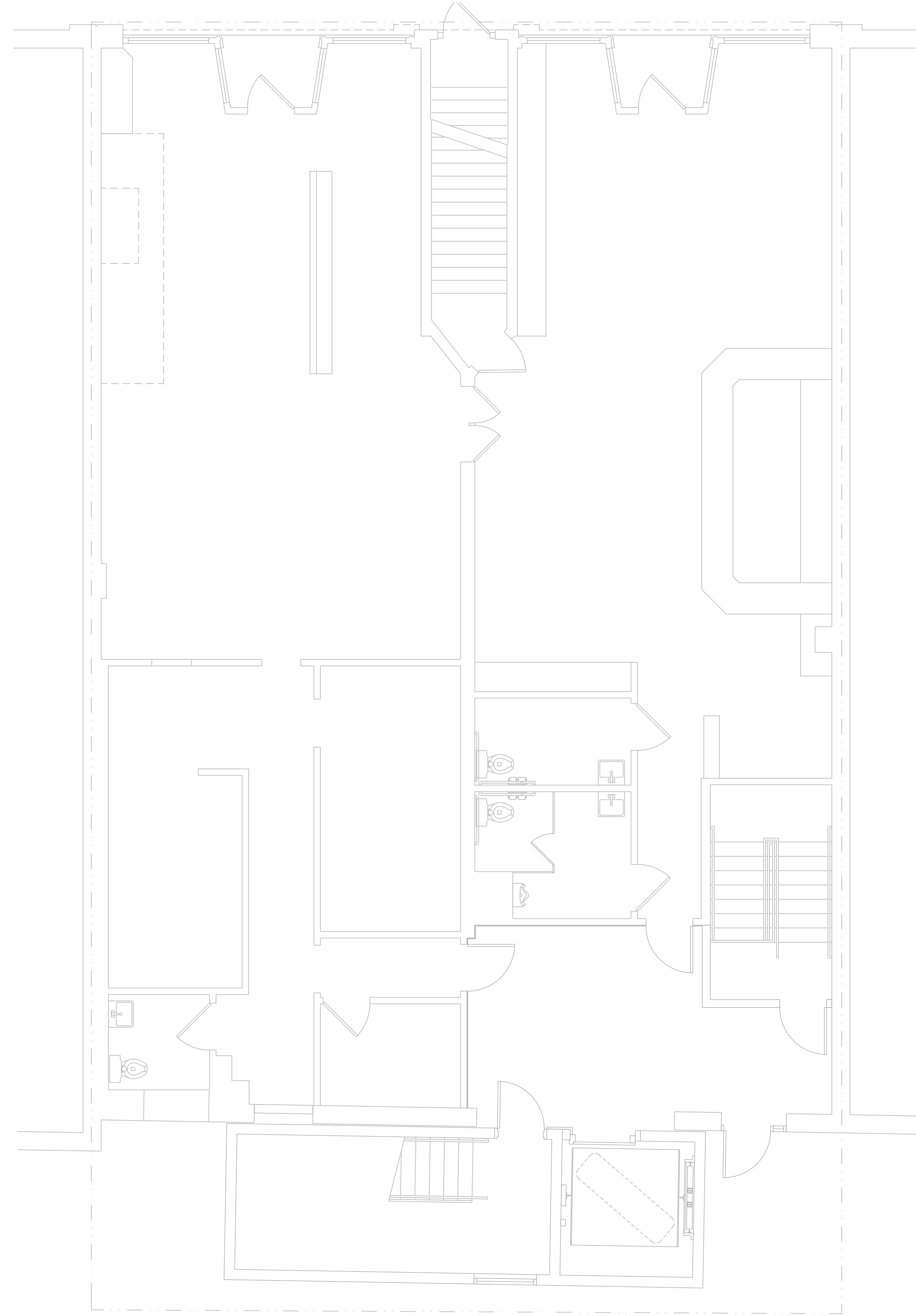
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**BASEMENT & 1ST  
 FLOOR PLAN -  
 MECHANICAL**

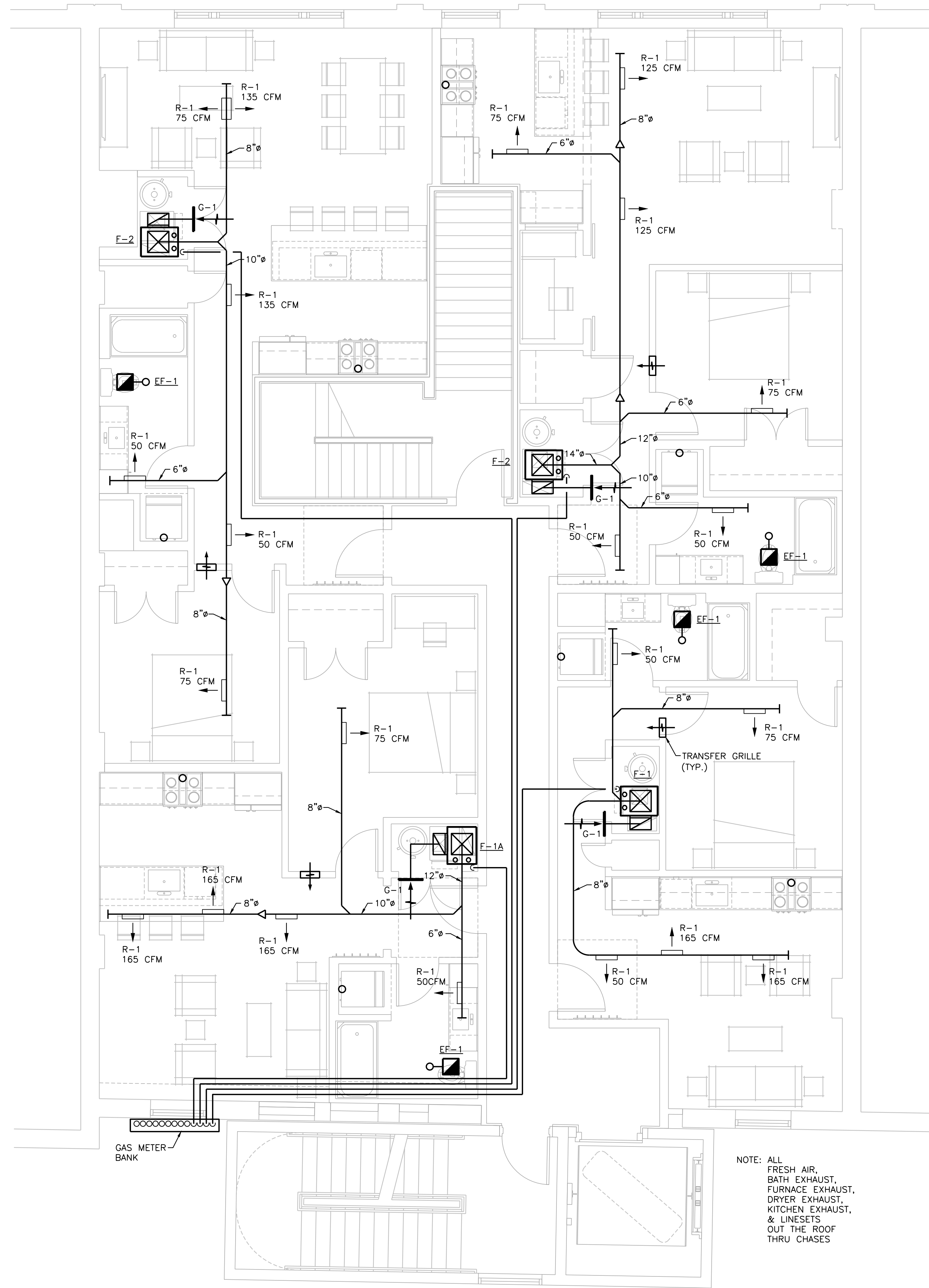
Job No:	GR190610
Issue:	Progress
Issue Date:	November 29, 2023




**BASEMENT PLAN - MECHANICAL**  
 SCALE: 1/4" = 1'-0"

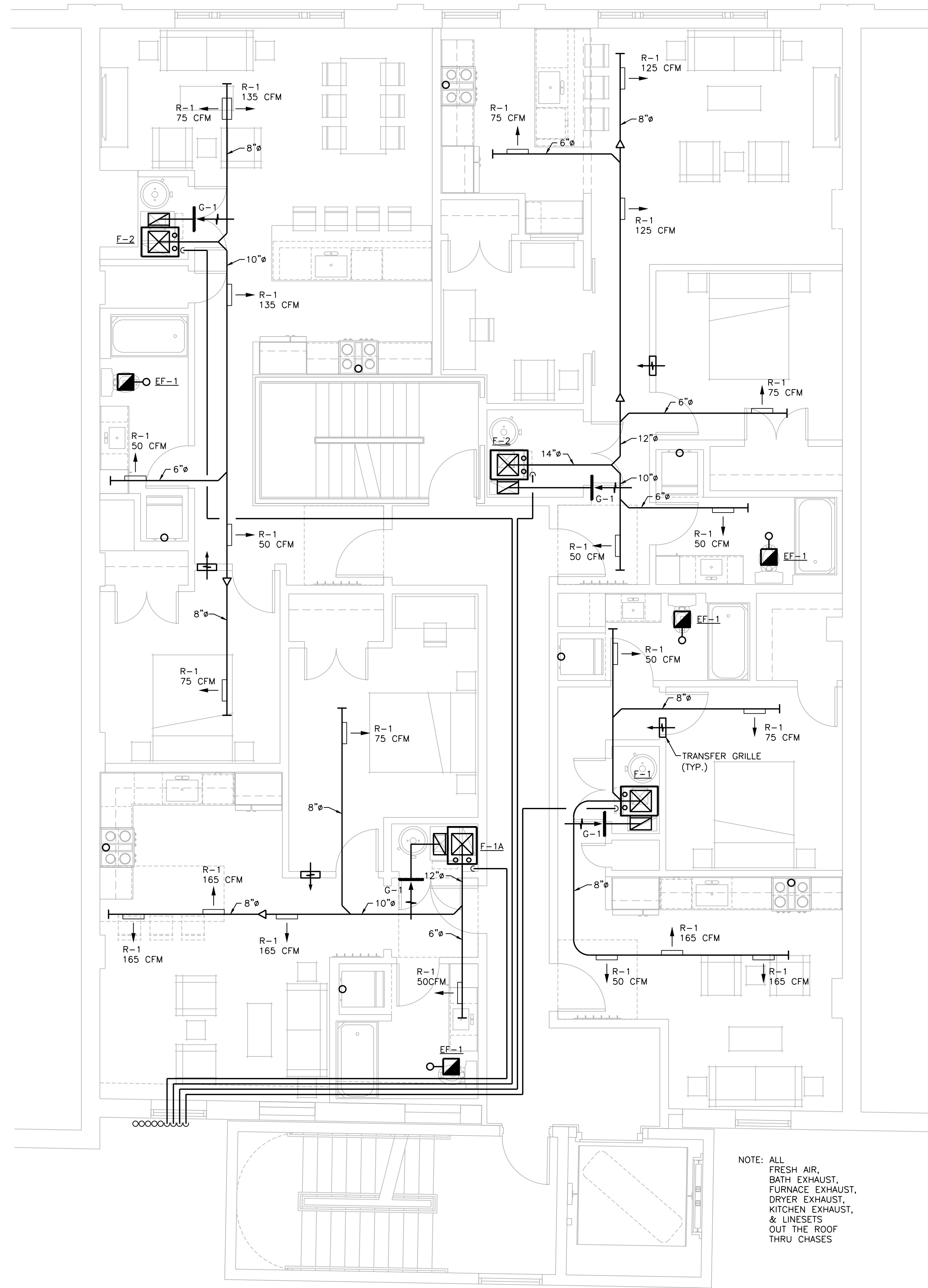



**1ST FLOOR PLAN - MECHANICAL**  
 SCALE: 1/4" = 1'-0"



NOTE: ALL  
FRESH AIR,  
BATH EXHAUST,  
FURNACE EXHAUST,  
DRYER EXHAUST,  
KITCHEN EXHAUST,  
& LINESETS  
OUT THE ROOF  
THRU CHASES

2ND FLOOR PLAN - MECHANICAL  
SCALE: 1/4" = 1'-0"



NOTE: ALL  
FRESH AIR,  
BATH EXHAUST,  
FURNACE EXHAUST,  
DRYER EXHAUST,  
KITCHEN EXHAUST,  
& LINESETS  
OUT THE ROOF  
THRU CHASES

3RD FLOOR PLAN - MECHANICAL  
SCALE: 1/4" = 1'-0"

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No.	Date	Item

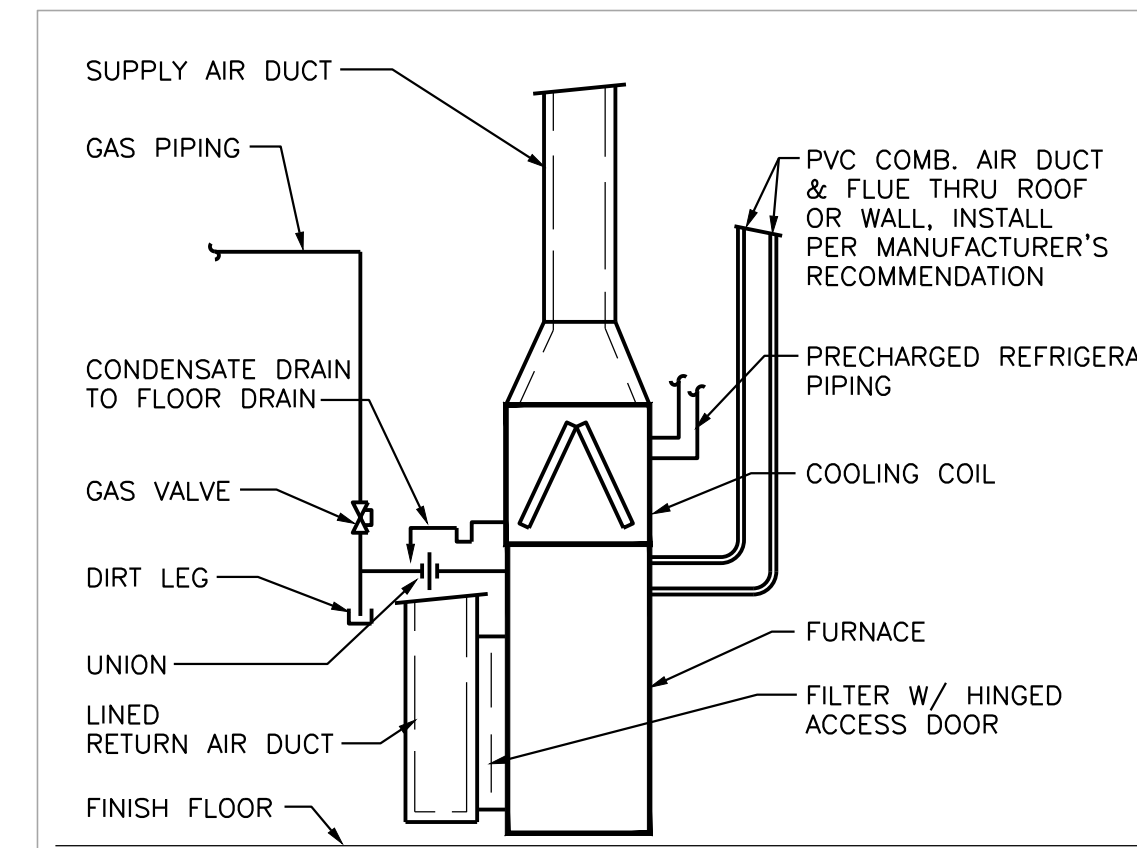
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2ND & 3RD  
FLOOR PLAN -  
MECHANICAL  
Job No: GR190610  
Issue: Progress  
Issue Date: November 29, 2023

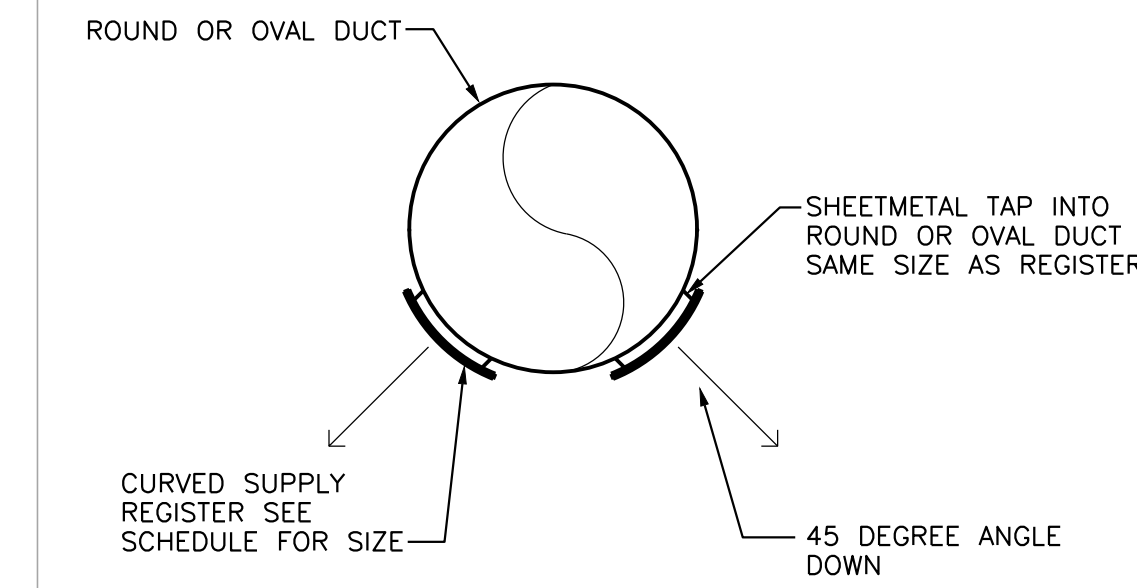






NOTE: WHEN SUPPLY AIR EXCEEDS 1,600 CFM, UTILIZE TWO SIDES OR BOTTOM FOR RETURN AIR.

**FURNACE INSTALLATION DETAIL**  
NOT TO SCALE



**TYPICAL SIDEWALL REGISTER DETAIL**  
NOT TO SCALE

FURNACE SCHEDULE											
MARK	LOCATION	MODEL	CFM	S.P.	HTG. MBH IN/OUT	COOLING TOT/SEN	OUTSIDE AIR CFM	SAF HP	VOLTAGE	REMARKS	
F-1	SEE PLANS	PG95ESA30026	600	.5"	26/25	18/12	30	1/3	115V-1PH	1.5 TON	①
F-1A	SEE PLANS	PG95ESA30040	600	.5"	40/39	18/12	30	1/3	115V-1PH	1.5 TON	①
F-2	SEE PLANS	PG95ESA36060	800	.5"	60/58	24/18	45	1/2	115V-1PH	2 TON	①
F-3	SEE PLANS	PG95ESA448080	1,200	.5"	80/78	36/24	60	3/4	115V-1PH	3 TON	①

① BASED ON BRYANT, CONDENSING TYPE.

AIR CONDITIONER SCHEDULE							
MARK	MODEL	SERVICE	COOLING TOT/SEN	ELECTRICAL		VOLTAGE	REMARKS
				MCA	MOCP		
AC-1	PN13NA018	F-1/F-1A	18/12	11.8	20	208V-1PH	CRANKCASE HEATER CYCLE PROTECTOR ①
AC-2	PN13NA024	F-2	24/18	14.3	25	208V-1PH	CRANKCASE HEATER CYCLE PROTECTOR ①
AC-3	PN13A036	F-3	36/24	19.0	30	208V-1PH	CRANKCASE HEATER CYCLE PROTECTOR ①

① BASED ON BRYANT, 13 SEER.

FAN SCHEDULE										
MARK	SERVICE	MODEL	CFM	S.P.	HP/WATTS/AMPS.	RPM	WHEEL DIA.	SONES	VOLTAGE	REMARKS
EF-1	SEE PLANS	ZB110	110	.25"	0.3A	--	--	0.3	120/1/60	①

① BASED ON BROAN 2-SPEED.

GRILLE, REGISTER AND DIFFUSER SCHEDULE					
MARK	SERVICE	MODEL	VOLUME DAMPER	FINISH	REMARKS
R-1	SUPPLY REGISTER	520D	YES	WHITE	①
G-1	SIDEWALL RETURN GRILLE	530D	--	WHITE	①

① BASED ON PRICE.

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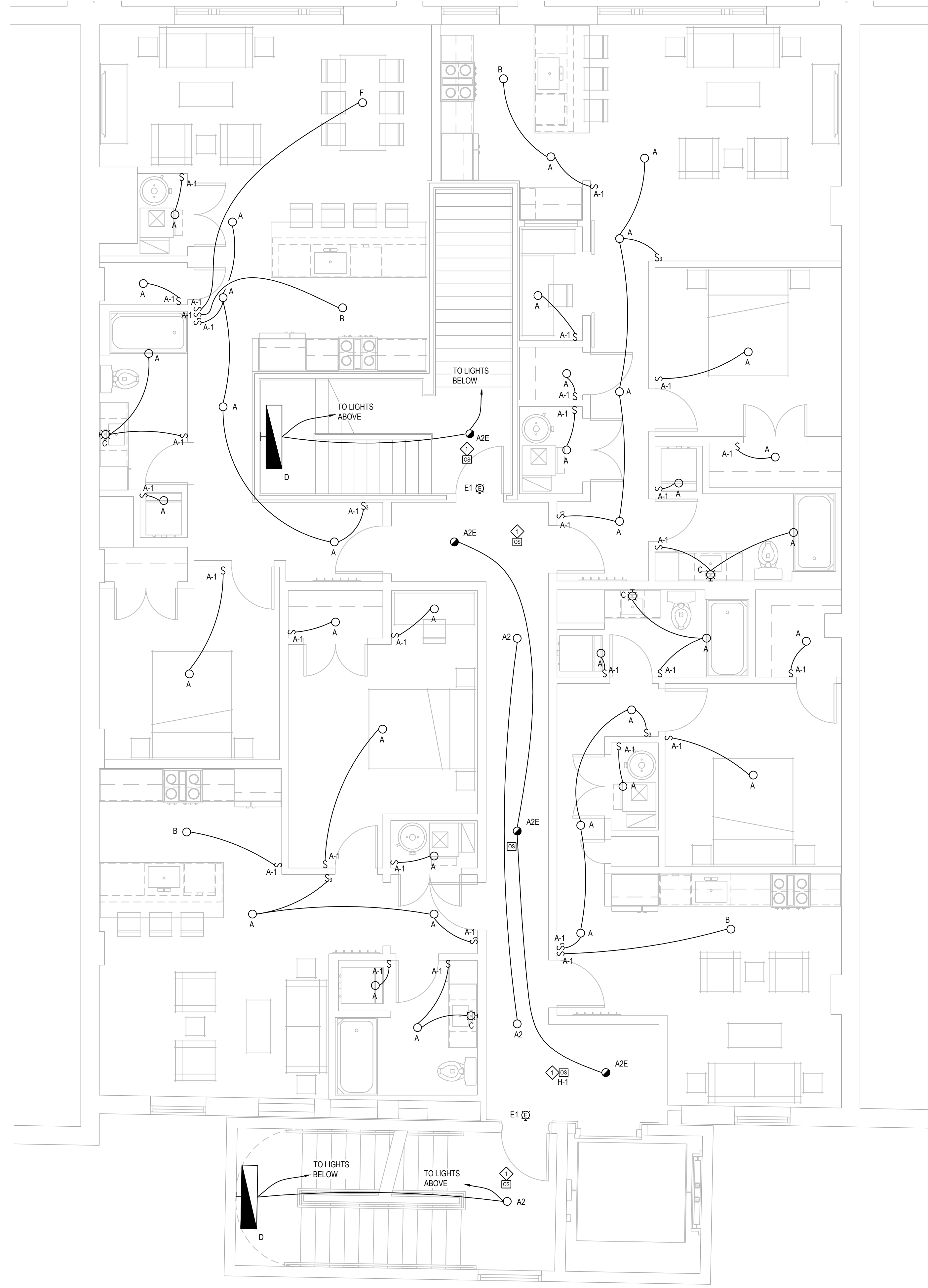




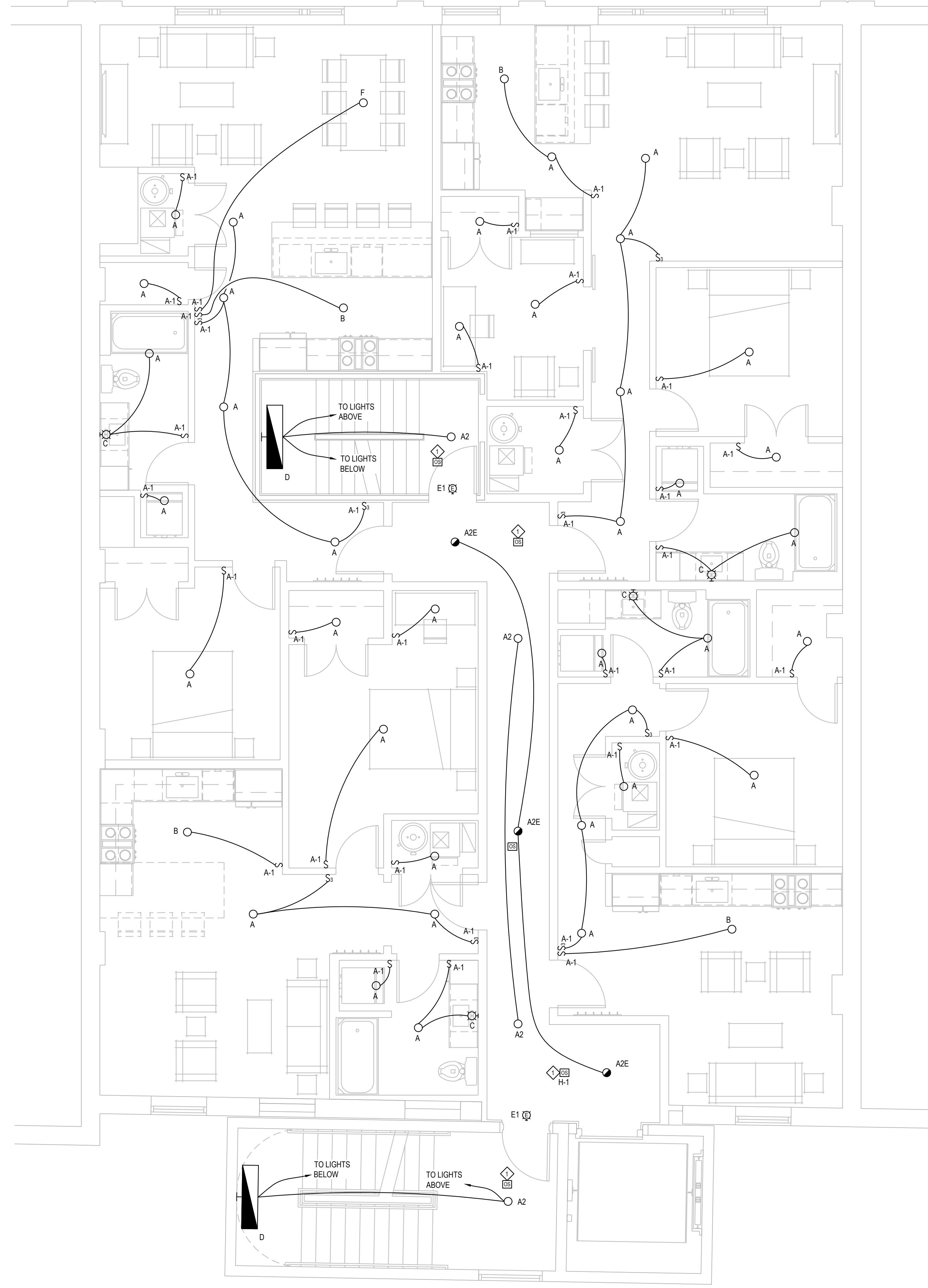


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**2ND FLOOR PLAN - LIGHTING**  
SCALE: 1/4" = 1'-0"



N  
**3RD FLOOR PLAN - LIGHTING**  
SCALE: 1/4" = 1'-0"

- GENERAL LIGHTING NOTES:
- CONNECT EMERGENCY LIGHTING TO CIRCUIT FEEDING GENERAL LIGHTING IN THAT AREA.
  - EXIT SIGNS TO BE CONNECTED TO UNSWITCHED LIGHTING CIRCUIT OR EMERGENCY LIGHTING CIRCUIT FEEDING THAT AREA.
  - LIGHTING CONTROL SHALL COMPLY WITH 2015 MICHIGAN ENERGY CODE WHERE APPLICABLE.

LIGHTING KEY NOTES:  
 ◇ LIGHTS IN STAIRS AND PUBLIC CORRIDORS TO BE CONTROLLED BY OCCUPANCY SENSORS. LIGHTS TO DIM TO 50% IF NOT OCCUPIED FOR 15 MINUTES.



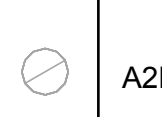

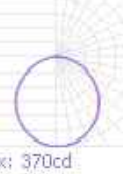
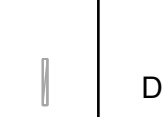


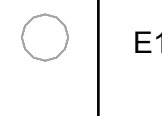


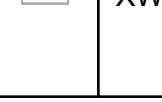


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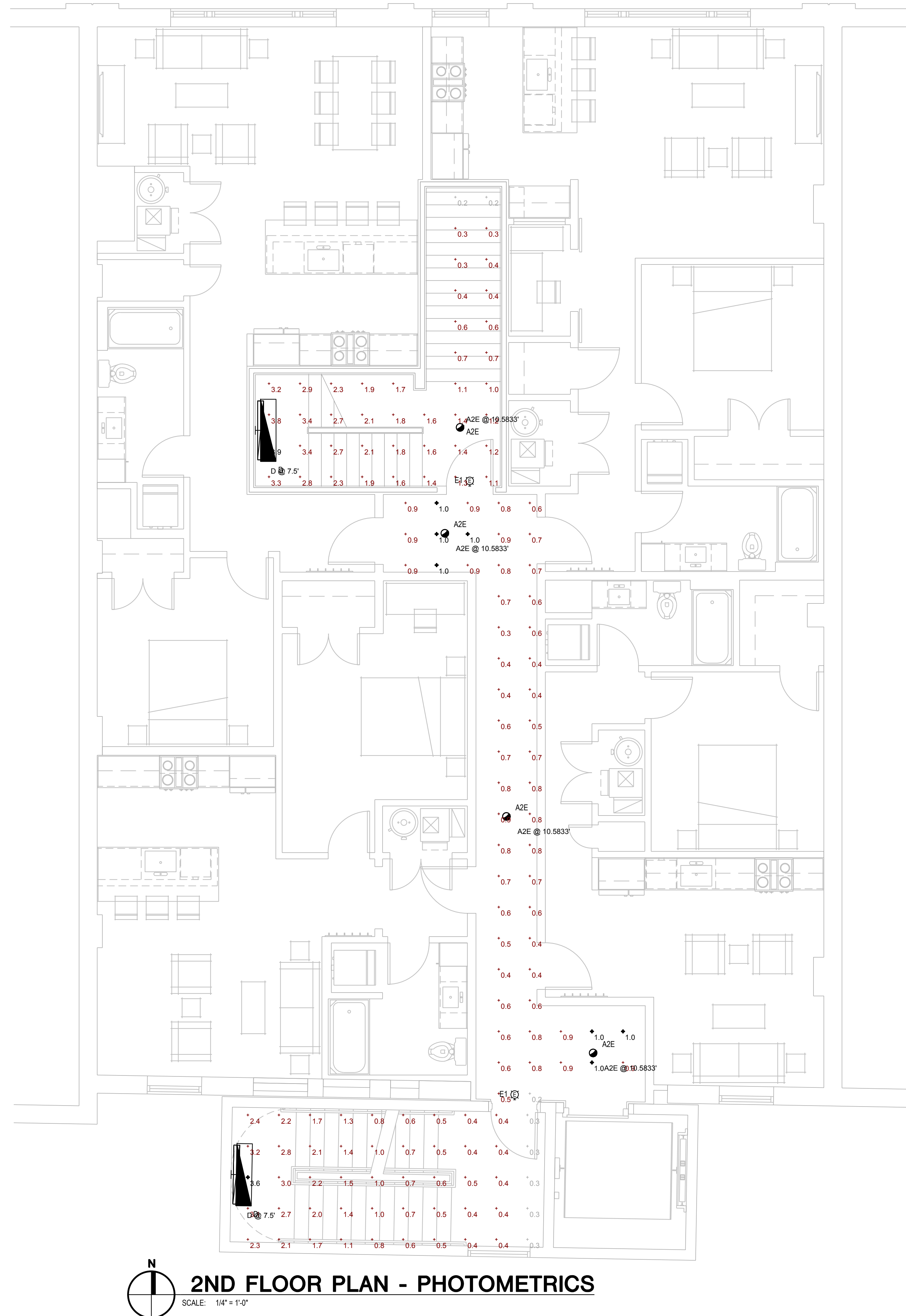
1ST FLOOR PLAN  
- LIGHTING

Job No: GR190610  
Issue: Progress  
Issue Date: November 29, 2023

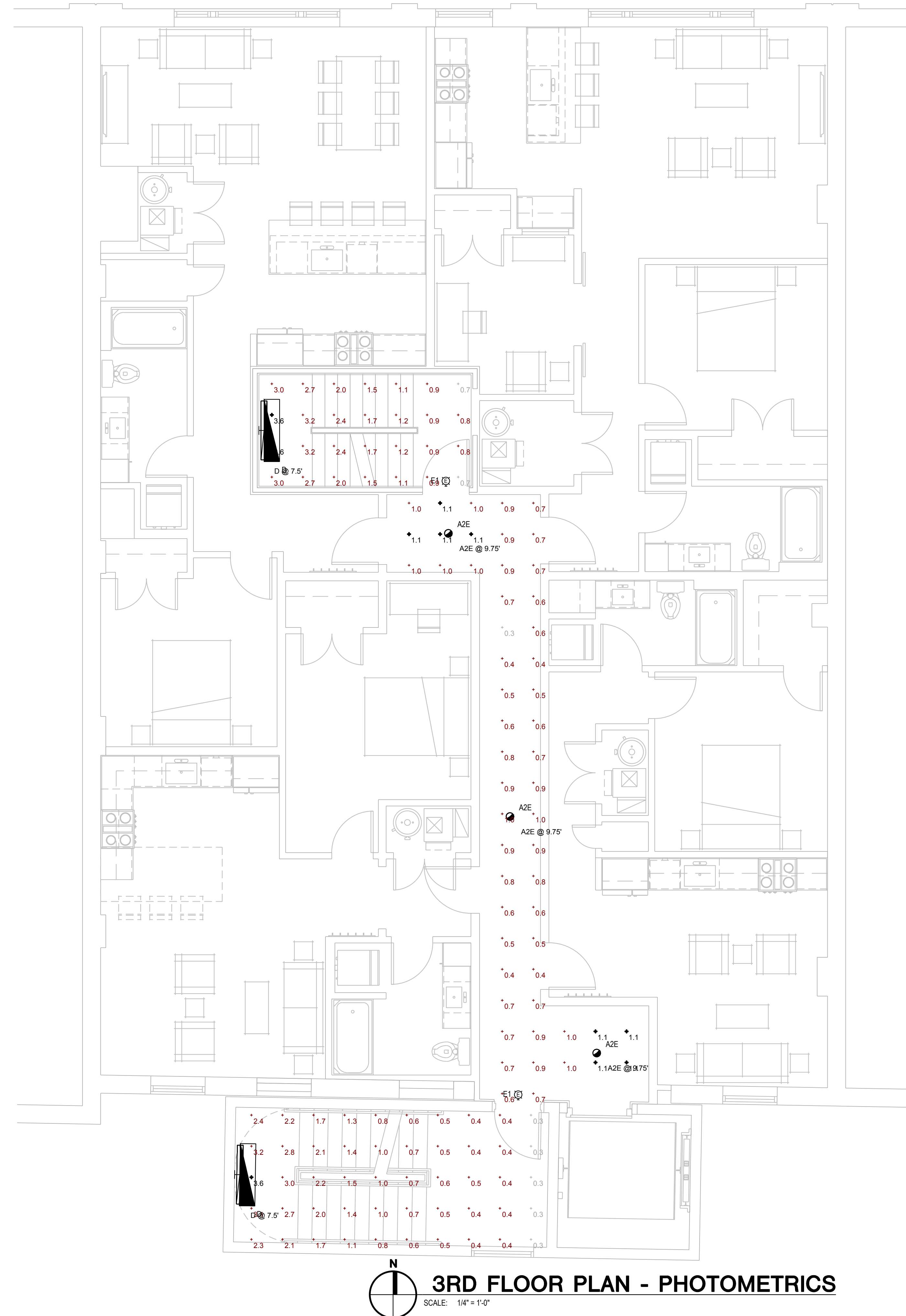
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Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number Lenses	Lamp Output	LLF	Input Power	Power Pkt
	A2E		AS SHOWN	Auro Lighting	2811C 6W TUNN RCOR ML 1W 4K 300K	Auro Starbusca 6W Tapped Smart LED Surface Mount Disk Light - 300K	1	1112	0.19	14	
	D		AS SHOWN	Lithonia Lighting	ML4-40L-LP830	ML4 48x400 NOMINAL LUMENS 3000K	1	3827	0.16	39.48	
	E1		AS SHOWN	Lithonia Lighting	LHGM-LED	QUANTUM LED EMERGENCY COMBO (ONE HEAD ONLY)	1	Absolute	1	1.5	
	XWVE		AS SHOWN	Lithonia Lighting	WD02 LED P3 40K RCOR VP	WD02 LED WITH P3 PERFORMANCE PACKAGE 400K, RCOR, VISUAL COMFORT FORWARD OPTIC	1	3132	0.29	22.95	

Description	Symbol	Avg	Max	Min	MaxMin	AvgMin
FIRST EXTERIOR	+ 3.3%	4.7%	1.9%	2.6%	1.7%	
FIRST STAIRS EAST	+ 1.6%	3.6%	0.7%	5.1%	2.6%	
FIRST STAIRS SOUTH	+ 1.6%	3.7%	0.9%	4.1%	1.6%	
FOURTH CORRIDOR	+ 0.7%	1.0%	0.3%	3.3%	2.4%	
FOURTH STAIRS NORTH	+ 1.6%	3.6%	0.7%	5.1%	2.6%	
FOURTH STAIRS SOUTH	+ 1.6%	3.6%	0.3%	12.0%	4.0%	
SECOND CORRIDOR	+ 0.7%	1.0%	0.2%	6.0%	3.5%	
SECOND STAIRS NORTH	+ 1.5%	3.5%	0.2%	19.5%	6.5%	
SECOND STAIRS SOUTH	+ 1.5%	3.6%	0.3%	12.0%	4.0%	
THIRD CORRIDOR	+ 0.6%	1.1%	0.3%	3.2%	2.2%	
THIRD STAIRS NORTH	+ 1.6%	3.6%	0.7%	5.1%	2.6%	
THIRD STAIRS SOUTH	+ 1.5%	3.6%	0.3%	12.0%	4.0%	
FIRST ELEVATOR LOBBY	+ 0.6%	2.3%	0.1%	20.0%	6.0%	



**2ND FLOOR PLAN - PHOTOMETRICS**  
 SCALE: 1/4"=1'-0"



**3RD FLOOR PLAN - PHOTOMETRICS**  
 SCALE: 1/4"=1'-0"

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266 East Michigan Avenue Lofts  
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 Kalamazoo, Michigan

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1ST FLOOR PLAN - PHOTOMETRICS

Job No: GR190610  
 Issue: Progress  
 Issue Date: November 29, 2023



266 East Michigan Avenue Lofts  
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 Kalamazoo, Michigan

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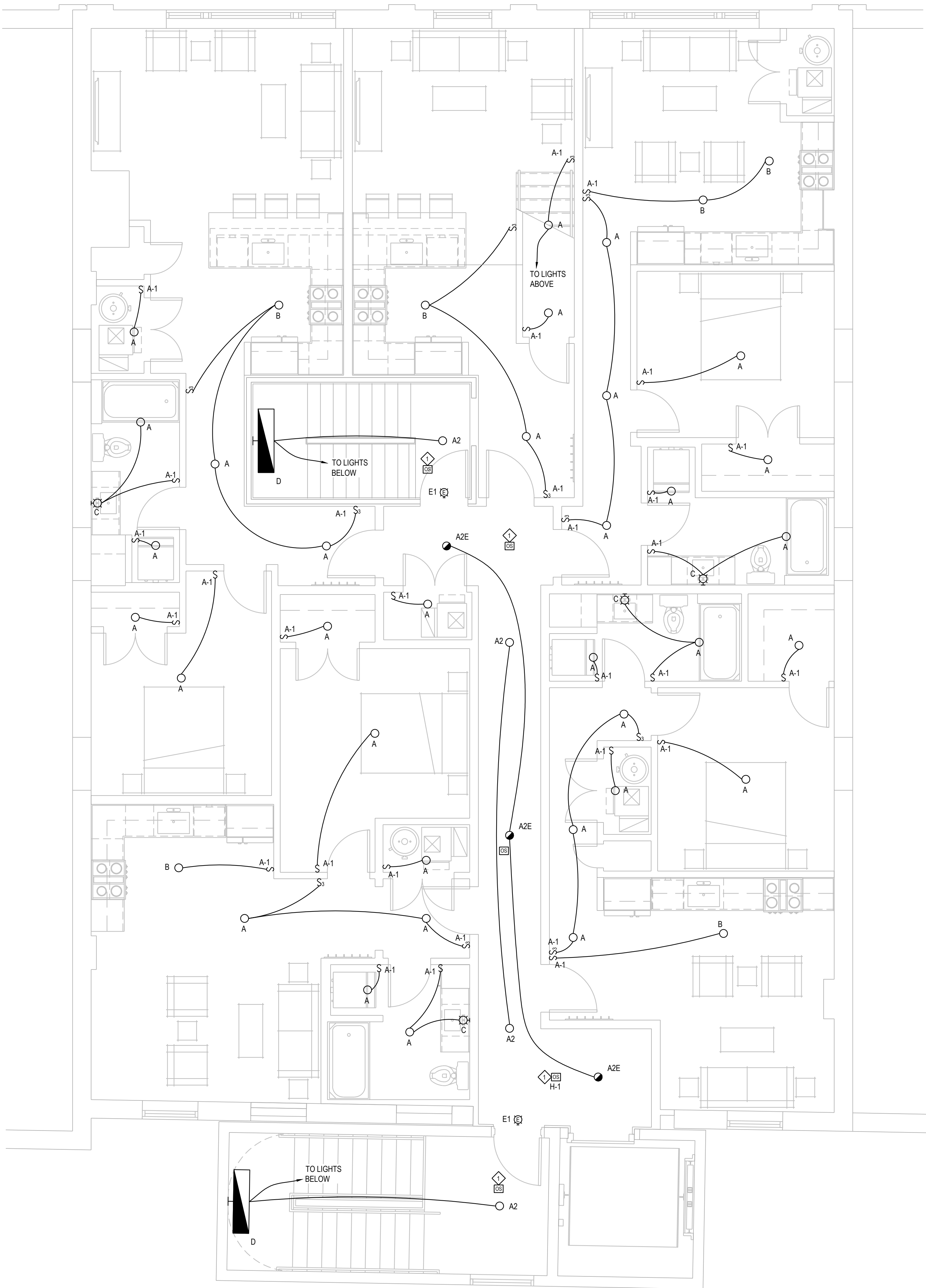


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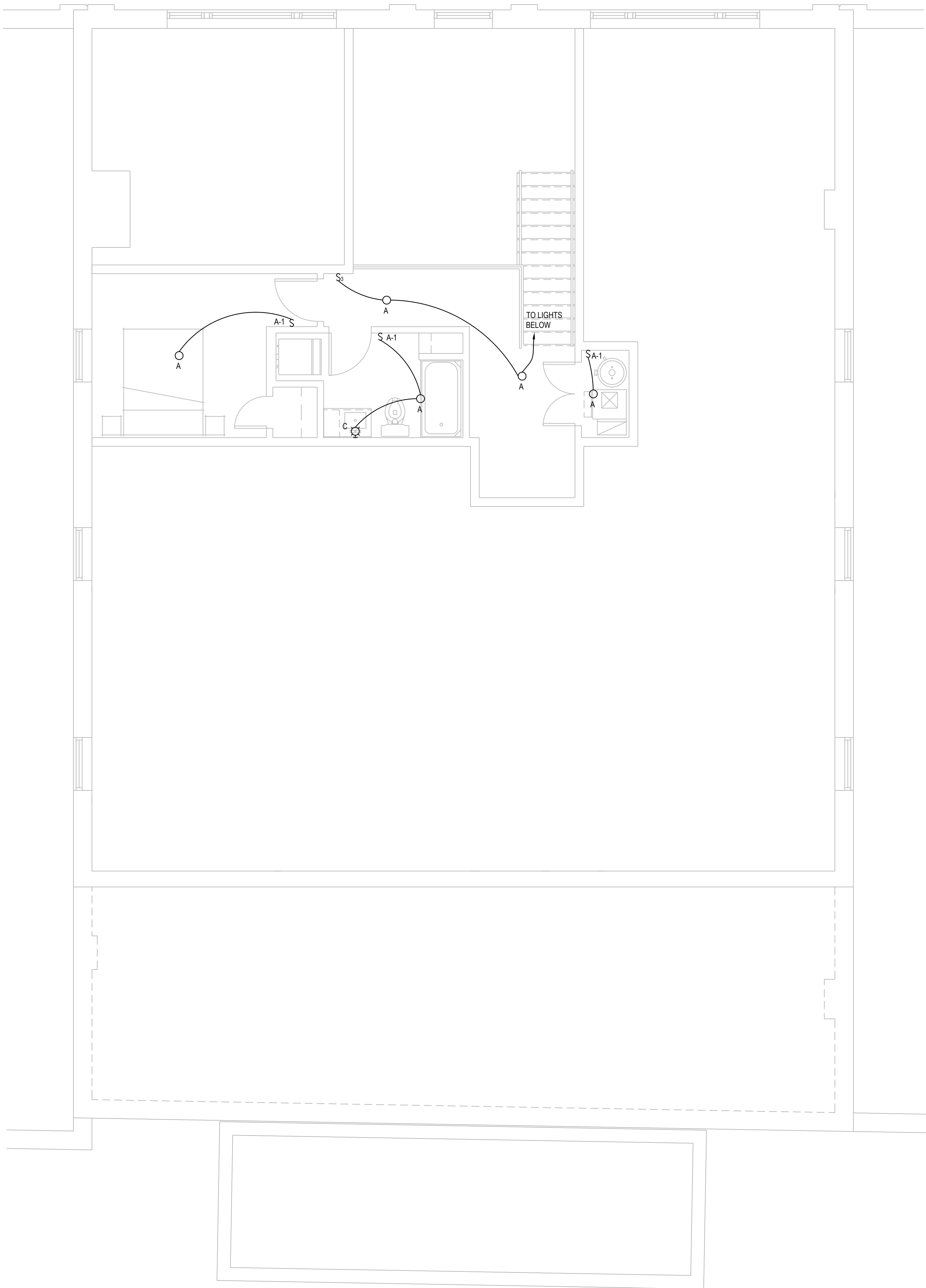
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1ST FLOOR PLAN  
 - LIGHTING

Job No:	GR190610
Issue:	Progress
Issue Date:	November 29, 2023



**4TH FLOOR PLAN - LIGHTING**  
 SCALE: 1/4" = 1'-0"



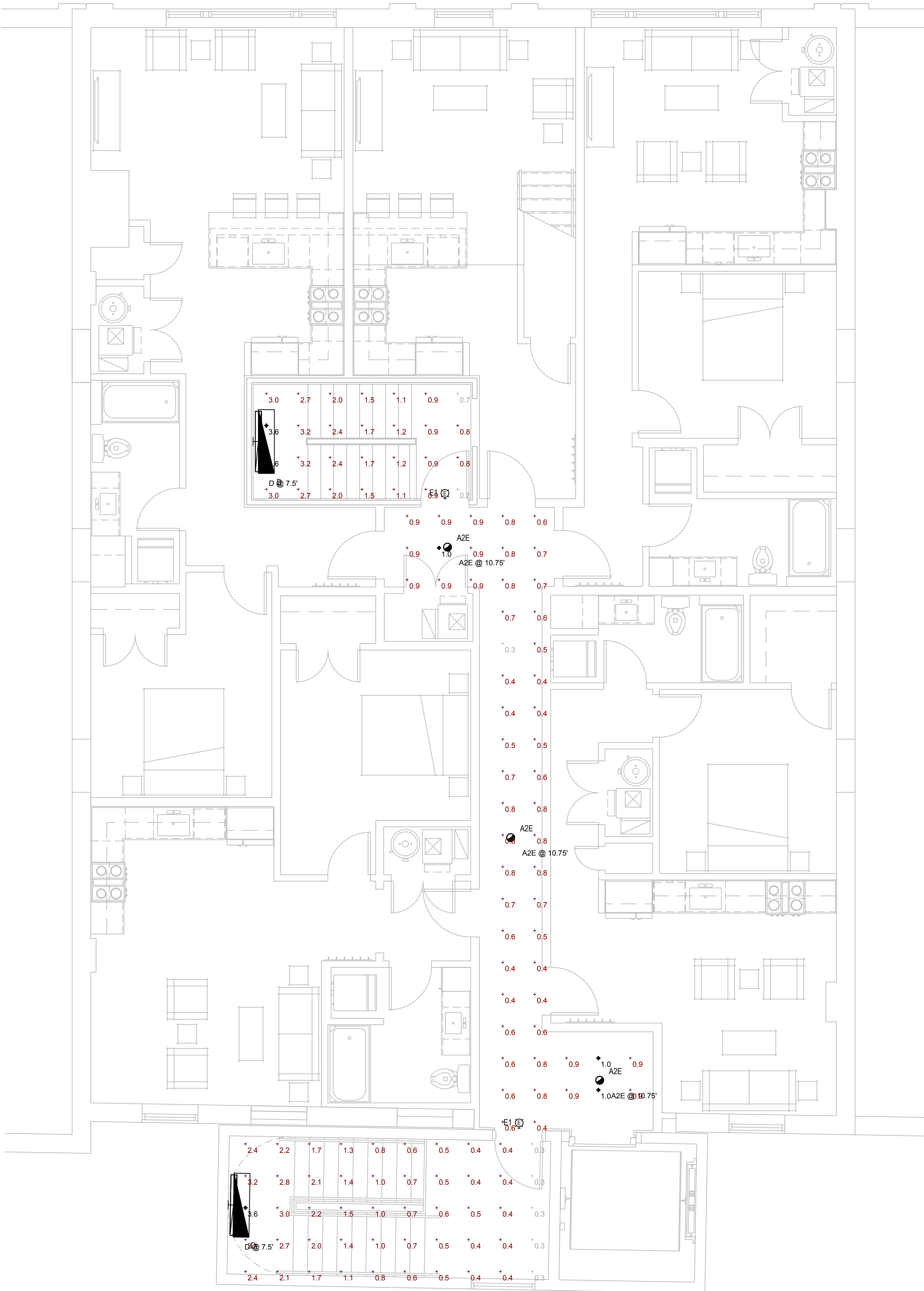
**4TH FLOOR LOFT PLAN - LIGHTING**  
 SCALE: 1/4" = 1'-0"

- GENERAL LIGHTING NOTES:**
- CONNECT EMERGENCY LIGHTING TO CIRCUIT FEEDING GENERAL LIGHTING IN THAT AREA.
  - EXIT SIGNS TO BE CONNECTED TO UNSWITCHED LIGHTING CIRCUIT OR EMERGENCY LIGHTING CIRCUIT FEEDING THAT AREA.
  - LIGHTING CONTROL SHALL COMPLY WITH 2015 MICHIGAN ENERGY CODE WHERE APPLICABLE.

- LIGHTING KEY NOTES:**
- LIGHTS IN STAIRS AND PUBLIC CORRIDORS TO BE CONTROLLED BY OCCUPANCY SENSORS. LIGHTS TO DIM TO 50% IF NOT OCCUPIED FOR 15 MINUTES.

Symbol	Label	Image	QTY	Manufacturer	Catlog	Description	Number Lamps	Lamp Output	LLF	Input Power	Foot Candle
☉	A2E		AS SHOWN	Auro Lighting	287TC 6IN TUVW RDR1 W/ 1W 8W 3000K	Auro Starluxa 6IN Tapered Street LED Surface Mount Disk Light - 3000K	1	1112	0.19	14	Max: 370cd
	D		AS SHOWN	Lithonia Lighting	WL4 40L LPB30	WL4 4x4000 NOMINAL LUMENS 3000K	1	3827	0.16	29.48	Max: 1106cd
○	E1		AS SHOWN	Lithonia Lighting	LHGM LED	QUANTUM LED EMERGENCY COMBO (ONE HEAD ONLY)	1	Absolute	1	1.5	Max: 211cd
□	XWE		AS SHOWN	Lithonia Lighting	WD02 LED P3 40K RDR1 VP	WD02 LED WITH P3 - PERFORMANCE PACKAGE 4000K (RDR1) VISUAL COMFORT FORWARD OPTIC	1	3132	0.29	22.95	Max: 1632cd

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
FIRST EXTERIOR	+ 3.3%	4.7%	1.9%	2.61	1.71	
FIRST STAIRS EAST	+ 1.8%	3.6%	0.7%	5.11	2.61	
FIRST STAIRS SOUTH	+ 1.6%	3.7%	0.9%	4.11	1.61	
FOURTH CORRIDOR	+ 0.7%	1.6%	0.3%	3.31	2.41	
FOURTH STAIRS NORTH	+ 1.8%	3.6%	0.7%	5.11	2.61	
FOURTH STAIRS SOUTH	+ 1.4%	3.6%	0.3%	12.01	4.01	
SECOND CORRIDOR	+ 0.7%	1.6%	0.2%	8.01	3.51	
SECOND STAIRS NORTH	+ 1.1%	3.5%	0.2%	19.51	8.51	
SECOND STAIRS SOUTH	+ 1.2%	3.6%	0.3%	12.01	4.01	
THIRD CORRIDOR	+ 0.8%	1.3%	0.3%	3.21	2.21	
THIRD STAIRS NORTH	+ 1.8%	3.6%	0.7%	5.11	2.61	
THIRD STAIRS SOUTH	+ 1.2%	3.6%	0.3%	12.01	4.01	
FIRST ELEVATOR LOBBY	+ 0.3%	2.3%	0.1%	23.01	8.01	

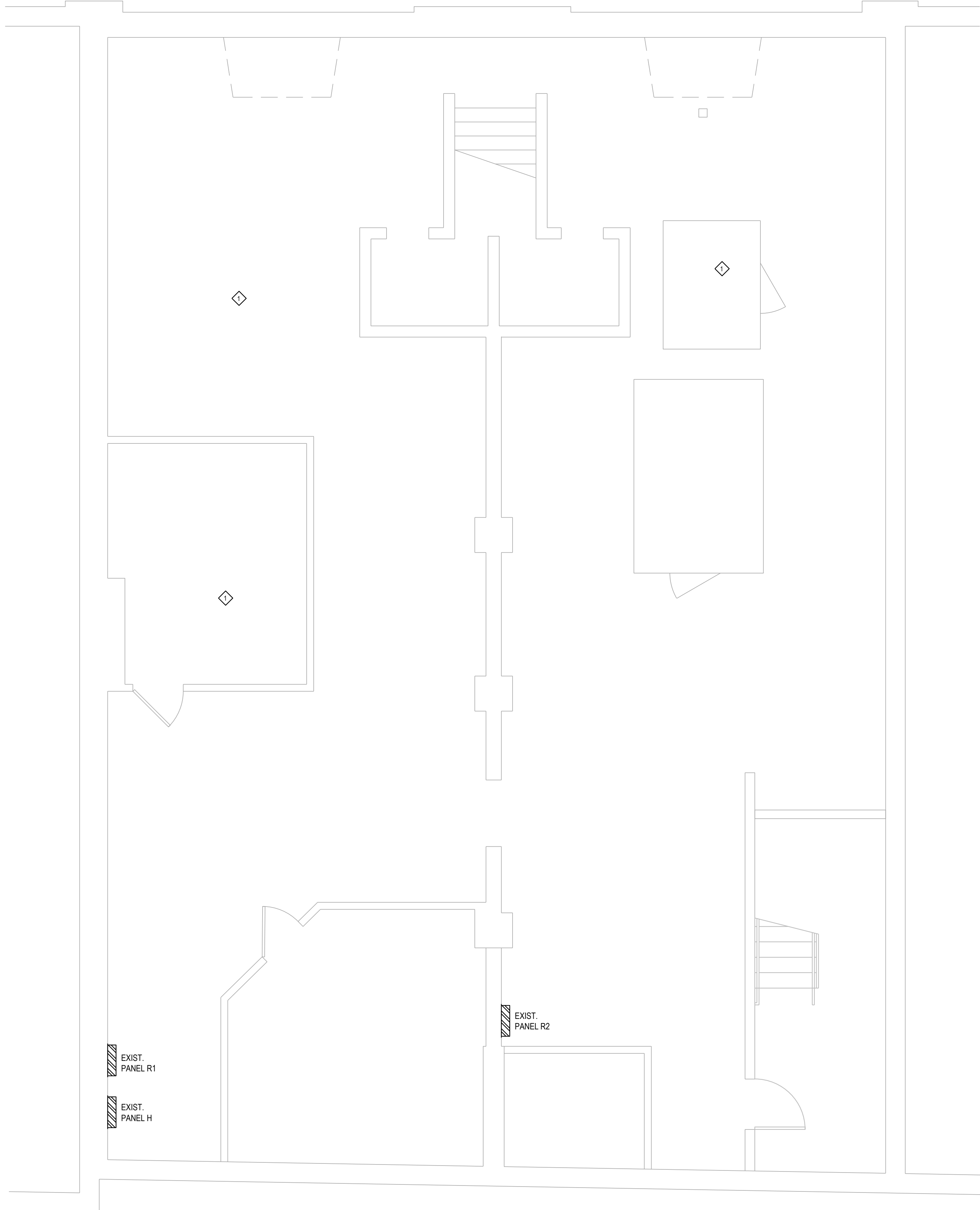


**4TH FLOOR PLAN - PHOTOMETRICS**  
 SCALE: 1/4" = 1'-0"

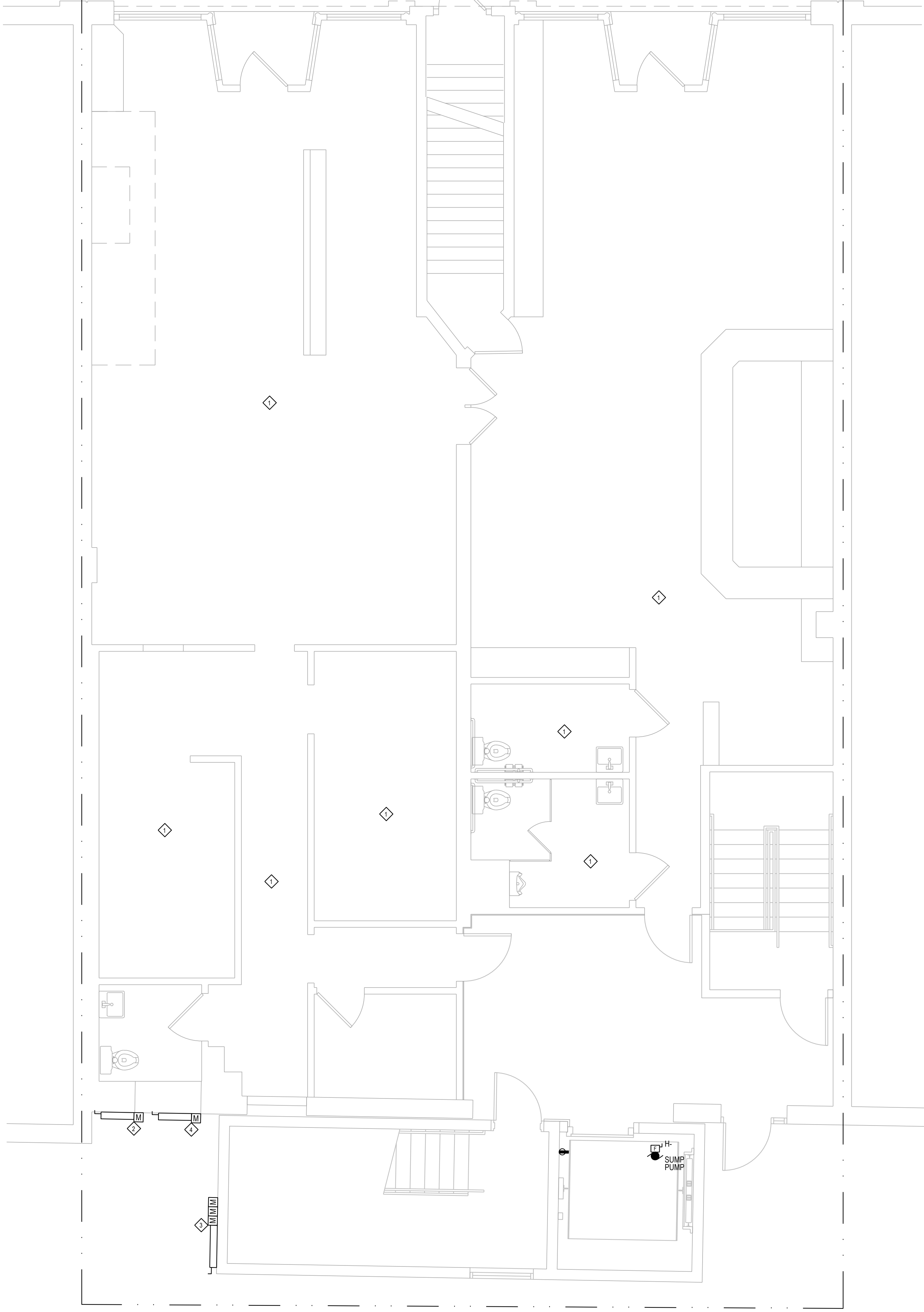
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**BASEMENT FLOOR PLAN - POWER**  
 SCALE: 1/4" = 1'-0"



**1ST FLOOR PLAN - POWER**  
 SCALE: 1/4" = 1'-0"

**GENERAL POWER NOTES:**  
 1. MOUNT PANELS, TRANSFORMERS, AND DISCONNECT SWITCHES WITH ADEQUATE CLEARANCES IN ACCORDANCE WITH NEC 2017.

**POWER KEYNOTES:**  
 ◇ NO WORK IN THIS AREA.  
 ◇ 400A 600V 3 PHASE SERVICE RATED DISCONNECT AND METER.  
 ◇ NEW 100A 120/240V 1 PHASE DISCONNECT AND METER STACK FOR APARTMENTS. REFER TO DRAWING E2.00 FOR COUNTS OF DISCONNECTS AND METER STACK ORGANIZATION.  
 ◇ EXISTING 80A 120/240V 1 PHASE DISCONNECT AND METERS TO REMAIN AND BE UTILIZED FOR HOUSE PANEL AND 1ST FLOOR COMMERCIAL TENANTS.

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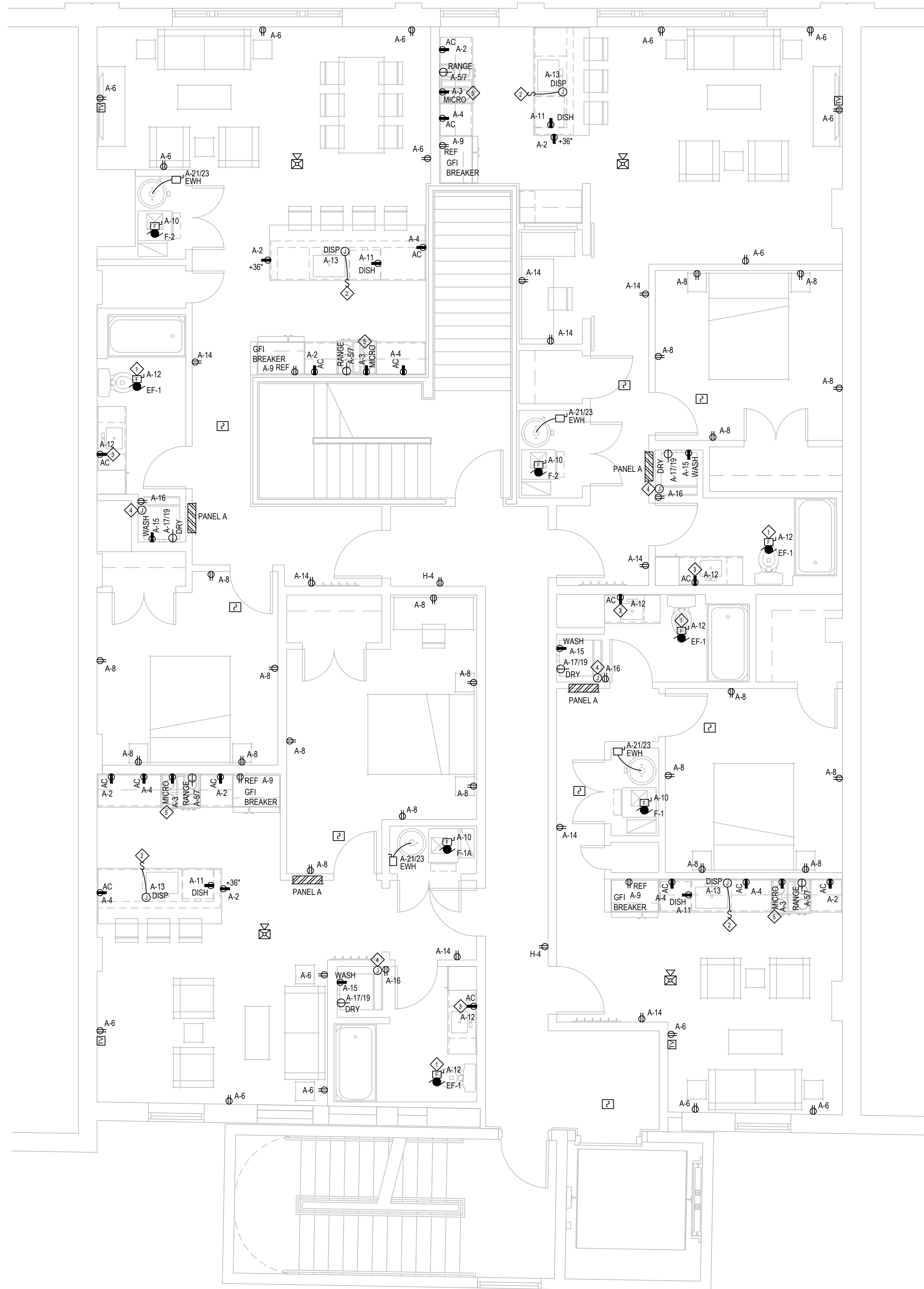
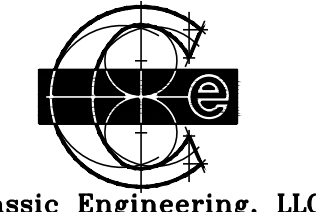
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**1ST FLOOR PLAN - POWER**

Job No:	GR190610
Issue:	Progress
Issue Date:	November 29, 2023

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**2ND FLOOR PLAN - POWER**

SCALE: 1/4" = 1'-0"

**GENERAL POWER NOTES:**

- MOUNT PANELS, TRANSFORMERS, AND DISCONNECT SWITCHES WITH ADEQUATE CLEARANCES IN ACCORDANCE WITH NEC 2017.
- E.C. TO REVIEW ARCHITECTURAL ELEVATIONS FOR KITCHEN EQUIPMENT. COORDINATE EXACT MOUNTING HEIGHT OF MICROWAVE RECEPTACLE.
- E.C. TO PROVIDE ROUGH-IN FOR T-STAT IN THE LIVING AREA OF EACH UNIT COORDINATE WITH M.C.
- PROVIDE COMBO CO-SMOKE DEVICES IN LIVING ROOM PER BUILDING CODE. SMOKE DEVICES SHALL BE STAND ALONE HARDWIRED 120V WITH BATTERY BACKUP.
- BACK TO BACK DEVICES ARE **NOT ALLOWED**. ELECTRICAL CONTRACTOR MUST STAGGER ALL DEVICES AS REQUIRED TO MAINTAIN A 6" OFFSET BETWEEN ADJACENT ROOMS WHILE MAINTAINING RELATIVE POSITIONS AS SHOWN. NOTE: MAINTAINING A 6" OFFSET BETWEEN ELECTRICAL DEVICES WITH ADJACENT ROOMS SUPERSEDES DIMENSIONS. CONSULT ARCHITECT IF DISCREPANCIES.
- REFER TO ARCHITECTURAL PLANS FOR LIST OF ACCESSIBLE UNITS. PANELS MOUNTING HEIGHT AT 48" AFF.

- ALL 120-VOLT, SINGLE PHASE, 15- AND 20-AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN'S, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, AND KITCHENS OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED (AFCI) ARC-FAULT CIRCUIT INTERRUPTER, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT. ALL AFCI DEVICES SHALL BE READILY ACCESSIBLE. IN AREAS WHERE GFCI IS ALSO REQUIRED A COMBINATION DEVICE SHALL BE PROVIDED.
- RECEPTACLES REQUIRING AFCI/GFCI THAT ARE NOT READILY ACCESSIBLE SHALL BE PROTECTED WITH GFCI BREAKERS.
- FIRE ALARM, SECURITY AND ACCESS CONTROL DEVICES SHOWN FOR REFERENCE ONLY AND DO NOT REPRESENT COMPREHENSIVE SYSTEMS.
- FIRE ALARM (FA) DEVICES, IF SHOWN, ARE DIAGRAMMATIC IN NATURE ONLY AND ARE INTENDED ONLY TO COMMUNICATE MAJOR SYSTEM COMPONENTS AND APPROXIMATE LOCATIONS. FULL FA DRAWINGS TO BE DELEGATED DESIGN AND SHALL INCLUDE ALL SYSTEM COMPONENTS, CALCULATIONS AND LOCATIONS.

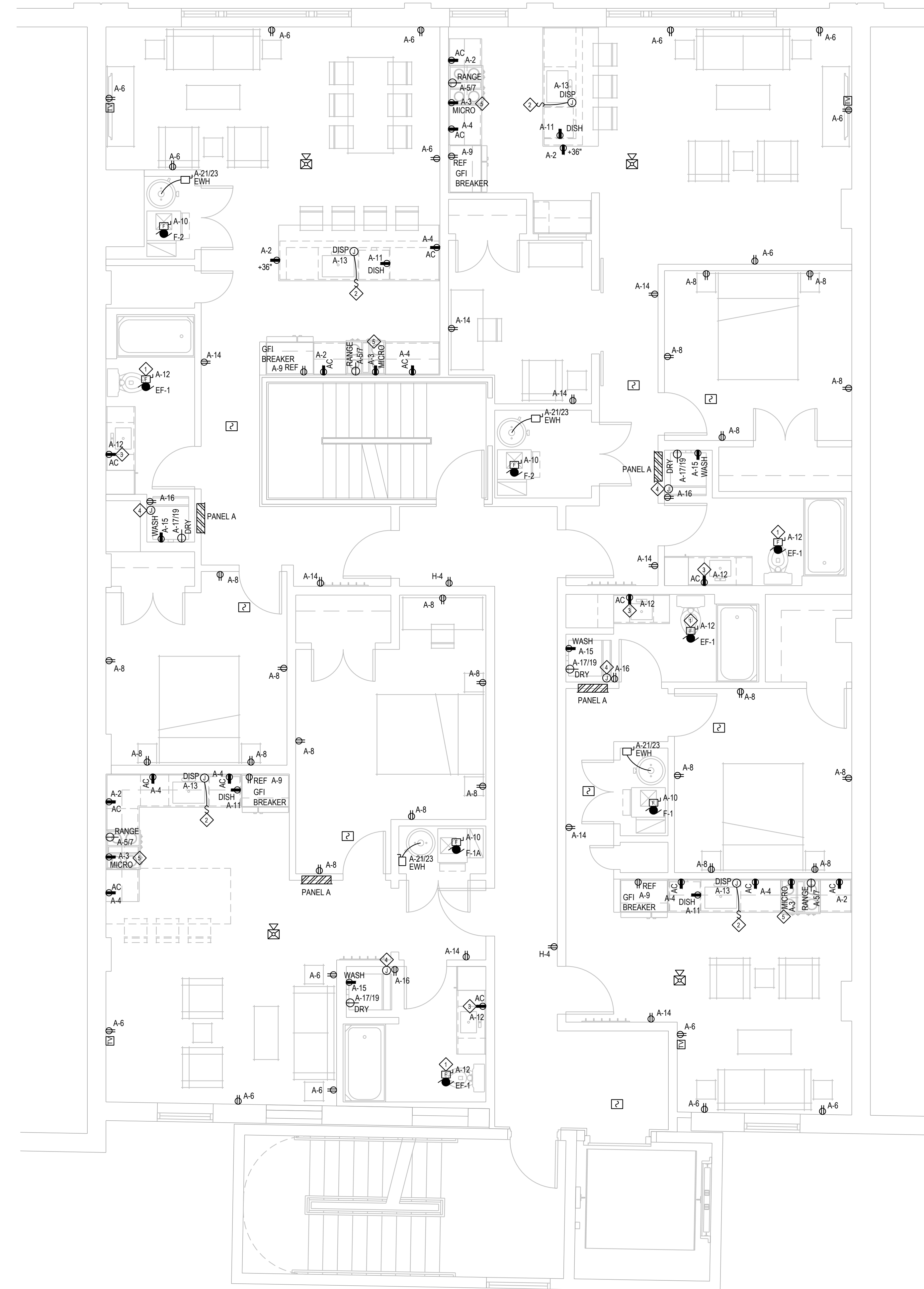
**POWER KEYNOTES:**

- ◇ BATHROOM EXHAUST FAN TO BE CONTROLLED WITH WALL SWITCH AS SHOWN.
- ◇ GARBAGE DISPOSAL SWITCH TO BE MOUNTED IN FACE OF COUNTERTOP.
- ◇ BATHROOM RECEPTACLE TO BE MOUNTED ABOVE THE COUNTERTOP.
- ◇ TELEPHONE/CATV TO ENTER FROM CORRIDOR INTO APARTMENT CLOSET/WASHER ROOM. MOUNT HIGH ON WALL IN CLOSET/WASHER ROOM PROVIDE AND INSTALL J-BOX PER PROVIDER'S REQUIREMENTS. RECEPTACLE FED FROM CIRCUIT IN UNIT. COORDINATE CABLING TO TV, DATA, TELEPHONE OUTLETS WITH PROVIDER. MOUNT AT 80" AFF.
- ◇ MICROWAVE TO BE MOUNTED ABOVE RANGE WITH INTEGRAL EXHAUST. U.O.N.



**3RD FLOOR PLAN - POWER**

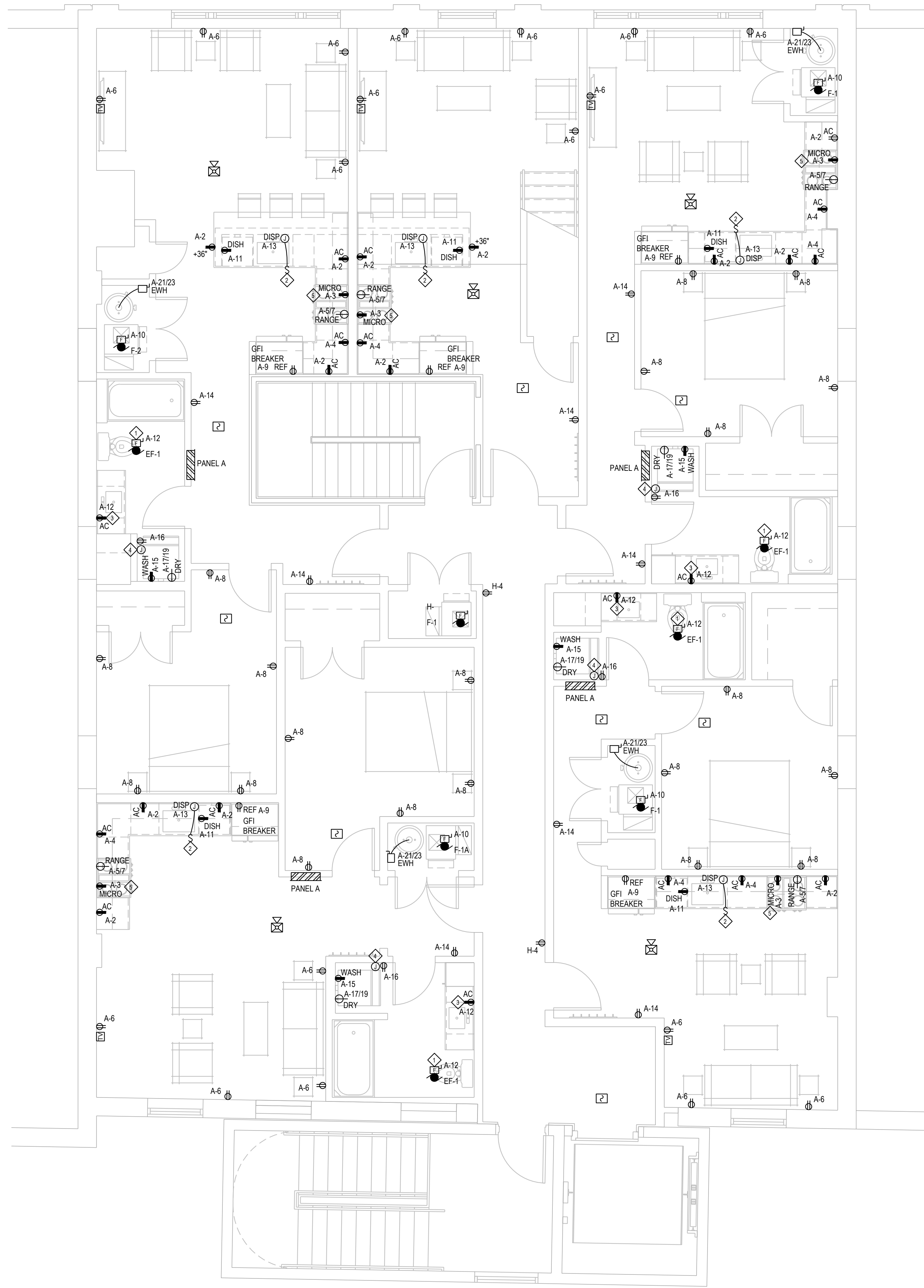
SCALE: 1/4" = 1'-0"



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No.	Date	Item

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**4TH FLOOR PLAN - POWER**  
 SCALE: 1/4" = 1'-0"

**GENERAL POWER NOTES:**

1. MOUNT PANELS, TRANSFORMERS, AND DISCONNECT SWITCHES WITH ADEQUATE CLEARANCES IN ACCORDANCE WITH NEC 2017.
2. E.C. TO REVIEW ARCHITECTURAL ELEVATIONS FOR KITCHEN EQUIPMENT. COORDINATE EXACT MOUNTING HEIGHT OF MICROWAVE RECEPTACLE.
3. E.C TO PROVIDE ROUGH-IN FOR T-STAT IN THE LIVING AREA OF EACH UNIT COORDINATE WITH M.C.
4. PROVIDE COMBO CO/SMOKE DEVICES IN LIVING ROOM PER BUILDING CODE. SMOKE DEVICES SHALL BE STAND ALONE HARDWIRED 120V WITH BATTERY BACKUP.
5. BACK TO BACK DEVICES ARE **NOT ALLOWED**. ELECTRICAL CONTRACTOR MUST STAGGER ALL DEVICES AS REQUIRED TO MAINTAIN A 6" OFFSET BETWEEN ADJACENT ROOMS WHILE MAINTAINING RELATIVE POSITIONS AS SHOWN. NOTE: MAINTAINING A 6" OFFSET BETWEEN ELECTRICAL DEVICES WITH ADJACENT ROOMS SUPERSEDES DIMENSIONS. CONSULT ARCHITECT IF DISCREPANCIES.
6. REFER TO ARCHITECTURAL PLANS FOR LIST OF ACCESSIBLE UNITS. PANELS MOUNTING HEIGHT AT 48" AFF.

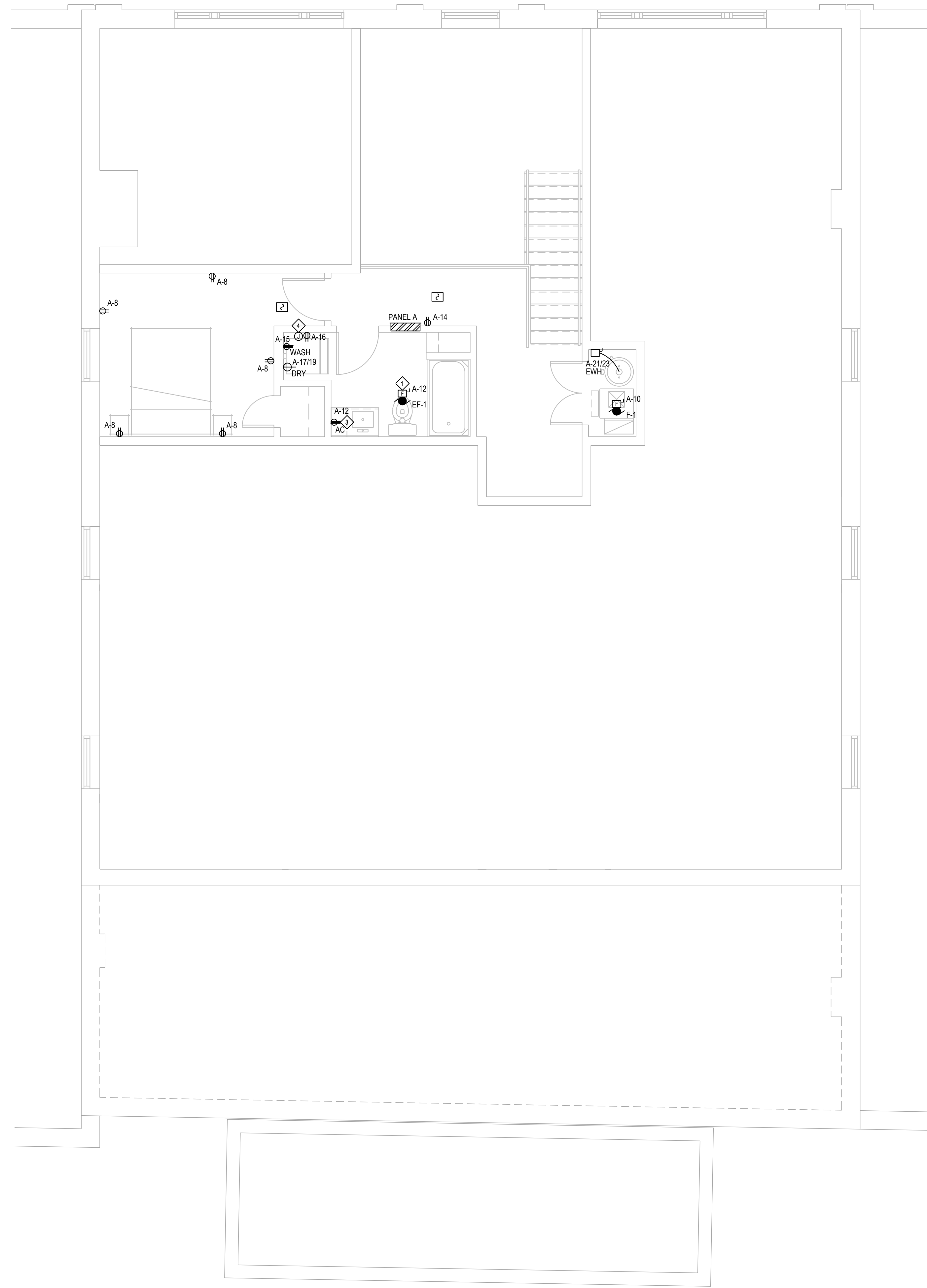
7. ALL 120-VOLT, SINGLE PHASE, 15- AND 20-AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, AND KITCHENS OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED (AFCI) ARC-FAULT CIRCUIT INTERRUPTER, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT. ALL AFCI DEVICES SHALL BE READILY ACCESSIBLE. IN AREAS WHERE GFCI IS ALSO REQUIRED A COMBINATION DEVICE SHALL BE PROVIDED.
8. RECEPTACLES REQUIRING AFCI/GFCI THAT ARE NOT READILY ACCESSIBLE SHALL BE PROTECTED WITH GFCI BREAKERS.
9. FIRE ALARM, SECURITY AND ACCESS CONTROL DEVICES SHOWN FOR REFERENCE ONLY AND DO NOT REPRESENT COMPREHENSIVE SYSTEMS.
10. FIRE ALARM (FA) DEVICES, IF SHOWN, ARE DIAGRAMMATIC IN NATURE ONLY AND ARE INTENDED ONLY TO COMMUNICATE MAJOR SYSTEM COMPONENTS AND APPROXIMATE LOCATIONS. FULL FA DRAWINGS TO BE DELEGATED DESIGN AND SHALL INCLUDE ALL SYSTEM COMPONENTS, CALCULATIONS AND LOCATIONS.

**POWER KEYNOTES:**

- ◇ BATHROOM EXHAUST FAN TO BE CONTROLLED WITH WALL SWITCH AS SHOWN.
- ◇ GARBAGE DISPOSAL SWITCH TO BE MOUNTED IN FACE OF COUNTER.
- ◇ BATHROOM RECEPTACLE TO BE MOUNTED ABOVE THE COUNTERTOP.
- ◇ TELEPHONE/CATV TO ENTER FROM CORRIDOR INTO APARTMENT CLOSET/WASHER ROOM. MOUNT HIGH ON WALL IN CLOSET/WASHER ROOM PROVIDE AND INSTALL J-BOX PER PROVIDER'S REQUIREMENTS. RECEPTACLE FED FROM CIRCUIT IN UNIT. COORDINATE CABLING TO TV, DATA, TELEPHONE OUTLETS WITH PROVIDER. MOUNT AT 80" AFF.
- ◇ MICROWAVE TO BE MOUNTED ABOVE RANGE WITH INTEGRAL EXHAUST. U.O.N.



**4TH FLOOR LOFT PLAN - POWER**  
 SCALE: 1/4" = 1'-0"



**NOT FOR CONSTRUCTION**

No.	Date	Item
Issued Drawing Log		

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